



City of Tualatin

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**"NECESSARY PARTIES"
MARKED BELOW**

NOTICE OF APPLICATION SUBMITTAL

- ANNEXATION CONDITIONAL USE PERMIT PLAN TEXT AMENDMENT
 ARCHITECTURAL REVIEW PLAN MAP AMENDMENT OTHER:

CASE/FILE: AR-15-24 (Community Development Dept.: Planning Division)

PROPOSAL	To Phase 3 and 4 of parcel redevelopment for Brew Doctor Kombucha. Parts of phase 3 are being done through MAR-15-0019 and MAR-15-0023
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PROPERTY	Name of Application	BREW DOCTOR KOMBUCHA				
	<input type="checkbox"/> n/a	Street Address	12241 SW Myslony			
		Tax Map and Lot No(s).	2S1 22CC 00 100			
		Planning District	General Manufacturing (MG)	Overlays <input checked="" type="checkbox"/>	NRPO <input type="checkbox"/>	Flood Plain <input type="checkbox"/>
		Previous Applications	AR-98-11	Additional Applications: N/A	CIO N/A	

DATES	Receipt of application	9/30/2015	Deemed Complete	11/18/2015	CONTACT	Name: Clare Fuchs
	Notice of application submittal			12/4/2015		Title: Senior Planner
	Project Status / Development Review meeting			12/10/2015		E-mail: cfuchs@ci.tualatin.or.us
	Comments due for staff report			12/18/2015		Phone: 503-691-3027
	Public meeting: <input type="checkbox"/> ARB <input type="checkbox"/> TPC <input checked="" type="checkbox"/> n/a					Notes: Inside Marijuana Overlay
	City Council (CC)			<input checked="" type="checkbox"/> n/a		

City Staff

- City Manager
- Building Official
- Chief of Police
- City Attorney
- City Engineer
- Community Dev. Director
- Community Services Director
- Economic Dev. liaison
- Engineering Associate*
- Finance Director
- GIS technician(s)
- IS Manager
- Operations Director*
- Parks and Recreation Coordinator
- Planning Manager
- Street/Sewer Supervisor
- Water Supervisor

Neighboring Cities

- Durham
- King City Planning Commission
- Lake Oswego
- Rivergrove PC
- Sherwood Planning Dept.
- Tigard Community Dev. Dept.
- Wilsonville Planning Div.

*Paper Copies

Counties

- Clackamas County Dept. of Transportation and Dev.
- Washington County Dept. of Land Use and Transportation (AR's)
- Washington County LRP (Annexations)

Regional Government

- Metro

School Districts

- Lake Oswego School Dist. 7J
- Sherwood SD 88J
- Tigard-Tualatin SD 23J (TTSD)
- West Linn-Wilsonville SD 3J

State Agencies

- Oregon Dept. of Aviation
- Oregon Dept. of Land Conservation and Development (DLCD) (via proprietary notice)
- Oregon Dept. of State Lands: Wetlands Program
- Oregon Dept. of Transportation (ODOT) Region 1
- ODOT Maintenance Dist. 2A
- ODOT Rail Div.

Utilities

- Republic Services
- Clean Water Services (CWS)

- Comcast [cable]*
- Frontier Communications [phone]
- Northwest Natural [gas]
- Portland General Electric (PGE)
- TriMet
- Tualatin Valley Fire & Rescue (TVF&R)
- United States Postal Service (USPS) (Washington; 18850 SW Teton Ave)
- USPS (Clackamas)
- Washington County Consolidated Communications Agency (WCCCA)
- Additional Parties**
- Tualatin Citizen Involvement Organization (CIO)
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1.032: Burden of Proof

31.071 Architectural Review Procedure

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- 41.070 Setback Requirements for Conditional Uses (RML)
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- 42.050 Lot Size for Conditional Uses (RMH)
- 42.070 Setback Requirements for Conditional Uses (RMH)
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City of Tualatin

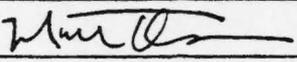
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APPLICATION FOR ARCHITECTURAL REVIEW

Direct Communication to:			
Name: Corey Omey		Title: Architect of Record	
Company Name: Ernest R. Munch Architecture, LLC			
Current address: 111 SW Oak St., Ste. 300			
City: Portland		State: OR	ZIP Code: 97204
Phone: 503-224-1282	Fax:	Email: corey.omey@ermunch.com	
Applicant			
Name: Matt Thomas, Owner		Company Name: Brew Dr. Kombucha	
Address: P.O.Box 42291			
City: Portland		State: OR	ZIP Code: 97242
Phone: 503-367-8921	Fax:	Email: matt@townshendstea.com	
Applicant's Signature: <i>Matt Thomas</i>		MATT THOMAS	Date: 11/11/2015
Property Owner			
Name: Tualatin Sleep, LLC			
Address: 12225 SW Myslony St			
City: Tualatin		State: OR	ZIP Code: 97062
Phone: 971-224-4223	Fax:	Email: pamelac@englandertsp.com	
Property Owner's Signature: <i>Pamela C. Englandert</i>		Member	Date: 11-11-15
(Note: Letter of authorization is required if not signed by owner)			
Architect			
Name: Corey Omey, Ernest R. Munch Architecture, LLC			
Address: 111 SW Oak St., Ste. 300			
City: Portland		State: OR	ZIP Code: 97204
Phone: 503-224-1282	Fax:	Email: corey.omey@ermunch.com	
Landscape Architect			
Name: none			
Address:			
City:		State:	ZIP Code:
Phone:	Fax:	Email:	
Engineer			
Name: Jesse Wolf, Grummel Engineering, LLC			
Address: 79 SW Oak St.			
City: Portland		State: OR	ZIP Code: 97204
Phone: 503-224-7014	Fax:	Email: jesse@grummelengineering.com	
Project			
Project Title: Brew Dr. Kombucha			
Address: 12241 SW Myslony St.			
City: Tualatin		State: OR	ZIP Code: 97062
Brief Project Description: Renovation of an existing building			
Proposed Use: Tea brewing and fermentation facility for the production of Kombucha			

Value of Improvements: **\$35,565**

AS THE PERSON RESPONSIBLE FOR THIS APPLICATION, I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION ABOVE, ON THE FACT SHEET, AND THE SURROUNDING PERTY OWNER MAILING LIST IS CORRECT. I AGREE TO COMPLY WITH ALL APPLICABLE CITY AND COUNTY ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND LAND USE.

Applicant's Signature:  **MATT THOMAS** Date: **11/11/2015**

Office Use		
Case No:	Date Received:	Received by:
Fee: Complete Review :	Receipt No:	
Application Complete as of:	ARB hearing date (if applicable):	
Posting Verification:	6 copies of drawings (folded)	
1 reproducible 8 1/2" X 11" vicinity map	1 reproducible 8 1/2" X 11" site, grading, LS, Public Facilities plan	
Neighborhood/Developer meeting materials		



Ernest R. Munch
Architecture • Urban Planning, LLC

111 SW Oak Street • Suite 300 • Portland, OR 97204 • (503) 224-1282

BREW DR. KOMBUCHA PRODUCTION FACILITY

Application for Architectural Review

REVISION 1 - 11/12/15

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CITY OF TUALATIN FACT SHEET

General

Proposed use:			
Site area:	138,520sf	acres	Building footprint: 50,750sf sq. ft.
Development area:	138,520sf	acres	Paved area: 66,718sf sq. ft.
		Sq. ft.	Development area coverage: %

Parking

Spaces required (see TDC 73.400) (example: warehouse @ 0.3/1000 GFA) $26979 @ .3 /1000 \text{ GFA} = 9$ $18716 @ 1.6 /1000 \text{ GFA} = 30$ $2775 @ 2.7 /1000 \text{ GFA} = 8$ Total parking required: 47 spaces Handicapped accessible = Van pool = 2 Compact = (max. 35% allowed) = 17 Loading berths = 2	Spaces provided: Total parking provided: 45 spaces Standard = 28 Handicapped accessible = 6 Van pool = 2 vanpool, 4 carpool Compact = 5 Loading berths = 10
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Bicycles

Covered spaces required: 	Covered spaces provided: 7 
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Landscaping

Landscaping required: <u>15</u> % of dvpt. area 20,875 Square feet	Landscaping provided: <u>15</u> % of dvpt. area 21,052 Square feet
Landscaped parking island area required: % 25sf / stall = 1,825sf	Landscaped parking island area provided: % 2,449sf provided

Trash and recycling facility

Minimum standard method: 257 square feet	625 provided
Other method: _____	square feet

For commercial/industrial projects only

Total building area: 50,162 sq. ft.	2 nd floor: 1,189 sq. ft.
Main floor: 47,281 sq. ft.	3 rd floor: sq. ft.
Mezzanine: sq. ft.	4 th floor: sq. ft.

For residential projects only

Number of buildings:	Total sq. ft. of buildings: sq. ft.
Building stories:	

GENERAL INFORMATION	
Site Address:	12241 SW Myslony St.
Assessor's Map and Tax Lot #:	2S122CC00100
Planning District:	MG
Parcel Size:	138,520sf
Property Owner:	Tualatin Sleep, LLC
Applicant:	Corey Omev
Proposed Use:	Tea brewing and fermentation facility

ARCHITECTURAL REVIEW DETAILS	
Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial	
Number of parking spaces:	
Square footage of building(s):	50,750 sf
Square footage of landscaping:	21,052 sf
Square footage of paving:	66,718 sf
Proposed density (for residential):	

For City Personnel to complete:

Staff contact person:

Sensitive Area Pre-Screening Site Assessment

1. **Jurisdiction:** ~~Washington County~~ Tualatin

2. **Property Information** (example 1S234AB01400)

Tax lot ID(s): _____
2S122CC00100

Site Address: 12241 SW Myslonny St.

City, State, Zip: Tualatin, OR 97062

Nearest Cross Street: SW 124th Ave. & SW Myslonny St.

3. **Owner Information**

Name: Tualatin Sleep, LLC

Company: Tualatin Sleep, LLC

Address: 12225 SW Myslonny St.

City, State, Zip: Tualatin, OR 97062

Phone/Fax: 971-224-4223

E-Mail: pamela.c@englandertsp.com

4. **Development Activity** (check *all* that apply)

- Addition to Single Family Residence (rooms, deck, garage)
- Lot Line Adjustment Minor Land Partition
- Residential Condominium Commercial Condominium
- Residential Subdivision Commercial Subdivision
- Single Lot Commercial Multi Lot Commercial
- Other _____

5. **Applicant Information**

Name: Corey Omey

Company: Ernest R. Munch Architecture

Address: 111 SW Oak St., Ste. 300

City, State, Zip: Portland, OR 97204

Phone/Fax: 503-224-1282

E-Mail: corey.omey@ermunch.com

6. **Will the project involve any off-site work?** Yes No Unknown

Location and description of off-site work _____

7. **Additional comments or information that may be needed to understand your project** _____

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name Corey Omey Print/Type Title Architect of Record

ONLINE SUBMITTAL

Date 9/17/2015

FOR DISTRICT USE ONLY

Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.

Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.

This Service Provider Letter is not valid unless _____ CWS approved site plan(s) are attached.

The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Reviewed by Chuck Mitchell Date 9/21/15

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
61.010 Purpose	“...is to provide areas of the City that are suitable for light industrial uses and also for a wide range of heavier manufacturing and processing activities.”	The facility is for large scale production of fermented tea, or Kombucha.
61.020 Permitted Uses	“(2) Assembly, packaging, processing, and other treatment of beer, coffee, and canned goods.”	This facility will be used for the processing, bottling, and packaging of Kombucha.
61.021 Restrictions on Permitted Uses	“(1) The use must be conducted wholly within a completely enclosed building, except off-street parking and loading, utility facilities, wireless communication facilities, outdoor storage of materials and products directly related to the permitted use”	The primary use will occur within the building. Any mechanical equipment or outdoor storage areas for compost/recycle/garbage needed for the program will be screened per TDC 73.150(18) . There are no retail sales at this location.
61.040 Prohibited Uses		All uses permitted per TDC 61.020
Section 61.050 Lot Size.	<ul style="list-style-type: none"> (1) The minimum lot area shall be 20,000 square feet. (2) The minimum lot width shall be 100 feet. (3) The minimum average lot width at the building line shall be 100 feet. (4) The minimum lot width at the street shall be 100 feet. 	<ul style="list-style-type: none"> (1) actual is 138,520sf (2) actual size is approx. 360' x 385' (3) complies, see existing site plan 1/A0.1 (4) complies, see existing site plan 1/A0.1
61.060 Setback Requirements	<ul style="list-style-type: none"> (1) Front yard, 30' min. (2) Side yard, 0-50' (3) Rear yard, 0-50' min (5) Min. parking and circulation area setback is 10' at R.O.W.; no setback required from lot lines within ingress and egress areas shared by abutting properties in accordance with <i>TDC 73.400(2)</i>. (8) No fence shall be constructed within 10' of R.O.W. 	<p>Reference existing site plan 1/A0.1;</p> <ul style="list-style-type: none"> (1) Actual = 30'-10" +/- (2) Actual = 114' +/- on east side; 72'-3" +/- on west side (3) 108' +/- between adjacent building (5) The existing building and parking setback is 30'-10" +/- . The abutting property (Building A) is under the same ownership as the proposed project (Building B) and complies with TDC 73.400(2). (8) The existing parking lot fence is aligned with the south building wall, which has a setback of 30'-10" +/- .

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
61.080 Structure Height	(1) Maximum height of 60'	(1) Actual height is 29'-6" per elevations on sheet A3.1
73.050 Criteria and Standards	<ul style="list-style-type: none"> (a) "the proposed site development..." (b) "the proposed design of the development..." (c) "the location, design, size, color and materials..." 	<ul style="list-style-type: none"> (a) The proposed development is a renovation of an existing warehouse space. The proposed building modifications are the minimum required for the success of the program and to meet the requirements of the Tualatin Development Code. (b) All of the proposed changes to the exterior mass of the building is designed to match the existing (aside from the re-painted doors), which is currently compatible with the design of adjacent developments. (c) The location and size of the building will remain as is, and any new materials proposed were chosen to match existing color and texture. There are (20) overhead doors that are sun bleached and are colored an inconsistent shade of blue and white due to panel replacements over the years. The proposal is to paint all exterior doors the company color, "Townshend's Green", reference proposed exterior elevations on sheet A3.2.
73.150 Objectives	<ul style="list-style-type: none"> (1) "Provide convenient walkways and crosswalks which separate pedestrians from vehicles and link primary building entries to parking areas, other on-site buildings and the public right-of-way" (2) "Avoid barriers to disabled individuals." (3) "Locate and design drive-through facilities in a manner which does not conflict with pedestrian routes..." (4) "Break up parking areas with landscaping..." (5) "Utilize landscaping in parking areas to direct and 	(1) See Existing Site Plan on 1/A0.1 and Proposed Site Plan on 1/A0.4 ; There are (2) existing gated entrances from Myslony Street; one on the west side of the property and one on the east side. The gates are adjacent to the existing driveways with a landscaped area between. The primary building/site entrance for Building A truck traffic is on the west side of building B due to the loading area required on the east side for building B. The primary building/site entrance for Building B truck traffic and Building A non-truck traffic is the east entrance. The main building entrance for visitors/employees is directly connected to the gated access on the SW corner of the property where the

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
	<p>control vehicular movement patterns, screen headlights from adjacent properties and streets, and lessen the visual dominance of pavement coverage.”</p> <p>(6) “Provide vehicular connections to adjoining sites”</p> <p>(9) “Encourage outdoor seating areas...”</p> <p>(12) “Provide safe pathways for pedestrians to move from parking areas to building entrances”</p> <p>(17) “Provide preferential parking for carpool and vanpools to encourage employees to participate in carpools and vanpools.”</p> <p>(18) “Screen elements such as mechanical and electrical equipment”</p>	<p>main offices are located. There is an existing 6’-0” wide concrete sidewalk, elevated 6” +/- above the adjacent parking stalls that connects the right of way to the main entrance of Building A. In areas where the sidewalk is interrupted by asphalt there is a 5’-0” minimum painted stripe path. The gated entrance on the east side of the building will remain but will primarily be used by employees and provides access to the interior bike parking. The building entrance for bike parking is located nearest to the east gate and does not require visitors/employees to enter the loading zone.</p> <p>(2) The existing and new sidewalks/paved areas are ADA compliant, see note on Existing Site Plan 1/A0.1 and Proposed Site Plan 1/A0.4 about sidewalk repair at (2) locations along SW Myslony Street. Two ADA parking spaces are proposed to be relocated closer to the main office entrance with a new curb ramp; see Enlarged Sidewalk Plan 1/A2.6 and Enlarged ADA Parking 2/A2.6.</p> <p>(3) The existing drive-through areas are to remain with no modifications. See 73.150(1) reply above for additional description on pedestrian pathway designation.</p> <p>(4) Reference Proposed Site Plan 1/A0.4; The existing parking lot landscaping will remain with the exception of (2) parking lot islands on the east side of the property. A new landscaped area is proposed on the east side of the outdoor employee deck to displace the amount of added pavement. Two recessed entrances on the west side of the building will be removed, and the adjoining sidewalks will be removed. These areas will be planted to blend-in and match the surrounding vegetation.</p> <p>(5) Per Existing Site Plan 1/A0.1, there is an existing 9’-10’ vegetative buffer along the west and east property lines with</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
		<p>clusters of mature trees, ground cover and shrubs. No modifications proposed.</p> <p>(6) See Existing Site Plan 1/A0.1 and Site Survey on C0.1 for all utility and vehicular easements providing vehicular connection to Building A. Additional Information provided in the <i>Easement Recording Documents</i> included in the AR Packet.</p> <p>(9) The central drive-in loading dock bay on the east side of the building is proposed to be modified for an outdoor employee break area with a cedar wood deck. Reference Proposed Site Plan 1/A0.4 and Enlarged Break Room Deck Plan on 3/A2.6. The new deck is surrounded by a curbed, planted area to provide more landscaping and make up for the additional asphalt from parking island removal. A new tree proposed, Japanese Maple (<i>acer palmatum</i>), to be planted on the south side of the deck for shade. The selected tree will be in compliance with TDC 73.250(1).</p> <p>(12) Reference Proposed Site Plan 1/A0.4; A majority of parking is concentrated around the building perimeter with direct access to the existing sidewalk and new painted stripe path. Parking along the east side of the property is proposed to be eliminated to provide more clear space for sweeping truck traffic at the loading docks. There are four (4) accessible parking spaces on the east side of the building and seven (7) standard parking spaces that will remain with no changes proposed. The ADA parking spaces are buffered by landscaping islands and have direct access to a sidewalk and secondary building entrance. The parking in the north east corner is buffered from the loading dock activity by a parking island and is visible from the main vehicular traffic lanes. The parking spaces in the north east corner will have 2 designated vanpool spots and is encouraged to be</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
		<p>used for employee parking.</p> <p>(17)Reference Proposed Site Plan 1/A0.4 for carpool and vanpool locations. There are two main building entrances; the southwest corner of the building is for employees and visitors and the northeast entrance is for employees only. There are two carpool and two vanpool spaces located at the northeast corner of the property, near the employee entrance, and two carpool spaces located at the southwest corner of the property, near the office and visitor entrance.</p> <p>(18)Reference Propose Site Plan 1/A0.4; The new mechanical equipment pad on the north side of the building and relocated garbage and recycling area in loading dock bays 6 and 7 are proposed to be screened with chain link fence and vision slats. The garbage and recycling area per 2/A2.9 will re-use existing fencing and hardware. The mechanical area located on the north side of the building is not visible from the right of way and across from the loading dock activity at Building A. The mechanical equipment screening per 1/A2.9 is restricted to within 18' of the building by an easement, and requires access gates for general maintenance and repair. The chain link material is the best suited material for the height required, to provide ventilation needed for the equipment, and is vision obscuring.</p>
<p>73.160 Standards</p>	<p>(1) (b)“For industrial uses...” i. “a walkway shall be provided...” ii. “walkways... shall have different appearance...” (c) “curb ramps shall be provided...” (3) Safety and security (a) “locate windows and provide lighting in a manner which enables tenants, employees and</p>	<p>(1) (b) i. See Existing Site Plan 1/A0.1 and Proposed Site Plan 1/A0.4. There is an existing 6’-0” wide ADA compliant sidewalk along the west side of Building B that connects Myslony Street to Building A. Where the pathway is interrupted by asphalt, proposed is a 5’-0” wide white painted stripe path. See Enlarged Sidewalk Plan on 1/A2.6 for typical painted stripe detail.</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
	<p>police to watch over pedestrian, parking and loading areas”</p> <p>(b) “locate windows and provide lighting in a manner which enables surveillance of interior activity from the public right-of-way”</p> <p>(c) “Locate, orient and select on-site lighting to facilitate surveillance of on-site activities from the public right-of-way without shining into public rights-of-way or fish and wildlife habitat areas.”</p> <p>(4) Service, delivery and screening</p> <p>(a) “on and above grade electrical and mech...”</p> <p>(b) “Outdoor storage...”</p>	<p>ii. See Proposed Site Plan 1/A0.4 for proposed painted stripe path and Enlarged Sidewalk Plan on 1/A2.6 for typical painted stripe detail.</p> <p>(c) See Enlarged ADA Parking 2/A2.6 for proposed curb ramp at the relocated ADA parking spot. All other existing sidewalks to remain, no changes proposed.</p> <p>(3) (a) See Existing Site Plan 1/A0.1 for existing light fixtures. There are 5 free-standing, down-lit light poles along the east side of the property and 6 wall mounted fixtures around the perimeter of the building. The pole lights provide adequate lighting in the east parking and loading area with no change proposed. The existing wall mounted light fixtures will be replaced per bidder designed specification and additional lights will be added. See Proposed Site Plan on 1/A0.4 and Proposed Exterior Elevations on Sheet A3.2. See also, Proposed Photometric Plan provided by Lighting Contractor on sheet L-1.</p> <p>(b) Two existing recessed storefront entrances will be removed and infilled on the west side of the building to fulfill program requirements. See West Elevation 4/A3.2 for proposed modifications. Existing entrances “E” and “F” will be infilled to match the color and texture of the surrounding wall. An insulated framed wall will finish out the interior of this space to increase the thermal performance for the fermentation room. Windows are not appropriate at this location. At suite “D”, to maximize day lighting, the existing storefront is proposed to be cut and modified for a 3’ 0” sill height to match the proportions of the existing windows. The wall below the storefront will be infilled to match the color and texture of the surrounding wall.</p> <p>(c) See Proposed Site Plan on 1/A0.4. Exterior wall mounted light fixtures will</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
		<p>be replaced per Lighting Contractor Specification and additional fixtures will be provided to increase the amount of lighting surrounding the building and along walkways. See the Photometric Plan and fixture cutsheets in the AR Packet. The property is fenced with gated access for after-hours security and there is a clear line of sight from the right of way along the 2 vehicular driveways. Trees and shrubbery will be maintained per TDC 73.220(c).</p> <p>(4) (a) See Enlarged Garbage and Recycle Plan 2/A2.9, Enlarged Mechanical Pad plan 1/A2.9 and description in above commentary for TDC 73.105(18). (b) Reference Proposed Site Plan 1/A0.4 and Enlarged Outdoor Storage Plan 5/A2.9; The outdoor storage area for compost is located on the west side of the building, adjacent to the brewing operations. The outdoor storage area will be screened and gated with a cedar fence. See 6,7 & 8/A2.9 for proposed plan and elevations.</p>
<p>73.210 Objectives</p>	<p>(1) "Minimize disruption of natural site features such as topography, trees and water features." (8) "Select colors in consideration of lighting conditions and the context under which the structure is viewed, the ability of the material to absorb, reflect or transmit light and the color's functional role (e.g., to identify and attract business, aesthetic reasons, image-building)."</p>	<p>This project is in an existing building and on a 100% developed/landscaped site. The proposed minor alterations to the building are the minimum required for the success of the program. Few items in this section apply as follows;</p> <p>(1) All existing vegetation is proposed to remain with exception to the trees proven to be unhealthy by the Arborist Report and what is eligible to be removed per TDC 34.230(c); reference the Tree Assessment Plan on sheet 1/A0.3 and Arborist Report in the AR Packet. Landscaping will be replanted by a bidder design landscape contractor in areas where it has deteriorated or died.</p> <p>(8) The existing building wall color is beige with dark blue and white exterior doors. The proposal to repaint all of the existing exterior doors "Townshend's Green" (Sherwin Williams Martina</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
		<p>Olive 0795) per exterior elevations on A3.2 will improve the overall aesthetics of the building as well as identify with the Townshend’s Tea Company / Brew Dr. Kombucha’s image. The color is their signature mark and will help identify with distributors and visitors.</p>
<p>73.220 Standards</p>	<p>(1) Safety and Security (a) “Locate, orient and select on-site lighting to facilitate...” (b) “Provide an identification system which clearly identifies and locates buildings and their entries” (c) “Shrubs in parking areas...”</p>	<p>(1) . (a) See previous commentary for TDC 73.160(c) regarding on-site lighting. (b) There is an existing marquee for Building A and B at the east driveway to remain. A new truck entry monument sign is proposed at the west entry per 1/A0.4 and 9/A3.2 to direct truck activity. The primary building entrance for visitors to Building B is located at the SW corner of the building below the company sign per 7/A3.2. The existing, painted lettering above entrances will remain except for where an entrance was removed. The existing painted numbering above loading docks will remain. (c) The existing landscaping is currently maintained and will continue to be maintained as required; 30” max. height for shrubs and, where applicable, tree canopies to be trimmed within 8’-0” of the finish grade. See general note 1 on A0.4.</p>
<p>73.227 Standards- for solid waste</p>	<p>(2) Minimum Standards Method (v) “Commercial, industrial, public and semi-public developments shall provide a minimum storage area of 10 square feet plus...” (6) Location, Design and access</p>	<p>(2) 10sf + Warehouse = 26979/1000 = 26.98sf(6) = 162sf Production = 18716/1000 = 18.7(6) = 113sf Business = 2775/1000 = 2.8(4) = 12sf TOTAL Required = 297sf, TOTAL Provided = 625sf, See site plan 1/A0.4 (6) The design, location and size of the garbage and outdoor storage for compost has been approved by the local franchise waste hauler- see of AR Packet for approval letter. See 2&5/A2.9 for enlarged plans.</p>
<p>73.240 Landscaping General Provisions</p>	<p>(3) “The minimum area requirement for landscaping ... MG Planning Districts shall be fifteen (15) percent of the</p>	<p>(3) See code summary on cover sheet A0.0AR. (11) Existing landscaping to remain. Areas where vegetation has deteriorated or</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
	<p>total land area to be developed”</p> <p>(11) “any required landscaped area shall be designed, constructed, installed and maintained...”</p>	<p>died will be replanted and maintained by landscaping contractor per general note on A0.4. See 1/A0.3 and Arborist Report included in the AR Packet for repair of water stressed area. All new planted areas will be planted to blend-in and match existing vegetation.</p>
<p>73.250 Tree Preservation</p>	<p>(1) “Tree and other plant materials to be retained shall be identified on the landscaping and grading plan”</p> <p>(2) “During construction process...”</p> <p>(3) “Landscaping under preserved trees shall be compatible with the retention and health of said tree”</p>	<p>(1) See Tree Assessment Plan on 1/A0.3</p> <p>(2) See Tree Assessment Plan on 1/A0.3</p> <p>(3) See 1/A0.3 and Arborist Report included in the AR Packet for repair of water stressed area.</p>
<p>73.260 Tree and Plant Specifications</p>	<p>(1) Minimum standards for trees and plants:</p> <p style="padding-left: 40px;">(a) Deciduous Trees; (1 ½”) min. caliper measured (6”) above grade...</p> <p>(5) “All plant growth in landscaped areas of developments shall be controlled by pruning, trimming or otherwise so that....”</p>	<p>(1) Minimum standards for trees and plants:</p> <p style="padding-left: 40px;">(a) The (2) new deciduous trees proposed will be selected to meet this requirement.</p> <p>(5) Landscaping is currently maintained and will continue to be maintained per this section; see note on Proposed Site Plan Key A0.4.</p>
<p>73.290 Re-vegetation in Un-landscaped Areas</p>	<p>The purpose of this section is to ensure erosion protection, and in appropriate areas to encourage soil amendment, for those areas not included within the landscape percentage requirements</p>	<p>100% of this site is either developed or part of the landscaping requirements.</p>
<p>73.310 Landscape Standards - Commercial, Industrial, Public and Semi-Public Uses.</p>	<p>(1) “A minimum 5-foot-wide landscaped area must be located along all building perimeters which are viewable by the general public from parking lots or the public right-of-way, excluding...”</p> <p>(3) “All areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas or undisturbed natural areas</p>	<p>(1) Reference Existing Site Plan 1/A0.1 for the existing 9’-0” +/- vegetative perimeter along the west and east side of the building. Street side is vegetated. The north utility side of the building is landscaped where parking occurs.</p> <p>(3) Reference Proposed Site Plan 1/A0.4; The adjoining sidewalks along the west side of the property at in-filled entrances will be removed and replanted, typical at (3) locations. Loading ramp 8 on the east side of the</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
	shall be landscaped”	building has been previously converted to an employee break room. The proposal is to remove the asphalt in this area and extend the adjacent planted area and parking island to increase the amount of landscaping and encompass a new deck. See Enlarged Break Room Deck plan 3/A2.6 .
73.340 Off-Street Parking Lot and Loading Area	<p>(1) “A clear zone shall be provided for the driver at ends of on-site drive aisles and at driveway entrances... 30” minimum of 8’-0” measured at ground level”</p> <p>(2) Perimeter site landscaping at least 5’-0” in width...”</p>	<p>(1) Landscaping is currently maintained and will continue to be maintained per this section by landscape contractor. See general note on A/0.4.</p> <p>(2) See Existing Site Plan 1/A0.4; There is an existing 10’-0” +/- planted strip along the east and west side of the property. All existing perimeter landscaping will remain, and areas where vegetation has deteriorated or died will be replanted. See Tree Assessment Plan 1/A0.3 for additional information on trees to be removed.</p>
73.360 Off-Street Parking Lot Landscape Islands-Industrial	<p>(1) “Min. 25 square feet per parking stall shall be improved with landscape island areas...”</p> <p>(2) “Landscaped island areas with... trees shall be a minimum of 5 feet in width...”</p> <p>(3) “A minimum of one deciduous shade tree shall be provided for every four (4) parking spaces to lessen the adverse impacts of glare, reduce heat from paved surfaces, and to emphasize circulation patterns. Required shade trees shall be uniformly distributed throughout the parking lot (see TDC 73.380(3))”</p> <p>(4) “Landscape islands shall be utilized at aisle ends to protect parked...”</p> <p>(5) “Required plant material in landscape islands shall achieve 90 percent coverage within three years. Native shrubs and trees are encouraged.”</p>	<p>(1) Complies, See cover sheet A0.0AR for calculation.</p> <p>(2) Existing condition complies, see note on 1/A0.1 for typical parking island width. No changes proposed.</p> <p>(3) There is approximately 68 +/- existing shade trees that are surrounding the parking lot area, which exceeds the minimum required @ $47\text{spaces}/4 = 12$ trees min. The parking lot landscaping is in accordance with TDC 73.380(3), where parking stalls do not exceed (8) continuous spaces in a row without landscape separation. There is a tree in every parking island and along the east and west property lines.</p> <p>(4) Existing condition complies per 1/A0.1, no changes proposed</p> <p>(5) Proposed planted areas will be planted with shrubs and ground cover to match existing. Vegetation will be replanted in areas that have deteriorated or died.</p> <p>(7) The existing trees on site are to remain unless they are to be removed in accordance with TDC34.203(c), are unhealthy, or threaten structures on</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
	(7) "Deciduous shade trees shall meet the following criteria..."	site. See Arborist Report in the AR Package and Tree Assessment Plan on 1/A0.3 . There are (2) new deciduous trees proposed per the Arborist's recommendation; Japanese Maple (<i>Acer Palamatum</i>) and Katsura (<i>Cercidiphyllum Japonicum</i>). Proposed trees comply with tree requirements.
73.370 Off-Street Parking and Loading	<p>(1) General Provisions</p> <p>(a) Parking requirements of this section shall be met, unless "a lesser number of vehicle parking spaces will be sufficient to carry out the objectives of this section", to be approved through Architectural Review.</p> <p>(h) "When several uses occupy a single structure...the sum of the requirements of several uses..."</p> <p>(n) Bicycle parking facilities... long term and short term</p> <p>(o) Bike parking space shall be 6'-0" long, 2'-0" wide with 7'-0" min. overhead clear.</p> <p>(p) "5-foot-wide bicycle maneuvering area shall be provided beside"</p> <p>(q) "Access to bicycle parking shall be provided by an area at least 3 feet in width."</p> <p>(u) "Bicycle parking areas and facilities shall be identified with appropriate signing as specified in the Manual on Uniform Traffic Control Devices (MUTCD)"</p> <p>(x) "Required vanpool and carpool parking shall meet the 9-foot parking stall standards in Figure 73-1 and be identified with appropriate signage"</p> <p>(2) Parking requirements</p> <p>(3) Carpool and Vanpool requirements</p>	<p>(1) (a) Maintaining the code required number of parking spaces is a challenge for this site, but the number of spaces needed for the program is fewer than required by the zoning code. As the facility expands to capacity, the program needs to provide access for full-size, 53' semi-trucks into the existing loading docks. Limited access to the loading docks is possible with the removal of select parking spaces along the east side of the property (reference Proposed Site Plan 1/A0.4). There are currently (73) parking spaces and the number will need to be reduced to (45), which are (2) less than the required amount. The tenant plans on a maximum of (26) employees at a peak shift, and estimates up to (10) visitors at any given time. The tenant is implementing a car-pooling policy and incentive program for employees, to both supplement for and reduce the need for employee parking. The proposal is to provide designated parking spaces beyond the minimum code requirement for carpool/vanpool parking. See Brew Dr. Kombucha - Tualatin Alternative Transportation Policy (ATP) in AR Package for consideration of the reduced parking design through this AR.</p> <p>(h) See Cover A0.0AR for calculations</p> <p>(n) Eight (8) interior bike parking stalls will be available for long term or short term parking. See 1/A2.1PH3 for bike parking location.</p> <p>(o) See 1/A2.1PH3 for bike rack clearances. There is no ceiling in this area.</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
		<p>(p) See 1/A2.1PH3 for bike rack clearances.</p> <p>(q) See site plan 1/A0.4 for bike parking entrance. The existing concrete sidewalk leading up to the entrance is 6'-0", typical with a 3'-0" door.</p> <p>(u) Existing bike parking sign to remain, see Existing Site Plan 1/A0.1</p> <p>(x) Reference Proposed Site Plan 1/A0.4 for carpool and vanpool locations, required signage will be provided. Figure 73-1 requires the stall depths at 90degrees to be 18.5'. The existing condition depth along the West and North side of the building is 17'+/-, see Existing Site Plan 1/A0.1. Lengthening the stalls is not an option due to the easement constraints. Vanpool parking is proposed in the NE corner of the property where spaces that are 18'+/- in length. Carpool parking is proposed at locations nearest to employee and office entrances.</p> <p>(2) (a) See Cover A0.0AR for parking and bike parking proposal. See additional commentary above for TDC 73.370(1)(a)</p> <p>(3) See Cover A0.0AR for carpool and vanpool proposal. See additional commentary above for TDC 73.370(1)(a)</p>
<p>73.380 Off Street Parking Lots</p>	<p>(1) "Parking lot drive aisles shall be constructed of asphalt"</p> <p>(2) "Parking stalls for sub-compact vehicles shall not exceed 35 percent"</p> <p>(3) "parking stalls shall not exceed eight continuous spaces in a row..."</p> <p>(9) "Parking bumpers or wheel stops or curbing shall be provided to prevent..."</p> <p>(10) "Disability parking spaces and accessibility shall be provided in accordance with applicable federal and state requirements."</p>	<p>(1) See Existing Site Plan 1/A0.1. Parking lot is all asphalt or concrete (loading docks).</p> <p>(2) 5 compact spaces / 45 total proposed spaces = 14%, OK</p> <p>(3) Proposed parking does not exceed 8 continuous spaces without a landscape separation per Propose Site Plan 1/A0.4.</p> <p>(9) There are existing 6" curbs or raised sidewalks around the perimeter of the building and planted areas abutting parking stalls. See 2/A2.6 for new curb ramp at relocated ADA parking.</p> <p>(10) See 2/A2.6 for new curb ramp at relocated ADA parking stalls. All other existing ADA parking to remain with no changes proposed.</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
<p>73.390 Off-Street Loading Facilities</p>	<p>(1) Minimum number of loading berths = 2 (2) Min. size for Industrial = 12'x60'</p>	<p>(1) 10 loading docks and 4 loading ramps to remain in use, no changes proposed to the existing built conditions. (2) Existing loading dock dimensions, per 1/A0.1 is 13'-0" x 45'-0". To gain the required depth of 60'-0", the parking along the east side of the property will need to be removed per Proposed Site Plan 1/A0.4. The removal of parking to allow 60' depth loading docks is proposed as future (phase 4) work to be completed by future separate permit after production expansion grows to the point where 53' trucks are needed. See additional explanation for parking space removal and approach in commentary for TDC 73.370(1)(a).</p>
<p>Section 73.400 Access</p>	<p>(3) Joint and Cross Access (12) Min. Access Requirements for 1-250 spaces= 1 access ways required: 36 feet wide for first 50' from ROW, 24' wide thereafter; no curbs or walkway required</p>	<p>(3) See Site Survey C0.1 and Easement Recording Documentation included in AR Package for access easements between Parcel 1 and Parcel 2. Both buildings are under same ownership. No changes to these easements proposed. (12) Parking Required for Building A (Manufacturing) per record drawings = 59 Spaces; Parking Required for Building B =47; Gross Required Parking = 106 spaces. Reference Existing Site Plan 1/A0.1; There are 2 existing access ways. The existing east driveway is 40' wide for the first 40', then narrows to the reciprocal access width of 24' to provide the loading dock area with enough clearance for full-size, 53' semi trucks. The east access way is for primary vehicular traffic and secondary one-way truck traffic for Building A and primary employee and truck traffic for Building B. The existing west entrance is 35' in width and narrows to 30' within existing built conditions. The west access way is for Building A primary truck traffic, and secondary for building B truck traffic, visitors, and office entrance. No change is proposed to these existing conditions.</p>

CODE REVIEW BY SECTION

CODE SECTION	REQUIREMENT	CODE REVIEW NARRATIVE
Section 73.410 Street Tree Plan		None Proposed Smile! We are almost done...
Section 74.420 Street Improvements	(2) "The required improvements may include the rebuilding or the reconstruction of any existing facilities located within the right-of-way adjacent to the proposed development to bring the facilities into compliance with the Public Works Construction Code"	(2) See Proposed Site Plan 1/A0.4 for sidewalk repair locations and specification along the ROW, Myslony Street. The broken panels at both locations will be removed and replaced with new ADA compliant concrete slab on grade. At the sidewalk repair adjacent to the existing street tree, Tripstop Articulating Joint System will be used at control joints to manufacturer's specification per City of Tualatin's City Engineer Jeff Fuches recommendation.
Section 74.765 Street Tree Species and Planting Locations		No trees to be added within the ROW

End of Code Review Narrative

BDK - Tualatin
Alternative Transportation Policy (ATP)

Program offers up to \$10 to any employee who walks, bikes or drives to Brew Dr. Kombucha and brings one or more passengers.

- Participation in the program is voluntary.
- Participating employees are not considered to be working and are not “on the clock.”
- Brew Dr. Kombucha is not responsible for any accident or injury that may occur due to the employee’s participation in the ATP.

Eligibility:

Any employee that meets the requirements, is scheduled to work and walks, bikes, or carpools is eligible to participate in the program. Carpool is defined for this purpose as one qualified driver driving one or more qualified employee(s). Only the driver of the vehicle will receive the program incentive, and the amount of incentive received will depend on the distance driven to Brew Dr. Kombucha - Tualatin.

Requirements:

The employee who is to be the driver must have:

- Valid Driver’s License
- Legal access to a safe properly functioning vehicle
- Proof of registration AND insurance for the vehicle they will be driving

Brew Dr. Kombucha reserves the right to require proof of registration and insurance.

Participation:

Employees must be scheduled to work on the day of the carpool. The driver is responsible for making sure all passengers are scheduled to work. All participants in the ATP must sign the ATP log on the day of the car pool. Failure to comply will result in loss of ATP privilege and possible disciplinary action.

Coupons will be issued based on ATP logs reviewed/submitted by department directors to HR. HR personnel will review and audit each form to ensure all employees listed on the form worked on the days claimed.

Incentive:

ATP incentive coupons are only awarded to those participating on the commute to Brew Dr. Kombucha Tualatin.

Walk or Bike Distance 0 – 5 miles:		= \$8
Walk or Bike Distance of more than 5 miles:		= \$10
Driving Distance of 10-45 miles:	1 driver + 1 passenger	= \$6
Driving Distance of 10-45 miles:	1 driver + 2 or more passengers	= \$8
Driving Distance of more than 45 miles:	1 driver + 1 passenger	= \$8
Driving Distance of more than 45 miles:	1 driver + 2 or more passengers	= \$10

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30



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I, Richard Hobernicht, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.

Richard Hobernicht, Director of Assessment and Taxation, Ex-Officio County Clerk



After Recording Return To:

Cosgrave Vergeer Kester LLP
Attn: Russell R. Rotondi
888 SW Fifth Avenue, Suite 500
Portland, OR 97204

Until a change is requested, all tax statements should be sent to:

No change

MEMORANDUM OF OPTION AGREEMENT

- 1) Title of Transaction(s): Memorandum of Option Agreement
- 2) Reference Number of Related Document:
Not applicable
- 2) Grantor/Owner: Tualatin Sleep, LLC, an Oregon Limited Liability Company
12225 SW Myslony Street, Tualatin, OR 97062
- 3) Grantee/Optionee: Brew Dr. Kombucha, LLC, an Oregon Limited Liability
Company, 12241 SW Myslony Street, Tualatin, OR 97062
- 4) True and Actual Consideration:
Other good and valuable consideration
- 5) Assessor's Property Tax Parcel/Account Number:
Tax Account Number R2095513, 2S122CC-00100, Levy
Code 088.15 (Parcel 1)

Tualatin Sleep, LLC, an Oregon limited liability company ("**Owner**"), and Brew Dr. Kombucha, LLC, an Oregon limited liability company ("**Optionee**"), have entered into a Lease which includes an Option Agreement dated May 28, 2015 (the "**Option Agreement**"), wherein Owner has granted to Optionee the sole and exclusive option to purchase the property located at 12241 SW Myslony Street, Tualatin, Oregon, legally described as follows:

Parcel 1, Partition Plat No. 2000-37, in the City of Tualatin, County of Washington and State of Oregon.

Together with an easement for access across a 30 foot strip over Parcel 1, as shown on said Plat, and set forth in that certain Declaration of Mutual Easement dated March 20, 2000, Recorded May 11, 2000, at Recording Number 2000-037762, Washington County, Oregon.

1 – Memorandum of Option Agreement

The option must be exercised, if at all, no earlier than October 1, 2017 and no later than March 31, 2018, with six (6) months prior written notice.

This Memorandum is being executed and recorded in the Official Records of Washington County, Oregon, to give notice of the provisions of the Option Agreement and will not be deemed or construed to define, limit, or modify the Option Agreement in any manner.

Executed as of August 27, 2015.

OWNER:

Tualatin Sleep, LLC,
an Oregon limited liability company

By: [Signature]
Name: John Hagglund
Title: Member

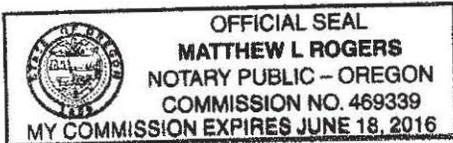
OPTIONEE:

Brew Dr. Kombucha, LLC,
an Oregon limited liability company

By: [Signature]
Name: MATTHEW THOMAS
Title: OWNER

STATE OF OREGON)
) ss.
County of Washington)

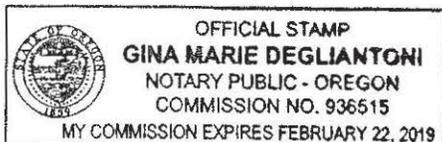
This instrument was acknowledged before me on August 27th, 2015, by John Hagglund, as Member of Tualatin Sleep, LLC, an Oregon limited liability company, on behalf of said company.



Matthew L. Rogers
Notary Public for Oregon
My commission expires:

STATE OF OREGON)
) ss.
County of Washington)

This instrument was acknowledged before me on August 25, 2015, by Matthew Thomas, as owner of Brew Dr. Kombucha, LLC, an Oregon limited liability company, on behalf of said company.



Gina Degliantoni
Notary Public for Oregon
My commission expires:

35
36

Washington County, Oregon
09/03/2015 03:25:34 PM
D-E Cnt=1 Stn=9 D MOON
\$35.00 \$5.00 \$11.00 \$20.00 - Total = \$71.00

2015-075450



02085193201500754500070077

I, Richard Hobernicht, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.



Richard Hobernicht, Director of Assessment and Taxation, Ex-Officio County Clerk

After Recording Return To:

Tualatin Sleep, LLC
12225 SW Myslony St.
Tualatin, Oregon 97062

Until a change is requested, all tax statements should be sent to:

No Change

FIRST AMENDMENT TO DECLARATION OF MUTUAL EASEMENTS

This First Amendment to Declaration of Mutual Easements (this "Amendment") is entered into as of this 31st day of July, 2015, by Tualatin Sleep, LLC, an Oregon limited liability company ("Declarant").

RECITALS:

- A. Declarant owns the real property legally described as Parcel 1 and Parcel 2, Partition Plat No. 2000-37, in the City of Tualatin, County of Washington and State of Oregon (individually referred to herein as "**Parcel 1**" or "**Parcel 2**" and collectively referred to herein as the "**Property**").
- B. This Amendment amends that certain Declaration of Mutual Easements dated March 20, 2000, and recorded in Washington County, Oregon, on May 11, 2000, as document no. 2000-037762 (the "**Declaration**").
- C. Declarant and Brew Dr. Kombucha, LLC ("**Tenant**") are parties to the certain Business Park Lease dated May 28, 2015 (the "**Lease**") with respect to the building located on Parcel 1 (the "**Building**"). As an accommodation to Tenant, Declarant desires to amend the Declaration pursuant to the terms and conditions set out in this Amendment.

1 – First Amendment to Declaration of Mutual Easements

AGREEMENT:

1. Amendments to Declaration. The Declaration is hereby amended as follows:

a. **Reciprocal Access Easement.** The rectangular portion of the Property near the loading dock at the north end of the Building described on Exhibit A and identified by cross hatching on Exhibit B hereto shall be included as part of the Reciprocal Access Easement as defined in Section 1 of the Declaration.

b. **Private Access Easement.**

i) The portion of the Property subject to the 30.00' Private Access Easement for the benefit of Parcel 2 located between the Building and the western boundary of Parcel 1, as more particularly described in Section 2 of the Declaration, may be used for the additional purpose of primary two-way truck traffic and secondary vehicular traffic.

ii) The 40.00' Private Access Easement for the benefit of Parcel 2 located between the Building and the eastern boundary of Parcel 1 shall be replaced and superseded in its entirety with an easement area in varying widths in the location described on Exhibit C and identified by cross hatching on Exhibit D and which shall be used for the purpose of primary two-way vehicular traffic and secondary truck traffic.

2. Effect of Amendment; Capitalized Terms. Except as expressly amended by the terms of this Amendment, the Declaration remains unmodified and in full force and effect. Capitalized terms used in this Amendment and not defined in this Amendment shall have their definitions set forth in the Declaration.

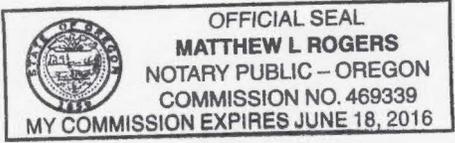
[SIGNATURE AND NOTARY BLOCK ON NEXT PAGE]

Tualatin Sleep, LLC, an Oregon limited liability company

By: *[Signature]*
Name: John Hagglund
Title: Member
Date: 8-26-15

STATE OF OREGON)
) ss
County of Washington)

Personally appeared before me this 26th day of August, 2015, John Hagglund in his or her capacity as Member of Tualatin Sleep, LLC, an Oregon limited liability company, who being duly sworn acknowledged said instrument to be his or her voluntary act and deed.



Matthew L. Rogers
Notary Public For Oregon
My commission expires:



CENTERLINE CONCEPTS
LAND SURVEYING, INC.

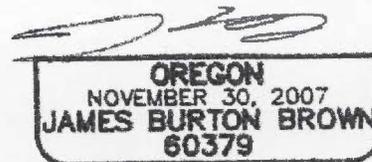
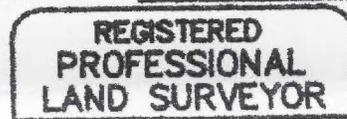
729 Molalla Avenue, Ste. 1 and 2, Oregon City, OR 97045
P. 503-650-0188 F. 503-650-0189

Exhibit "A"
Access Easement
Legal Description

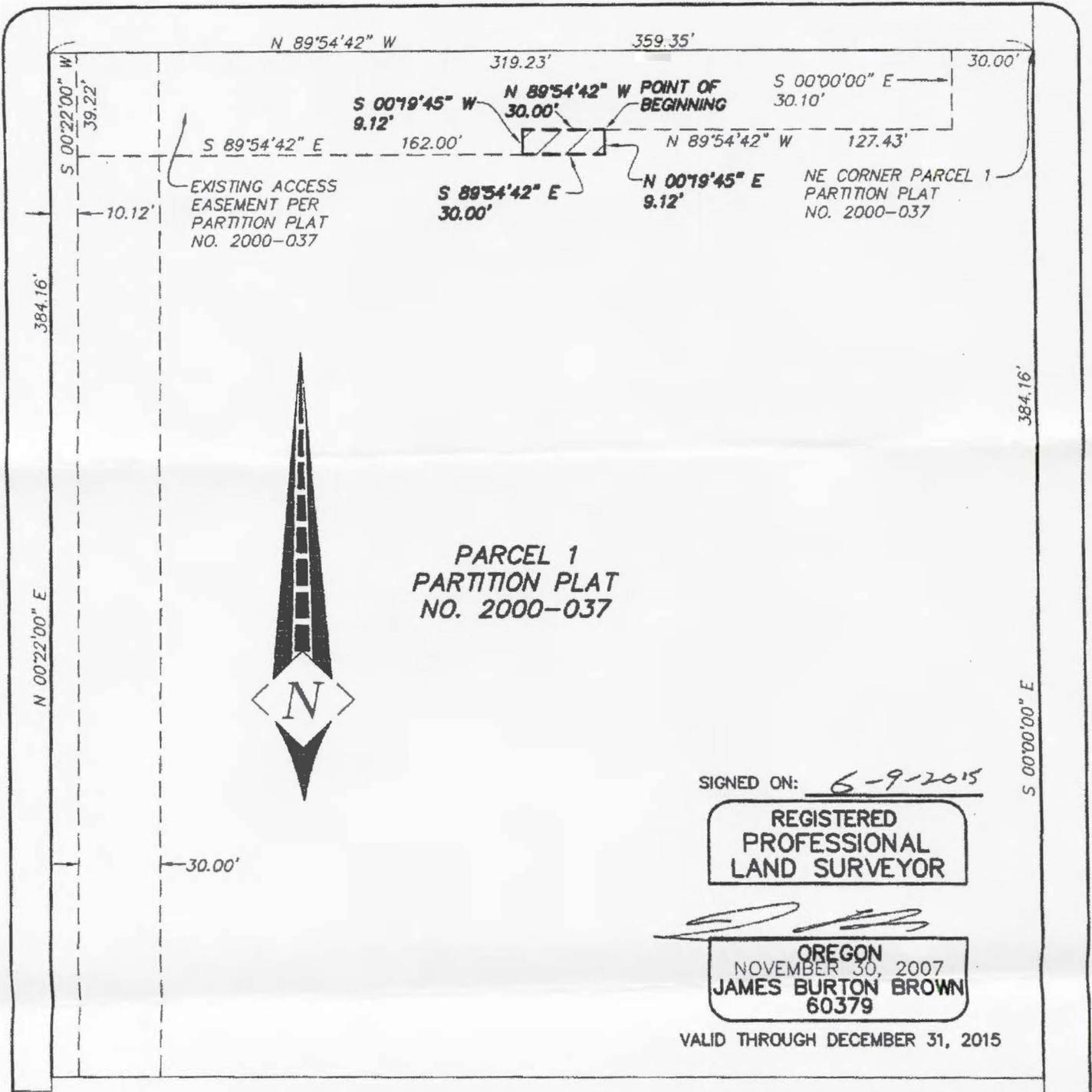
A Tract of land being a portion of Parcel 1, Partition Plat No. 2000-037, Plat records of Washington County, located in the Southwest one-quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, City of Tualatin, County of Washington, State of Oregon, being more particularly described as follows:

BEGINNING at a point on the South line of an existing access easement per Partition Plat No. 2000-037, Plat records of Washington County, being N89°54'42"W, 30.00 feet, S00°00'00"E, 30.10 feet and N89°54'42"W, 127.43 feet from the Northeast corner of Parcel 1 of said Partition Plat; thence Southerly of, parallel with, and 30.10 feet distant from the North line of said Parcel 1, N89°54'42"W, 30.00 feet; thence S00°19'45"W, 9.12 feet to a point being 39.22 feet South of the North line of said Parcel 1 when measured at right angles; thence Southerly of, parallel with, and 39.22 feet distant from said North line S89°54'42"E, 30.00 feet; thence N00°19'45"E, 9.12 feet to the **POINT OF BEGINNING**.

SIGNED ON: 6-8-2015



VALID THROUGH DECEMBER 31, 2015



PARCEL 1
PARTITION PLAT
NO. 2000-037



SIGNED ON: 6-9-2015

REGISTERED
PROFESSIONAL
LAND SURVEYOR

[Signature]
OREGON
NOVEMBER 30, 2007
JAMES BURTON BROWN
60379

VALID THROUGH DECEMBER 31, 2015

S.W. MYSLONY STREET

CLIENT: TUALATIN SLEEP
ORIG. DATE: JUNE 3, 2015
DRAWN BY: JL
SHEET No. 1 of 1

EXHIBIT "B"
ACCESS EASEMENT
CITY OF TUALATIN, WASHINGTON COUNTY, OREGON
Scale: 1"=50'


CENTERLINE CONCEPTS
LAND SURVEYING, INC.
729 MOLALLA AVE., SUITE 1 & 2
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.850.0189

Plotted: 6/09/2015 - 9:51am, M: \PROJECTS\DOUG BEAN AND ASSOC.-MYSLONY ST\dwg\Easement Scale.dwg, Layout: Model



CENTERLINE CONCEPTS
LAND SURVEYING, INC.

729 Molalla Avenue, Ste. 1 and 2, Oregon City, OR 97045
P. 503-650-0188 F. 503-650-0189

Exhibit "C"
Access Easement
Legal Description

A Tract of land being a portion of Parcel 1, Partition Plat No. 2000-037, Plat records of Washington County, located in the Southwest one-quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, City of Tualatin, County of Washington, State of Oregon, being more particularly described as follows:

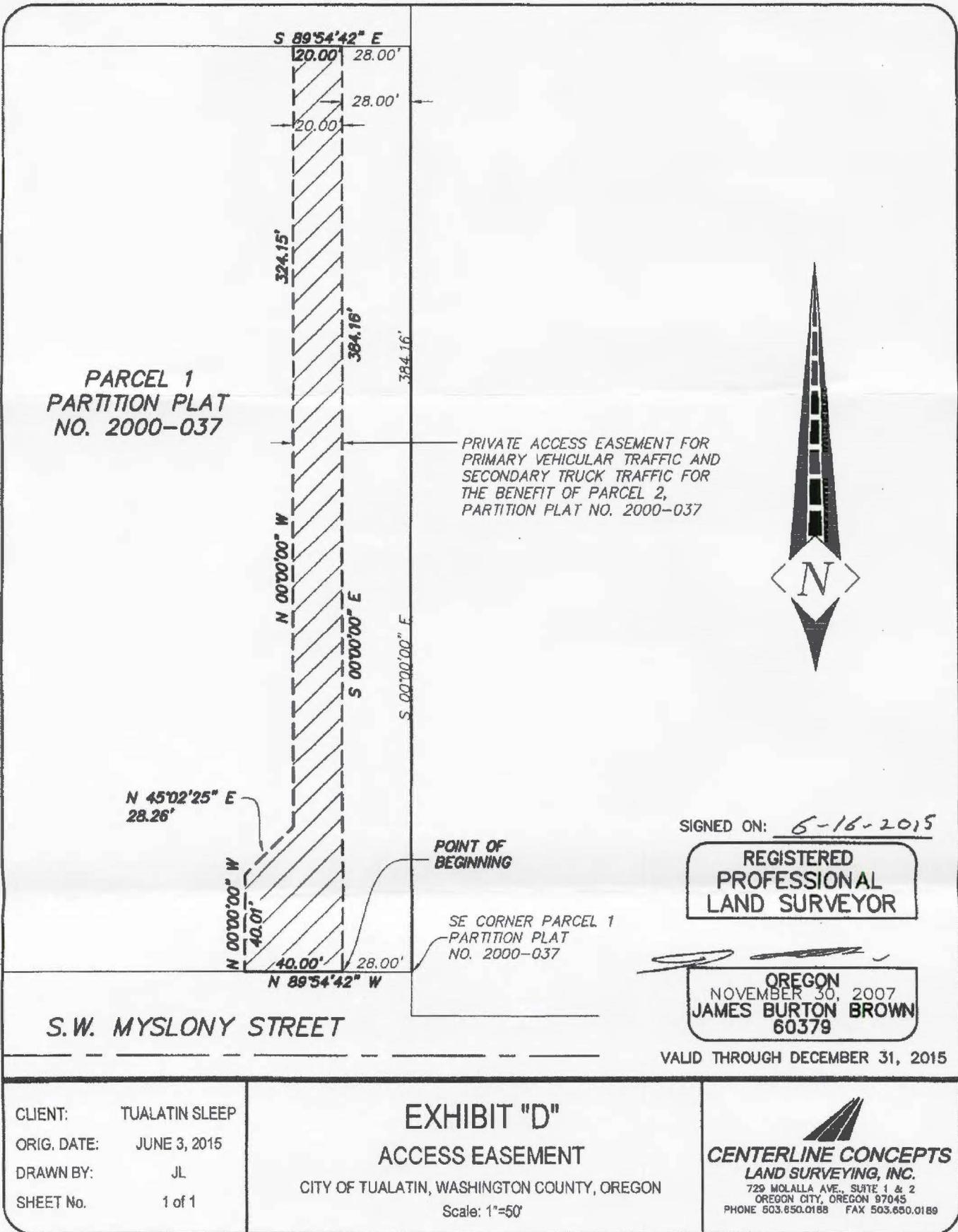
BEGINNING at a point on the South line of Parcel 1, Partition Plat No. 2000-037, Plat records of Washington County, being N89°54'42"W, 28.00 feet from the Southeast corner of said Parcel 1; thence along said South line N89°54'42"W, 40.00 feet to a point being 68.00 feet West of the East line of said Parcel 1 when measured at right angles; thence Westerly of, parallel with, and 68.00 feet distant from said East line N00°00'00"W, 40.01 feet; thence N45°02'25"E, 28.26 feet to a point being a 48.00 feet West of the East line of said Parcel 1 when measured at right angles; thence Westerly of, parallel with, and 48.00 feet distant from said East line N00°00'00"W, 324.15 feet to the North line of said Parcel 1; thence along said North line S89°54'42"E, 20.00 feet to a point being 28.00 feet West of the East line of said Parcel 1 when measured at right angles; thence Westerly of, parallel with, and 28.00 feet distant from said East line S00°00'00"E, 384.16 feet to the **POINT OF BEGINNING**.

SIGNED ON: 6-16-2015

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

**OREGON
NOVEMBER 30, 2007
JAMES BURTON BROWN
60379**

VALID THROUGH DECEMBER 31, 2015



PARCEL 1
PARTITION PLAT
NO. 2000-037

PRIVATE ACCESS EASEMENT FOR
PRIMARY VEHICULAR TRAFFIC AND
SECONDARY TRUCK TRAFFIC FOR
THE BENEFIT OF PARCEL 2,
PARTITION PLAT NO. 2000-037



SIGNED ON: 6-16-2015

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
NOVEMBER 30, 2007
JAMES BURTON BROWN
60379

VALID THROUGH DECEMBER 31, 2015

S.W. MYSLONY STREET

POINT OF
BEGINNING

SE CORNER PARCEL 1
PARTITION PLAT
NO. 2000-037

CLIENT: TUALATIN SLEEP
ORIG. DATE: JUNE 3, 2015
DRAWN BY: JL
SHEET No. 1 of 1

EXHIBIT "D"
ACCESS EASEMENT
CITY OF TUALATIN, WASHINGTON COUNTY, OREGON
Scale: 1"=50'


CENTERLINE CONCEPTS
LAND SURVEYING, INC.
729 MOLALLA AVE., SUITE 1 & 2
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.650.0189

Plotted: 6/16/2015 - 7:22am, M:\PROJECTS\DOUG BEAN AND ASSOC.-MYSLONY ST\dwg\Easement Scale.dwg, Layout: Model

NEIGHBORHOOD / DEVELOPER MEETING CERTIFICATION OF SIGN POSTING

NOTICE
NEIGHBORHOOD / DEVELOPER MEETING
__/__/2010 __:__.m.
SW _____
503-____-____

18"

24"

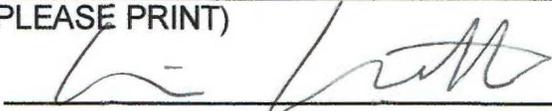
In addition to the requirements of TDC 31.064(2) quoted earlier in the packet, the 18" x 24" sign that the applicant provides must display the meeting date, time, and address and a contact phone number. The block around the word "NOTICE" must remain **orange** composed of the **RGB color values Red 254, Green 127, and Blue 0**. Additionally, the potential applicant must provide a flier (or flyer) box on or near the sign and fill the box with brochures reiterating the meeting info and summarizing info about the potential project, including mention of anticipated land use application(s). Staff has a Microsoft PowerPoint 2007 template of this sign design available through the Planning Division homepage at < www.tualatinoregon.gov/planning/land-use-application-sign-templates >.

As the applicant for the

Brew Dr. Kombucha project, I

hereby certify that on this day, 5/20/15 sign(s) was/were posted on the subject property in accordance with the requirements of the Tualatin Development Code and the Community Development Department - Planning Division.

Applicant's Name: Erica Everett, EMA
(PLEASE PRINT)

Applicant's Signature: 

Date: 11/11/15

EMA Ernest R. Munch
Architecture • Urban Planning, LLC

111 S.W. Oak Street, Ste 300 | Portland, Oregon 97204
office (503) 224-1282 | www.ermunch.com

May 21, 2015

Corey Omey
111 S.W. Oak St., Ste. 300
Portland, OR 97204

Re: Brew Dr. Kombucha / Thomas and Sons Distillery project proposal for 12241 SW Myslony St., Tualatin, OR 97062.

Dear Property Owner / CIO Representative;

You are cordially invited to attend an open house style meeting on Friday, June 5, 2015 from 4:30pm-6:00pm at 12241 SW Myslony St., Tualatin, OR 97062. This meeting will be held to discuss a proposed project at 12241 SW Myslony St., which is located on the north side of Myslony St. between SW 124th Ave. and SW 118th Ave. The proposal is for a tea brewing and fermentation facility for kombucha, with a minor portion of the occupancy to be a Distilled Spirits Plant for the distillation of alcohol. Brew Dr. Kombucha & Thomas and Sons Distillery, will be renting the existing building and making minor modifications to the exterior as needed for the success of the program.

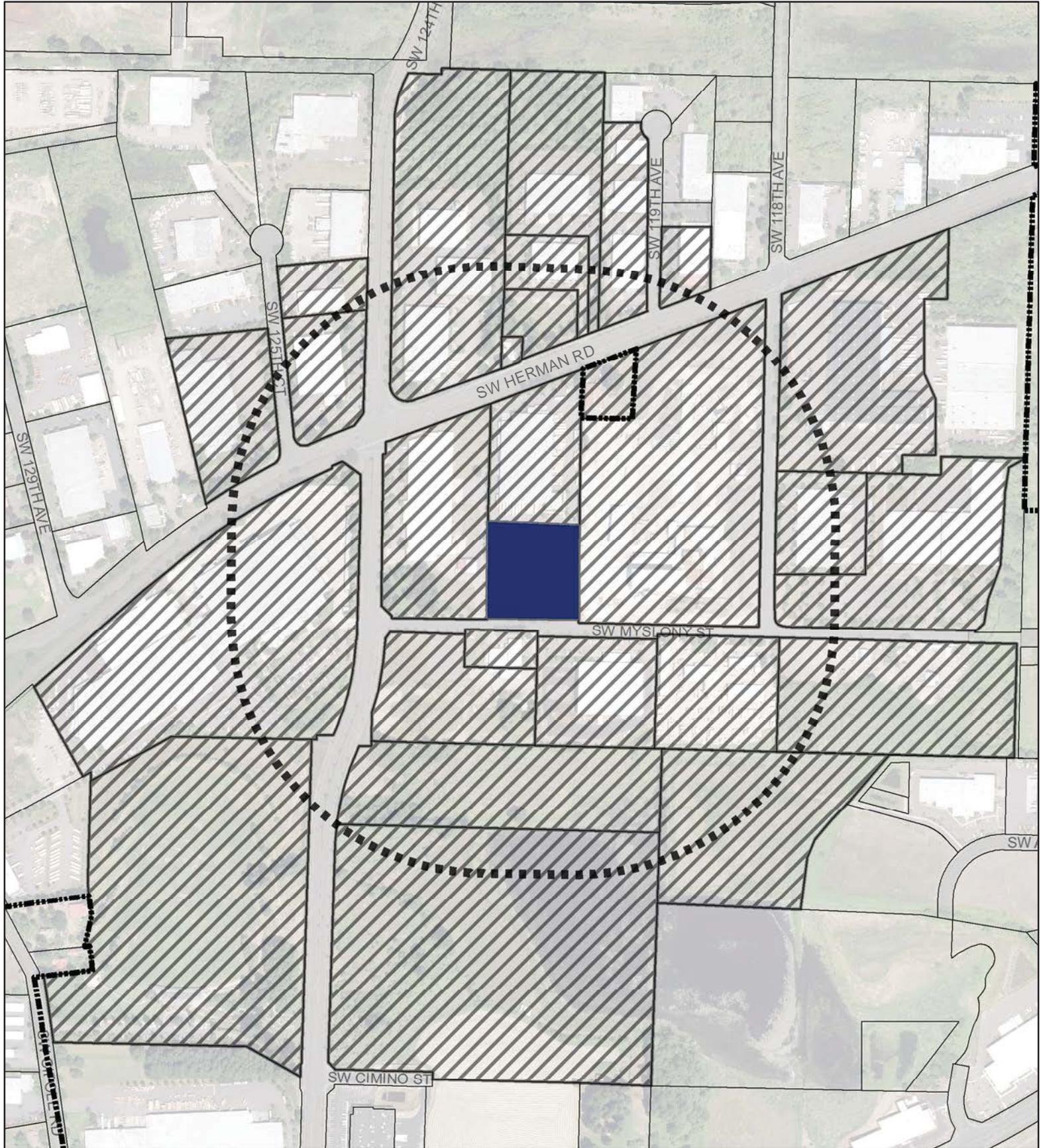
The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet and discuss this proposal and identify any issues regarding this proposal. We will have preliminary plans at the meeting to share and discuss. We look forward to meeting you.

Feel free to stop in anytime during the times listed above, and we can stay later as needed too! I am also available by email or phone as listed below if additional information is requested and you cannot attend the open house meeting.

Regards,



Corey Omey
Ernest R. Munch Architecture – Urban Planning, LLC
PH: (503) 224-1282
Corey.omey@ermunch.com



 1000' Buffer

 Selected Taxlots



Neighborhood/Developer Meeting for Project Proposal at 12241 SW Myslony St. - Message (HTML)

Message Insert Options Format Text Developer Adobe PDF

Clipboard Paste Copy Format Painter

Calibri (Bo) 11

Basic Text

Address Book Names

Attach File Attach Item Business Calendar Signature

Follow Up

Permission High Importance Low Importance

Spelling

This message has not been sent.

To: Corey Omev <corev.omev@ermunch.com>

Cc: Lynette Sanford <LSanford@ci.tualatin.or.us>; gkrbv@ci.tualatin.or.us; bntand@gmail.com; sander.5389@comcast.net; john.howorth@3i-consulting.com; lbcomad@comcast.net; jpride@frontier.com; roy@rueckco.com; rachelcarpenterrealty@gmail.com; edkcnw@comcast.net; wils.fisher@gmail.com; mwesterhaver@hotmail.com; kzlattff@comcast.net; Sammett@oregonm.org; sco2tm@capacitycommercial.com; tualatinindustrialco@gmail.com; sco2tm@capacitycommercial.com

Bcc:

Subject: Neighborhood/Developer Meeting for Project Proposal at 12241 SW Myslony St.

Attached: Neighborhood Meeting Notice.pdf (108 KB)

Dear Property Owner/ Citizen Involvement Organization Representative;

Please see the attached letter in regards to a Neighborhood / Developer meeting for a proposal at 12241 SW Myslony St. in Tualatin, OR to be submitted for Architectural Review.

Kind Regards,
Ericka Brendel

EMA Ernest R. Munch
Architecture • Urban Planning, LLC
111 SW Oak St. Suite 300, Portland OR 97204
503.224.1282 | www.ermunch.com

15-05-19 Pr... - ndm_pac... Inbox - Mic... Neighbor... Spotify Free Autodesk R... Microsoft ... CIO Contac... pta-09-07_c... ndm_packe... Microsoft P... Microsoft E... 4:25 PM 5/19/2015

NOTICE

NEIGHBORHOOD / DEVELOPER MEETING

06/05/2015 4:30p.m.

12241 SW Myslony St.

503-224-1282

(Exhibit B)

Brew Dr. Kombucha / Thomas & Sons Distillery

Neighborhood Meeting, June 5, 2015, 4:30pm-6:00pm

Neighborhood Meeting Attendance:

Matt Thomas, Owner BDK / T&SD

Seth O'Malley, BDK / T&SD

Brew master

Josh Bean, Doug Bean & Associates, Inc.

Corey Omev, Ernest R. Munch Architecture

Ericka Brendel, Ernest R. Munch Architecture

Ryse Conrad

Andy Robinson, BDK / T&SD

Mark DeLong

Hank Smith, O'Brien & Co.

Bobby, O'Brien & Co.

Mark DeLong, Tualatin Sleep Owner

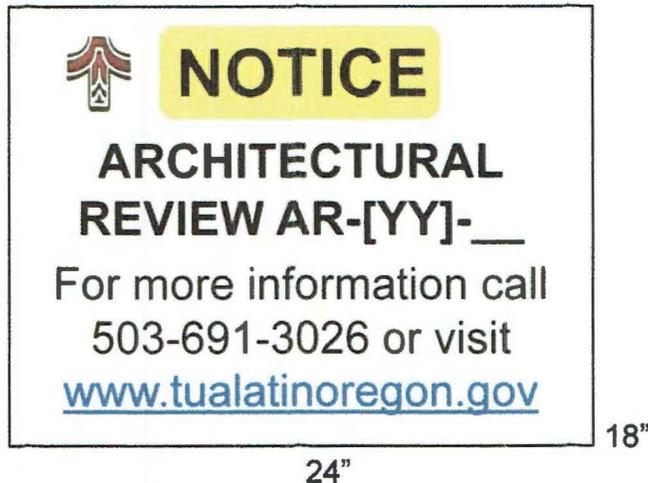
Drew Wilder, Corbin Consulting Engineers

Tony Lewellen, Corbin Consulting Engineers

Discussions:

- Project Explanation
- Supportive Comments, no questions

ARCHITECTURAL REVIEW CERTIFICATION OF SIGN POSTING



The applicant shall provide and post a sign pursuant to Tualatin Development Code (TDC) 31.064(2). Additionally, the 18" x 24" sign must contain the application number, and the block around the word "NOTICE" must remain **primary yellow** composed of the **RGB color values Red 255, Green 255, and Blue 0**. Additionally, the potential applicant must provide a flier (or flyer) box on or near the sign and fill the box with brochures reiterating the meeting info and summarizing info about the potential project, including mention of anticipated land use application(s). Staff has a Microsoft PowerPoint 2007 template of this sign design available through the Planning Division homepage at < www.tualatinoregon.gov/planning/land-use-application-sign-templates>.

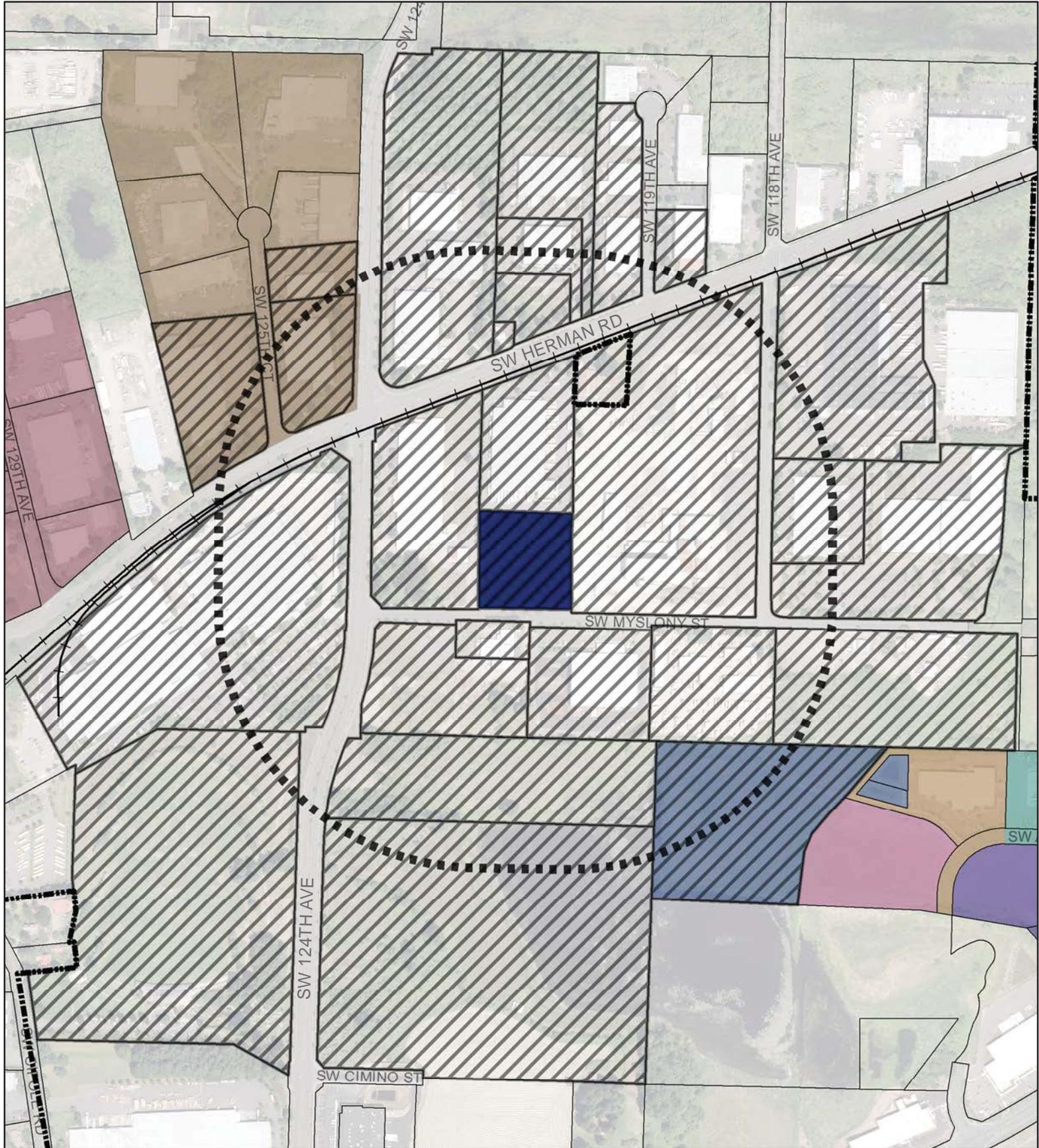
NOTE: For larger projects, the Community Development Department may require the posting of additional signs in conspicuous locations.

As the applicant for the Brew Dr. Kombucha
project, I hereby certify that on this day, 10/2/15 sign(s) was/were posted on the
subject property in accordance with the requirements of the Tualatin Development Code and the
Community Development Department - Planning Division.

Applicant's Name: Ericka Everett
(PLEASE PRINT)

Applicant's Signature: [Handwritten Signature]

Date: 11/11/15



1000' Buffer

Selected Taxlots



AR-15-0024

To lessen the bulk of the notice of application and to address privacy concerns, this sheet substitutes for the photocopy of the mailing labels. A copy is available upon request.



10295 SW Ridder Road, Wilsonville, OR 97070
O: 503.570.0626 F: 503.982.9307 republicservices.com

September 28, 2015

Ericka Everett
Ernest R. Munch
Architecture- Urban Planning
111 SW Oak St.
Suite 300
Portland OR 97204

Re: Brew Dr Tualatin Trash Enclosures

Dear Ericka;

Thank you, for sending me your site plans for this new development in Tualatin.

My Company: Republic Services of Clackamas & Washington Counties has the franchise agreement to service this area with the City of Tualatin. We provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

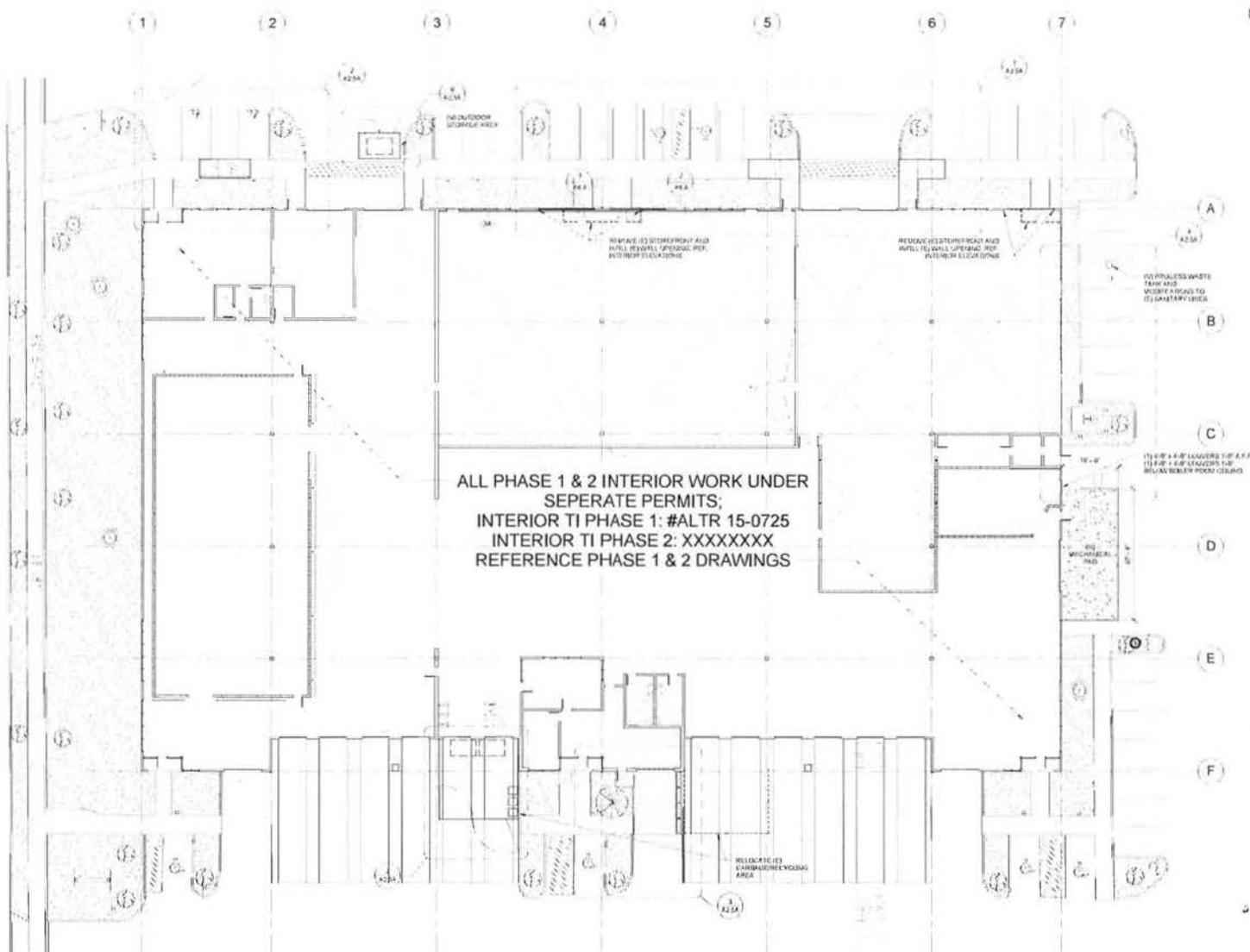
The changes you made for the location & sizes of the enclosures, the opening of the gates, and the permanent opening on the side are very much appreciated. With the changes I do not foresee any problems for my company to be able to provide solid waste and recycling services to this site.

Thank you Ericka; for your help and concerns for our services prior to this project being developed.

Sincerely,

A handwritten signature in black ink that reads "Frank J. Lonergan". The signature is fluid and cursive.

Frank J. Lonergan
Operations Manager
Republic Services Inc.



ALL PHASE 1 & 2 INTERIOR WORK UNDER SEPERATE PERMITS;
 INTERIOR TI PHASE 1: #ALTR 15-0725
 INTERIOR TI PHASE 2: XXXXXXXX
 REFERENCE PHASE 1 & 2 DRAWINGS

DRAWING SCALE NOTED FOR 22"x34" PAPER SIZE

9/28/15

78 Jureyga

EMA
 Ernest R. Munch
 Architecture + Urban Planning, LLC
 14601 SW 124th Street, Suite 100
 Portland, Oregon 97224
 Phone: 503.224.1261
 www.ernestmunch.com

Brew Dr. Kombucha
 12241 SW Mystory St
 Tualatin, OR 97062

ARCHITECTURAL REVIEW
 9/24/15

No.	Date

LEVEL 1 PHASE 3

A2.1A

FOR REFERENCE ONLY

NOT FOR CONSTRUCTION



Ward Tree Care LLC

20470 SW Prindle Rd, Tualatin, OR 97062

Tel. (503) 730-3906

ISA Certified Arborist

CCB#188437

Tree Assessment Report for 12241 SW Myslony St., Tualatin, OR 97062

This tree assessment report is included as a partial requirement for architectural review of the development project of 12241 SW Myslony St., Tualatin submitted by the architectural firm of Ernest R. Munch Urban Planning and Architecture, LLC. In addition to the Tree Preservation Site Plan, this report includes a tree inventory and assessment key to the health of the trees on the site (see attached appendix), a description of the site and how the trees are to be affected by the development, gives tree protection guidelines for the remaining trees surrounding the proposed construction, and gives a brief description of required maintenance of existing trees in accordance with standard arboricultural guidelines and practices.

Site Description, Proposed Construction, and Tree Removal

The site is an industrial building surrounded by parking spaces and landscape planters/borders that is to be remodeled on the interior space to accommodate a beverage factory. The exterior landscape is characterized by uniform rows of Callery Pear, Western Red Cedar, Incense Cedar, Red Oak, and Mountain Ash, etc. along the periphery in the beds and planters. As far as the actual impact of the proposed construction on the exterior landscape, only 2 landscape planters are to be removed along the row of parking spaces on the (eastern) side of the property. These 2 landscape planters are each about the size of a parking space and presently contain (1) 5" dbh Red Maple and (1) 6.5" dbh Red Maple, respectively—both below the 8" dbh criterion and are, to that extent, "non trees". These are listed as trees #5 and #20 on the attached site plan. Both trees presently have stem damage issues and they will not be a loss to the landscape.

In removing the landscape planters, the impact to the surrounding trees will be negligible. Trees #4 and #6 (Callery pears) are planted on the bank behind and to the side of the landscape planter which presently hosts tree #5 and both are sufficiently far removed to have few roots impacted by the construction. Likewise, trees #19 and #21 (Western Red Cedars) are planted on the bank behind and to the side of the planter which presently contains tree #20 and are to have few major roots affected by the removal of the landscape planter. The dripline of trees 4,6,19,21 is not over the curb of the existing parking lot and therefore does not require a tree protection zone beyond the curb.

The loss of planters to break up the row of parking spaces is necessary to allow trucks to access the loading bays, and will not be a great loss to the landscape since an already existing row of established Western Red Cedar and Callery Pear will provide cooling shade going forward as they grow taller. The removal of the trees and planters is therefore in accordance with TDC 34.230.

Christopher Ward, Ph.D.
ISA Certified Arborist WI-0804A
Proprietor, Ward Tree Care, LLC
wardtreecare@gmail.com
www.wardtreecare.com



Tree Protection Guidelines During Construction

The following tree protection measures are recommended. It is recommended that construction fence be placed behind where the new curb is to be completed, since no construction is to impinge upon the beds with trees immediately behind the planters to be removed. This fence should be sturdy enough to sufficiently prohibit personnel and vehicular traffic into the beds, possibly chain link or other. All roots severed from the construction process should be cut with proper root pruning cuts and not be exposed.

Tree Maintenance

Several maintenance issues should be addressed. All other trees are to be preserved.

1. Trees #30, #48, #52 show signs of stem decay requiring removal.
2. Tree #77 is planted too close to the building and requires removal.
3. Tree #66 is dead and should be removed.
4. The row of Western Red Cedar along the parking lot (trees #7-24) are showing signs of water stress (chlorosis, browning, thinning), and should be mulched with wood chips for increased moisture retention and organic amendment of the soil.
5. Trees #34-38 require pruning back from the parking spaces.
6. Trees #75 and #78 each have a notable stem girdling root to be removed.
7. Raise #76 off sidewalk.
8. Dead wood removal on all of the landscape trees is broadly recommended.



Prepared by Christopher Ward, Ph.d. on 9/29/15

Tree Identification and Tree Assessment Key 12241 SW Myslony St., Tualatin, OR, 97062

Prepared by Christopher Ward, Ph.D., ISA Certified Arborist #WI-0804A
For Ernest R. Munch Urban Planning and Architecture, LLC on 9/25/15

*=tree greater than 8" dbh

Tree id# ; Species ; size measured in "dbh" diameter at breast height (measured at 4.5' above grade) or "dsh" diameter at standard height (lowest available point on multiple trunk/stemmed trees where a single measurement can be made); condition assessment (vigor class + observations)

*1. Callery Pear (*Pyrus calleryana*); 11.5" dbh; good condition, minor foliar blight and dead wood

*2. Callery Pear; 9" dbh; good condition, minor foliar blight and dead wood

*3. Callery Pear; 9.5" dbh; good condition, minor foliar blight and dead wood

*4. Callery Pear; 8" dbh; good condition, minor foliar blight and dead wood

5. Red Maple (*Acer rubrum*); 5" dbh; acceptable condition, stem damage and phytophthora lesion

*6. Callery Pear; 8.5" dbh; acceptable condition; dead wood and foliar blight

7. Western Red Cedar (*Thuja plicata*); 5.5" dbh; good condition, a little water stressed

8. Western Red Cedar; 6" dbh; acceptable condition; water stress and sunscald on upper stem

*9. Western Red Cedar; 8.5" dbh; acceptable condition; water stressed

*10. Western Red Cedar; 8" dbh; acceptable condition; water stressed

11. Western Red Cedar; 7" dbh; acceptable condition; water stressed

12. Red Maple; 7" dbh; good condition; water stressed

*13. Western Red Cedar; 8" dbh; good condition; better than others due to its position

14. Western Red Cedar; 7" dbh; good condition; water stressed
15. Western Red Cedar; 7" dbh; good condition; water stressed
16. Western Red Cedar; 5" dbh; good condition; water stressed
- *17. Western Red Cedar; 10" dbh; good condition; water stressed
- *18. Western Red Cedar; 8" dbh; good condition; water stressed
- *19. Western Red Cedar; 8.5" dbh; good condition; water stressed
20. Red Maple; 6.5" dbh; acceptable condition although tree has a long sunscald injury or frost crack on the west side (2" x 4') which may warrant removal in future
21. Western Red Cedar; 5.5" dbh; good condition; water stressed
22. Western Red Cedar; 4.5" dbh; good condition; water stress; small stem wound ok
23. Western Red Cedar; 6" dbh; good condition; water stressed
24. Western Red Cedar; 7.5" dbh; good condition; water stressed
- *25. Western Red Cedar; 8.5" dbh; good condition; water stressed
- *26. Western Red Cedar; 8.5" dbh; good condition; water stressed
- *27. Incense Cedar (*Calocedrus decurrens*); (triple stem) 15.5" dsh; good condition
- *28. Incense Cedar; (triple stem) 22" dsh; good/excellent condition
- *29. Incense Cedar; (double stem) 20" dsh; good/excellent condition
30. Red Maple; 4" dbh; good condition; major sunscald injury/ frost crack on western facing lower stem which may warrant removal in future
- *31. Incense Cedar; (double stem) 15" dsh; good condition
32. Stump (Incense Cedar)
- *33. Incense Cedar; 15" dbh; good condition but needs clearance pruning over parking
- *34. Incense Cedar; 15" dbh; good condition but needs clearance pruning over parking

- *35. Incense Cedar; 15" dbh; good condition but needs clearance pruning over parking
- *36. Incense Cedar; 16" dbh; good condition but needs clearance pruning over parking
- 37. Callery Pear; 5" dbh; excellent condition
- 38. Incense Cedar; 7" dbh; good condition but needs clearance pruning
- *39. Incense Cedar; 15" dbh; excellent condition
- *40. Deodar Cedar (*Cedrus deodar*); 14" dbh; excellent condition
- 41. Mountain Ash (*Sorbus spp.*); 6.5" dbh; good condition; water stressed
- 42. Mountain Ash; 6.5" dbh; good condition
- 43. Mountain Ash; 6.5" dbh; good condition
- 44. Mountain Ash; 6" dbh; good condition
- 45. Mountain Ash; 7" dbh; good condition
- 46. Mountain Ash; 7" dbh; good condition
- 47. Mountain Ash; 6" dbh; good condition
- 48. Mountain Ash; 2.5" dbh; poor condition due to extensive stem damage from sunscald/frost crack injury on west side; recommend removal
- 49. Mountain Ash; 7" dbh; good to excellent condition
- 50. Mountain Ash; 4" dbh; good condition
- 51. Mountain Ash; 5.5" dbh; acceptable condition due to minor stem damage from sunscald/frost crack injury on stem
- 52. Mountain Ash; 6.5" dbh; acceptable to poor condition due to extensive stem damage from sunscald/frost crack injury; recommend removal
- *53. Mountain Ash; 8" dbh; good to excellent condition
- 54. Mountain Ash; 7.5" dbh; good to excellent condition

- *55. Mountain Ash; 8" dbh; good to excellent condition
- *56. Mountain Ash; 8" dbh; acceptable condition due to extensive stem damage from sunscald/frost crack injury (5" x 4') on west facing side; may retain and monitor
- *57. Mountain Ash; (double stem) 9" dsh; good condition
- 58. Hinoki Cypress (*Chamaecyparis obtusa*); 5" dbh; good condition
- *59. Red Oak (*Quercus Rubra*); 8.5" dbh; good to excellent condition; minor dead wood
- 60. Hinoki Cypress; 4" dbh; good condition
- *61. Red Oak; 11.5" dbh; good condition; minor dead wood
- 62. Red Oak; 6.5" dbh; good condition; minor dead wood
- *63. Red Oak; 8" dbh; good condition; minor dead wood
- *64. Red Oak; 10" dbh; good condition; minor dead wood
- *65. Red Oak; 9" dbh; good condition; minor dead wood
- 66. Hinoki Cypress; 4.5" dbh; DEAD tree should be removed.
- *67 Red Oak; 11" dbh; good condition; minor dead wood
- *68. Red Oak; 11" dbh; good condition; minor dead wood
- *69. Red Oak; 9" dbh; good condition; minor dead wood
- *70. Callery Pear; 11" dbh; good condition; minor dead wood, blight
- *71. Callery Pear; 9.5" dbh; good condition; ibid.
- 72. Red Maple; 7" dbh; good condition
- 73. Red Maple; 5" dbh; good condition
- 74. Red Maple; 6" dbh; good condition
- *75. Red Maple; 9" dbh; good condition although has a stem girdling root which needs to be removed
- *76. Callery Pear; 13" dbh; good condition but raise off sidewalk.

- *77. Western Red Cedar; 16" dbh; good condition but planted far too close to building; recommend pruning off building or removal of tree.
- *78. Callery Pear; 13" dbh; good condition but has one stem girdling root to be removed.
- *79. Callery Pear; 9" dbh; good condition
- *80. Katsura tree (*Cercidiphyllum japonicum*); 8.5" dbh; excellent condition
- *81 Callery Pear; 10" dbh; good condition
- *82. Callery Pear; 8" dbh; good condition but some minor basal cavities; capable of being retained and monitored
- *83. Callery Pear; 12" dbh; good condition
- *84. Callery Pear; 10.5" dbh; good condition
- *85. Callery Pear; 11.5" dbh; good condition



Double Face Non-Illuminated Display



SPECIFICATIONS

FACES / CABINET:
 *.080" Aluminum;
 Painted to Match Existing

POSTS:
 *4" Aluminum

VINYL:
 *3M 220 37 Sapphire Blu

Brew Dr. Kombucha Architectural Review Package Page 52 of 52



Salem Sign Co., Inc.

1825 FRONT ST. N.E.
 SALEM, OR 97301
503-371-6362
 FAX 503-371-0901
 e-mail signs@salem-sign.com
 CCB# 65297



THIS DRAWING IS THE PROPERTY
 OF SALEM SIGN CO., INC.

SK# 14052-15A

FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for car lots, street lighting or parking areas.

CONSTRUCTION — Rugged, .063" thick, aluminum rectilinear housing. Formed for weather-tight seal and integrity. Naturally anodized, extruded aluminum door frame with mitered corners, is retained with two .188" diameter hinge pins and secured with one quarter-turn, quick-release fastener. Weatherproof seal between housing and door frame is accomplished with an integrally designed, extruded silicone gasket that snaps into the door frame, and another gasket applied to the housing.

Finish: Standard finish is dark bronze (DDB), polyester powder finish with other architectural colors available.

OPTICS — Reflectors are anodized and segmented for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Five cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff), Type IV (wide, forward throw), Type V (square). Lens is .125" thick impact-resistant tempered glass with thermally applied silk-screened shield.

ELECTRICAL — Ballast: Constant wattage autotransformer for 250–400W. Super CWA pulse-start ballast required for 320W and 350W (SCWA option). Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for 250–400W (SCWA option) for U.S. shipments only. CSA or INTL required for probe-start shipments outside the U.S.

Ballasts are 100% factory-tested.

Socket is porcelain, horizontally mounted mogul base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W-600V.

INSTALLATION — Extruded aluminum arm for pole or wall mounting is shipped in fixture carton. Optional mountings available.

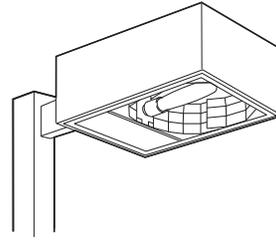
LISTING — UL listed (standard). CSA Certified (see Options). NOM Certified (see Options). UL listed for 25°C ambient temperature and wet locations. IP65 rated.

WARRANTY — 1-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type



Specifications

EPA: 2.0 ft² (.28 m²)

(includes arm)

Length: 24-19/32 (62.5)

Width: 17-25/32 (62.5)

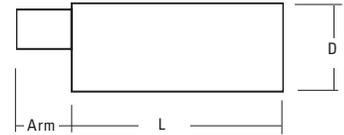
Depth: 8-5/16 (21.1)

Arm: 4 (10.2)

*Weight: 52 lbs (23.6 kg)

*Weight as configured in example below.

All dimensions are inches (centimeters) unless otherwise specified.



Mounting option	Drilling template
SPxx, RPxx, DA12P	5
WBxx, DA12WB	6
WWxx	7

Area Lighting

KSF2

METAL HALIDE: 250–400W

HIGH PRESSURE SODIUM: 200–400W

15' to 25' Mounting

ORDERING INFORMATION

For shortest lead times, configure product using **bolded options**.

Example: KSF2 400M R3 TB SCWA SP04 LPI

Series	Wattage	Distribution	Voltage	Ballast	Mounting
KSF2	Metal halide 250M ¹ 350M ^{2,3,4} 320M ^{2,3} 400M ^{1,2} High pressure sodium ⁵ 200S 400S 250S	R2 Type II roadway R3 Type III asymmetric R4SC Type IV forward throw, sharp cutoff R4W Type IV wide, forward throw R5S Type V square	120 347 208 ⁶ 480 ⁶ 240 ⁶ TB ⁷ 277 23050HZ ⁸	(blank) Magnetic CWI Contant wattage isolated Pulse Start SCWA Super CWA pulse-start ballast NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	Type SP ___ Square pole RP___ Round pole WB___ Wall bracket WW___ Wood pole or wall bracket Arm length ⁹ 04 4" arm 06 6" arm 09 9" arm 12 12" arm Shipped separately DA12P Degree arm, pole DA12WB Degree arm, wall KMA Mast arm adapter KTMB Twin mounting bar

Options	Finish ¹⁶	Lamp ¹⁸
Shipped installed in fixture PER NEMA twist-lock receptacle only (no photocontrol) SF Single fuse (120, 277, 347V) n/a TB ¹⁰ DF Double fuse (208, 240, 480V) n/a TB ¹⁰ QRS Quartz restrrike system ¹¹ QRSTD QRS time delay ^{8,11}	(blank) Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum CRT Non-stick protective coating ¹⁷ <u>Super Durable Finishes</u> DDBXD Dark bronze DBLXD Black	LPI Lamp included L/LP Less lamp Consistent with LEED [®] goal & Green Globes [™] criteria for light pollution reduction
EC Emergency circuit ¹¹ CSA CSA Certified NOM NOM Certified ⁸ INTL Available for MH probe-start shipping outside the U.S. KW1 KiloWatch [®] 120V control relay ¹² KW4 KiloWatch [®] 277V control relay ¹² REGC1 California Title 20 effective 1/1/2010	Shipped separately ¹³ PE1 NEMA twist-lock PE (120, 208, 240V) PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap for PER option HS House side shield (R2, R3) ^{14,15} VG Vandal guard ¹⁴	DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories: Tenon Mounting Slipfitter						
Number of fixtures.						
Tenon O.D.	One	Two@180°	Two@90° ¹⁹	Three@120°	Three@90° ¹⁹	Four@90° ¹⁹
2-3/8" (6)	T20-190	T20-280	T20-290	T20-320	T20-390	T20-490
2-7/8" (7.3)	T25-190	T25-280	T25-290	T25-320	T25-390	T25-490
4" (10.2)	T35-190	T35-280	T35-290	T35-320	T35-390	T35-490

Notes

- These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 is not available in 347V or 480V.
- Use reduced jacketed lamp.
- Must be ordered with SCWA.
- These wattages do not comply with California Title 20 regulations.
- Not available with SCWA.
- Must specify CWI for use in Canada.
- Optional multi-tap ballast (120, 208, 240, 277V); (120, 277, 347V in Canada).
- Consult factory for available wattages.
- Use 9" arm when two or more luminaires are oriented on a 90° drilling pattern.
- Must specify voltage. Not available with TB.
- Maximum allowable wattage lamp included.
- KiloWatch[®] controls are available only with 250S or 400S.
- May be ordered as an accessory.
- Prefix with KSF2 when ordering as an accessory.
- Available with R2 and R3 distributions only.
- See www.lithonia.com/archcolors for additional color options.
- Black finish only.
- Must be specified.
- Must use RP09 or RP12.

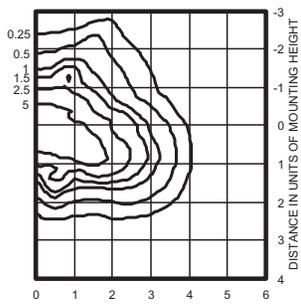
KSF2 Arm-Mounted Rectilinear Cutoff Lighting

Coefficient of Utilization

Initial Footcandles

KSF2 400M R2 TEST NO: 1193031801P

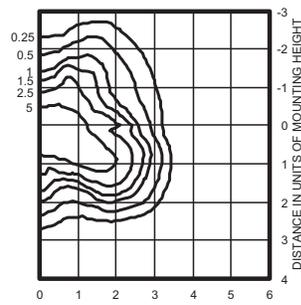
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KSF2 400M R3 TEST NO: 119410051P

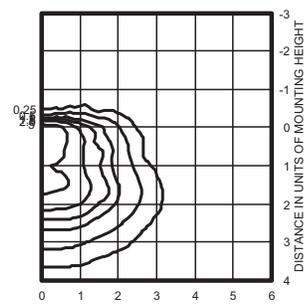
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type III, Short, Full Cutoff

KSF2 400M R4SC TEST NO: 1193041301P

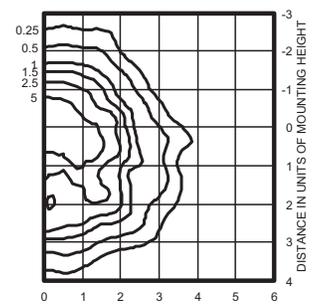
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type IV, Very Short), Full Cutoff

KSF2 400M R4W TEST NO: LTL8509P

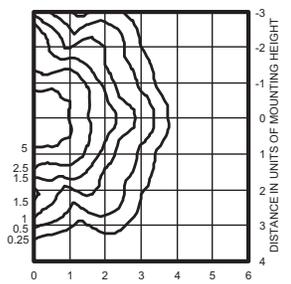
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type IV, Short, Full Cutoff

KSF2 400M R5S TEST NO: 1193051801P

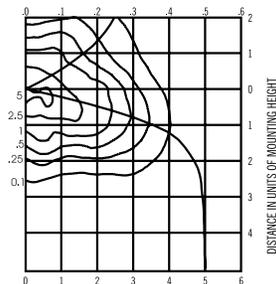
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type IV, Very Short), Full Cutoff

KSF2 400S R2 Test No. 1193031601

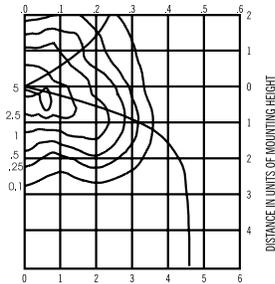
COEFFICIENT OF UTILIZATION



400W High Pressure Sodium lamp, 50000 rated lumens. Footcandle values based on 35' mounting height. Distribution II, cutoff.

KSF2 400S R3 Test No. TEST NO. 1194091501

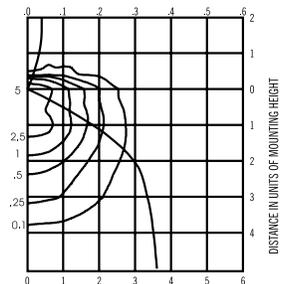
COEFFICIENT OF UTILIZATION



400W High Pressure Sodium lamp, rated lumens. Footcandle values based on 35' mounting height. Distribution III, cutoff.

KSF2 400S R4SC Test No. 1193042201

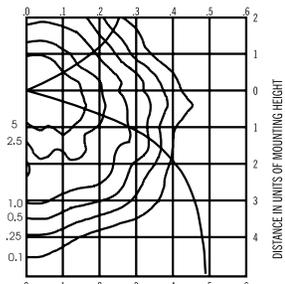
COEFFICIENT OF UTILIZATION



400W High Pressure Sodium lamp, 50000 rated lumens. Footcandle values based on 35' mounting height. Distribution IV, sharp cutoff.

KSF2 400S R4W Test No. LTL8506

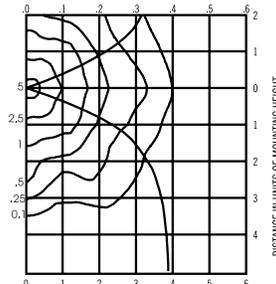
COEFFICIENT OF UTILIZATION



400W High Pressure Sodium lamp, 50000 rated lumens. Footcandle values based on 20' mounting height. Distribution IV wide, froward throw.

KSF2 400S R5S Test No. 1193051704

COEFFICIENT OF UTILIZATION



400W High Pressure Sodium lamp, 50000 rated lumens. Footcandle values based on 35' mounting height. Distribution V, cutoff.

NOTES:

- Photometric data for other distributions can be accessed from the Lithonia Lighting website. (www.Lithonia.com)
- For electrical characteristics, consult outdoor technical data specification sheets on www.Lithonia.com.
- Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory and actual field measurements. Dimensions and specifications are based on the most current available data and are subject to change.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

35' mounting height	20' mounting height
15 ft. = 5.4	15 ft. = 1.78
30 ft. = 1.36	30 ft. = 0.45
40 ft. = 0.77	40 ft. = 0.25

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction Factor}$$

D-Series Size 2 LED Wall Luminaire



d^{series}

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

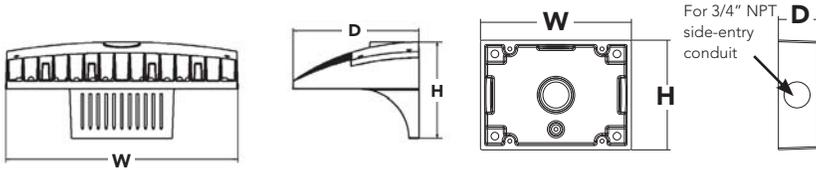
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 76% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED	Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)			
DSXW2 LED	30C	30 LEDs (three engines)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT ¹	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁴	Shipped installed SF Single fuse (120, 277, 347V) ⁷	DDBXD Dark bronze			
			530 530 mA	40K 4000 K	T2M Type II Medium	120 ¹							
			700 700 mA	50K 5000 K	T3S Type III Short	208 ¹							
			1000 1000 mA (1 A)	AMBPC Amber phosphor converted	T3M Type III Medium	240 ¹							
					T4M Type IV Medium	277 ¹							
					TFTM Forward Throw Medium	347 ²							
	30C	30 LEDs (three engines)			ASYDF Asym-metric diffuse	480 ²	Shipped separately ³ BBW Surface-mounted back box (for conduit entry)	DMG 0-10V dimming driver (no controls)	HS House-side shield ³	DDBTXD Textured dark bronze			
											Shipped separately ³ BSW Bird-deterrent spikes		
												WG Wire guard	
													VG Vandal guard

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240 or 277 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347V, 480V or PIRH. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net.
- Specifies the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell) or DCR. Dimming driver standard.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ⁹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ⁹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ⁹
SCU	Shorting cap ³
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com

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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20C (20 LEDs)	530	36 W	T2S	3,649	1	0	1	101	3,876	1	0	1	108	3,429	1	0	1	95
			T2M	3,478	1	0	1	97	3,694	1	0	1	103	3,267	1	0	1	91
			T3S	3,609	1	0	1	100	3,833	1	0	1	106	3,390	1	0	1	94
			T3M	3,572	1	0	1	99	3,794	1	0	1	105	3,356	1	0	1	93
			T4M	3,500	1	0	2	97	3,717	1	0	2	103	3,288	1	0	1	91
			TFTM	3,638	1	0	1	101	3,864	1	0	1	107	3,418	1	0	1	95
			ASYDF	3,252	1	0	2	90	3,454	1	0	2	96	3,056	1	0	2	85
			ASDF	4,502	1	0	1	96	4,776	1	0	1	102	4,794	1	0	1	102
	700	47 W	T2M	4,290	1	0	1	91	4,552	1	0	1	97	4,569	1	0	1	97
			T3S	4,452	1	0	1	95	4,723	1	0	2	100	4,741	1	0	2	101
			T3M	4,407	1	0	2	94	4,675	1	0	2	99	4,693	1	0	2	100
			T4M	4,318	1	0	2	92	4,581	1	0	2	97	4,598	1	0	2	98
			TFTM	4,488	1	0	2	95	4,761	1	0	2	101	4,779	1	0	2	102
			ASYDF	4,012	1	0	2	85	4,257	1	0	2	91	4,273	1	0	2	91
			T2S	5,963	2	0	2	81	6,327	1	0	1	84	6,351	1	0	1	85
			T2M	5,683	2	0	2	77	6,029	1	0	2	80	6,052	1	0	2	81
	1000	74 W	T3S	5,896	1	0	2	80	6,256	1	0	2	83	6,280	1	0	2	84
			T3M	5,837	2	0	3	79	6,193	1	0	2	83	6,216	1	0	2	83
			T4M	5,719	1	0	2	77	6,067	1	0	2	81	6,090	1	0	2	81
			TFTM	5,944	1	0	2	80	6,307	1	0	2	84	6,330	1	0	2	84
			ASYDF	5,314	1	0	2	72	5,638	2	0	2	75	5,660	2	0	2	75
			T2S	4,333	1	0	1	80	5,280	1	0	1	98	5,769	1	0	1	107
			T2M	4,216	1	0	1	78	5,137	1	0	2	95	5,613	1	0	2	104
			T3S	4,279	1	0	1	79	5,214	1	0	1	97	5,696	1	0	1	105
30C (30 LEDs)	530	54 W	T3M	4,349	1	0	2	81	5,298	1	0	2	98	5,789	1	0	2	107
			T4M	4,291	1	0	1	79	5,228	1	0	2	97	5,712	1	0	2	106
			TFTM	4,287	1	0	1	79	5,223	1	0	2	97	5,707	1	0	2	106
			T2S	5,346	1	0	1	75	6,513	1	0	1	92	7,118	2	0	2	100
			T2M	5,201	1	0	2	73	6,337	2	0	2	89	6,925	2	0	2	98
			T3S	5,279	1	0	1	74	6,431	1	0	2	91	7,028	1	0	2	99
	700	71 W	T3M	5,365	1	0	2	76	6,536	1	0	2	92	7,143	2	0	3	101
			T4M	5,293	1	0	2	75	6,449	1	0	2	91	7,047	1	0	2	99
			TFTM	5,289	1	0	2	74	6,444	1	0	2	91	7,042	1	0	2	99
			T2S	7,137	2	0	2	65	8,697	2	0	2	80	9,501	2	0	2	87
			T2M	6,944	2	0	2	64	8,462	2	0	2	78	9,244	2	0	2	85
			T3S	7,047	1	0	2	65	8,588	1	0	2	79	9,381	2	0	2	86
1000	109 W	T3M	7,162	2	0	3	66	8,728	2	0	3	80	9,534	2	0	3	87	
		T4M	7,066	1	0	2	65	8,611	1	0	2	79	9,407	2	0	2	86	
		TFTM	7,060	1	0	2	65	8,604	2	0	2	79	9,399	2	0	2	86	

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	73 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

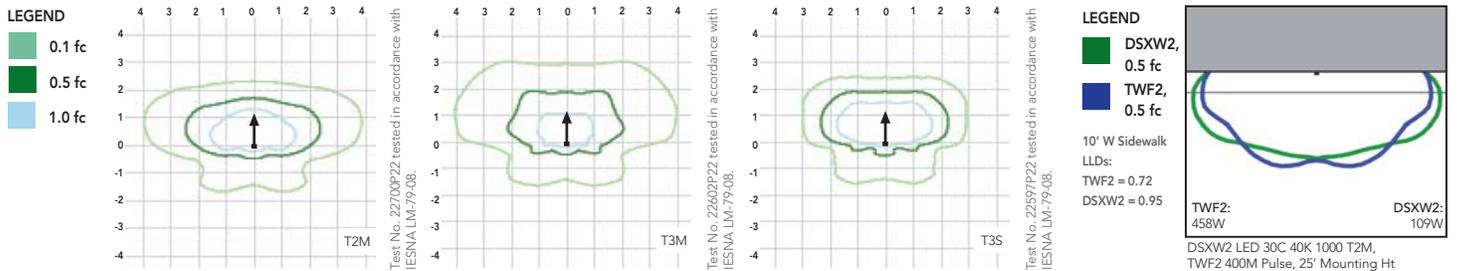
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 2 homepage.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (80 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



FINISHES AND COLOR GUIDE

FLUROPON® AND BAKED ENAMEL - STANDARD COLORS

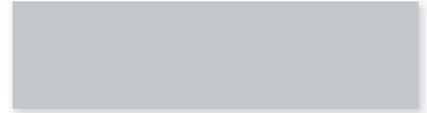
The 15 colors below are available in Fluropon (70% PVDF) or Baked Enamel (50% PVDF) finishes only.



* BONE WHITE (24)



* DARK BRONZE (75)



* PORTLAND STONE (49)



* LIGHT STONE (43)



* SHELBURNE (69)



* FOREST GREEN (36)



* SANDSTONE (67)



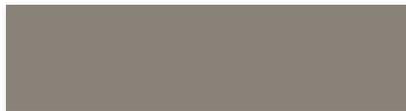
* HERRINGBONE (37)



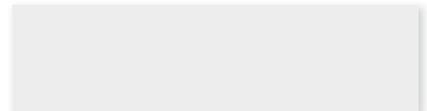
* CORONADO RED (34)



* SAHARA TAN (65)



* STONE GRAY (78)



* ASCOT WHITE (19)



* BLACK (89)



* MEDIUM BRONZE (72)



* TAUPE (52)

PEARLEDIZE 70 AND PEARLEDIZE 50 STANDARD COLORS

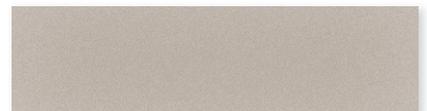
The 9 colors below are available in Pearledize 70, Pearledize 50, Clear or Color Anodize finishes only, and may be more expensive than the Fluropon and Baked Enamel colors shown above. *Italicized color names and codes are available in Anodized Finish.*



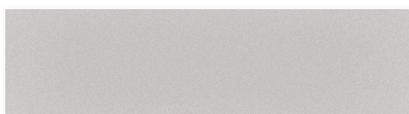
* DARK BRONZE (75)
* *DARK BRONZE (75)*



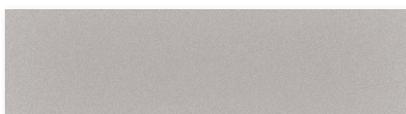
* MEDIUM BRONZE (72)
* *MEDIUM BRONZE (72)*



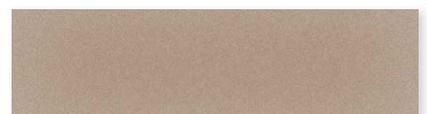
* CHAMPAGNE BRZ (71)
* *CHAMPAGNE BRZ (71)*



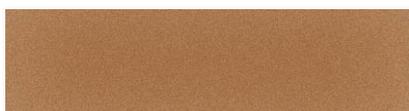
* BRIGHT SILVER (88)
* *Clear 204R1 & 215R1 (00)*



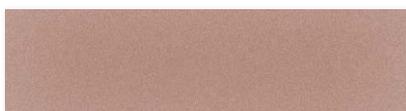
* WARM SILVER (96)



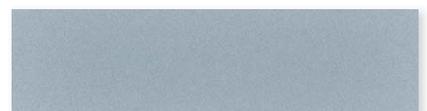
* ASTI (86)



* COPPER (92)



* CORAL REEF (93)



* BLUE (05)

The colors shown herein are only a sample of thousands of colors available.

Please contact RUSKIN for information regarding custom color matching.

Disclaimer: This color card is for reference only and is not meant to be used for color matching or final color approval. Shades may vary due to the color and resolution of the computer screen or print-out. Ruskin is not responsible for color matches made with this online color chart.

RUSKIN®

FINISHES AND COLOR GUIDE



Factory finishes by *RUSKIN* are designed for low VOC emissions and eliminate the risk of VOC emissions found in louver finishes that are applied on site. All *RUSKIN* manufacturing facilities operate in full compliance with all applicable air permitting regulations. All facilities maintain ISO 14001 Environmental Management Systems which include VOC emission reduction strategies including state of the art spray equipment and operator training.

TYPE OF FINISH

FINISH SPECIFICATIONS

FLUROPON® OR 70% PVDF

RUSKIN Superior Finish: 70% PVDF paint finishes provide maximum resistance against color fade and chalking. This carbon/fluorine bond, unique to the resin, when coupled with the finest inorganic pigments, produces the most durable and long lasting finish in the industry. These finishes are resistant to most chemicals, acid rain, salt spray and general air pollution. *RUSKIN* offers a twenty-year warranty on these finishes in standard colors on standard extruded aluminum products. All standard colors meet or exceed AAMA 2605-11.*

Before paint application, louvers shall be thoroughly cleaned and pretreated to assure maximum performance. Fluropon or PVDF finish shall be applied to provide 1.2 mils (30µm) factory applied, baked-on film in accordance with AAMA 2605-11* "Voluntary Specification Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Architectural Extrusions and Panels". Color shall be *RUSKIN* (specify color name and number).

BAKED ENAMEL - 50% ACROFLUR/PVDF

RUSKIN'S High Performance Finish: Acroflur or 50% PVDF finishes provide fluoropolymer benefits such as long color life and resistance to chalking and chemicals. For optimization of the price-benefit ratio, they are appropriate coatings for today's non-monumental projects. Twenty-year warranty for standard color on standard extruded aluminum products is also available for *RUSKIN'S* Baked Enamel.

Louvers shall receive factory applied, baked-on Acroflur or 50% PVDF based color coating following thorough cleaning and pretreatment of metal. The finish shall be applied at 1.2 mils (30µm) total dry film thickness in accordance with AAMA 2604-05† Section 4.2 and 4.3. Color shall be *RUSKIN* (specify color name and number).

PRIME COAT

Preparation for field painting. Finish may be topcoated with epoxy, vinyl, urethane and other heavy-duty coatings within six months of applications. Prime coat contaminations always occurs before field painting and requires thorough field cleaning prior to painting.

Louvers shall receive prime coating following thorough cleaning and pretreatment of metal. Field topcoat with epoxy, vinyl, urethane or other heavy-duty coating within six months of application. Prime coat shall be a minimum of .3 ± .1 mils (8 ± 3µm) thick.

PEARLEDIZE 70 AND PEARLEDIZE 50

RUSKIN'S High Pearlescent Finish. Pearledize is a PVDF-based finish that utilizes pearlescent mica pigments to simulate the metallic appearance of anodized and metallic paint finishes. Available as Pearledize 70 (70% PVDF) and Pearledize 50 (50% PVDF), Pearledize 70 meets the AAMA 2605-11* specification while Pearledize 50 meets the AAMA 2604-05† specification. A twenty-year warranty is available on standard colors on standard extruded aluminum products.

Louvers shall receive thorough cleaning and pretreatment as described above. Pearledize coating shall be applied and baked to achieve a hard durable finish in compliance with either AAMA 2605-11* or AAMA 2604-05† as selected and specified. Color shall be *RUSKIN* (specify color name and number).

COLOR ANODIZE

Electrolytically deposited coating on aluminum: The color anodize process specified in Aluminum Association Code AA-C22A44 electrolytically deposits inorganic color pigment finish to a 0.7 mil (18µm) minimum surface depth on sulfuric acid anodized aluminum. Treated aluminum is sealed to convert a freshly formed aluminum oxide finish to a corrosion resistant, inert condition. Available only on aluminum. Some shade variation may occur.

Louvers shall receive electrolytically deposited color anodized finish complying with Aluminum Association Code AA-C22A44. Finish is applied to 0.7 mils (18µm) minimum thickness onto chemically etched and pretreated aluminum. Color shall be *RUSKIN* (specify color name).

CLEAR ANODIZE

Clear oxide coating for aluminum: Clear anodize preoxidizes the aluminum surface for uniform clear finish not easily affected by natural oxidizing influences. Improved metallic luster appearance is similar to mill finish. 204-R1 (Aluminum Association Code AA-C22A31) provides 0.4 mil (10µm) minimum surface depth treatment recommended for normal weather exposure. 215-R1 (Aluminum Association Code AA-C22A41) provides 0.7 mils (18µm) minimum surface depth recommended for severely corrosive and abrasive atmospheric exposure. Both finish types available only on aluminum.

Louvers shall receive a 204-R1 clear anodize finish complying with Aluminum Association Code-C22A31. Finish is applied to chemically etched and pretreated aluminum to 0.4 mils (10µm) minimum surface depth by a 30 minute anodizing process. Louvers shall receive a 215-R1 clear anodize finish complying with Aluminum Association Code AA-C22A41. Finish is applied to chemically etched and pretreated aluminum to 0.7 mils (18µm) minimum surface depth by a 60 minute anodizing process.

Dimensions in parentheses () indicate microns. Fluropon is registered trademark of Valspar.

*AAMA 2605-11 is the most stringent performance specification for organic coatings or exterior aluminum finishes in the industry, requiring 10 years south Florida exposure.

†AAMA 2604-05 supersedes AAMA 605 and requires 5 years of south Florida exposure.

•*RUSKIN'S* Fluropon-based finishes (Fluropon, Baked Enamel, Pearledize 50 and Pearledize 70) and prime coat finishes are provided by Valspar. Twenty-year warranties are only available on extruded aluminum products, and are subject to restrictions. Consult *RUSKIN* for additional information.

FIN-1011/replaces FIN-510

RUSKIN®

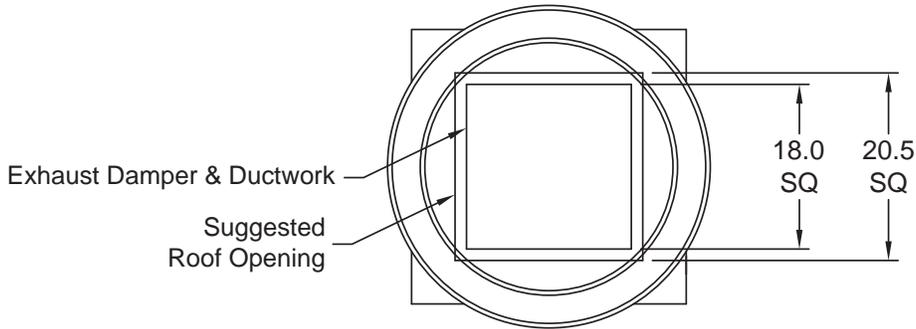
valspar

Brew Dr. Kombucha Architectural Review Package Page 59 of 72

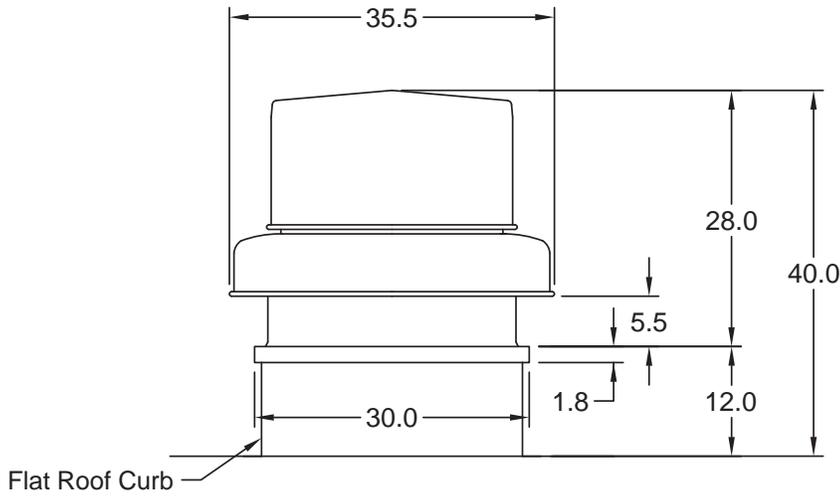
if it matters, we're on it.®

Assembly Drawing

Type: Direct Drive Centrifugal Roof Exhaust Fan



TOP VIEW



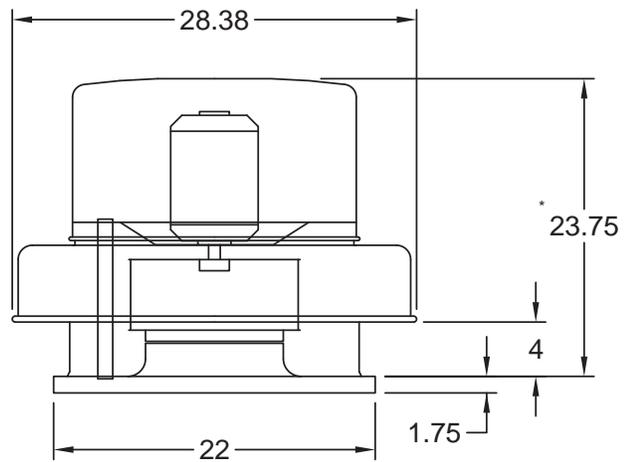
FRONT VIEW

Notes: All dimensions shown are in units of in..

Model: G-143-VG

Direct Drive Centrifugal Roof Exhaust Fan

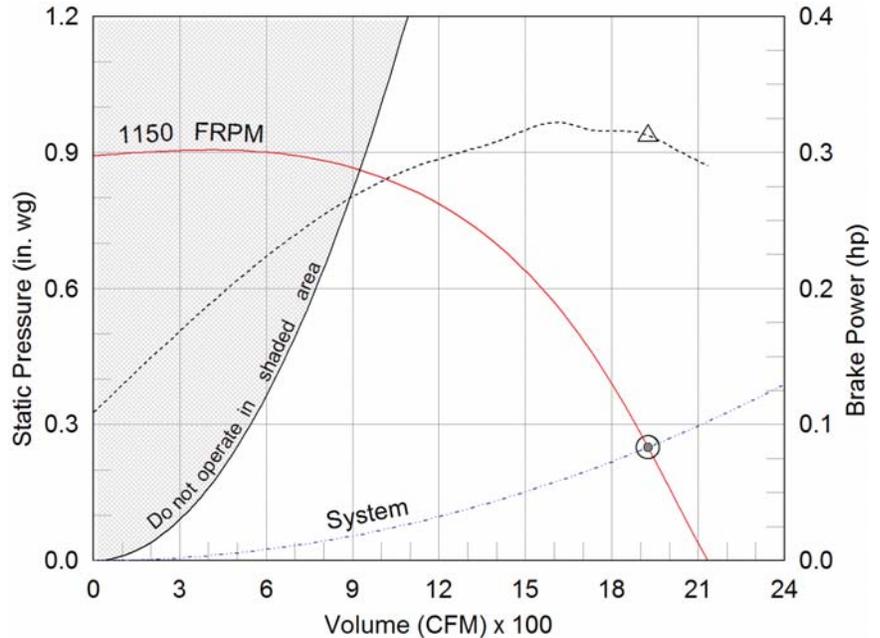
Dimensional	
Quantity	2
Weight w/o Acc's (lb)	50
Weight w/ Acc's (lb)	97
Optional Damper (in.)	16 x 16
Roof Opening (in.)	18.5 x 18.5



Reference assembly view drawings for actual dimensions with mounted accessories

*Overall height may be greater depending on motor

Performance	
Requested Volume (CFM)	1,925
Actual Volume (CFM)	1,925
External SP (in. wg)	0.25
Total SP (in. wg)	0.25
Fan RPM	1150
Operating Power (hp)	0.31
Elevation (ft)	108
Airstream Temp.(F)	70
Air Density (lb/ft3)	0.075
Tip Speed (ft/min)	4,404
Static Eff. (%)	24



- △ Operating Bhp point
- Operating point at Total SP
- Operating point at External SP
- Fan curve
- - - System curve
- - - Brake horsepower curve

Motor	
Motor Mounted	Yes
Size (hp)	1/2
Voltage/Cycle/Phase	115/60/1
Enclosure	ODP
Motor RPM	1200
Windings	1
FLA (Amps)	6.7

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	76	77	76	68	63	63	56	50	72	60	10.7

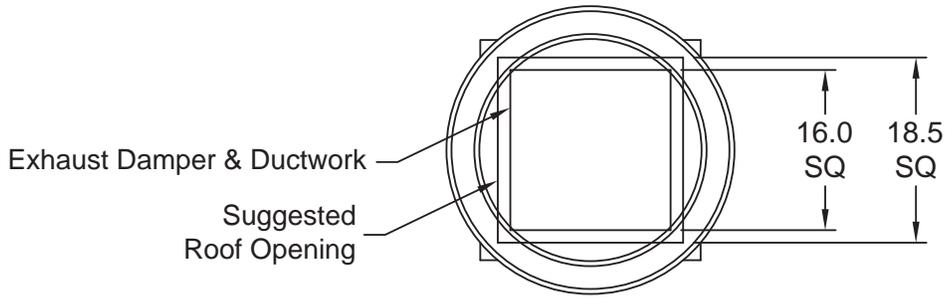
Notes:

All dimensions shown are in units of in.
*FLA - based on tables 150 or 148 of National Electrical Code 2002. Actual motor FLA may vary, for sizing thermal overload, consult factory.
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB attenuation per Octave band at 5 ft - dBA levels are not licensed by AMCA International
Sones - calculated using AMCA 301 at 5 ft

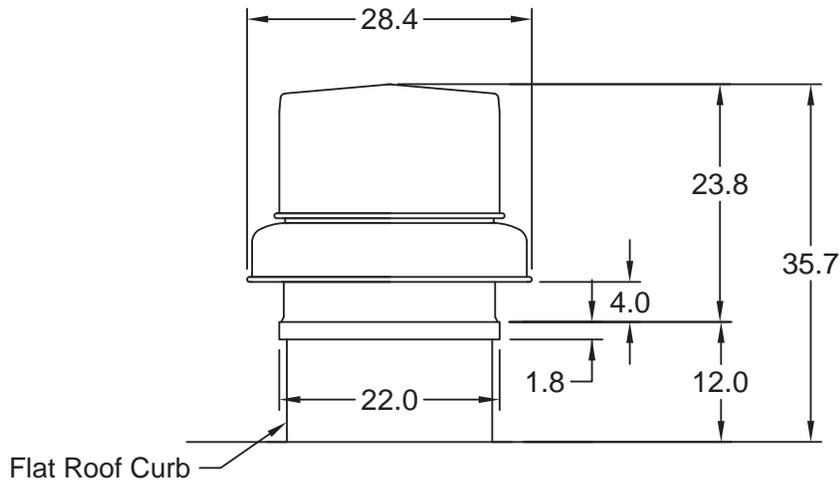


Assembly Drawing

Type: Direct Drive Centrifugal Roof Exhaust Fan

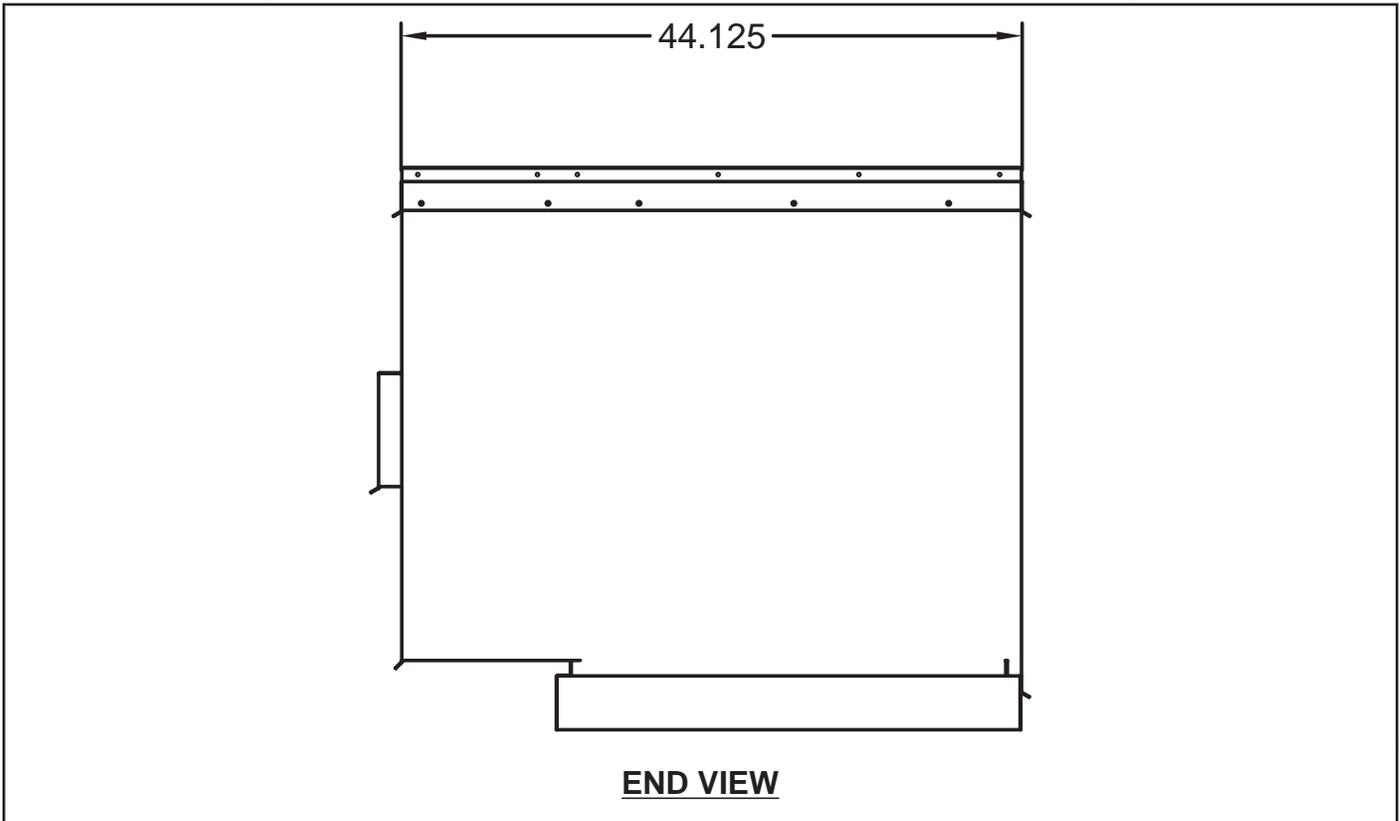


TOP VIEW



FRONT VIEW

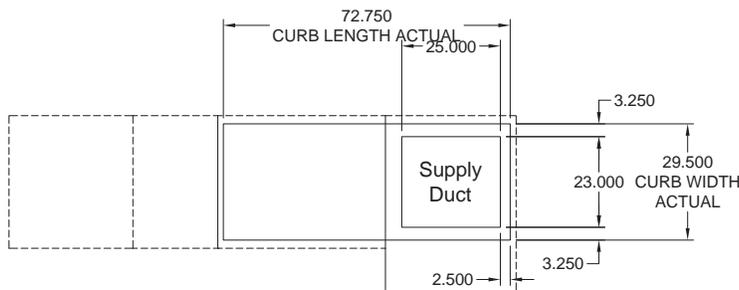
Notes: All dimensions shown are in units of in..



NOTE: Roof Opening Requirements:

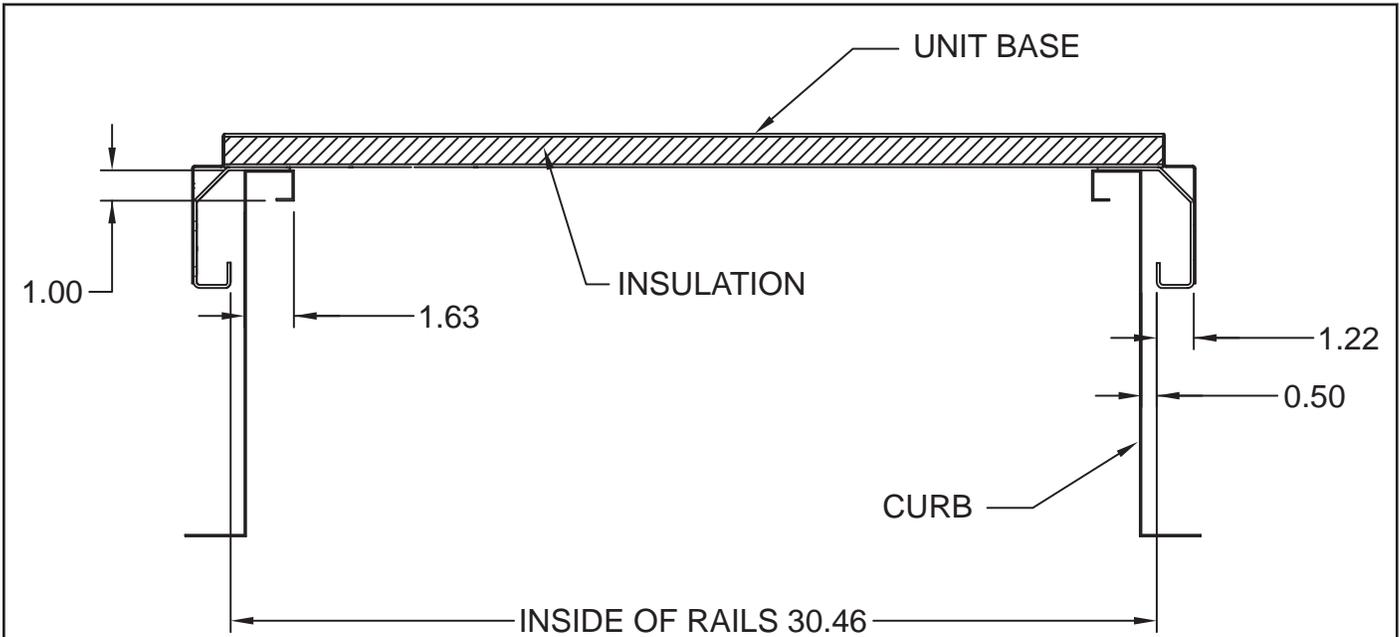
Minimum Roof Opening: The minimum roof opening size is the illustrated duct diameter plus 0.25" on all sides.
For example: If the duct size is 14 x 14 inches square, the minimum roof opening size is 14.5 x 14.5 inches square.

Maximum Roof Opening: There must be a minimum perimeter of 1.75" between the roof opening and the roof curb.
For example: If the roof curb is 75 x 30 inches square, the maximum roof opening is 71.5 x 26.5 inches square.



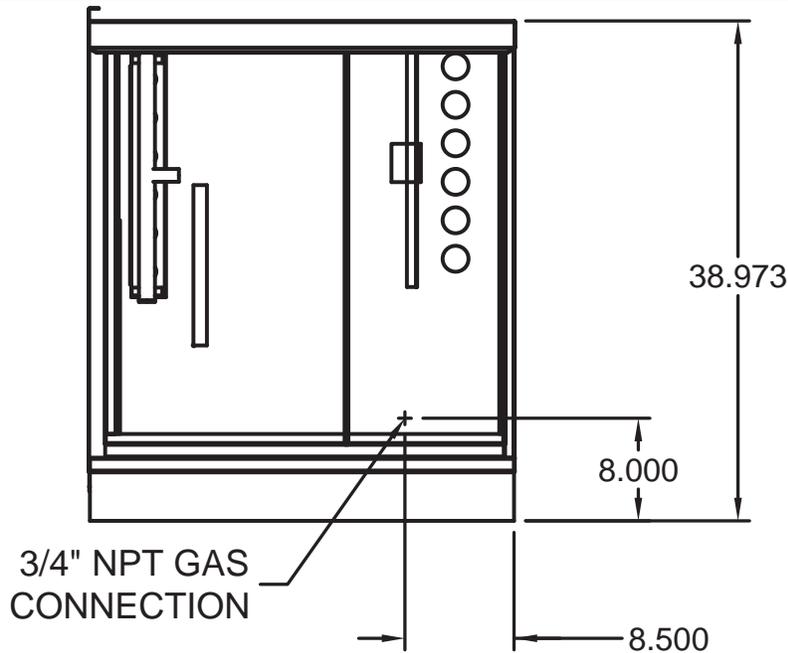
NOTE: The weatherhood and filter sections of the make-up air unit are not supported by the curb.
This is by design, in order to help alleviate water infiltration issues.

FOOTPRINT VIEW



CURB VIEW

Notes: All dimensions shown are in in.'s.
Curb Dimension: Length = 72.75 in. Width = 29.5 in. Height = 12 in.



Gas Connections

Certified Drawing for RTU-1

Project: BDK
Prepared By: Airefco, Inc.

11/06/2015
02:20PM

NOTES:

1. DIMENSIONS ARE IN INCHES. DIMENSIONS IN [] ARE IN MILLIMETERS.
2. CENTER OF GRAVITY
3. DIRECTION OF AIR FLOW

UNIT	J	K (1 PHASE)	K (3 PHASE)
48KC 04	33 3/8 [847]	14 7/8 [377]	14 7/8 [377]
48KC 05	33 3/8 [847]	14 7/8 [377]	18 5/8 [472]
48KC 06	41 3/8 [1051]	14 7/8 [377]	18 5/8 [472]

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CARRIER

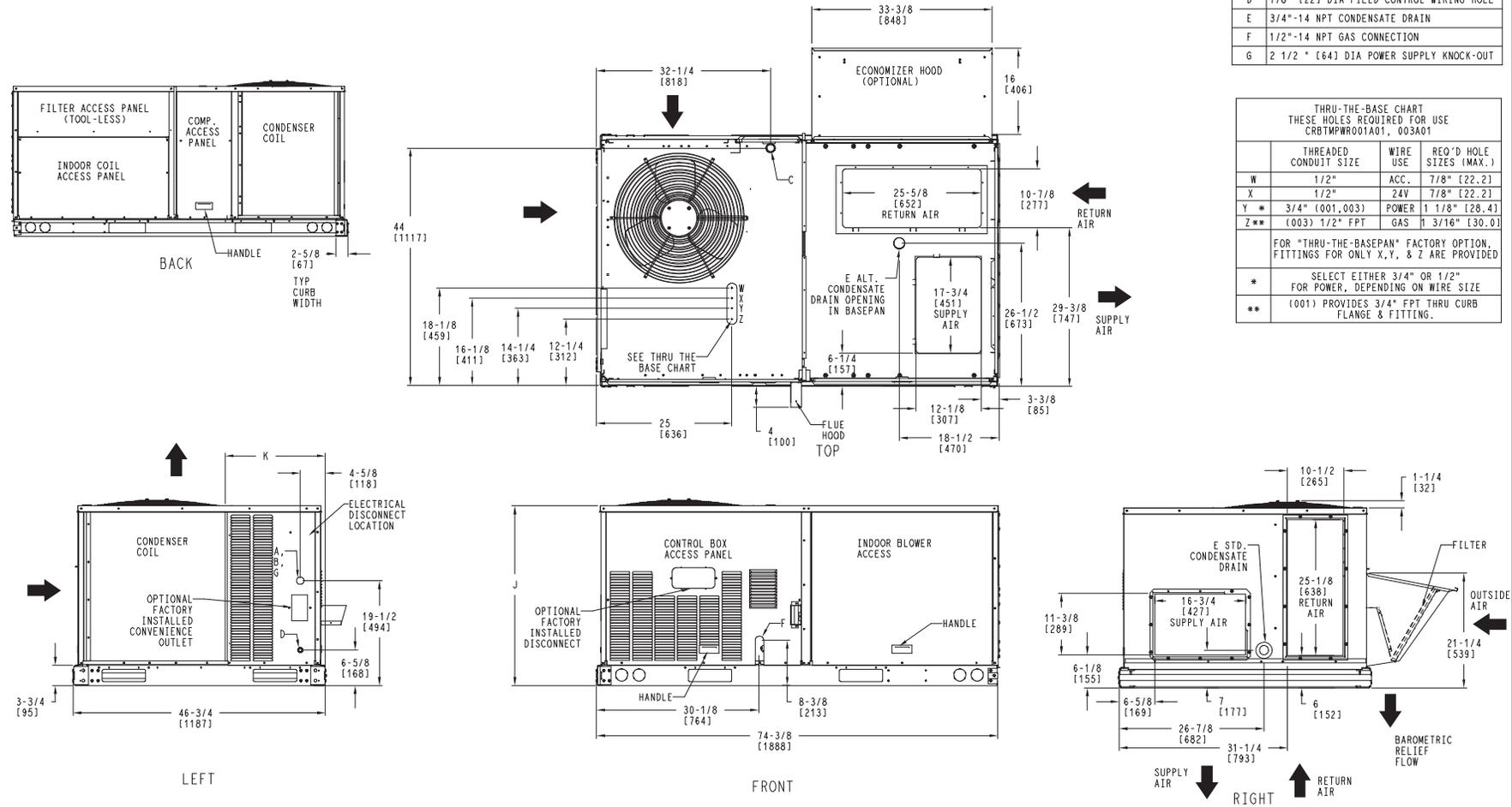
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SUBMISSION OF THESE DRAWINGS OR DOCUMENTS DOES NOT CONSTITUTE PART PERFORMANCE OR ACCEPTANCE OF CONTRACT.

CONNECTION SIZES	
A	1 3/8" [35] DIA FIELD POWER SUPPLY HOLE
B	2" [50] DIA POWER SUPPLY KNOCKOUT
C	1 3/4" [51] DIA GAUGE ACCESS PLUG
D	7/8" [22] DIA FIELD CONTROL WIRING HOLE
E	3/4"-14 NPT CONDENSATE DRAIN
F	1/2"-14 NPT GAS CONNECTION
G	2 1/2" [64] DIA POWER SUPPLY KNOCK-OUT

THRU-THE-BASE CHART THESE HOLES REQUIRED FOR USE CRBTMPWRO01A01, 003A01			
	THREADED CONDUIT SIZE	WIRE USE	REQ'D HOLE SIZES (MAX.)
W	1/2"	ACC.	7/8" [22.2]
X	1/2"	24V	7/8" [22.2]
Y *	3/4" (001,003)	POWER	1 1/8" [28.4]
Z **	(003) 1/2" FPT	GAS	1 3/16" [30.0]

FOR "THRU-THE-BASEPAN" FACTORY OPTION, FITTINGS FOR ONLY X, Y, & Z ARE PROVIDED
 * SELECT EITHER 3/4" OR 1/2" FOR POWER, DEPENDING ON WIRE SIZE
 ** (001) PROVIDES 3/4" FPT THRU CURB FLANGE & FITTING.



SHEET	DATE	SUPERCEDES	DESCRIPTION	UNIT	REV
1 OF 2	09-16-14	-	48KC 04-06 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48KC000281	-

Brew Dr. Kombucha Architectural Review Package Page 67 of 72

Certified Drawing for RTU-1

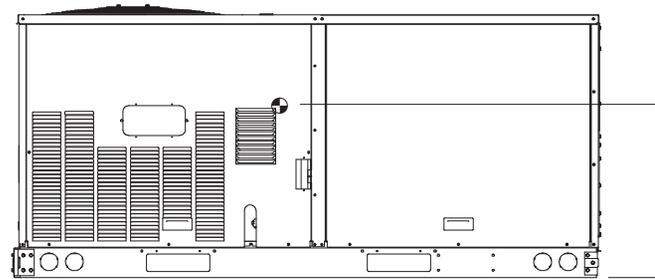
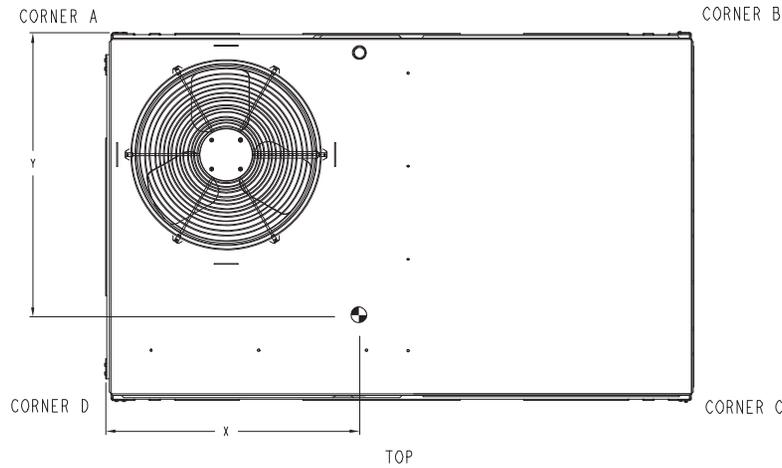
Project: BDK
Prepared By: Airefco, Inc.

11/06/2015
02:20PM

UNIT	STD. UNIT WEIGHT		CORNER WEIGHT (A)		CORNER WEIGHT (B)		CORNER WEIGHT (C)		CORNER WEIGHT (D)		C.G.			HEIGHT
	LBS.	KG.	LBS.	KG.	LBS.	KG.	LBS.	KG.	LBS.	KG.	X	Y	Z	
48KC 04	490	222	120	54	111	50	125	56	135	61	35 3/4 [908]	24 3/4 [628]	18 7/8 [479]	
48KC 05	544	246	130	58	126	57	142	64	146	66	36 3/4 [933]	24 3/4 [628]	18 7/8 [479]	
48KC 06	597	270	141	64	156	70	158	71	142	64	39 1/8 [993]	23 1/2 [597]	20 1/8 [511]	

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* STANDARD UNIT WEIGHT IS WITH LOW GAS HEAT AND WITHOUT PACKAGING.
FOR OTHER OPTIONS AND ACCESSORIES, REFER TO THE PRODUCT DATA CATALOG.



SHEET 2 OF 2	DATE 09-16-14	SUPERCEDES -	48KC 04-06 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48KC000281	REV -
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Brew Dr. Kombucha Architectural Review Package Page 68 of 72

Certified Drawing for RTU-1

Project: BDK
Prepared By: Airefco, Inc.

11/06/2015
02:20PM

Service Clearance

C08337

LOCATION	DIMENSION	CONDITION
A	48-in (1219 mm)	• Unit disconnect is mounted on panel
	18-in (457 mm)	• No disconnect, convenience outlet option
	12-in (305 mm)	• Recommended service clearance
B	42-in (1067 mm)	• Minimum clearance
	36-in (914 mm)	• Surface behind servicer is grounded (e.g., metal, masonry wall)
	Special	• Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)
C	Special	• Check for sources of flue products within 10- ft. of unit fresh air intake hood
	36-in (914 mm)	• Side condensate drain is used
	18-in (457 mm)	• Minimum clearance
D	48-in (1219 mm)	• No flue discharge accessory installed, surface is combustible material
	42-in (1067 mm)	• Surface behind servicer is grounded (e.g., metal, masonry wall, another unit)
	36-in (914 mm)	• Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)
	Special	• Check for adjacent units or building fresh air intakes within 10- ft. of this unit's flue outlet

NOTE: Unit not designed to have overhead obstruction. Contact Application Engineering for guidance on any application planning overhead obstruction or vertical clearances.

Chassis 1-2

Brew Dr. Kombucha Architectural Review Package Page 69 of 72

Certified Drawing for RTU-2

Project: BDK
Prepared By: Airefco, Inc.

11/06/2015
02:20PM

NOTES:

1. DIMENSIONS ARE IN INCHES. DIMENSIONS IN [] ARE IN MILLIMETERS.
2. CENTER OF GRAVITY
3. DIRECTION OF AIR FLOW

UNIT	J	K (1 PHASE)	K (3 PHASE)
48KC 04	33 3/8 [847]	14 7/8 [377]	14 7/8 [377]
48KC 05	33 3/8 [847]	14 7/8 [377]	18 5/8 [472]
48KC 06	41 3/8 [1051]	14 7/8 [377]	18 5/8 [472]

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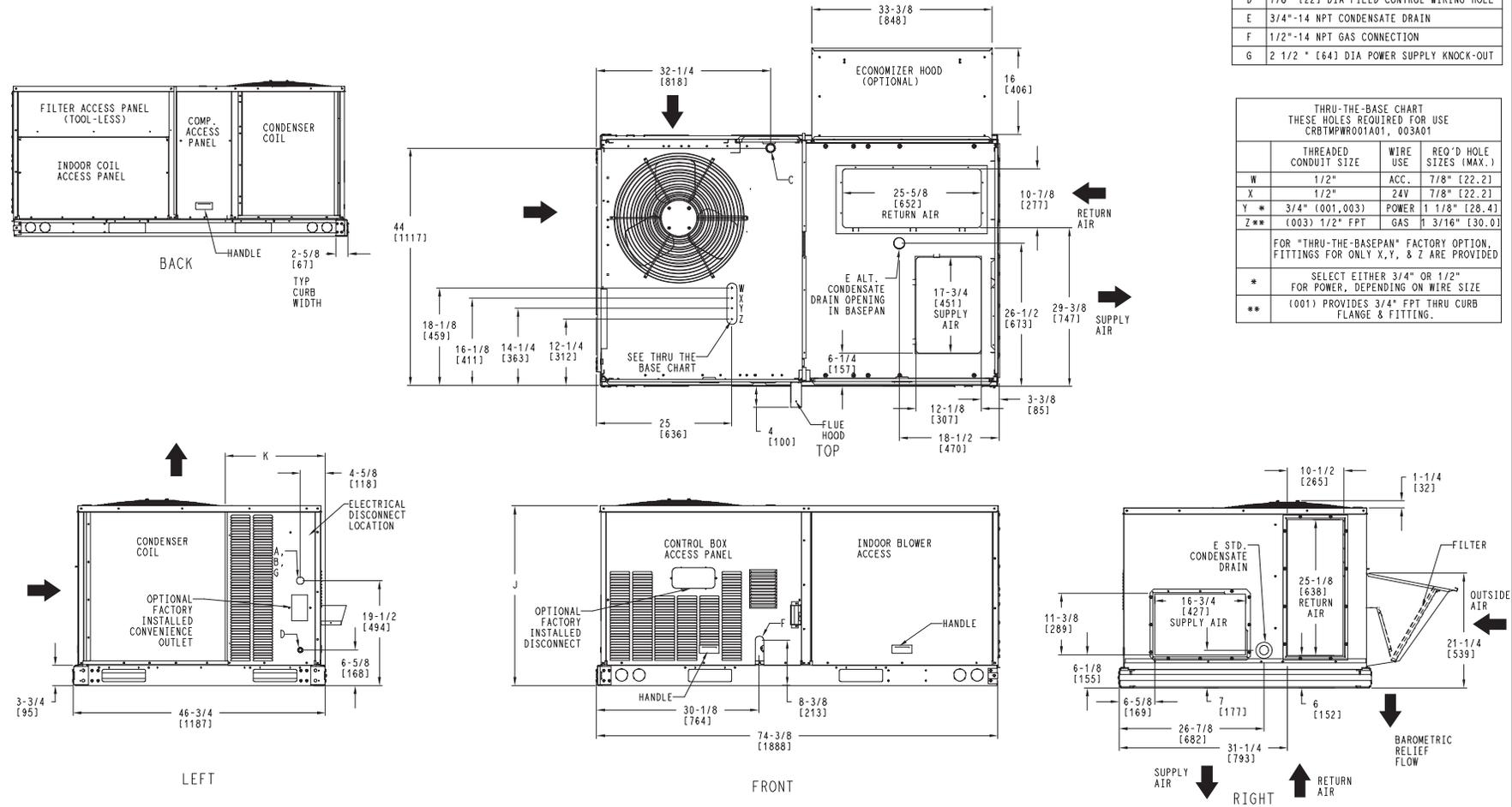
CONNECTION SIZES	
A	1 3/8" [35] DIA FIELD POWER SUPPLY HOLE
B	2" [50] DIA POWER SUPPLY KNOCKOUT
C	1 3/4" [51] DIA GAUGE ACCESS PLUG
D	7/8" [22] DIA FIELD CONTROL WIRING HOLE
E	3/4"-14 NPT CONDENSATE DRAIN
F	1/2"-14 NPT GAS CONNECTION
G	2 1/2" [64] DIA POWER SUPPLY KNOCK-OUT

THRU-THE-BASE CHART THESE HOLES REQUIRED FOR USE CRBTMPWRO01A01, 003A01			
	THREADED CONDUIT SIZE	WIRE USE	REQ'D HOLE SIZES (MAX.)
W	1/2"	ACC.	7/8" [22.2]
X	1/2"	24V	7/8" [22.2]
Y *	3/4" (001,003)	POWER	1 1/8" [28.4]
Z **	(003) 1/2" FPT	GAS	1 3/16" [30.0]

FOR "THRU-THE-BASEPAN" FACTORY OPTION, FITTINGS FOR ONLY X, Y, & Z ARE PROVIDED

* SELECT EITHER 3/4" OR 1/2" FOR POWER, DEPENDING ON WIRE SIZE

** (001) PROVIDES 3/4" FPT THRU CURB FLANGE & FITTING.



SHEET 1 OF 2	DATE 09-16-14	SUPERCEDES -	48KC 04-06 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48KC000281	REV -
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Brew Dr. Kombucha Architectural Review Package Page 70 of 72

Certified Drawing for RTU-2

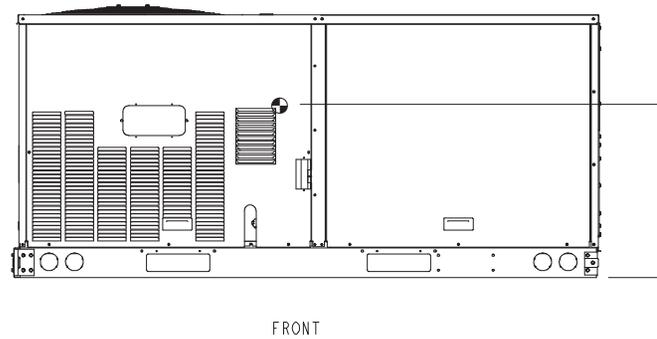
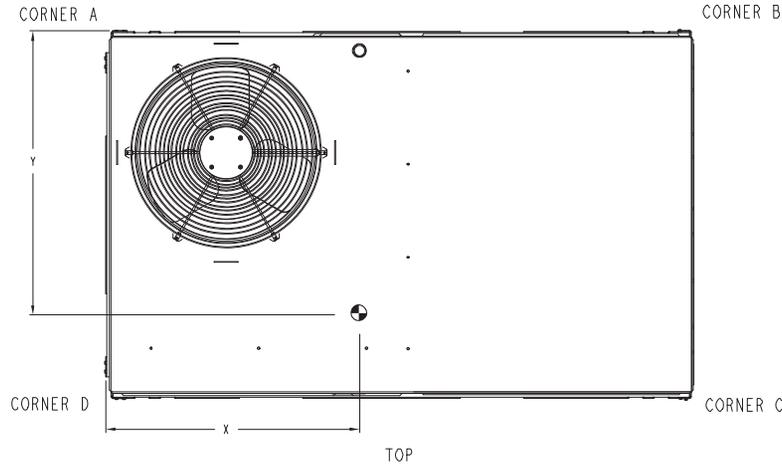
Project: BDK
Prepared By: Airefco, Inc.

11/06/2015
02:20PM

UNIT	STD. UNIT WEIGHT		CORNER WEIGHT (A)		CORNER WEIGHT (B)		CORNER WEIGHT (C)		CORNER WEIGHT (D)		C.G.			HEIGHT
	LBS.	KG.	LBS.	KG.	LBS.	KG.	LBS.	KG.	LBS.	KG.	X	Y	Z	
48KC 04	490	222	120	54	111	50	125	56	135	61	35 3/4 [908]	24 3/4 [628]	18 7/8 [479]	
48KC 05	544	246	130	58	126	57	142	64	146	66	36 3/4 [933]	24 3/4 [628]	18 7/8 [479]	
48KC 06	597	270	141	64	156	70	158	71	142	64	39 1/8 [993]	23 1/2 [597]	20 1/8 [511]	

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* STANDARD UNIT WEIGHT IS WITH LOW GAS HEAT AND WITHOUT PACKAGING.
FOR OTHER OPTIONS AND ACCESSORIES, REFER TO THE PRODUCT DATA CATALOG.



SHEET 2 OF 2	DATE 09-16-14	SUPERCEDES -	48KC 04-06 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48KC000281	REV -
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Brew Dr. Kombucha Architectural Review Package Page 71 of 72

Certified Drawing for RTU-2

Project: BDK
Prepared By: Airefco, Inc.

11/06/2015
02:20PM

Service Clearance

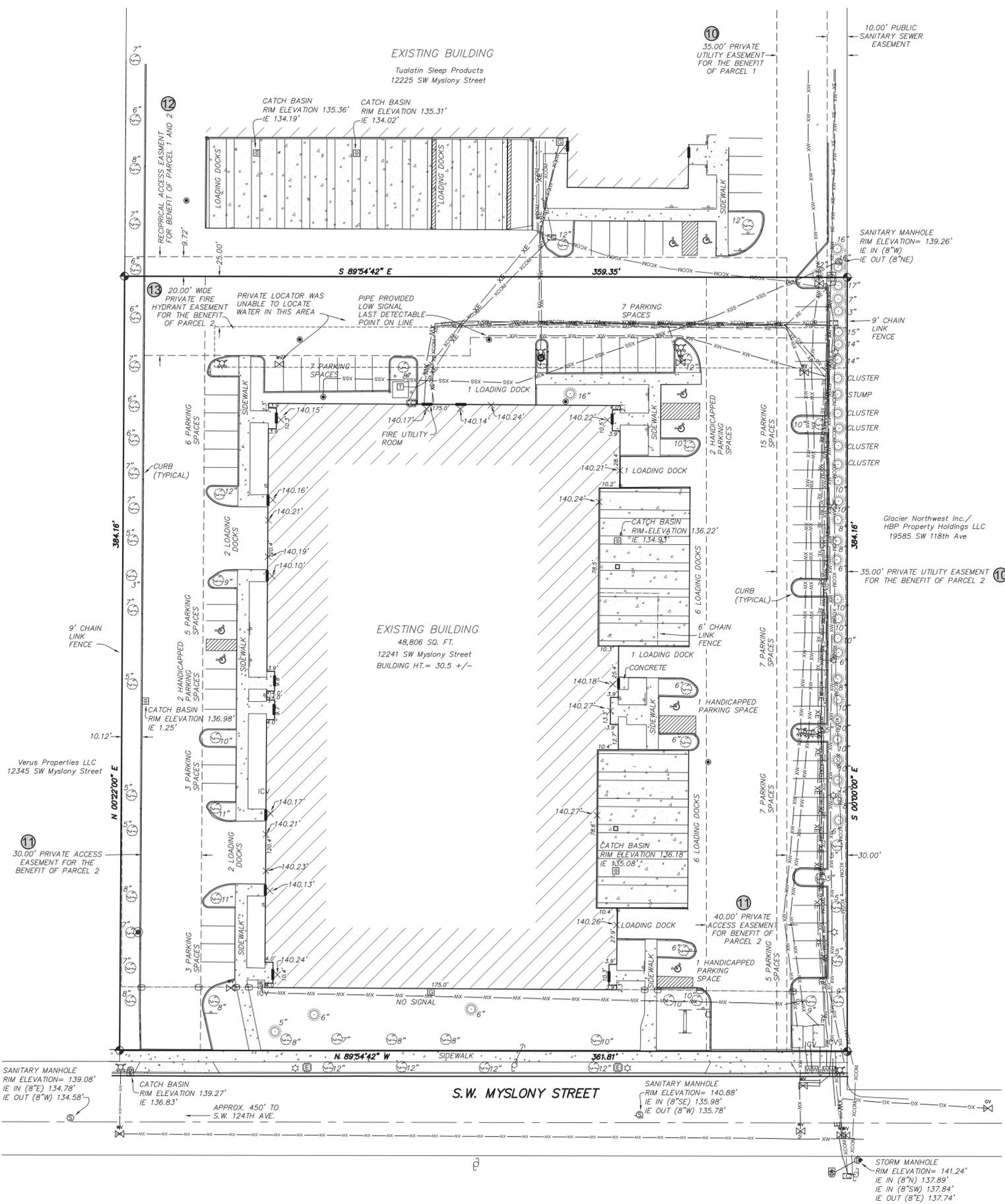
C08337

LOCATION	DIMENSION	CONDITION
A	48-in (1219 mm)	• Unit disconnect is mounted on panel
	18-in (457 mm)	• No disconnect, convenience outlet option
	12-in (305 mm)	• Recommended service clearance
B	42-in (1067 mm)	• Minimum clearance
	36-in (914 mm)	• Surface behind servicer is grounded (e.g., metal, masonry wall)
	Special	• Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)
C	Special	• Check for sources of flue products within 10- ft. of unit fresh air intake hood
	36-in (914 mm)	• Side condensate drain is used
	18-in (457 mm)	• Minimum clearance
D	48-in (1219 mm)	• No flue discharge accessory installed, surface is combustible material
	42-in (1067 mm)	• Surface behind servicer is grounded (e.g., metal, masonry wall, another unit)
	36-in (914 mm)	• Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)
	Special	• Check for adjacent units or building fresh air intakes within 10- ft. of this unit's flue outlet

NOTE: Unit not designed to have overhead obstruction. Contact Application Engineering for guidance on any application planning overhead obstruction or vertical clearances.

Chassis 1-2

Brew Dr. Kombucha Architectural Review Package Page 72 of 72



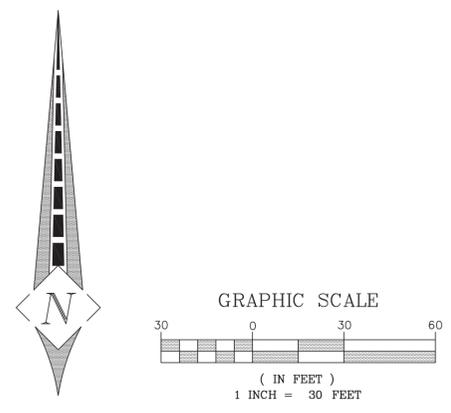
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No Significant Observations

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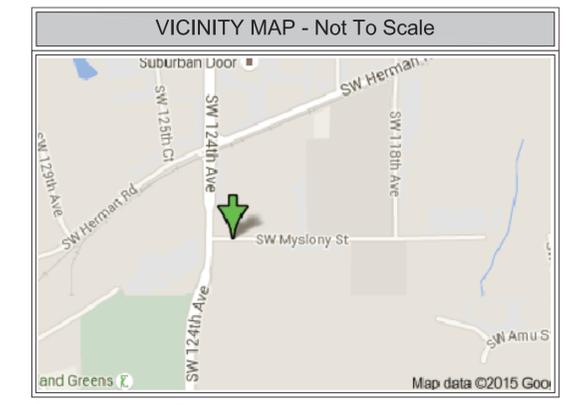
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| EVERGREEN TREE | GUY WIRE |
| STORM SEWER MANHOLE | TRAFFIC SIGNAL POLE |
| SANITARY SEWER CLEANOUT | ELECTRICAL POWER PEDESTAL |
| CATCH BASIN | COMMUNICATIONS PEDESTAL |
| SANITARY SEWER MANHOLE | COMMUNICATIONS MANHOLE |
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| FIRE HYDRANT | ELECTRICAL LINE |
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FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 41023, MAP NUMBER 4102380519C WHICH BEARS AN EFFECTIVE DATE OF February 18, 2005 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

BENCHMARK NOTE

VERTICAL CONTROL AND DATUM BASED ON FOUND WASHINGTON COUNTY BENCHMARK STAMPED WASH CO BM 102.9.81. FOUND IN CONCRETE FILLED WITH STEEL AT NORTHWEST CORNER OF THE INTERSECTION OF SW COPOLE ROAD AND THE SOUTHERN PACIFIC RAILROAD CROSSING, WITH AN ELEVATION OF 157.296, 1929 DATUM.

ALTA/ACSM LAND TITLE SURVEY

Site Address:
 12241 SW Myslony Street, Tualatin, OR

Based upon Title Commitment No. NCS-731721-OR1 of First American Title Company of Oregon bearing an effective date of May 11, 2015

Surveyor's Certification
 To: Tualatin Sleep, an Oregon limited liability company, and First American Title Company of Oregon:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11(a), 11(b), 13, 16, and 20 of Table A thereof. The field work was completed on May 19, 2015.

James B. Brown
 Registered Land Surveyor No.: 60379
 in the State of Oregon
 Date of Survey: May 20, 2015
 Date of Last Revision:

SIGNED ON:
REGISTERED PROFESSIONAL LAND SURVEYOR

Survey Performed By:
 Centerline Concepts Land Surveying, Inc.
 729 Molalla Avenue, Suite 2
 Oregon City, OR 97045
 Phone: 503-650-0188
 Fax: 503-650-0189
 Email: mikew@centerlineconcepts.com

ORIGINATION:
 OREGON
 NOVEMBER 30, 2007
JAMES BURTON BROWN
 60379

VALID THROUGH DECEMBER 31, 2015

SHEET C0.1

CENTERLINE CONCEPTS LAND SURVEYING, INC.
 729 MOLALLA AVE., SUITE 1 & 2
 OREGON CITY, OREGON 97045
 PHONE 503.650.0188 FAX 503.650.0189

DRAWING SCALE
NOTED FOR 22"x34"
PAPER SIZE

EMA Ernest R. Munch
Architecture • Urban Planning, LLC
111 S.W. Oak Street, Ste. 300 | Portland, Oregon 97204
office: (503) 224-1282 | www.ermunch.com

Brew Dr. Kombucha

12241 SW Myslony St. Tualatin, OR 97062

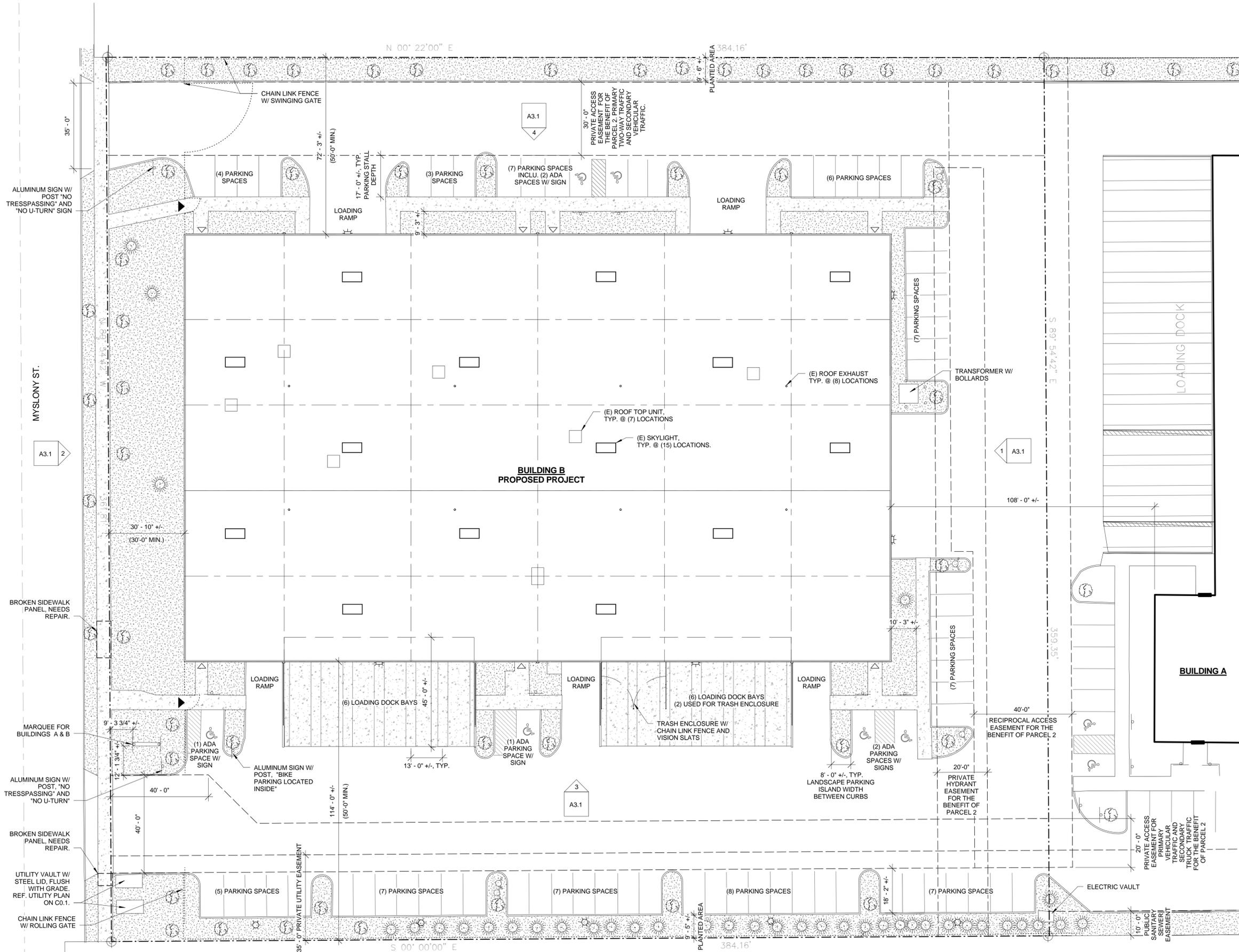
ARCHITECTURAL
REVIEW

9/30/15

revised 11/12/15

EXISTING SITE PLAN

A0.1



PLAN KEY

- DEMOLISHED
- WHITE PAINTED STRIPE
- CENTER LINE
- EASEMENT
- PROPERTY LINE
- FENCE
- PEDESTRIAN ENTRANCE FROM R.O.W.
- PRIMARY BUILDING ENTRANCE
- SECONDARY BUILDING ENTRANCE
- EXISTING CONCRETE
- NEW CONCRETE
- EXISTING PLANTED AREA
- NEW PLANTED AREA
- (N) 5'-0" PAINTED STRIPE PATH
- TREE - SEE TREE ASSESSMENT PLAN ON 1/A0.3
- HYDRANT / FDC CONNECTIONS
- FREE STANDING POLE LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- EXISTING WALL
- NEW WALL

NOTE ABBREVIATIONS:
(E) = EXISTING
(N) = NEW

1 SITE PLAN - EXISTING
1" = 20'-0"
FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

DRAWING SCALE
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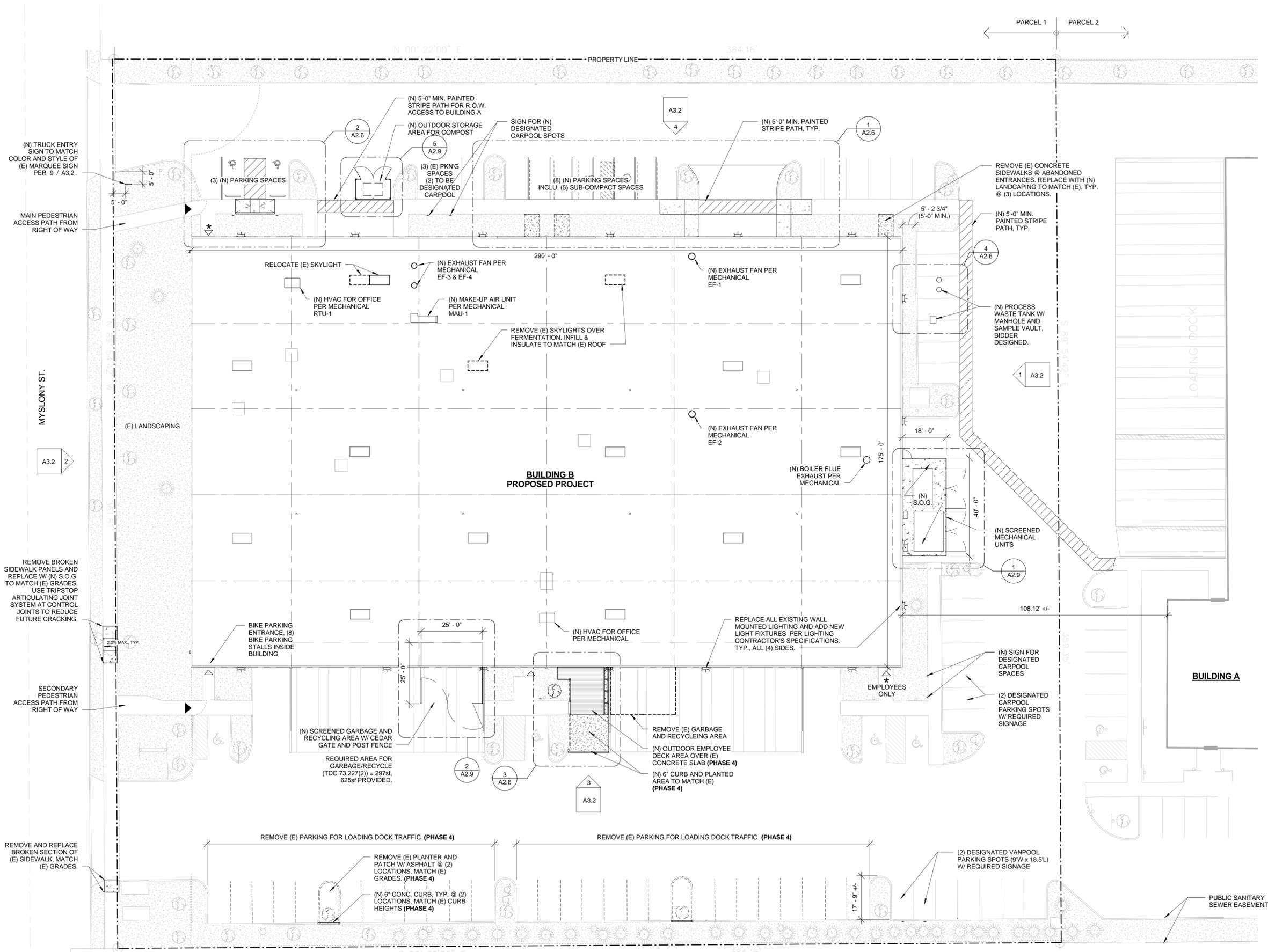
ARCHITECTURAL
REVIEW

9/30/15

revised 11/12/15

SITE PLAN - PHASE 3

A0.4



PLAN KEY

	DEMOLISHED
	WHITE PAINTED STRIPE
	CENTER LINE
	EASEMENT
	PROPERTY LINE
	FENCE
	PEDESTRIAN ENTRANCE FROM R.O.W.
	PRIMARY BUILDING ENTRANCE
	SECONDARY BUILDING ENTRANCE
	EXISTING CONCRETE
	NEW CONCRETE
	EXISTING PLANTED AREA
	NEW PLANTED AREA
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	EXISTING WALL
	NEW WALL

NOTE ABBREVIATIONS:
(E) = EXISTING
(N) = NEW

GENERAL NOTES:
1. DESIGN BUILD LANDSCAPING CONTRACTOR WILL EVALUATE EXISTING CONDITIONS AND REPLANT VEGETATION THAT HAS DETRIORATED OR DIED. VEGETATION WILL BE MAINTAINED AS OUTLINED IN TDC73.220(c) AND OTHER APPLICABLE REQUIREMENTS.

1 SITE PLAN PHASE 3
1" = 20'-0"

FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

BREW DR. KOMBUCHA PRODUCTION FACILITY

09/30/15 ARCHITECTURAL REVIEW - PHASE 3 & 4

REVISED 11/12/15

DRAWING SCALE
NOTED FOR 22"x34"
PAPER SIZE

CONTACTS

PROPERTY OWNER

TUALATIN SLEEP, LLC
12225 SW MYSLONY ST.
TUALATIN, OR 97062
JOHN HAGGLUND, MEMBER
E-MAIL: john.h@englandertsp.com
PHONE: 971-224-4223

CLIENT

BREW DR. KOMBUCHA
12241 SW MYSLONY ST.
TUALATIN, OR 97062
MATT THOMAS, OWNER
E-MAIL: matt@townshendstea.com
CELL: 503.367.8921
ANDY PERKIN, FACILITIES MGR
E-MAIL: andyp@brewdrkombucha.com
CELL: 503.317.9662

ARCHITECT

ERNEST R. MUNCH
ARCHITECTURE • URBAN PLANNING, LLC
111 SW OAK ST. STE 300
PORTLAND, OR 97204
OFFICE: 503.224.1282
COREY OMEY, PROJECT ARCHITECT
E-MAIL: corey.omey@ermuch.com
CELL: 503.349.1479
ERICKA EVERETT, PROJECT MANAGER
E-MAIL: ericka@ermunch.com
CELL: 506.688.6814

ENGINEER

GRUMMEL ENGINEERING, LLC
79 SW OAK ST
PORTLAND, OR 97204
JESSE WOLFE, S.E.
PHONE: 503.244.7014
E-MAIL: jesse@grummelengineering.com

SHEET INDEX:

A0.0AR	COVER
C0.1	SITE SURVEY
A0.1	EXISTING SITE PLAN
A0.3	TREE ASSESSMENT PLAN
A0.4	SITE PLAN PHASE 3
A2.1 PH3	LEVEL 1 PHASE 3
A2.6	ENLARGED PLANS
A2.9	ENLARGED PLANS
A3.1	EXISTING EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
L-1	LIGHTING PLAN

CONTRACTOR

O'BRIEN & COMPANY
P.O. BOX 4008
WILSONVILLE, OR 97070
OFFICE: 971.219.5422
KEELEY O'BRIEN, OWNER
HANK SMITH, PROJECT MANAGER
CCB# 195235
CELL: 503-799-8962
E-MAIL: hank@obrien-co.com

ARBORIST

WARD TREE CARE, LLC
20470 SW PRINDLE RD.
TUALATIN, OR 97062
OFFICE: 503.730.3906
CHRISTOPHER WARD, CERTIFIED ARBORIST
E-MAIL: wardtreecare@gmail.com

LIGHTING

CURRENT ELECTRICAL CONSTRUCTION CO.
P.O. BOX 19652
PORTLAND, OR 97280
OFFICE: 503.245.5997
LIAM O'BRIEN
E-MAIL: liam@current-electrical.com

SITE

12241 SW MYSLONY ST.
BUILDING B
TUALATIN, OR 97062

TAXLOT ID #: 2S122CC00100



SCOPE OF THIS PERMIT

THIS PROJECT HAS 4 PHASES:

- PHASE 1 (INTERIOR TI PERMIT #ALTR 15-0725): WORK UNDER PHASE 1 IS INSTALLATION OF NEW COOLER AND OCCUPANCY OF 104 INGREDIENT / DRY STORAGE AND 103 COLD STORAGE ONLY.
- PHASE 2 (INTERIOR TI PERMIT #ALTR 15-0727): WORK UNDER PHASE 2 IS NEW INTERIOR WALLS, OVERPOUR CONCRETE FLOOR, NEW PROCESS TANKS, NEW RESTROOMS AND MODIFICATIONS TO EXISTING RESTROOMS, NEW LOFT STORAGE SPACE. NO OCCUPANCY OR PROCESS WASTE DISCHARGE IN PHASE 2.
- PHASE 3 (THIS PERMIT): WORK UNDER THIS PERMIT INCLUDES BUILDING OCCUPANCY AND ALL EXTERIOR WORK. EXTERIOR WORK INCLUDES A NEW SCREENED AREA FOR GARBAGE/RECYCLING, NEW SCREENED MECHANICAL AREA, NEW WALL EXHAUST VENTS, RE-ALLOCATION OF ON-SITE PARKING, NEW EXTERIOR BUILDING SIGNAGE, NEW MONUMENT SIGN, AND NEW PAINT ON EXTERIOR DOORS/OVERHEAD DOORS. EXTERIOR WORK ALSO INCLUDES MODIFICATION TO (E) PROCESS WASTE WITH THE ADDITION OF A PROCESS WASTE TANK, PH MONITOR AND FLOW METER.
- PHASE 4 FUTURE WORK: ALL PHASE 4 WORK IS FUTURE WORK AND WILL BE COMPLETED WHEN FUNDING IS AVAILABLE AND WHEN LONGER TRUCKS ARE REQUIRED FOR BUSINESS OPERATIONS. PHASE 4 WILL BE A SEPERATE FUTURE BUILDING PERMIT.

ARCHITECTURAL REVIEW
FOR PHASES 3 & 4

CODE & ZONING

TDC, TUALATIN DEVELOPMENT CODE
OSSC, OREGON STRUCTURAL SPECIALTY CODE 2015

ZONING: MG, GENERAL MANUFACTURING PLANNING DISTRICT

TDC 73.370 PARKING REQUIREMENTS:
VEHICULAR

WAREHOUSE= 26,979sf x .3 / 1,000sf = 9 REQ'D
INDUSTRIAL = 18,716sf x 1.6 / 1000sf = 30 REQ'D
BUSINESS = 2,778sf x 2.7 / 1000sf = 8 REQ'D
47 TOTAL REQUIRED, **45 PROVIDED**
(INCLU. (28) STANDARD; (5) COMPACT; (6) ADA; (4) CARPOOL;
(2) VANPOOL)

BIKE W/H. & IND. = 0.10x(45,695sf/1,000sf) = 4.5= 5 REQ'D
BUSINESS = 0.5x(2,775sf/1,000sf) = 1.4 = 2 REQ'D

OFF-STREET VANPOOL & CARPOOL
26 & GREATER = 1 PER 25 SPACES: 47 / 25 = 2 REQ'D
ADDITIONAL PROVIDED PER ABOVE

TDC 73.240 LANDSCAPING:
MIN. LANDSCAPING AREA = 15% TOTAL LAND DEVELOPED
= 20,887sf/138,520sf = 15% PROVIDED

BUILDING FOOTPRINT (FROM MAY 2015 SURVEY)

SITE AREA **138,520 sf**
BUILDING AREA **50,750 sf**
BUILDING PERIMETER **900 ft**
PAVING AREA EXISTING: 66,895 sf
PROPOSED: 66,718 sf
LANDSCAPE AREA EXISTING: 20,875 sf
PROPOSED: 21,052 sf, 15% (15% MIN.)
PARKING AREA EXISTING 11,158 sf
PROPOSED: 6,446 sf
PKNG LOT LANDSCAPING: 25 sf / STALL = 1,175 sf REQ'D
2,449sf PROVIDED

BUILDING FOOTPRINT
BLDG FOOTPRINT
FLOOR AREA

LEVEL 1 47,281 sf GROSS
LEVEL 2 1,189 sf GROSS (LOFTS/STOR ACCESSIBLE BY LADDER)
TOTAL 48,470 sf GROSS

CONSTRUCTION TYPE IIIB

OSSC, TABLE 601, FIRE RESISTANCE RATING REQUIREMENTS:

STRUCTURAL FRAME 0-HR
BEARING WALLS EXT. 2-HR
BEARING WALLS INT. 0-HR
NON-BEARING WALLS 0-HR
FLOOR CONSTRUCTION 0-HR
ROOF CONSTRUCTION 0-HR
AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT

OCCUPANCY

CURRENT PERMITTED USE: F-2 (2000, PERMIT 00-495)
PREVIOUS PERMITTED USES: B & S-1 (ORIG. SHELL PERMIT)
CURRENT PERMITTED OCCUPANCY: F2
PROPOSED OCCUPANCY: F-1, S-1, B

BUILDING HEIGHTS & AREAS

TDC 61.080 STRUCTURE HEIGHT: 60' MAX
OSSC TABLE 503 ALLOWABLE BUILDING HEIGHTS & AREAS

S-1 (2) STORY / 17,500 sf
F-1 (2) STORY / 12,000 sf
B (3) STORY / 19,000 sf

506.2 FRONTAGE INCREASE

If = $[930/930 - .25] W/30 = .75$
Aa (S-1) = $[17,500 + (17,500 \times .75) + (17,500 \times 3)]$
= 83,125 sf
Aa (F-1) = $[12,000 + (12,000 \times .75) + (12,000 \times 3)]$
= 57,000 sf
Aa (B) = $[19,000 + (19,000 \times .75) + (19,000 \times 3)]$
= 90,250 sf

508.4.2 BUILDING AREA RATIO OF OCCUPANCIES. NOT TO EXCEED 1

S-1 = 20,915 sf
F-1 = 25,776 sf
B = 2,026 sf
 $1 \geq (20,915 / 83,125) + (28,020 / 57,000) + (2,033 / 90,050)$
 $1 \geq .25 + .49 + .02$
 $1 \geq .76$ OK

508.4.4 SEPARATION

B, F-1, S-1 = NO SEPARATION REQ'D

EGRESS

TABLE 1014.3 COMMON PATH OF EGRESS TRAVEL
S-1, B: WITH SPRINKLE, 100 FT MAX
F-1: WITH SPRINKLE, 75 FT MAX

REFER TO A2.7 FOR PLUMBING FIXTURE CALCS

NOT FOR CONSTRUCTION

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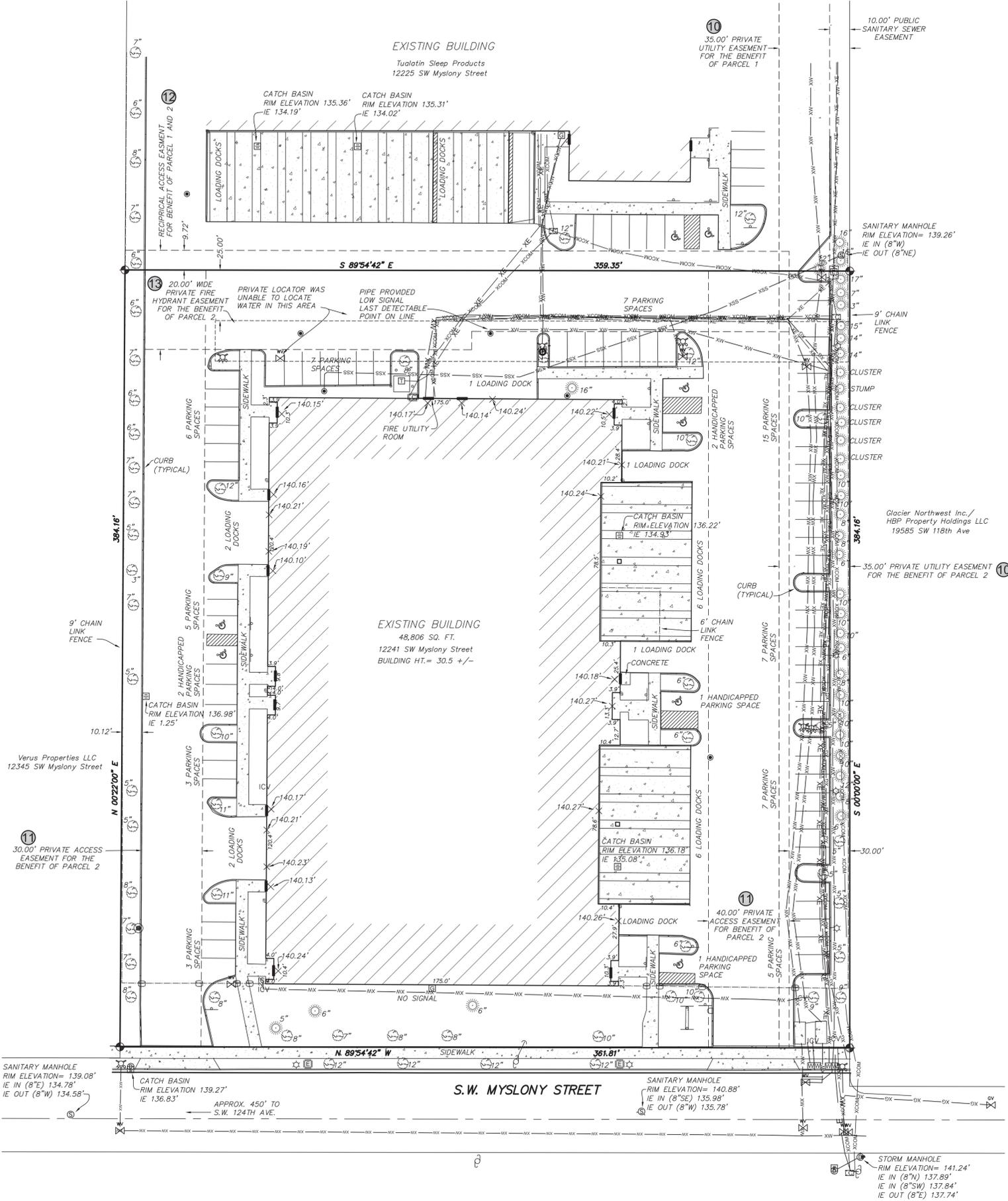
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COVER

A0.0AR



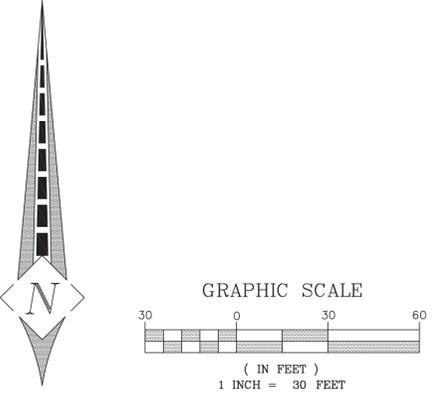
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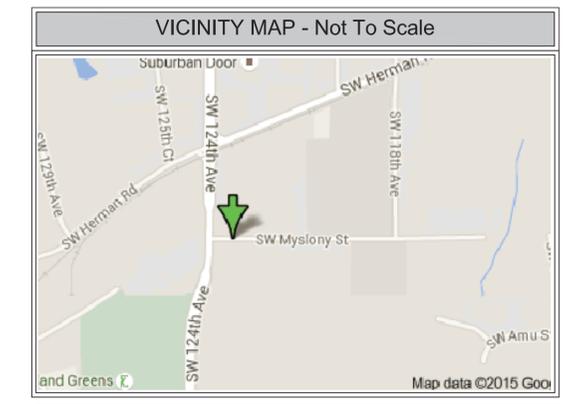
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- 11** Easements for private access purposes as shown on the recorded plat of PARTITION PLAT NO. 2000-37.
- 12** Easements for reciprocal access purposes as shown on the recorded plat of PARTITION PLAT NO. 2000-37.
- 13** Easements for private fire hydrant purposes as shown on the recorded plat of PARTITION PLAT NO. 2000-37.



FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 41023, MAP NUMBER 4102380519C WHICH BEARS AN EFFECTIVE DATE OF February 18, 2005 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

BENCHMARK NOTE

VERTICAL CONTROL AND DATUM BASED ON FOUND WASHINGTON COUNTY BENCHMARK STAMPED WASH CO BM 102.9.81. FOUND IN CONCRETE FILLED WITH STEEL AT NORTHWEST CORNER OF THE INTERSECTION OF SW COPOLE ROAD AND THE SOUTHERN PACIFIC RAILROAD CROSSING, WITH AN ELEVATION OF 157.296, 1929 DATUM.

ALTA/ACSM LAND TITLE SURVEY

Site Address:
12241 SW Myslony Street, Tualatin, OR

Based upon Title Commitment No. NCS-731721-OR1 of First American Title Company of Oregon bearing an effective date of May 11, 2015

Surveyor's Certification
To: Tualatin Sleep, an Oregon limited liability company, and First American Title Company of Oregon:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11(a), 11(b), 13, 16, and 20 of Table A thereof. The field work was completed on May 19, 2015.

James B. Brown
Registered Land Surveyor No.: 60379
in the State of Oregon
Date of Survey: May 20, 2015
Date of Last Revision:

SIGNED ON: **JAMES BURTON BROWN**
REGISTERED PROFESSIONAL LAND SURVEYOR

Survey Performed By:
Centerline Concepts Land Surveying, Inc.
729 Molalla Avenue, Suite 2
Oregon City, OR 97045
Phone: 503-650-0188
Fax: 503-650-0189
Email: mikew@centerlineconcepts.com

ORIGINATION: NOVEMBER 30, 2007
JAMES BURTON BROWN
60379
VALID THROUGH DECEMBER 31, 2015

SHEET C0.1

CENTERLINE CONCEPTS
LAND SURVEYING, INC.

729 MOLALLA AVE., SUITE 1 & 2
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.650.0189

DRAWING SCALE
NOTED FOR 22"x34"
PAPER SIZE

EMA Ernest R. Munch
Architecture • Urban Planning, LLC
111 S.W. Oak Street, Ste. 300 | Portland, Oregon 97204
office: (503) 224-1282 | www.ermunch.com

Brew Dr. Kombucha
12241 SW Myslony St.

Tualatin, OR 97062

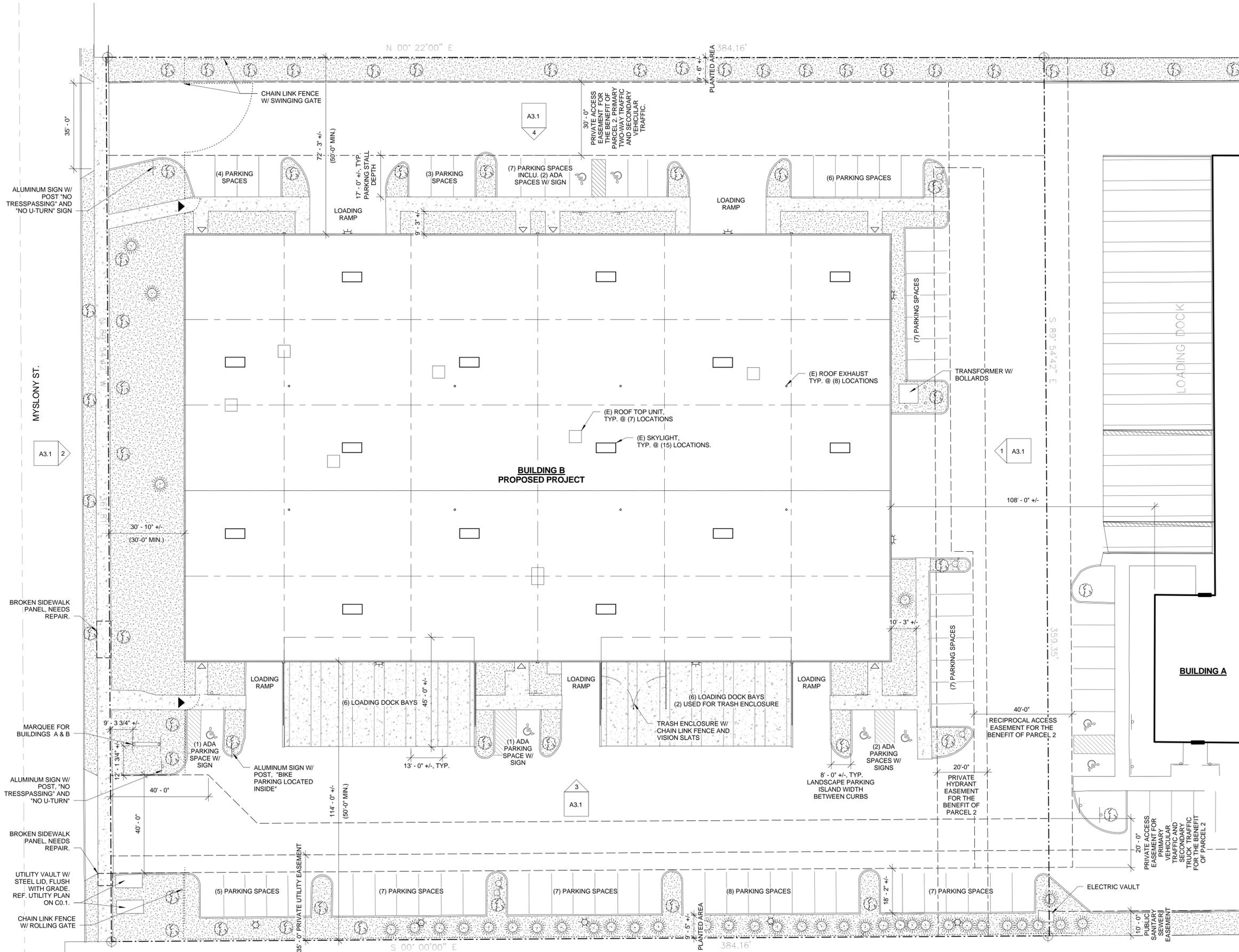
ARCHITECTURAL
REVIEW

9/30/15

revised 11/12/15

EXISTING SITE PLAN

A0.1



PLAN KEY

- DEMOLISHED
- WHITE PAINTED STRIPE
- CENTER LINE
- EASEMENT
- PROPERTY LINE
- FENCE
- ▶ PEDESTRIAN ENTRANCE FROM R.O.W.
- ★ PRIMARY BUILDING ENTRANCE
- △ SECONDARY BUILDING ENTRANCE
- EXISTING CONCRETE
- NEW CONCRETE
- EXISTING PLANTED AREA
- NEW PLANTED AREA
- ▨ (N) 5'-0" PAINTED STRIPE PATH
- ☀ TREE - SEE TREE ASSESSMENT PLAN ON 1/A0.3
- ⚡ HYDRANT / FDC CONNECTIONS
- ⚡ FREE STANDING POLE LIGHT FIXTURE
- ⚡ WALL MOUNTED LIGHT FIXTURE
- ▬ EXISTING WALL
- ▬ NEW WALL

NOTE ABBREVIATIONS:
(E) = EXISTING
(N) = NEW

1 SITE PLAN - EXISTING
1" = 20'-0"
FOR REFERENCE ONLY

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DRAWING SCALE
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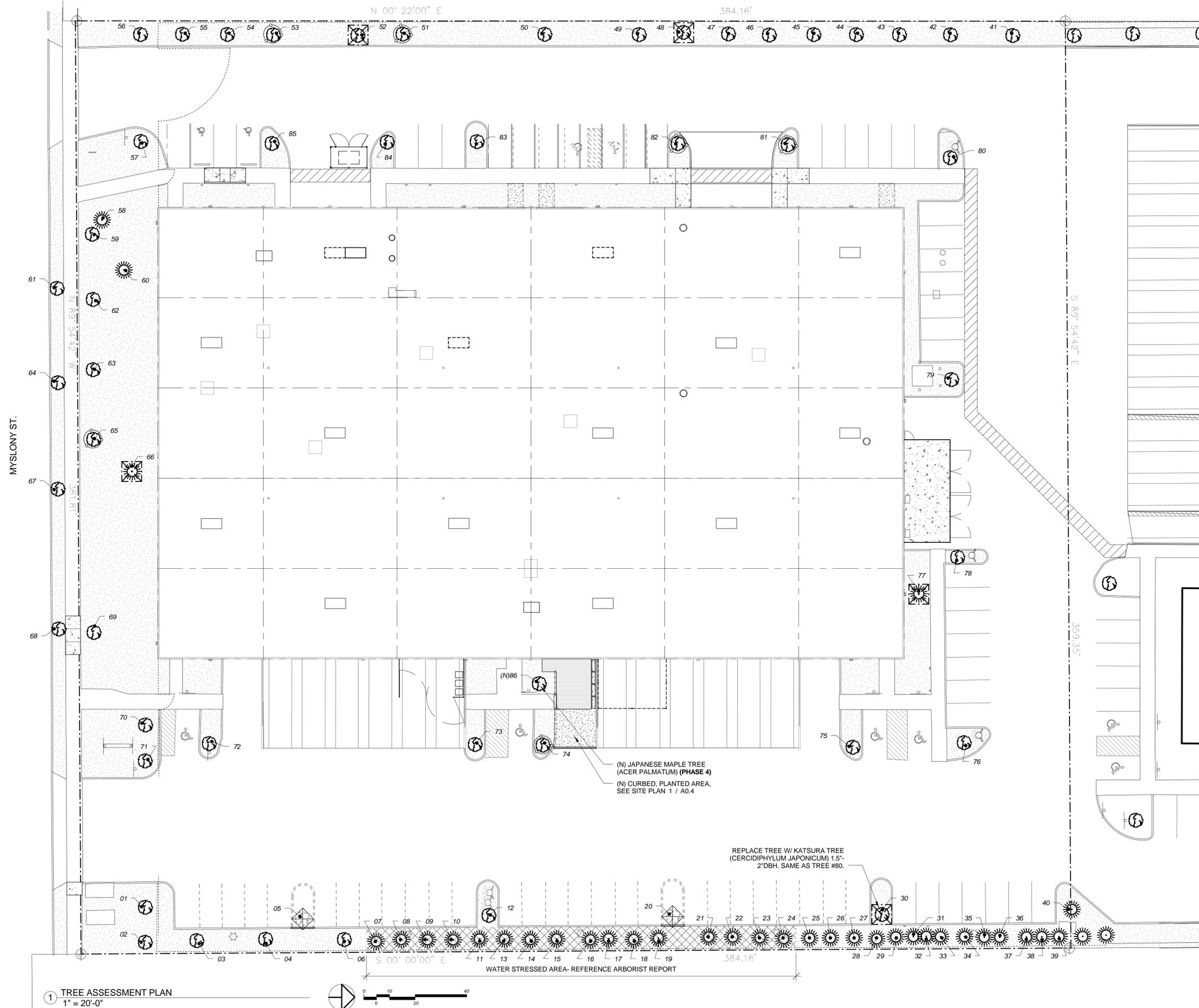
ARCHITECTURAL
REVIEW

9/30/15

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TREE ASSESSMENT
PLAN

A0.3



TREE ASSESSMENT PLAN KEY

- 00 TREE NUMBER, REFERENCE "TREE IDENTIFICATION AND TREE ASSESSMENT KEY" BY WARD TREE CARE
 - EXISTING TREE TO BE REMOVED FOR 34.230(c), WHERE IT IS NECESSARY TO REMOVE TREE TO CONSTRUCT PROPOSED IMPROVEMENTS
 - EXISTING TREE TO BE REMOVED PER ARBORIST REPORT DUE TO CURRENT HEALTH OR OVERGROWTH
 - EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE
 - EXISTING PLANTED AREA W/ SHRUBS AND NATIVE GRASSES
 - NEW PLANTED AREA W/ SHRUBS AND NATIVE GRASSES TO MATCH (E)
 - WATER STRESSED AREA, REFERENCE ARBORIST REPORT
 - (N) CONCRETE
 - (N) 5'-0" PAINTED STRIPE PATH
 - DEMOLISHED
- NOTE ABBREVIATIONS:**
(E) = EXISTING
(N) = NEW

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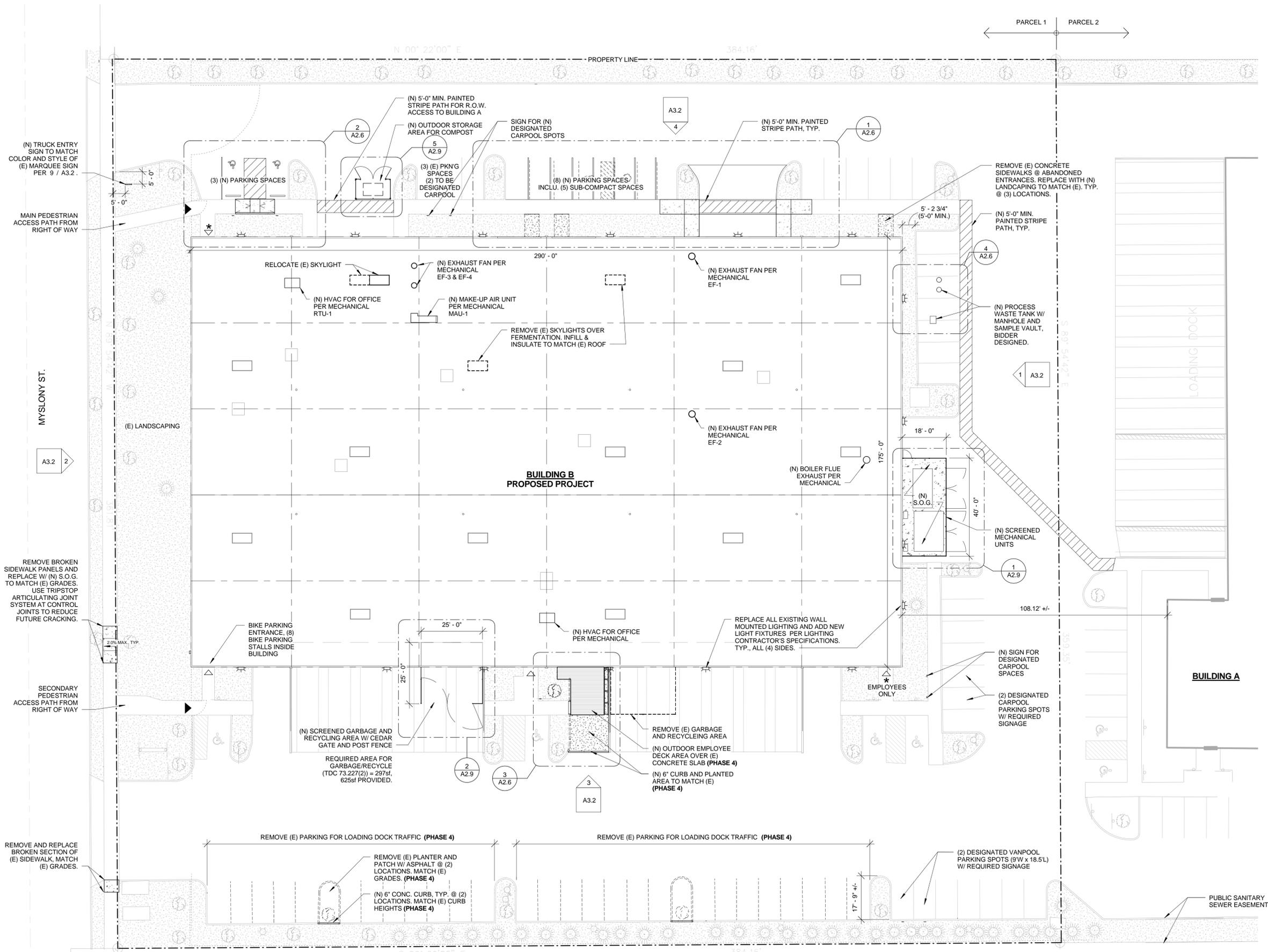
ARCHITECTURAL
REVIEW

9/30/15

revised 11/12/15

SITE PLAN - PHASE 3

A0.4



PLAN KEY

- DEMOLISHED
- WHITE PAINTED STRIPE
- CENTER LINE
- EASEMENT
- PROPERTY LINE
- FENCE
- ▶ PEDESTRIAN ENTRANCE FROM R.O.W.
- ★ PRIMARY BUILDING ENTRANCE
- ▷ SECONDARY BUILDING ENTRANCE
- EXISTING CONCRETE
- NEW CONCRETE
- EXISTING PLANTED AREA
- NEW PLANTED AREA
- ▨ (N) 5'-0" PAINTED STRIPE PATH
- ☀ TREE - SEE TREE ASSESSMENT PLAN ON 1/A0.3
- ⚡ HYDRANT / FDC CONNECTIONS
- ⚡ FREE STANDING POLE LIGHT FIXTURE
- ⚡ WALL MOUNTED LIGHT FIXTURE
- ▬ EXISTING WALL
- ▬ NEW WALL

NOTE ABBREVIATIONS:
(E) = EXISTING
(N) = NEW

GENERAL NOTES:
1. DESIGN BUILD LANDSCAPING CONTRACTOR WILL EVALUATE EXISTING CONDITIONS AND REPLANT VEGETATION THAT HAS DETERIORATED OR DIED. VEGETATION WILL BE MAINTAINED AS OUTLINED IN TDC73.220(c) AND OTHER APPLICABLE REQUIREMENTS.

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1 SITE PLAN PHASE 3
1" = 20'-0"

DRAWING SCALE
NOTED FOR 22"x34"
PAPER SIZE

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office: (503) 224-1282 | www.ermunch.com

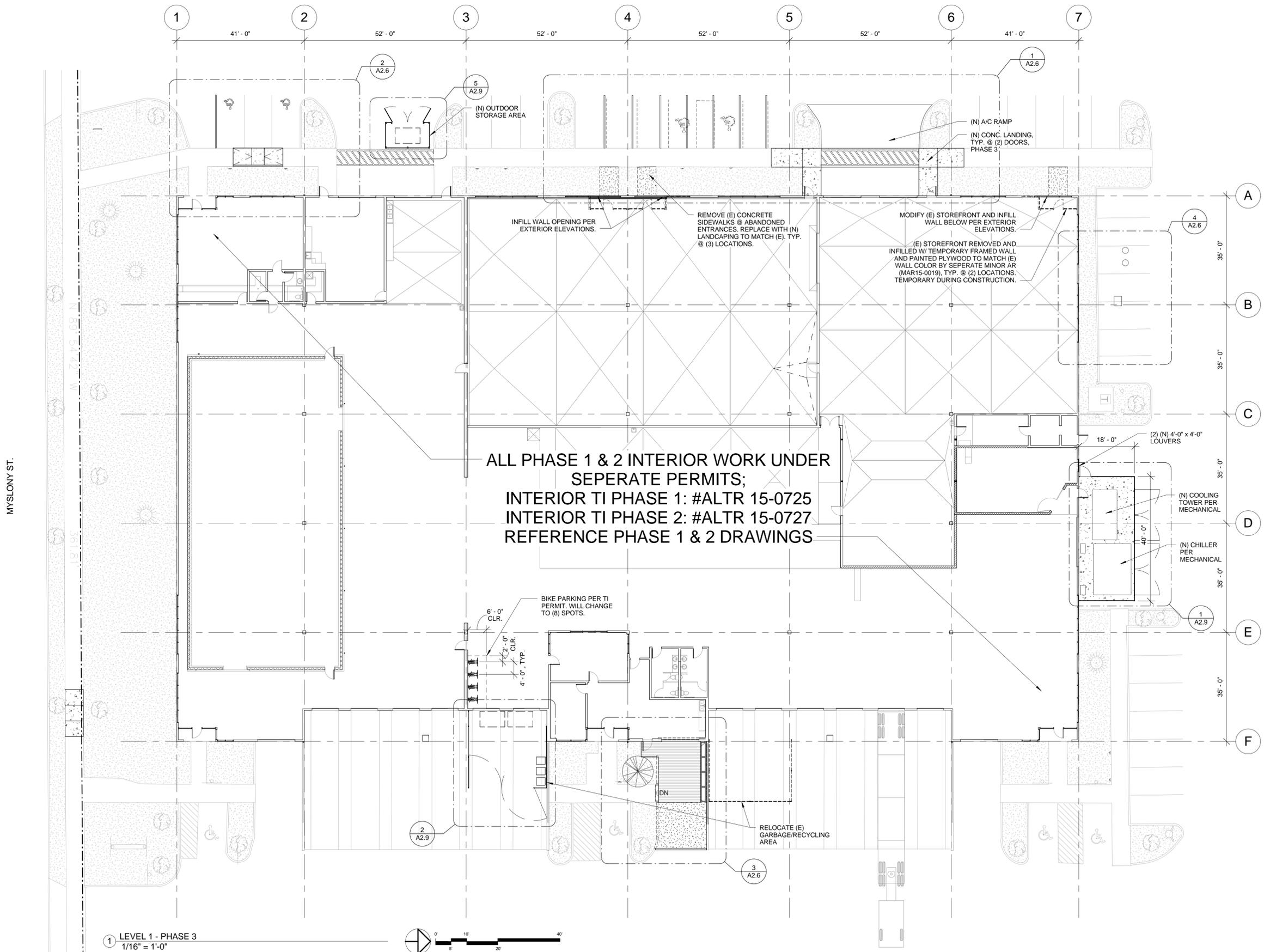
Brew Dr. Kombucha

12241 SW Myslony St. Tualatin, OR 97062

ARCHITECTURAL
REVIEW
9/30/15
revised 11/12/15

LEVEL 1 - PHASE 3

A2.1 PH3



ALL PHASE 1 & 2 INTERIOR WORK UNDER
SEPERATE PERMITS;
INTERIOR TI PHASE 1: #ALTR 15-0725
INTERIOR TI PHASE 2: #ALTR 15-0727
REFERENCE PHASE 1 & 2 DRAWINGS

PLAN KEY

	DEMOLISHED
	WHITE PAINTED STRIPE
	CENTER LINE
	EASEMENT
	PROPERTY LINE
	FENCE
	PEDESTRIAN ENTRANCE FROM R.O.W.
	PRIMARY BUILDING ENTRANCE
	SECONDARY BUILDING ENTRANCE
	EXISTING CONCRETE
	NEW CONCRETE
	EXISTING PLANTED AREA
	NEW PLANTED AREA
	(N) 5'-0" PAINTED STRIPE PATH
	TREE - SEE TREE ASSESSMENT PLAN ON 1/A0.3
	HYDRANT / FDC CONNECTIONS
	FREE STANDING POLE LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXISTING WALL
	NEW WALL

NOTE ABBREVIATIONS:
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(N) = NEW

1 LEVEL 1 - PHASE 3
1/16" = 1'-0"



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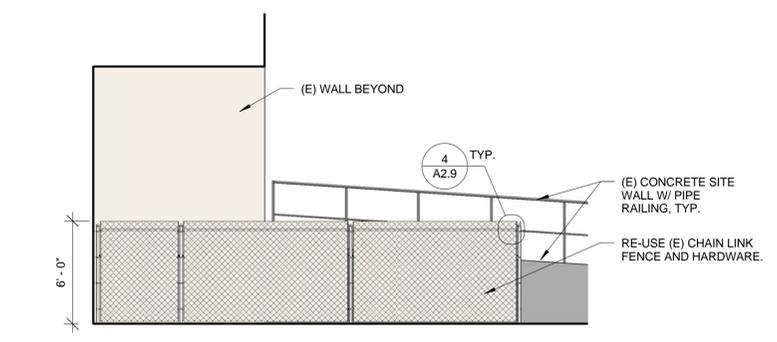
Brew Dr. Kombucha
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Tualatin, OR 97062

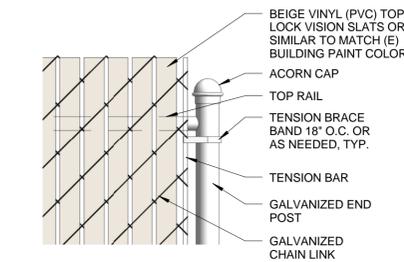
ARCHITECTURAL
REVIEW
9/30/15
revised 11/12/15

ENLARGED PLANS

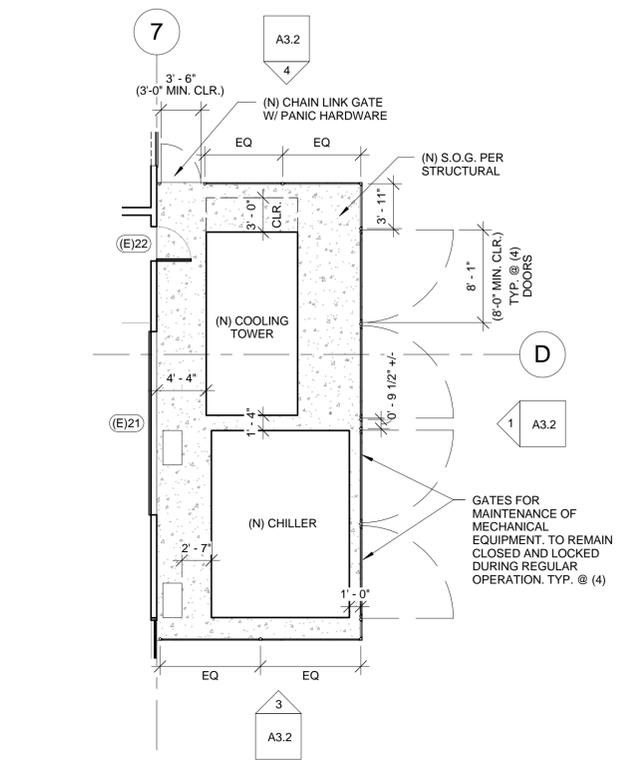
A2.9



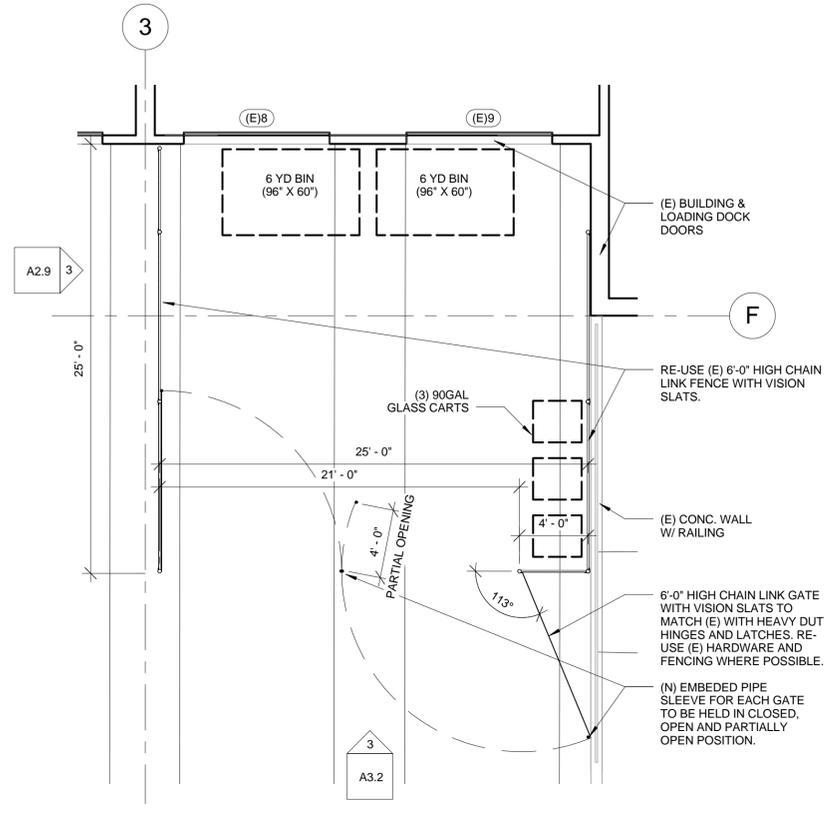
3 TRASH ENCLOSURE SOUTH
3/16" = 1'-0"



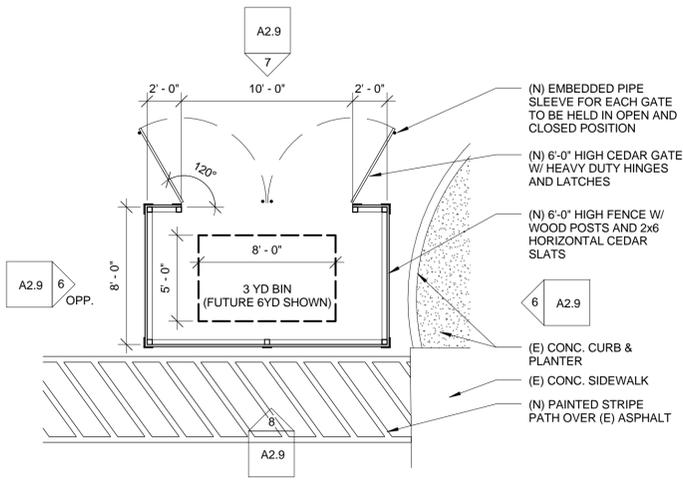
4 TYP. CHAINLINK FENCE DETAIL
1 1/2" = 1'-0"



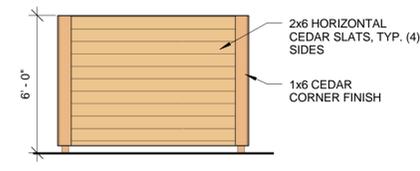
1 ENLARGED MECHANICAL PAD
1/8" = 1'-0"



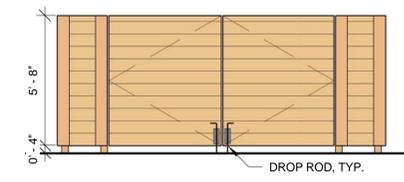
2 ENLARGED GARBAGE AND RECYCLE
PLAN
3/16" = 1'-0"



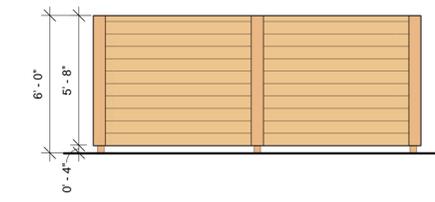
5 ENLARGED OUTDOOR STORAGE PLAN
3/16" = 1'-0"



6 OUTDOOR STOR. NORTH
1/4" = 1'-0"



7 OUTDOOR STOR. WEST
1/4" = 1'-0"

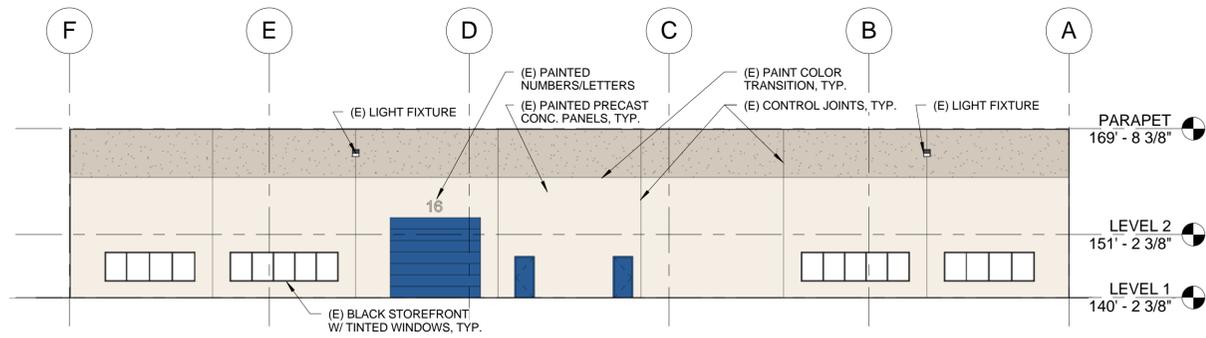


8 OUTDOOR STOR. EAST
1/4" = 1'-0"

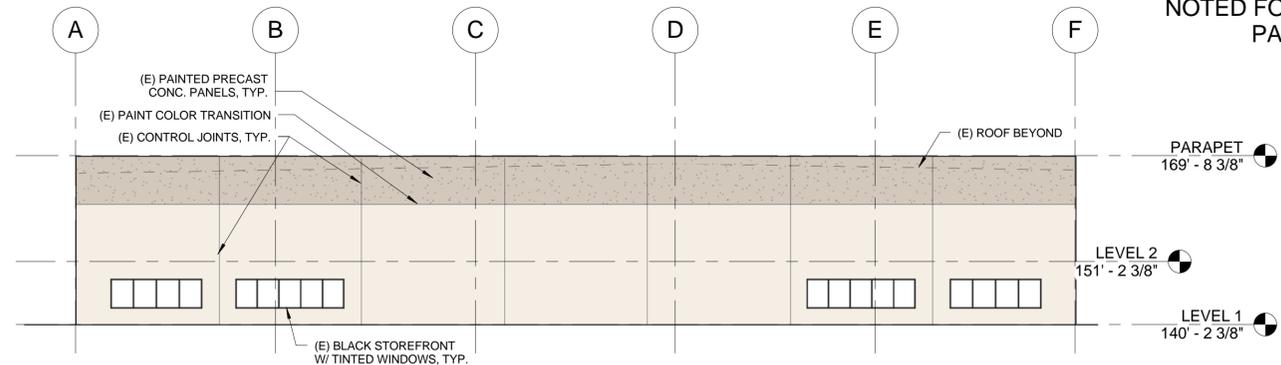
FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

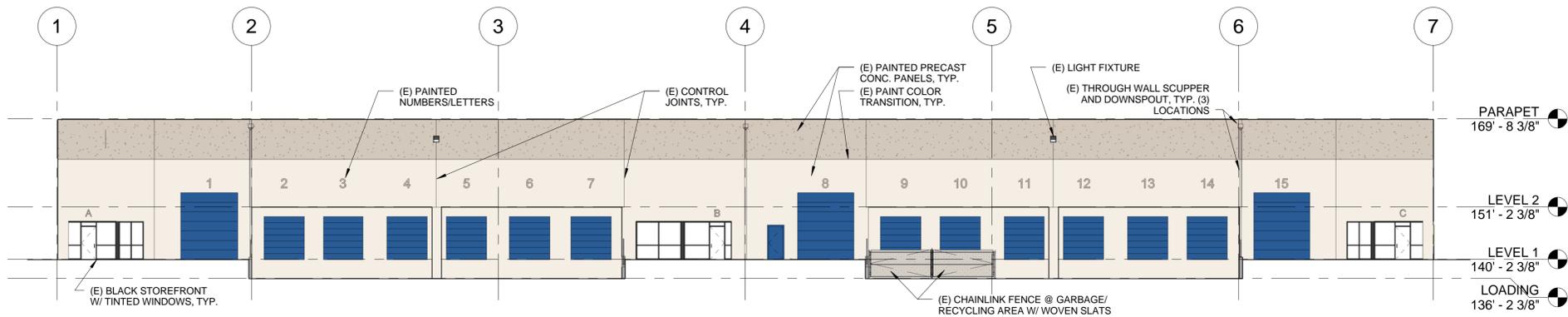
DRAWING SCALE
NOTED FOR 22"x34"
PAPER SIZE



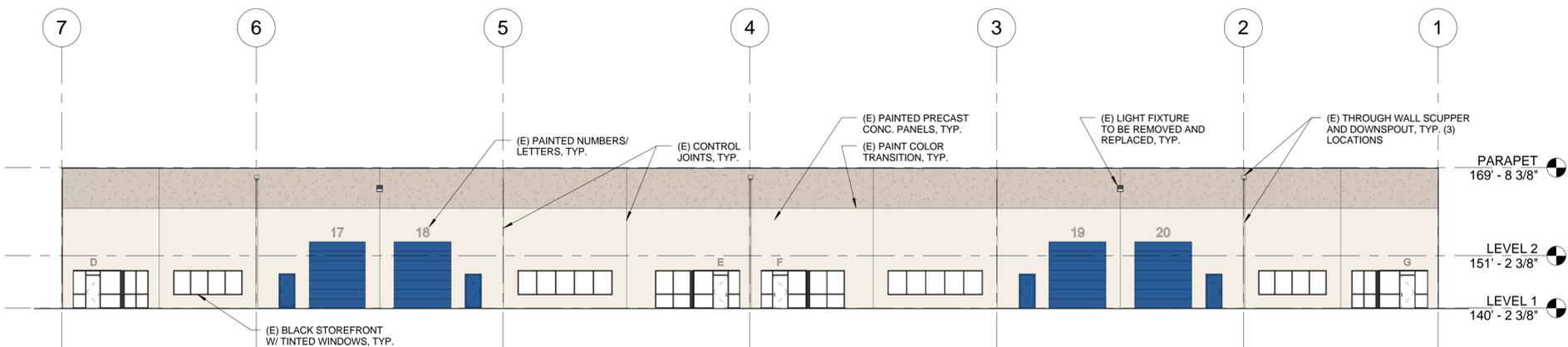
1 EXISTING NORTH ELEVATION
1/16" = 1'-0"



2 EXISTING SOUTH ELEVATION
1/16" = 1'-0"



3 EXISTING EAST ELEVATION
1/16" = 1'-0"



4 EXISTING WEST ELEVATION
1/16" = 1'-0"

EMA
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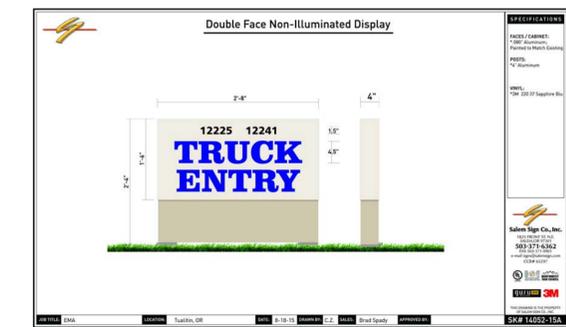
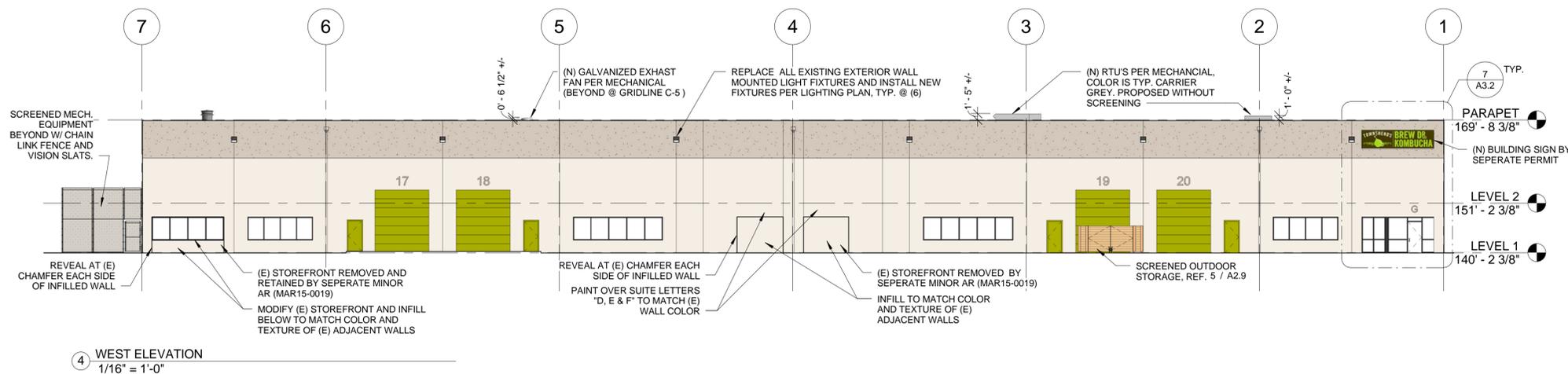
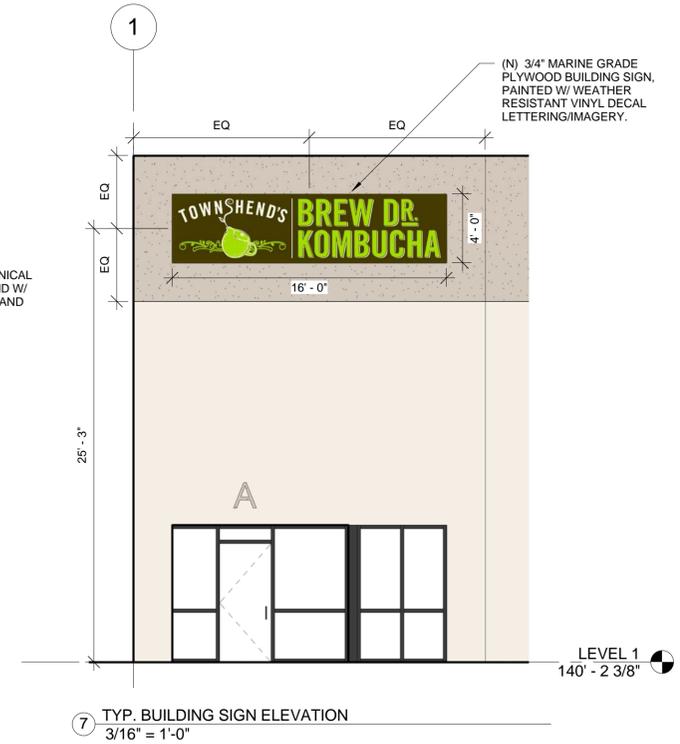
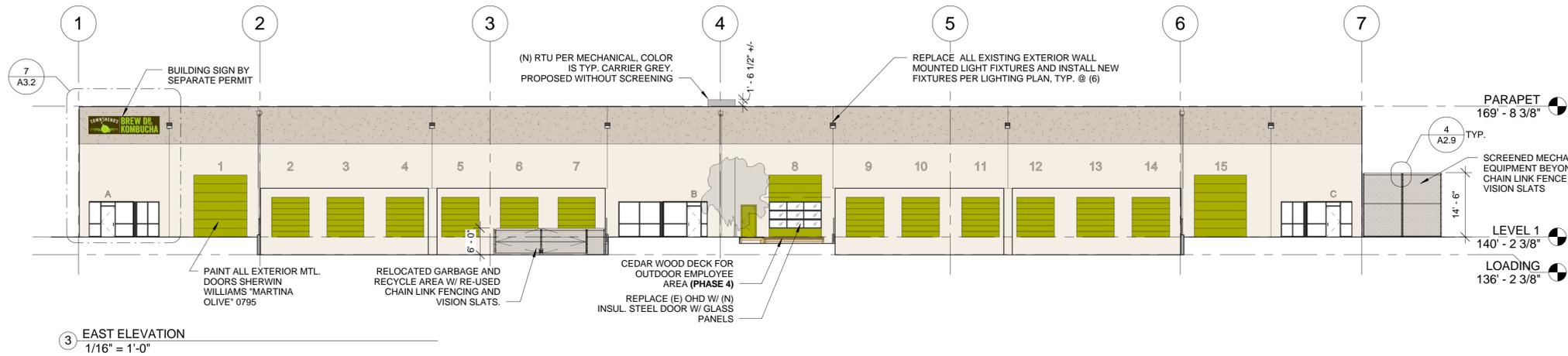
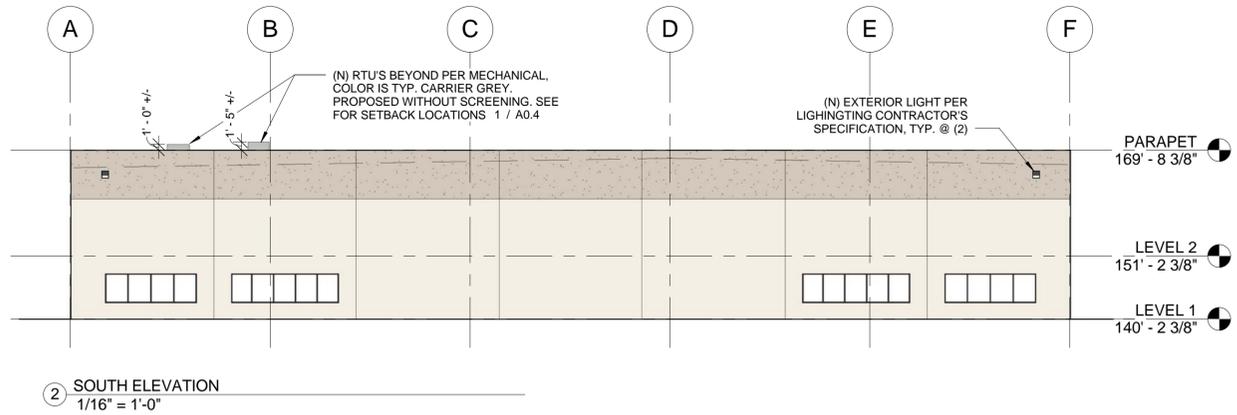
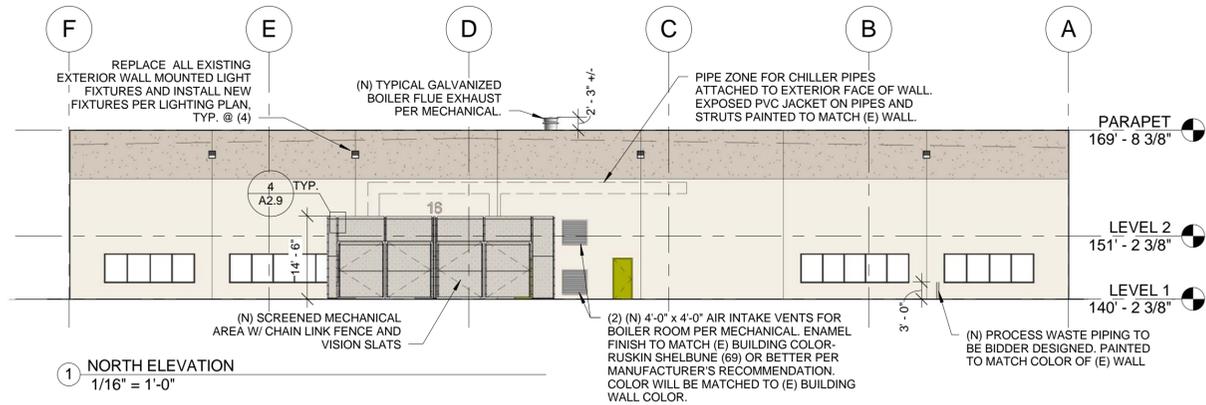
NOT FOR CONSTRUCTION

EXISTING EXTERIOR
ELEVATIONS

A3.1

DRAWING SCALE
NOTED FOR 22"x34"
PAPER SIZE

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Brew Dr. Kombucha

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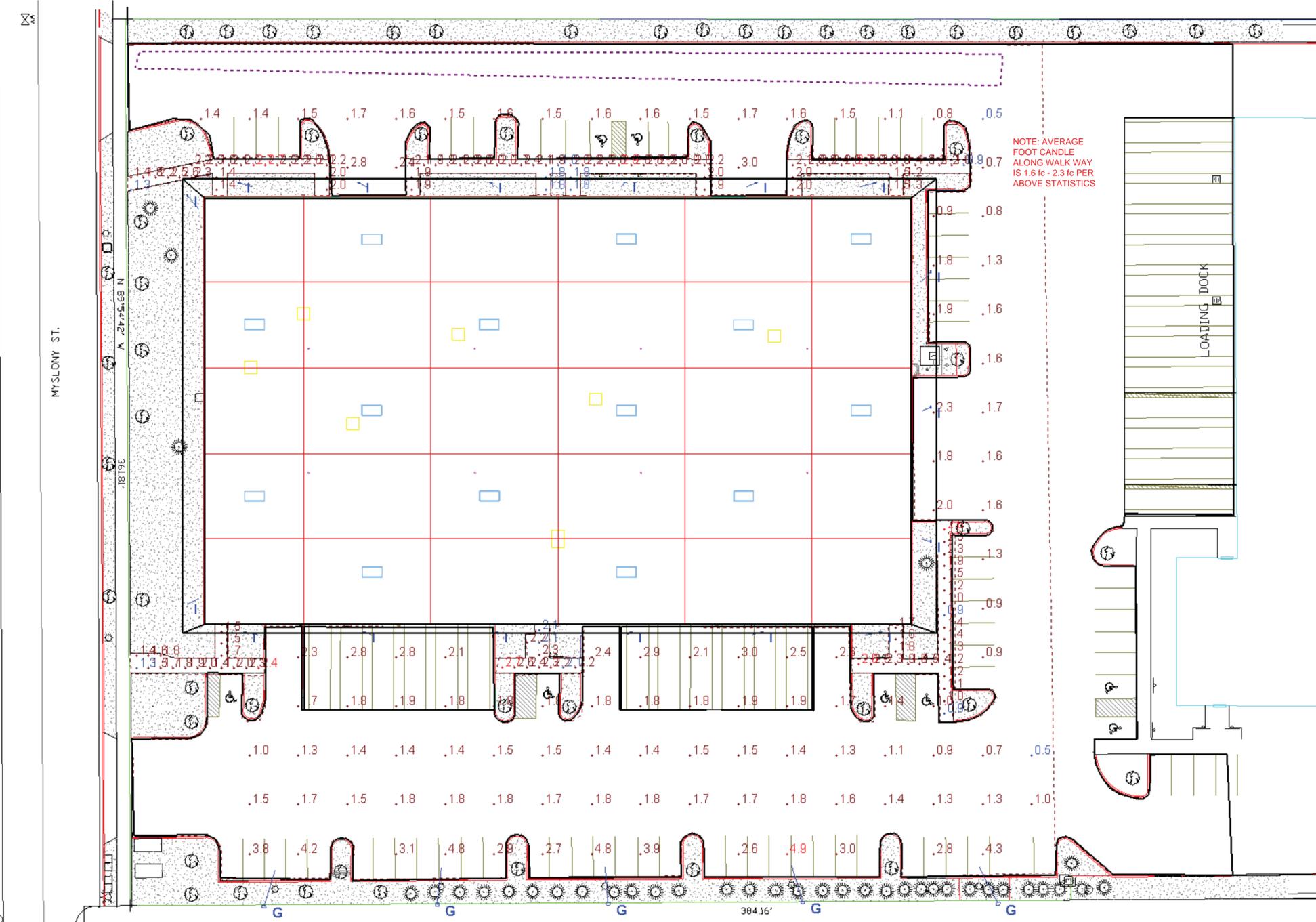
revised 11/12/15

PROPOSED
EXTERIOR
ELEVATIONS

A3.2

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
G	G	5	LITHONIA LIGHTING	KSF2 250S RSS	TYPE 5, SHORT, CUTOFF	ONE 250-WATT CLEAR ET-18 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	1	93052102.IES	30000	0.75	310
I	I	17	Lithonia Lighting	DSXW2 LED 30C 1000 40K TFM MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	LED	1	DSXW2_LED_30C_1000_40K_TFM_MVOLT.IES	8604	1	109

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	1.9 fc	4.9 fc	0.5 fc	9.8:1	3.8:1
Walk Ways	+	1.7 fc	2.4 fc	1.3 fc	1.8:1	1.3:1
Walk Ways	+	2.3 fc	2.7 fc	2.1 fc	1.3:1	1.1:1
Walk Ways	+	1.6 fc	2.6 fc	0.9 fc	2.9:1	1.8:1
Walk Ways	+	1.8 fc	2.7 fc	0.9 fc	3.0:1	2.0:1
Walk Ways	+	2.2 fc	2.9 fc	1.8 fc	1.6:1	1.2:1
Walk Ways	+	2.1 fc	2.7 fc	1.3 fc	2.1:1	1.6:1





Ernest R. Munch
Architecture • Urban Planning, LLC

111 SW Oak Street • Suite 300 • Portland, OR 97204 • (503) 224-1282

November 12, 2015

Clare Fuchs
City of Tualatin
18880 SW Martinazzi Ave.
Tualatin, OR 97062-7092

Re: Response to Notice of Incomplete Application for Case file No. MAR-15-0024, 1st Submittal intake dated stamped September 30, 2015

Dear Ms. Fuchs:

This letter is in response to the requested revisions and additional information outlined in your Notice of Incomplete letter dated October 20, 2015 for Brew Dr. Kombucha Production Facility MAR-15-0024. Please review the revised and resubmitted material for completeness;

- (1) copy of signed Application for Architectural Review, 2 pages;
- (1) binder copy of the Architectural Review Package with requested material outlined in the AR checklist, 72 Pages;
- (3) sets of 22"x34" Architectural Drawings, 11 pages;
- (1) set of relevant 22"x34" Architectural Drawings for Public Utility Facility Drawings, 4 pages.

Response to Incomplete Planning Items:

1. The contact information for the Applicant (Brew Dr. Kombucha), Architect, Arborist, and Lighting Contractor has been updated on the Cover Sheet A0.0 of the Architectural Drawings. As noted on the revised Application for Architectural Review, there is no Landscape Architect involved with the project.
2. Color elevations have been submitted on Sheets A2.9, A3.1, and A3.2 of the Architectural Drawings.
3. The Application for Architectural Review has been revised identifying Brew Dr. Kombucha owner, Matt Thomas, as the Applicant on both pages of the Application. Printed names are included with all signatures on the application.
4. The narrative has been revised to include applicable criteria of Chapter 61, 73.050, 73.150, 73.160, 73.220, 73.227, 73.240, 73.250, 73.260, 73.290, 73.310, 73.340, 73.360, 73.370, 73.380, 73.390, 73.400, 73.410, and 73.765, as requested. See Architectural Review Package page 4.
5. There are (2) new rooftop units, (1) new make-up air unit, (1) new boiler flue exhaust vent, and (4) new roof exhaust fans that have been added to the scope since the first AR submission. See

updated Site Plan 1/A0.4 and Elevations on sheet A3.2 to include new mechanical units. See also page 58 of the Architectural Review Package for mechanical equipment cut sheets and specifications per bidder design.

6. See added sheet A2.9 for enlarged plans and elevations of the proposed outdoor storage, mechanical equipment pad, and relocated garbage/recycling enclosures. See also proposed exterior elevations on sheet A3.2.
7. Information previously combined into one site plan has been separated as requested; see Existing Site Plan 1/A0.1, Tree Assessment Plan 1/A0.3, and Proposed Site Plan 1/A0.5.
8. On the Proposed Site Plan 1/A0.4, the graphic contrast between existing and new site elements has been exaggerated- existing components are light and proposed are bold.
9. A key and legend has been added to sheets A0.1, A0.3 and A0.5. Existing and new site features have been identified on respective plans for clarity.
10. All exterior, wall mounted perimeter lights will be replaced and new fixtures added per Lighting Contractor's specification. See proposed lighting plan with photometrics on L-1 and additional explanation in Code Review Narrative, section 73.160(3) Safety and Security, of the Architectural Review Package.
11. A graphic scale has been added to sheets A0.1, A0.3, and A0.5. On drawings where a graphic scale is not included, a dimension line can be used to confirm scale.

Incomplete Engineering Items:

12. See Code Review Narrative in the Architectural Review Package for added sections TDC 73.400(12) for Industrial Buildings and TDC 74.420(2).

If the submitted information is adequate for completeness, additional material will be delivered per quantities specified. Please confirm the additional copies and sizes needed for city use and record of the following;

- binder copy of the Architectural Review Package, 72 Pages;
- Architectural Drawings, 11 pages;
- Relevant Drawings for Public Utility Facility Drawings, 4 pages.

Thank you for the time you have given and considerations you have made to keeping this project on track. Please call if you need any more information to consider this application complete and open for review.

Sincerely,

Ericka Everett, Project Manager
Ernest R. Munch Architecture, LLC