8101 SW Nyberg Building (New Elevator)

8101 SW Nyberg Street, Tualatin, OR 97062

ABBREVIATIONS

AC	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APC	ACOUSTICAL PANEL CEILING
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AV	AUDIO VISUAL
B	BASE
BLK	BLOCKING
BKR	BACKER
BLDG	BUILDING
BM	BEAM
BOD	BASIS OF DESIGN
BOT	BOTTOM
C	CARPET
CAB	CABINET
CG	CORNER GUARD
CL	CENTER LINE
CLG	CEILING
CLO	CLOSER
CLR	CLEAR
COL	COLUMN
CORR	CORRIDOR
CONC	CONCRETE
CWK	CASEWORK
D	DEMOLITION
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
E	EXISTING
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FFIN	FACTORY FINISH
FIN	FINISH
FIXT	FIXTURE
FLR	FLOOR
FLRG	FLOORING
FO	FACE OF
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
FR	FIRE RATED
FTIC	FURNISHED BY TENANT, INSTALLED BY CONTRACTOR
FURR	FURRING
FUT	FUTURE
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS
GYP	GYPSUM WALLBOARD
HB	HOSE BIB
HC	HANDICAPPED
HDW	HARDWARE
HM	HOLLOW METAL (STEEL FRAME)
HT	HEIGHT
INCL	INCLUDED OR INCLUDING
INSUL	INSULATION
JAN	JANITOR
KD	KNOCK DOWN FRAME
Q	QUARTZ
LAV	LAVATORY
LF	LINEAL FOOT
LKR	LOCKER
LVR	LOUVER
LVT	LUXURY VINYL TILE
MATL	MATERIAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY BOARD
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
MU	MULLION
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OVHD	OVERHEAD
P	PAINT
PC	POLISHED CONCRETE
PERF	PERFORATED
PL	PLASTIC LAMINATE
PR	PAIR
POL	POLISHED
PP	POWER POLE
PWD	PLYWOOD
QTY	QUANTITY
R	RELOCATED
RB	RUBBER BASE
RCP	REFLECTED CEILING PLAN
REC	RECESSED
REF	REFERENCE
REV	REVISION OR REVISED
RO	ROUGH OPENING
SC	SEALED CONCRETE
SD	SOAP DISPENSER
SF	SQUARE FEET/FOOT
SG	SAFETY GLASS
SHT	SHEET
SIM	SIMILAR
SS	STAINLESS STEEL
SSM	SOLID SURFACE MATERIAL
SPKLR	SPRINKLER
SPKR	SPEAKER
ST	STONE
SV	SHEET VINYL
STD	STANDARD
STL	STEEL
SUSP	SUSPENDED
TBD	TO BE DETERMINED
THK	THICKNESS
TO	TOP OF
TOS	TOP OF SLAB
T&M	TIME AND MATERIAL
TU	TILT-UP
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
UNF	UNFINISHED
UPS	UNINTERRUPTED POWER SUPPLY
UR	URINAL
VCT	VINYL COMPOSITION TILE
VFY	VERIFY
VIF	VERIFY IN FIELD
WC	WATER CLOSET
WD	WOOD
WH	WALL HUNG
W/H	WATER HEATER
W/O	WITHOUT

GENERAL NOTES

CODE INFORMATION

1. MAINTAIN 100% COVERAGE FROM EXISTING SMOKE & FIRE ALARM SYSTEM PER FMO.
2. EXIT SIGN, EMERGENCY ILLUMINATION, SMOKE DETECTION, FIRE DETECTORS, FIRE ALARM COMMUNICATION DEVICES AND ALL OTHER REQUIREMENTS TO CONFORM TO ALL PERTINENT BUILDING, FIRE AND LIFE SAFETY CODES.
3. FIRE EXTINGUISHERS FINAL LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS TO BE LOCATED IN ACCESSIBLE LOCATIONS, IN PLAIN VIEW WITH A MAXIMUM PATH OF TRAVEL OF 75 FEET AND MAXIMUM FLOOR AREA AS FOLLOWS:
   - LIGHT HAZARD OCCUPANCY – 1 PER 3,000 S.F.
   - ORDINARY HAZARD OCCUPANCY – 1 PER 1,500 S.F.
   - EXTRA HAZARD OCCUPANCY – 1 PER 1,000 S.F.
4. PROVIDE A SIGN READING "THIS DOOR SHALL REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" AS DESIGNATED OR REQUIRED BY CODE OR BUILDING OFFICIALS.
5. PENETRATING ITEMS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF BEARING WALLS ARE REQUIRED TO HAVE A FIRE-RESISTIVE RATING. WALLS REQUIRING PROTECTED OPENINGS SHOULD BE PROTECTED WITH THROUGH PENETRATION FIRE STOPS PER BUILDING AND FIRE CODE.

CONTRACTOR INFORMATION

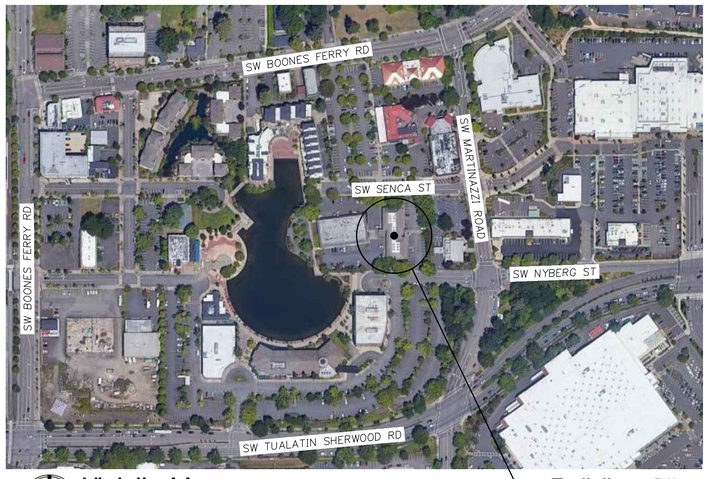
1. CONTRACTOR SHALL MAKE EVERY EFFORT TO HAVE A FULL UNDERSTANDING OF SPECIFIC POLICIES OF PROPERTY MANAGEMENT FOR COMPLETING WORK AT THE PROPERTY. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, RULES AND REGULATIONS HAVING JURISDICTION. CONTRACTOR RESPONSIBLE FOR INSPECTIONS OF WORK. CONTRACTOR SHALL OBTAIN A PERMANENT CERTIFICATE OF OCCUPANCY PRIOR TO TENANT MOVE IN.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE CONSTRUCTION. DO NOT SCALE DRAWINGS, REQUEST DIMENSIONS FROM ARCHITECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ORDINANCES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS, AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY AND DUST BARRIERS BETWEEN CONSTRUCTION AREAS AND OCCUPIED OR PUBLIC AREAS SHALL BE MAINTAINED BY CONTRACTOR. TEMPORARY STRUCTURES WHICH REQUIRE TEMPORARY ENCLOSURES (E.G. DUST BARRIERS) TO BE CONSTRUCTED USING NONCOMBUSTIBLE, FLAME-RESISTANT, ETC. MATERIALS. THE USE OF POLYPROPYLENE PLASTIC OR SIMILAR COMBUSTIBLE MATERIALS (PLYWOOD, ETC.) TO ENCLOSE DEMOLITION WORK IS NOT PERMITTED BY THIS SECTION.
5. THE CONTRACTOR SHALL WARRANTEE ALL PARTS, LABOR, EQUIPMENT, AND MATERIALS PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE (1) YEAR UPON COMPLETION OF CONTRACT.
6. CONTRACTOR INITIATED CHANGES AND SUBSTITUTIONS TO BE SUBMITTED IN WRITING FOR APPROVAL TO ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT, FABRICATION OR CONSTRUCTION. CHANGES ON SHOP DRAWINGS DO NOT SATISFY THIS REQUIREMENT.
7. ALL DELEGATED DESIGN ITEMS TO BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO SUBMITTING FOR PERMIT.
8. PROVIDE SHOP DRAWINGS AND SUBMITTALS FOR THE FOLLOWING:
   ALL FINISHES
   STOREFRONT
   ELEVATOR
   ACCESSORIES
   LIGHTING
   FIRE/LIFE SAFETY DEVICES LOCATIONS
9. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTION AND TRADE ASSOCIATED ACCEPTED STANDARDS.
10. ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE ALL WORK TO ASSURE ALL SCHEDULES ARE MET AND ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
11. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE OF ALL WINDOWS SO THE SPACE IS READY FOR OCCUPANCY FOR TENANT.

BUILDING SUMMARY

BASED ON 2022 INTERNATIONAL BUILDING CODE AND 2021 OREGON STRUCTURAL AND SPECIALTY CODE AMENDMENTS

CONSTRUCTION TYPE	V-N (NON-SPRINKLERED)
BUILDING HEIGHT:	2 STORIES
BUILDING SIZE:	16,567 SF + 64 SF (ELEVATOR) = 16,631 SF
BUILDING OCCUPANCY:	B / M
AREA OF WORK:	792 SF (1ST FLR 552 SF / 2ND FLR 240 SF)
OCCUPANT LOAD FOR TENANT IMPROVEMENT:	REFER TO FIRE LIFE SAFETY PLAN FOR BREAKDOWN

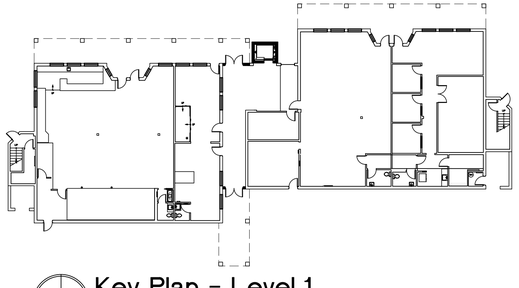
VICINITY MAP



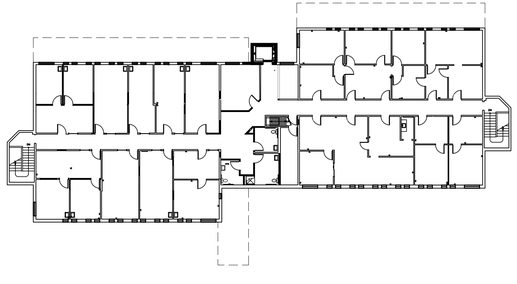
Vicinity Map
N.T.S.

DRAWING INDEX

KEY PLAN



Key Plan - Level 1
N.T.S.



Key Plan - Level 2
N.T.S.

PROJECT TEAM

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NORTH RIM DEVELOPMENT GROUP
819 SE MORRISON STREET, SUITE 110
PORTLAND, OREGON 97214
CONTACT PERSON: JEFFREY WEITZ
EMAIL: JW@NORTHRIMPDX.COM

Architect

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General Contractor

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APRIL 2023

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New Elevator

8101 SW Nyberg Street
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Sheet Title:
Cover Sheet

Revisions:

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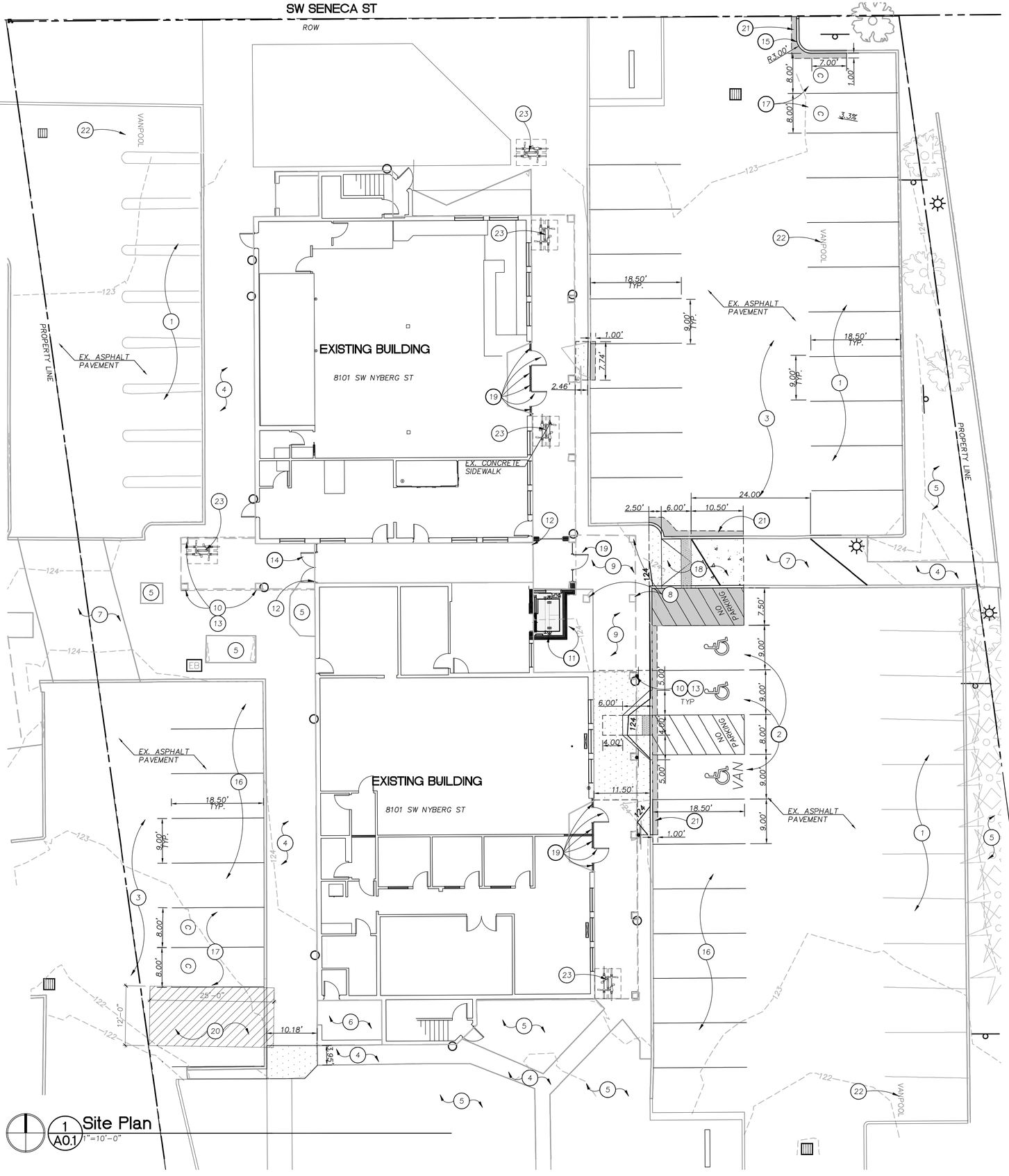
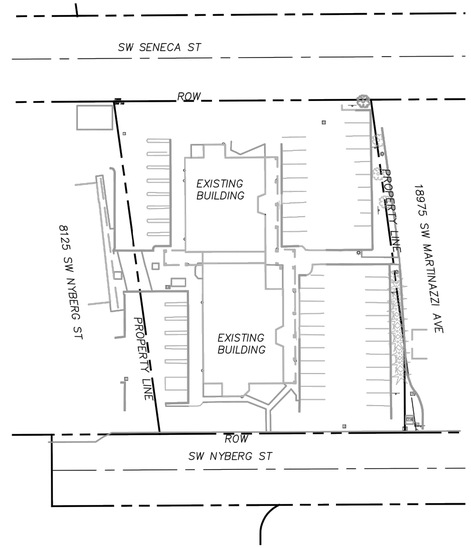


1 A0.1 Site Plan
1"=10'-0"



OVERALL SITE PLAN

Keynotes

1. EXISTING STANDARD PARKING TO REMAIN
2. ACCESSIBLE PARKING STALL, AISLE, SIGNAGE
3. EXISTING DRIVE AISLE TO REMAIN
4. EXISTING SIDEWALK TO REMAIN
5. EXISTING LANDSCAPE AREA TO REMAIN
6. EXISTING TRASH ENCLOSURE TO REMAIN
7. EXISTING CONCRETE ACCESSIBLE ROUTE TO PUBLIC STREET FLUSH WITH DRIVE AISLE
8. REMOVE EXISTING COLUMN
9. REMOVE EXISTING CANOPY
10. REMOVE BRICK FROM CANOPY COLUMN
11. NEW EXTERIOR WALL (1HR RATED) STUCCO FINISH AT NEW ELEVATOR
12. NEW EXTERIOR WALL WITH STUCCO FINISH
13. NEW METAL FRAMING AT COLUMN WITH STUCCO FINISH
14. NEW DOUBLE STOREFRONT DOOR TO MATCH EXISTING
15. REPAIR EXISTING CURB
16. REPAINT PARKING STALLS
17. COMPACT PARKING STALLS
18. REMOVE AND REPLACE SIDEWALK AND RAMP – SEE CIVIL
19. NEW STOREFRONT GLAZING AND STOREFRONT DOOR
20. LOADING BERTH
21. MODIFIED PAVING – SEE CIVIL
22. VANPOOL SPACE
23. BIKE RACK FOR 2 BIKES

PERMIT SET - JULY 2023

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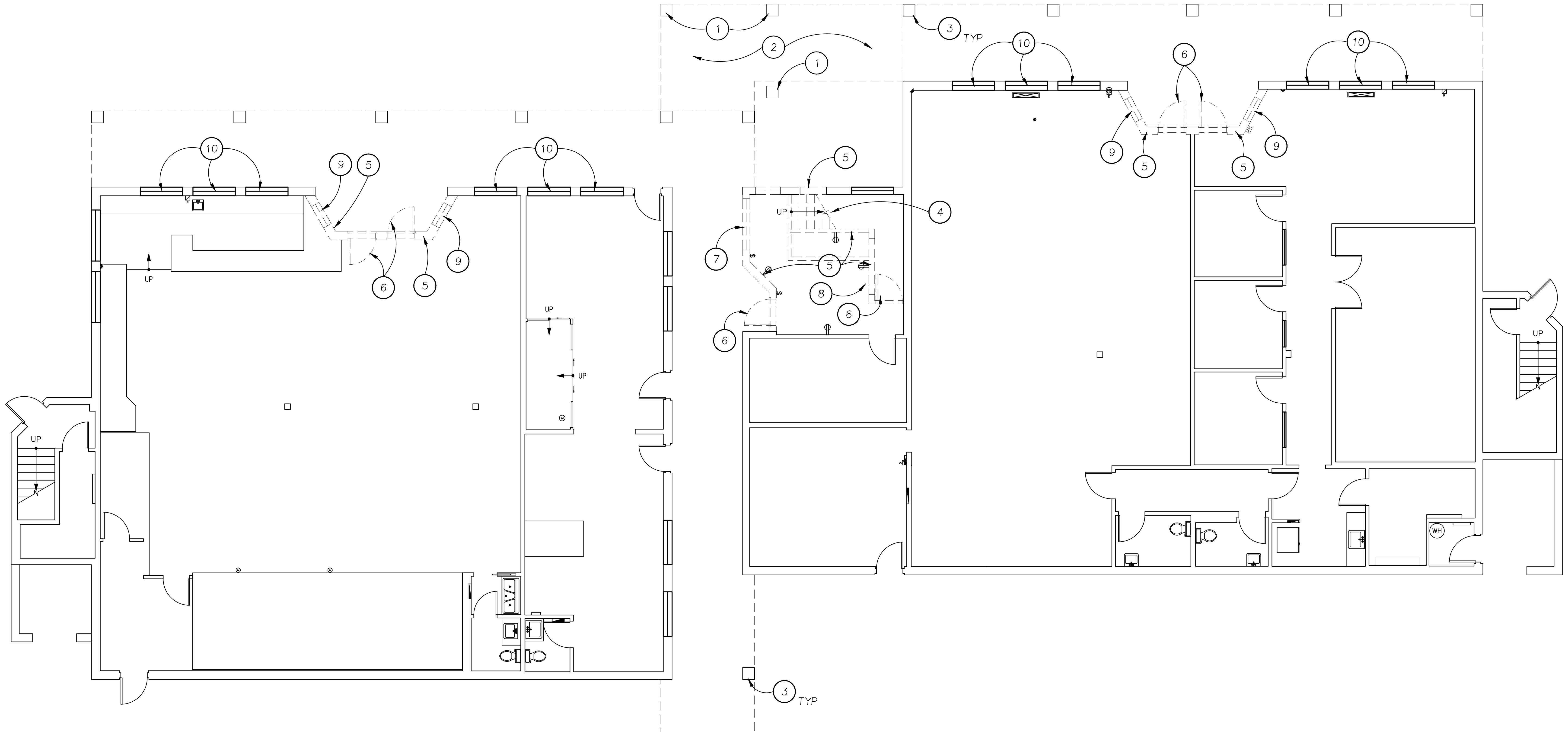
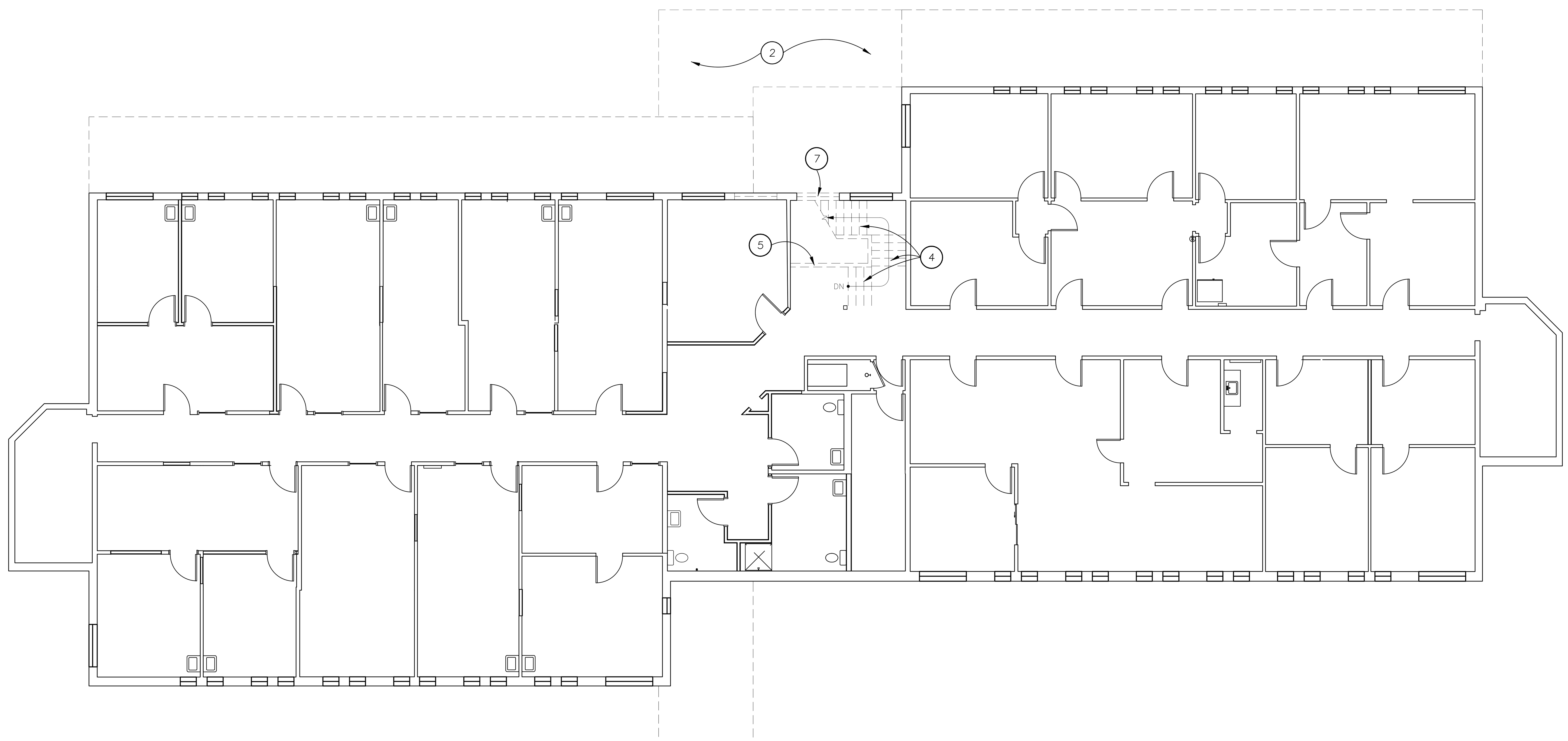


1 A1.0 Demolition Plan - Level 1
1/8"=1'-0"



2 A1.0 Demolition Plan - Level 2
1/8"=1'-0"

Legend - Demolition Plan

WALL OR ITEM TO BE REMOVED

EXISTING WALL TO REMAIN

General Notes - Demolition Scope

1. PARTITIONS, DOORS, RELITES & ITEMS SHOWN AS DASHED ARE TO BE REMOVED OR RELOCATED. REUSABLE MATERIALS TO BE RETURNED TO BUILDING STOCK.
2. REMOVE EXISTING FLOOR FINISH THROUGHOUT AREA OF WORK. PREP TO RECEIVE NEW FLOOR FINISHES – COORDINATE NEW FLOOR FINISH WITH BUILDING OWNER.
3. CAP OFF ALL UNUSED ELECTRICAL, LOW VOLTAGE CABLING, AND PLUMBING FEEDS. WHERE POSSIBLE ALL ABANDONED UTILITY FEEDS TO BE REMOVED BACK TO THE POINT OF ORIGIN. REMOVE CONDUIT WHERE POSSIBLE.
4. DEMOLITION CONTRACTOR IS NOT TO REMOVE ANY STRUCTURAL ELEMENTS WITHOUT PRIOR DIRECTION AND AUTHORIZATION BY A STRUCTURAL ENGINEER. CONDUCT DEMOLITION TO AVOID DAMAGE TO EXISTING BUILDING SHELL/ STRUCTURE. CEASE OPERATION AND NOTIFY OWNER IMMEDIATELY IF SHELL/ STRUCTURE APPEARS TO BE COMPROMISED.
5. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY CONFLICTS OR QUESTIONS FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR NOT TO SCALE ANY DRAWINGS, CONTACT ARCHITECT FOR ADDITIONAL DIMENSIONS.
6. AT LOCATIONS WHERE NEW WALL CONSTRUCTION INTERSECTS OR JOINS WITH EXISTING OR ADJACENT CONSTRUCTION THE CONTRACTOR'S DISCRETION IS REFERRED TO FOR INTERPRETATION OF THE LIMITS UNDER WHICH WALLS TO REMAIN ARE TO BE DEMOLISHED ENTIRELY, TO BE REUSED OR TO PROVIDE SELECTIVE DEMOLITION. PATCH/ REPAIR EXISTING SHEET ROCK AT AREAS OF DEMOLITION.
7. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND LEFT FREE FROM ACCUMULATIONS OF WASTE MATERIALS, DUST AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE CRATES, CARTONS, AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREA AT THE END OF EACH WORKING DAY.
8. CARE TO BE TAKEN NOT TO DAMAGE CEILING TILE AND GRID TO REMAIN.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO FINISHES OR COMPONENTS NOT SCHEDULED FOR DEMOLITION. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED TO MEET OR EXCEED FORMER CONDITIONS. THE RENOVATION, DEMOLITION, AND/OR NEW CONSTRUCTION WILL UTILIZE AS MUCH OF THE EXISTING COMPONENTS AS NOTED PER PLANS, U.N.O.
10. CONTRACTOR SHALL EXERCISE CARE IN REMOVAL OF ANY COMPONENTS (I.E. DOORS, FRAMES, FIXTURES, CEILING TILE) THAT MAY BE REUSED ON THIS OR FUTURE PROJECTS. CONTRACTOR SHALL COORDINATE APPROPRIATE STORAGE LOCATIONS FOR SUCH COMPONENTS DIRECTLY WITH THE PROPERTY MANAGER.

Keynotes - Demolition Plan

1. REMOVE EXISTING COLUMN
2. REMOVE EXISTING CANOPY
3. REMOVE BRICK FROM CANOPY COLUMN
4. REMOVE STAIRS
5. REMOVE WALL
6. REMOVE DOOR/FRAME
7. REMOVE GLAZING/FRAME
8. REMOVE MAILBOXES.
9. REMOVE EXISTING WINDOW/FRAME
10. REMOVE EXISTING WINDOW/FRAME AND LOWER WINDOW SILL TO 8" A.F.F.

APRIL 2023

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REGISTERED ARCHITECT
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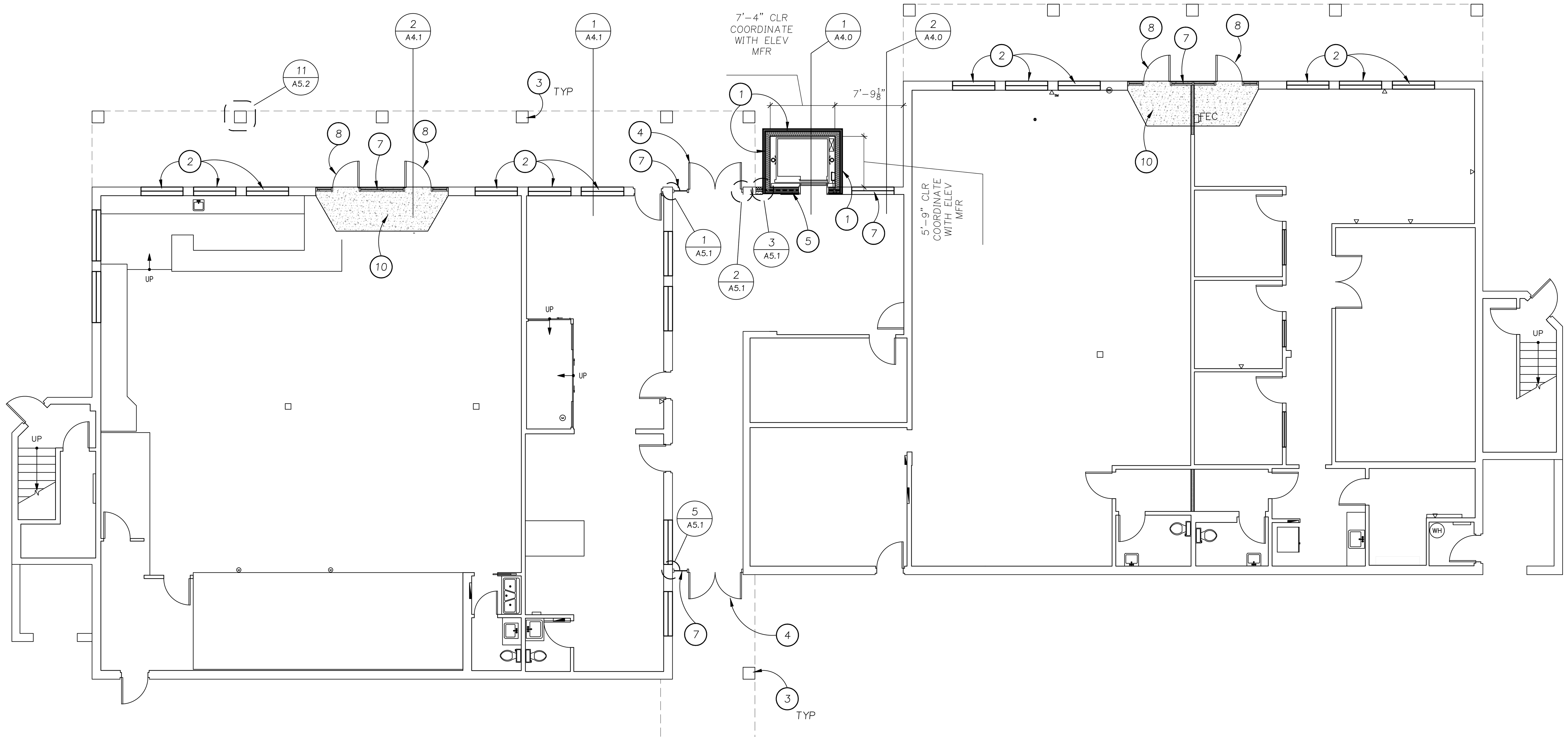
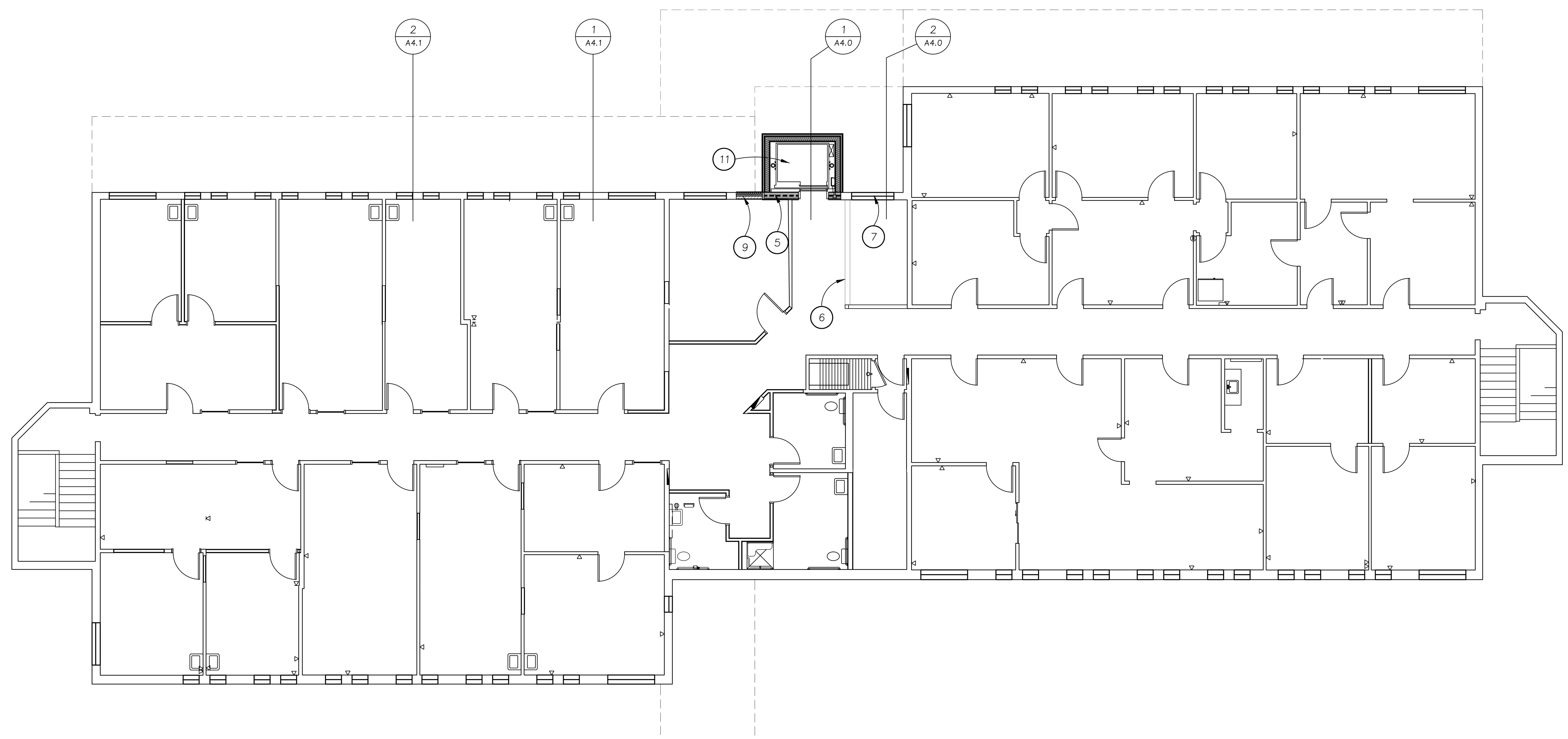


1 A2.0 Floor Plan - Level 1
1/8"=1'-0"



2 A2.0 Floor Plan - Level 2
1/8"=1'-0"

Legend - Floor Plan

- EXISTING PARTITION WALL
- NEW EXTERIOR WALL (TYPE D)
- NEW EXTERIOR WALL (TYPE E)
- NEW 1-HR RATED WALL (TYPE F)

General Notes - Floor Plan

A. ALL POWER TERMINATIONS ARE EXISTING UNLESS DENOTED AS NEW.
B. DIMENSIONS ARE TO FACE OF FINISH U.O.N.
C. ALL WORK AND MATERIALS TO CONFORM TO BUILDING STANDARDS UNLESS NOTED OTHERWISE.
D. PROVIDE BUILDING MANAGEMENT WITH AS BUILT DOCUMENTATION/ DRAWINGS AT COMPLETION OF CONSTRUCTION.
E. AT OFFICE AREAS: ALL NEW GYPSUM BOARD WALL SURFACES TO RECEIVE A SMOOTH, LEVEL 4 FINISH PER AWCI STANDARDS. APPLY A DRYWALL PRIMER (SHEETROCK BRAND "FIRST COAT" OR EQUIV.) PRIOR TO FINAL FINISH COAT TO MINIMIZE SURFACE TEXTURE VARIATIONS.
F. DOORS AND CASED OPENINGS STANDARD OFFSET FROM ADJACENT WALL IS 4" U.O.N.
G. CONTRACTOR TO VERIFY AND COORDINATE CLEARANCE REQUIREMENTS FOR APPLIANCES, PLUMBING FIXTURES, AND ANY OTHER ITEMS WITH SPECIAL CLEARANCE REQUIREMENTS PRIOR TO FRAMING WALLS.
H. CONTRACTOR TO PROVIDE BACKING AT CORNER GUARD, GRAB BARS, TOILET PARTITION AND URINAL SCREENS, ADA SHOWER SEAT LOCATIONS, DOOR WALL STOPS, CASEWORK, AND ANY WALL MOUNTED TENANT PROVIDED ITEMS.
I. WOOD UTILIZED FOR INTERIOR FRAMING/BACKING TO BE FIRE-RETARDANT TREATED WOOD.
J. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

Keynotes - Floor Plan

1. NEW EXTERIOR WALL STUCCO FINISH AT NEW ELEVATOR
2. NEW STOREFRONT WINDOW TO MATCH EXISTING WITH SILL AT 8" A.F.F. AT MODIFIED OPENING
3. NEW METAL FRAMING AT COLUMN WITH STUCCO FINISH
4. NEW DOUBLE STOREFRONT DOOR TO MATCH EXISTING
5. NEW 1 HOUR RATED WALL - TYPE F
6. NEW PARTIAL HEIGHT WALL - 42" TALL, SEE DETAIL 7/A5.0
7. NEW STOREFRONT WINDOW TO MATCH EXISTING
8. NEW STOREFRONT DOOR TO MATCH EXISTING WITH HARDWARE GROUP 6
9. INFILL WINDOW OPENING TO MATCH EXISTING WALL - TYPE E
10. SLAB ON GRADE AT ENTRY INFILL
11. NEW TKE ENDURA HMRL 2500 ELEVATOR

Door / Hardware Notes

A. MAIN EXIT DOOR TO HAVE SIGNAGE ABOVE THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"
B. EXIT DOORS ARE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR FORCE.
C. ALL HARDWARE TO BE ADA COMPLIANT.
D. PROVIDE 18 GA. BACKING AT ALL WALL STOP LOCATIONS, IF APPLICABLE.
E. CLOSERS - MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
F. DOOR CLEARANCES AT BOTTOM TO BE A MAXIMUM ½"
G. EXTERIOR DOOR/FRAMES - ALUMINUM WITH FINISH TO MATCH EXISTING.
H. ALL HARDWARE TO BE 626 FINISH U.O.N.

Hardware Groups

GROUP 6 - PASSAGE
-2 PIVOT SETS
-4 INTERMEDIATE PIVOTS
-2 RIM CYLINDERS
-2 PANIC HARDWARE
-2 SURFACE CLOSERS
-1 ASTRAGAL
-2 DOOR SWEEPS
-1 THRESHOLD

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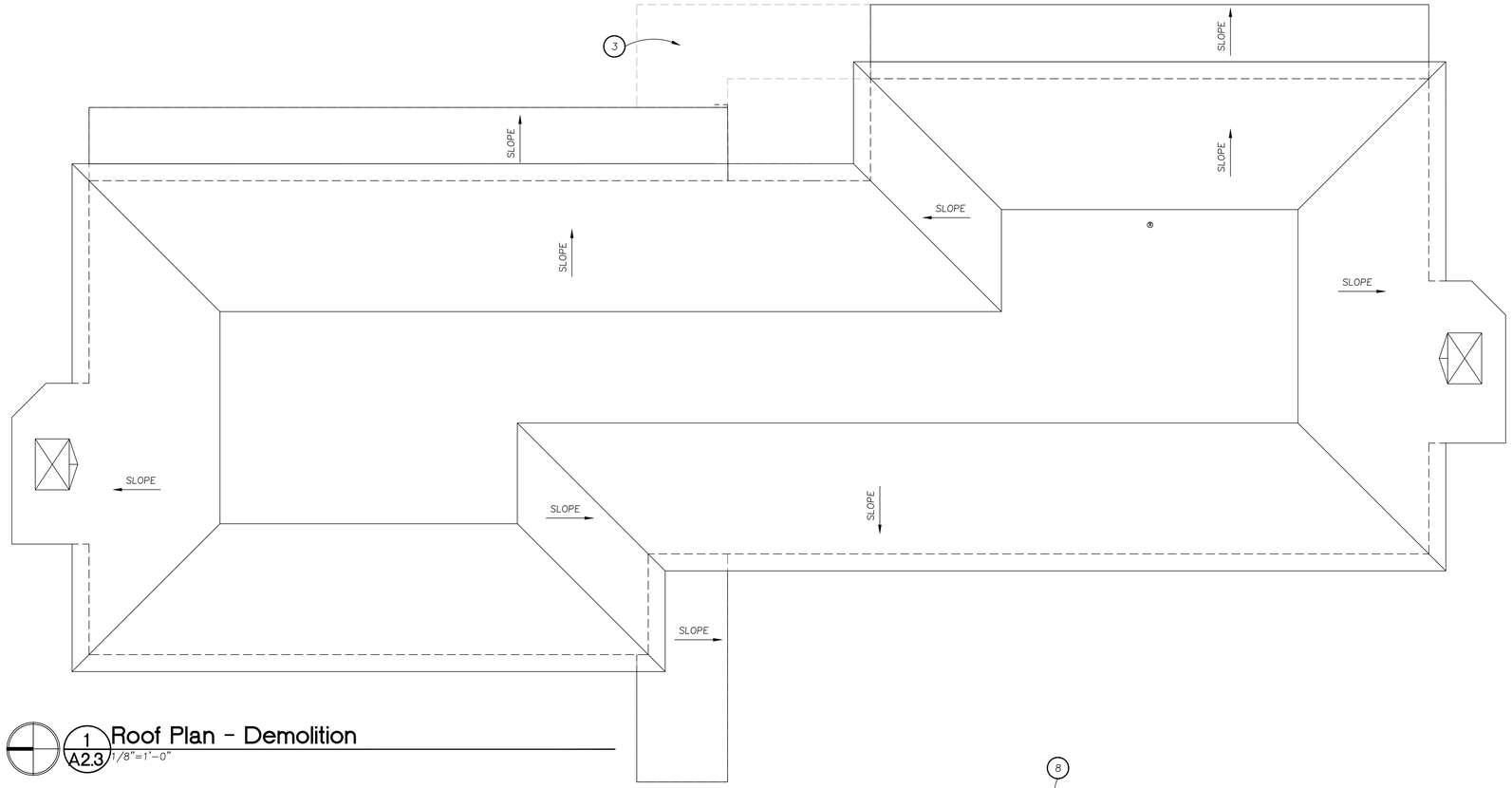
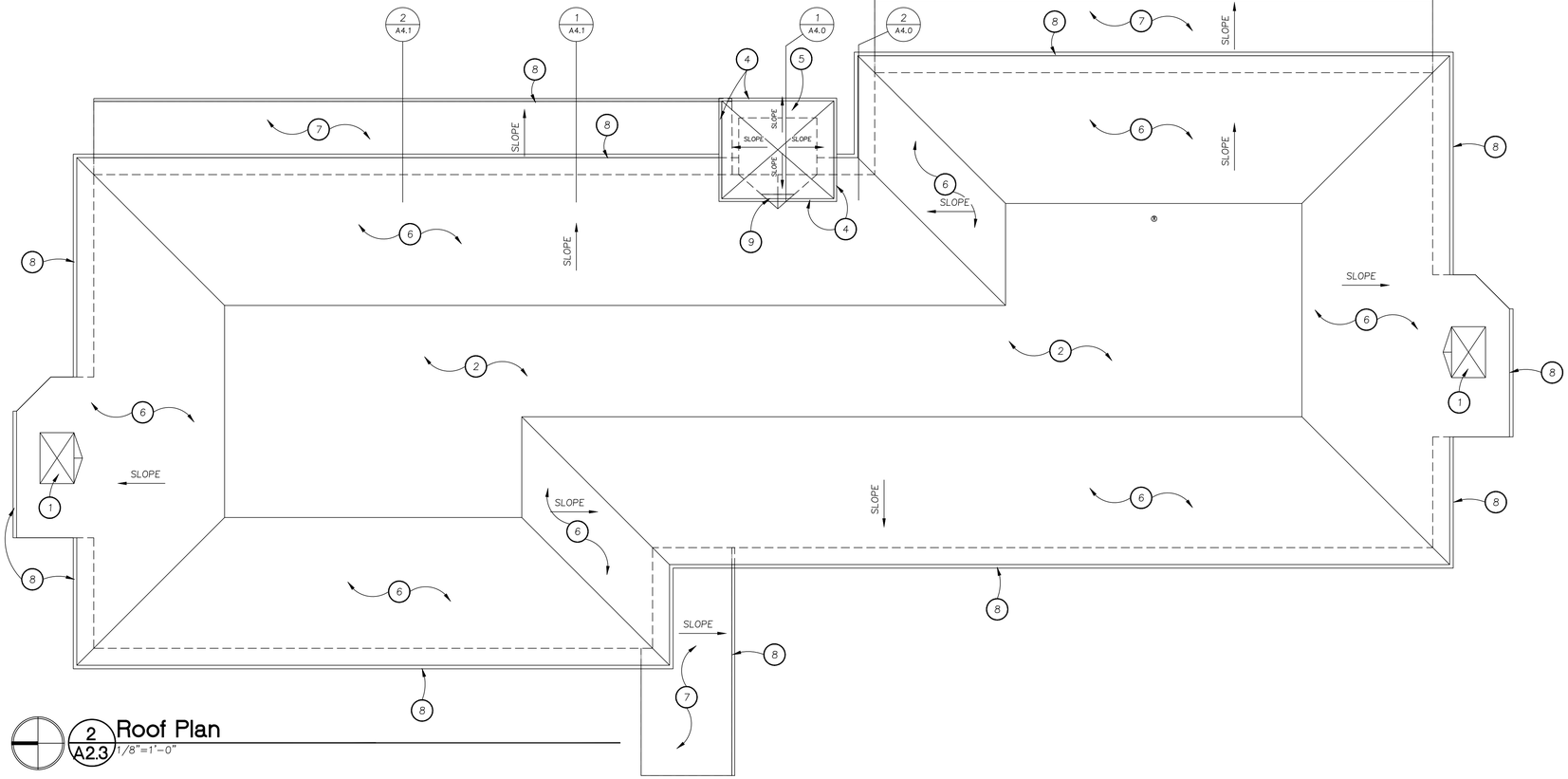


1 A2.3 Roof Plan - Demolition
1/8"=1'-0"

Keynotes - Roof Plan

1. EXISTING SKYLIGHT TO REMAIN
2. EXISTING FLAT ROOF TO REMAIN
3. REMOVE EXISTING CANOPY
4. GUTTER WITH DOWNSPOUT ONTO EXISTING ROOF
5. ASPHALT SHINGLE ROOFING AT NEW ELEVATOR - R1
6. ASPHALT SHINGLE ROOFING AT EXISTING ROOF - R2
7. ASPHALT SHINGLE ROOFING AT EXISTING CANOPY - R3
8. GUTTER
9. CRICKET



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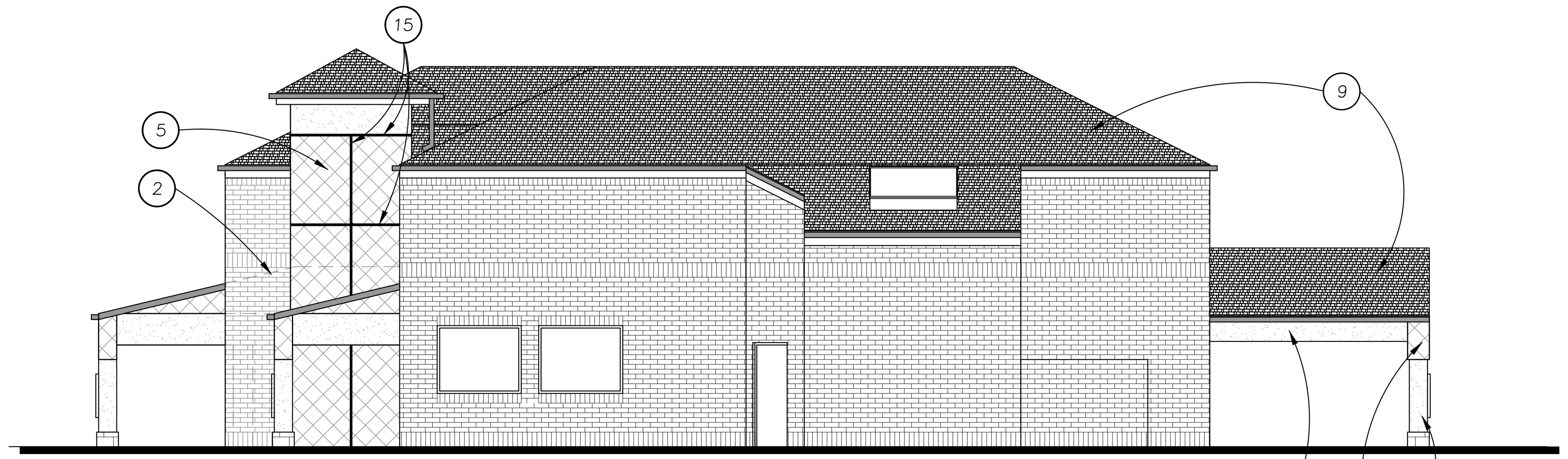
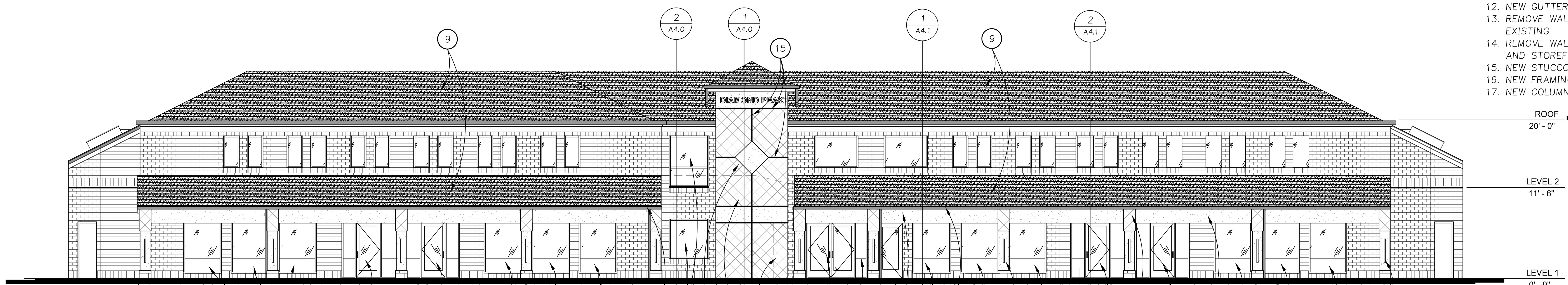
A2.3

APRIL 2023



1 North Elevation
A3.0
1/8"=1'-0"



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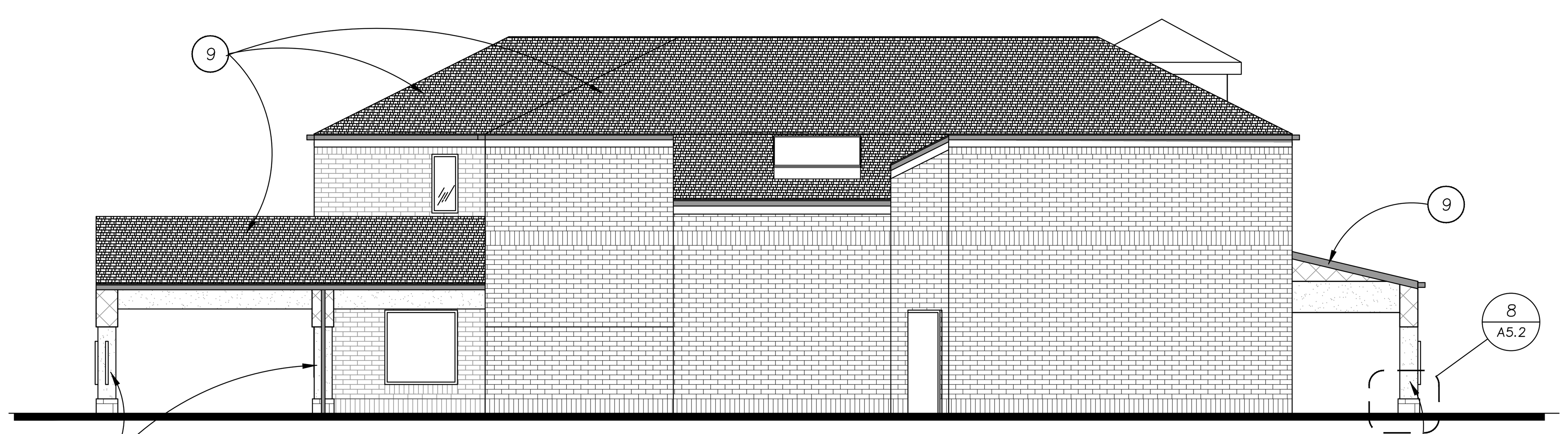

3 South Elevation
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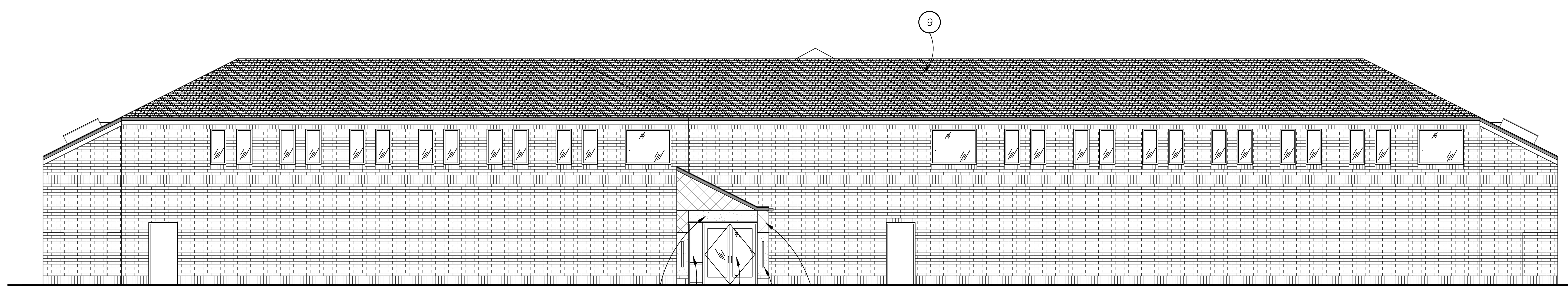


4 West Elevation
A3.0
1/8"=1'-0"

Keynotes - Elevations

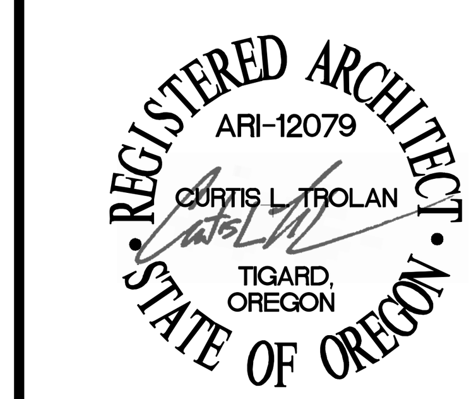
1. REMOVE EXISTING COLUMN
2. REMOVE EXISTING CANOPY
3. REMOVE BRICK FROM CANOPY COLUMN
4. NEW FRAMING AT CANOPY FASCIA WITH STUCCO FINISH, P2
5. NEW EXTERIOR WALL WITH STUCCO FINISH AT NEW ELEVATOR, P1 AND P2
6. NEW STUCCO AT COLUMN CAP, P1
7. NEW METAL FRAMING AT COLUMN WITH STUCCO FINISH, P2
8. NEW DOUBLE STOREFRONT DOOR TO MATCH EXISTING
9. ASPHALT SHINGLE ROOFING
10. NEW STOREFRONT GLAZING TO MATCH EXISTING
11. NEW STUCCO CANOPY FASCIA
12. NEW GUTTER, P3
13. REMOVE WALL BELOW GLAZING AND REPLACE WITH NEW STOREFRONT TO MATCH EXISTING
14. REMOVE WALL AT RECESSED ENTRY AND REPLACE WITH NEW STOREFRONT GLAZING AND STOREFRONT DOOR TO MATCH EXISTING
15. NEW STUCCO CONTROL JOINT, P2
16. NEW FRAMING AT CANOPY FASCIA WITH STUCCO FINISH, P2
17. NEW COLUMN MOUNTED LIGHT FIXTURE

Material Color Legend

- P1 – MILLER PAINT, H0120, NANKEEN
- P2 – MILLER PAINT, R011, WHITE PEPPER
- P3 – MILLER PAINT. R042, LEATHER PANEL

APRIL 2023

MDG
ARCHITECTURE | INTERIORS
4875 SW GRIFFITH DRIVE, SUITE 300
BEAVERTON, OREGON 97005
O | 503.244.0552



Client / Owner:
North Rim Development Group

819 SE Morrison St, Suite 110
Portland, OR 97214

Project:
8101 SW Nyberg Building New Elevator

8101 SW Nyberg Street
Tualatin, OR 97062

Sheet Title:
Building Elevations

Revisions:

Date: 04/28/2023
Job Number: 122099

Sheet
A3.0

1 A3.1 West Elevation at Elevator
NTS

APRIL 2023

MDG
ARCHITECTURE | INTERIORS
4875 SW GRIFFITH DRIVE, SUITE 300
BEAVERTON, OREGON 97005
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REGISTERED ARCHITECT
ARI-12079
CURTIS L. TROLAN
TIGARD, OREGON
STATE OF OREGON

Client / Owner:
North Rim Development Group

819 SE Morrison St, Suite 110
Portland, OR 97214

Project:
8101 SW Nyberg Building
New Elevator

8101 SW Nyberg Street
Tualatin, OR 97062

Sheet Title:
Rendering

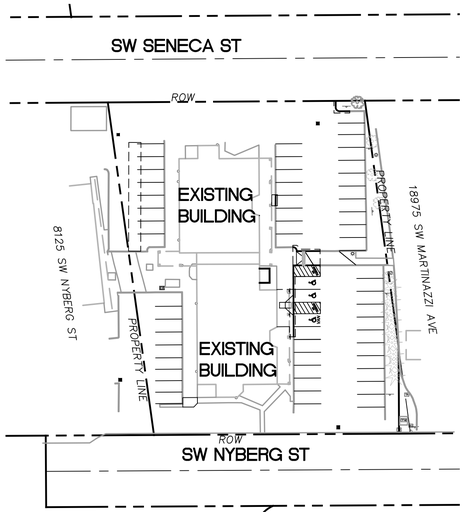
Revisions:

Date:	04/28/2023
Job Number:	122099

Sheet
A3.1

8101 SW NYBERG ST

PERMIT SET



VICINITY MAP

SCALE: 1"=50'

OWNER/DEVELOPER

NORTH RIM DEVELOPMENT GROUP
819 SE MORRISON ST, #110
PORTLAND, OR 97214
(503)525–1925
CONTACT: JEFFREY WEITZ

CIVIL ENGINEER

HUMBER DESIGN GROUP, INC.
110 SE MAIN ST, SUITE 200
PORTLAND, OR 97214
(503)946–5358
CONTACT: KRISTIAN MCCOMBS, PE

ARCHITECT

MILDREN DESIGN GROUP PC
4875 SW GRIFFITH DR
BEAVERTON, OR 97005
(503)244–0552
CONTACT: SABINE O'HALLORAN

GENERAL NOTES

1. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
3. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. ALL PERMITS AND LICENSES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR, INCLUDE IN THEIR BUDGET AND PAY UNLESS OTHERWISE APPROVED BY OWNER IN WRITING.
4. ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952–001–0010 THROUGH OAR 952–001–0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503–232–1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503–246–6699.
5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF HUMBER DESIGN GROUP, INC. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
6. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
7. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE USED AS NEEDED. THE CONTRACTOR SHALL ADHERE TO WASHINGTON COUNTY EROSION CONTROL STANDARDS AS NECESSARY FOR EROSION CONTROL MEASURES.
8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL ROADWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS.
9. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.
10. CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
11. HUMBER DESIGN GROUP, INC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
12. MATERIALS TO BE STORED ON FINAL AC LIFTS WITH CRIBBING AND VISQUEEN TO PROTECT PAVING FROM DAMAGE AND STAINING.
13. EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACE IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140–209.155.

STORM SEWER NOTES

1. ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE REQUIREMENTS OF CWS STANDARDS AND THE APPLICABLE REQUIREMENTS OF WASHINGTON COUNTY.
2. LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.
3. PIPE BEDDING AND BACKFILL SHALL CONFORM TO THE CWS STANDARDS.
4. THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
5. RIM ELEVATIONS OF MANHOLES AND CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES. RIMS OUTSIDE OF PAVEMENT SHALL BE SET 6" ABOVE FINISHED GRADE.
6. ALL STORM SYSTEMS SHALL BE VIDEO INSPECTED, PASS THE REQUIRED COMPACTION TEST (AASHTO T99), AND A DEFLECTION TEST, PER CWS STANDARDS.
7. CONTRACTOR MAY SUBSTITUTE PVC 3034 FOR THE STORM DRAIN PIPE MATERIAL ON THE DESIGNATED PLANS. PVC AND ADS PIPE SHALL MEET THE REQUIREMENTS OF CWS. A MANDREL TEST WILL BE OF THE REQUIRED NOTE THAT THESE ALTERNATIVE MATERIALS MAY ONLY BE USED WHERE A MINIMUM OF 4' OF COVER IS MAINTAINED, AND MUST BE APPROVED BY THE ENGINEER, OTHERWISE CONCRETE SEWER PIPE SHALL BE USED. ALL CSP SHALL BE ASTMC–14, CLASS 3 UNLESS OTHERWISE NOTED ON PLANS.
8. ALL STORM SEWER PIPE OUTSIDE OF WASHINGTON COUNTY R.O.W. SHALL BE GASKETED PIPE CONFORMING TO WASHINGTON COUNTY STANDARDS.
9. CONTRACTOR SHALL NOT CONSTRUCT PRIVATE STORM FACILITIES WITHOUT CITY OF TIGARD BUILDING DEPARTMENT APPROVAL.
10. A LICENSED PLUMBING CONTRACTOR IS REQUIRED TO INSTALL THE STORM DRAINS.
11. ALL TRENCHES PARALLEL TO A BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.
12. ALL PIPE AND FITTINGS WITHIN TWO FEET OF A BUILDING SHALL BE OF A TYPE THAT IS ALLOWED FOR USE WITHIN THE BUILDING.
13. BUILDING SEWERS SHALL BE TESTED BY PLUGGING THE END OF THE BUILDING SEWER AT ITS POINTS OF CONNECTION WITH THE PUBLIC SEWER AND COMPLETELY FILLING THE BUILDING SEWER WITH WATER FROM THE LOWEST TO THE HIGHEST POINT THEREOF, OR BY APPROVED EQUIVALENT LOW–PRESSURE AIR TEST. THE BUILDING SEWER SHALL BE WATERTIGHT AT ALL POINTS. PUBLIC STORM TESTING PER PUBLIC WORKS STANDARDS.
14. A MINIMUM FIVE FEET (5') HORIZONTAL SEPARATION IS REQUIRED BETWEEN STORM AND WATER LINES. ALL CONSTRUCTION MUST MEET CLEAN WATER SERVICES, DEQ AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
15. ALL MANHOLES LOCATED WITHIN DRIVE AISLES WILL HAVE LIDS THAT BOLT DOWN.

WATER UTILITY NOTES

1. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH WASHINGTON COUNTY, TUALATIN VALLEY WATER WATER DISTRICT, AND THE CITY OF TIGARD DESIGN AND CONSTRUCTION STANDARDS, AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, OREGON ADMINISTRATIVE RULES (OAR), AND THE OREGON PLUMBING SPECIALTY CODE (OPSC), 2014.
2. LOCATIONS SHOWN FOR EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION AND ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND POTHOLE ALL EXISTING UTILITIES AS REQUIRED TO AVOID CONFLICTS WITH THE PROPOSED WATER LINE. INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS.
3. THE EXCAVATION CONTRACTOR SHALL CALL THE OREGON UTILITY NOTIFICATION CENTER (1–800–332–2344) AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE BEGINNING EXCAVATION. OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952–001–0010 THROUGH OAR 952–001–0090. COPIES OF THE RULES ARE AVAILABLE THROUGH THE NOTIFICATION CENTER. IF ADDITIONAL INFORMATION IS DESIRED, YOU MAY CONTACT THE WATER DEPARTMENT AT 503–615–6700.
4. THE CONTRACTOR SHALL NOTIFY THE TUALATIN VALLEY WATER DISTRICT AT 503–848–3000 A MINIMUM 48 HOURS (TWO BUSINESS DAYS) PRIOR TO CONSTRUCTION. WEEKENDS AND HOLIDAYS ARE NOT TO BE COUNTED AS PART OF NOTIFICATION TIME.
5. WATER LINES SHALL BE CLASS 52 DUCTILE IRON PIPE PER AWWA C151 WITH A MINIMUM 36 INCHES OF COVER OVER THE TOP OF PIPE, UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS. ALL WATER LINES LOCATED UNDER A HARD SURFACE SHALL HAVE FULL DEPTH ROCK BACKFILL PER OREGON DEPT OF TRANSPORTATION (ODOT) STANDARDS, COMPACTED TO 95% AASHTO T–99. SEE ALSO, NOTE 21.
6. ALL WATER MAIN LINES, SERVICE FITTINGS, AND JOINTS SHALL BE RESTRAINED WITH MECHANICAL RESTRAINTS, FIELD LOCK GASKETS, OR APPROVED EQUIVALENT. SEE ALSO, NOTE 21.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE PROPER HORIZONTAL AND VERTICAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES AS REQUIRED BY THE OREGON HEALTH AUTHORITY, PUBLIC HEALTH DIVISION, OAR 333–061–0050.
8. ON–SITE DOMESTIC WATER SERVICE LINES SHALL BE INSTALLED AS REQUIRED BY OPSC. CONTACT THE WASHINGTON COUNTY BUILDING DEPARTMENT AT 503–846–3470 FOR REQUIREMENTS.
9. PRIOR TO BEING PLACED IN SERVICE, ALL WATER LINES AND SERVICES SHALL BE LEAK TESTED, FLUSHED, AND STERILIZED BY THE CONTRACTOR, ALL IN ACCORDANCE WITH WASHINGTON COUNTY DESIGN AND CONSTRUCTION STANDARDS AND OPSC. A WATER DEPARTMENT REPRESENTATIVE MUST BE PRESENT DURING PRESSURE TESTING AND CHLORINATION. BAC–T TESTING SHALL BE INCLUDED AT CONTRACTORS EXPENSE IF REQUIRED BY AUTHORITY HAVING JURISDICTION.
10. THE CONTRACTOR SHALL PROTECT ALL WATER APPURTENANCES DURING CONSTRUCTION. ANY TESTED AND APPROVED WATER SERVICE THAT IS DISTURBED PRIOR TO THE CITY'S FINAL ACCEPTANCE OF ALL PUBLIC IMPROVEMENTS SHALL BE REMOVED AND REPLACED BACK TO THE WATER MAIN AT THE DEVELOPER'S EXPENSE.
11. NO CONNECTION TO AN EXISTING WATER LINE SHALL BE MADE WITHOUT AUTHORIZATION BY THE WASHINGTON COUNTY WATER DISTRICT.
12. NO WATER VALVE SHALL BE OPERATED WITHOUT AUTHORIZATION BY THE TUALATIN VALLEY WATER DISTRICT.
13. IN THE EVENT OF A CONFLICT OR CHANGE IN CONDITIONS, THE TUALATIN VALLEY WATER DISTRICT RESERVES THE RIGHT TO MAKE FIELD ADJUSTMENTS TO THE LOCATION OF A WATER LINE OR APPURTENANCE AS REQUIRED FOR CONSTRUCTION.
14. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL STANDARDS, CURRENT EDITION.
15. ALL EXISTING ASPHALT CONCRETE (AC) PAVEMENT AND/OR PORTLAND CEMENT CONCRETE (PCC) SHALL BE SAW CUT AS REQUIRED FOR REMOVAL.
16. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION AS DETERMINED BY THE TUALATIN VALLEY WATER DISTRICT.
17. WATER MAIN AND SERVICE SHUT–OFFS SHALL BE COORDINATED THROUGH A WATER DEPARTMENT REPRESENTATIVE. REQUIRED NOTIFICATION FOR SHUT–OFFS SHALL BE DONE ONLY AFTER ACCEPTANCE OF WATERLINE BY WATER DEPT. AND SHALL BE DONE 48 HOURS PRIOR FOR RESIDENTIAL PROPERTIES AND 72 HOURS PRIOR FOR COMMERCIAL OR INDUSTRIAL PROPERTIES, NOT COUNTING WEEKENDS & HOLIDAYS. FAILURE TO PERFORM WORK WITHIN THE STATED TIME WILL REQUIRE RE–NOTIFICATION.
18. TRAFFIC CONTROL IN THE RIGHT–OF–WAY SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ODOT "MANUAL ON TRAFFIC PRACTICES HANDBOOK FOR LOCAL ROADS AND STREETS IN OREGON". DURING THE WORK DAY, ONE LANE OF TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. ALL LANES OF TRAFFIC SHALL BE RESTORED AT THE END OF EACH WORK DAY. ALL TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO WASHINGTON COUNTY ENGINEERING DIVISION OR APPLICABLE ROADWAY JURISDICTION FOR APPROVAL.
19. THE CONTRACTOR SHALL CONFINE PUBLIC IMPROVEMENT WORK TO THE DEDICATED RIGHT–OF–WAY AND UTILITY EASEMENT AREAS.
20. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CITY STAMPED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
21. THE CONTRACTOR SHALL VERIFY THE RESTRAINED CONDITION OF EXISTING WATER SYSTEM PIPES AND APPURTENANCES, AND INSTALL THRUST RESTRAINTS WHERE REQUIRED OR AS DIRECTED, PRIOR TO CUTTING AND REMOVAL OF ANY PORTION OF THE EXISTING WATER SYSTEM.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		CATCH BASIN
		ROOF DRAIN
		LIGHT POLE
		SIGN
		TREE
		PROPERTY LINE
		CENTERLINE
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB

ABBREVIATIONS

AD	AREA DRAIN	NO	NUMBER
A–	ARCHITECTURAL	NWN	NORTHWEST NATURAL
BES	BUREAU OF ENVIRONMENTAL SERVICES	OD	OVERFLOW DRAIN
BFZ	BUILDING FRONTAGE ZONE	OF	OUTFALL
BM	BENCHMARK	P–	PLUMBING
BOT	BOTTOM	PC	POINT OF CURVATURE
BOVA	BLOW OFF VALVE ASSEMBLY	PCC	POINT OF COMPOUND CURVATURE
BS	BOTTOM OF STAIR	PERF	PERFORATED
BW	BOTTOM OF WALL	PGE	PORTLAND GENERAL ELECTRIC
BWV	BACKWATER VALVE	PI RPBA	PREMISE ISOLATION REDUCED PRESSURE BACKFLOW ASSEMBLY
CB	CATCH BASIN	PL	PROPERTY LINE
CJ	CONTRACTION JOINT	POC	POINT OF CONNECTION
CL	CENTERLINE	PPL	PACIFIC POWER
CO	CLEANOUT TO GRADE	PRC	POINT OF REVERSE CURVATURE
CT	CURB TAPER	PSI	POUNDS PER SQUARE INCH
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	PT	POINT OF TANGENCY
DCVA	DOUBLE CHECK VALVE ASSEMBLY	PUE	PUBLIC UTILITY EASEMENT
DFU	DRAINAGE FIXTURE UNIT	PVC	POLYVINYL CLORIDE
DIP	DUCTILE IRON PIPE	PWB	PORTLAND WATER BUREAU
DS	DOWNSPOUT	PWR	POWER
DTL	DETAIL	PZ	PEDESTRIAN ZONE
DW	DRYWELL	R	RADIUS
DWG	DRAWING	ROW	RIGHT OF WAY
E	ELECTRICAL	RP	RADIUS POINT
EG	EXISTING GRADE	RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
EJ	EXPANSION JOINT	RT	RIGHT
ESMT	EASEMENT	RW	RETAINING WALL
F	FIRE	S	SLOPE
FC	FLUSH CURB	S–	STRUCTURAL
FD	FOUNDATION DRAIN	SC	SAWCUT
FDC	FIRE DEPARTMENT CONNECTION	SD	STORM SEWER
FF	FINISH FLOOR ELEVATION	SDCO	STORM CLEANOUT TO GRADE
FG	FINISHED GRADE	SDPS	STORM PUMP STATION
FH	FIRE HYDRANT	SEDMH	SEDIMENT MANHOLE
FL	FLOW LINE	SHT	SHEET
FLG	FLANGE	SP	SUMP PUMP
FM	FORCE MAIN	SS	SANITARY SEWER
FP	FIRE PROTECTION	SSAD	SANITARY AREA DRAIN
FPHB	FROST PROOF HOSE BIBB	SSCO	SANITARY CLEANOUT TO GRADE
FZ	FURNISHING ZONE	SSPS	SANITARY PUMP STATION
G	GUTTER	STD	STANDARD
G(E)	GUTTER EXISTING	SWP	STORMWATER PLANTER
GB	GRADE BREAK	TC	TOP OF CURB
GEN	GENERATOR	TC(E)	TOP OF CURB EXISTING
GI	GREASE INTERCEPTOR	TD	TRENCH DRAIN
GL	GRID LINE	TJ	TOOL JOINT
GM	GAS METER	TP	TOP OF PAVEMENT
GV	GATE VALVE	TP(E)	TOP OF PAVEMENT EXISTING
HP	HIGH POINT	TS	TOP OF STAIR
HR	HANDRAIL	TW	TOP OF WALL
IE	INVERT ELEVATION	TYP	TYPICAL
IP	IRON PIPE	VB	VALVE BOX
IR	IRON ROD	VIF	VERIFY IN FIELD
IRR	IRRIGATION	W	WATER
IS	INLET STRUCTURE	WEIR	WEIR
L–	LANDSCAPE	WM	WATER METER
LF	LINEAL FEET	WQCB	WATER QUALITY CATCH BASIN
LP	LOW POINT	WS	WHEEL STOP
LT	LEFT	WSFU	WATER SYSTEM FIXTURE UNIT
MC	MOUNTABLE CURB	WV	WATER VALVE
MH	MANHOLE	XMFR	TRANSFORMER
MH–X (SAMPLING)	SAMPLING MANHOLE	YPC	YELLOW PLASTIC CAP
MIN	MINIMUM		
MJ	MECHANICAL JOINT		
MON	MONUMENT		

SHEET INDEX

PERMIT SET – FEBRUARY 2023

MDG
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BEAVERTON, OREGON 97005
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Humber Design Group, Inc.
Civil Engineering
503.946.6690
hdgpdx.com

REGISTERED PROFESSIONAL ENGINEER 87835PE OREGON JULY 12, 2019 KRISTIAN ANN MCCOMBS

EXPIRES 12–31–2024

Client / Owner:
North Rim Development Group

819 SE Morrison St, Suite 110
Portland, OR 97214

Project:
8101 SW Nyberg Building New Elevator

8101 SW Nyberg Street
Tualatin, OR 97062

Sheet Title:
CIVIL NOTES

Revisions:

Date: 04/26/2023
Job Number: 122099

Sheet
C000

EROSION CONTROL NOTES

GENERAL:

1. EROSION CONTROL MEASURE SHALL BE IN ACCORDANCE WITH ALL OF THE LATEST STATE AND LOCAL JURISDICTIONAL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY BE LISTED UNDER JURISDICTION SPECIFIC NOTES.

2. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.

3. THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.

4. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.

LIMITS OF WORK:

5. THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THESE PLANS SHALL BE CLEARLY FLAGGED OR FENCED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED/FENCED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING/FENCING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

INSTALLATION AND REMOVAL TIMELINE:

6. THE ESPCP FACILITIES SHOWN ON THESE PLANS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

7. IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.

8. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

9. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL PROJECT COMPLETION. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.

10. SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30. SUPPLEMENTAL WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.

11. SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.

12. ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.

INSPECTIONS:

13. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

14. THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITH IN THE 24 HOURS FOLLOWING A STORM EVENT.

TRANSPORT:

15. CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.

16. WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG OR "ECO-PAN" PROVIDED FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT OR PAN.

INLETS:

17. ALL STORM INLETS IN THE CLEARING LIMITS AND WITHIN 200 FEET OF THE CLEARING LIMITS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

LANDSCAPING:

18. IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.

19. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT, NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.

DUST CONTROL:

20. DUST SHALL BE MINIMIZED TO THE EXTENT PRACTICABLE, UTILIZING ALL MEASURES NECESSARY, INCLUDING, BUT NOT LIMITED TO:

    A. SPRINKLER HAUL AND ACCESS ROADS AND OTHER EXPOSED DUST PRODUCING AREAS.
    B. APPLYING AGENCY-APPROVED DUST PALLIATIVES ON ACCESS AND HAUL ROADS.
    C. ESTABLISHING TEMPORARY VEGETATIVE COVER.
    D. PLACING WOOD CHIPS OR OTHER EFFECTIVE MULCHES ON VEHICLE AND PEDESTRIAN USE AREAS.
    E. MAINTAINING THE PROPER MOISTURE CONDITION ON ALL FILL SURFACES.
    F. PREWETTING CUT AND BORROW AREA SURFACES.
    G. USE OF HAUL EQUIPMENT.

21. CONTRACTOR SHALL FURNISH AND INSTALL EQUIPMENT TO HAUL AND PLACE WATER. AN ADEQUATE SUPPLY OF WATER SHALL BE MAINTAINED AT ALL TIMES.

PERMIT SET - FEBRUARY 2023

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JULY 10, 2015
KRISTIAN ANN MCCOMAS
12.
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North Rim Development Group

819 SE Morrison St, Suite 110
Portland, OR 97214

Project:
8101 SW Nyberg Building
New Elevator

8101 SW Nyberg Street
Tualatin, OR 97062

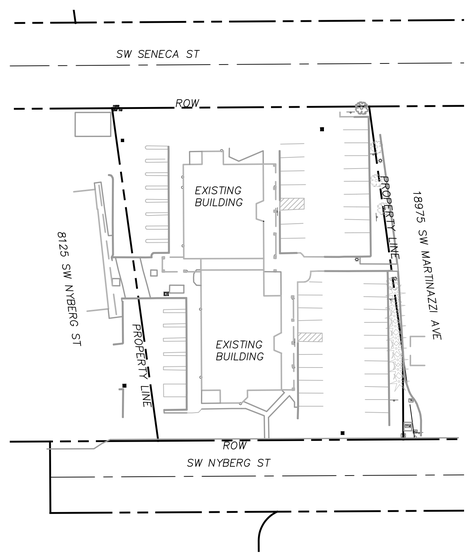
Sheet Title:
CIVIL NOTES

Revisions:

Date: 04/26/2023
Job Number: 122099

Sheet
C001

EXISTING CONDITIONS PLAN
SCALE: 1"=10'



OVERALL SITE PLAN
SCALE: 1"=50'

SHEET LEGEND

— —124— —	EXISTING CONTOUR

SHEET NOTES

1. TOPOGRAPHIC SURVEY DATUM: NGVD29.
2. FEMA FLOODPLAIN ELEVATION: 128.1 NAVD 1988. NGVD29+3.52=NVAD1988. 128.1−3.52=124.58 NGVD29.
3. ENTIRETY OF EXISTING SITE AND BUILDING FINISH FLOORS ARE LOCATED BELOW THE FEMA FLOOD PLAIN ELEVATION OF 124.58. NGVD29.

GRAPHIC SCALE
0 10 20
1 inch = 10 ft.

PERMIT SET - FEBRUARY 2023

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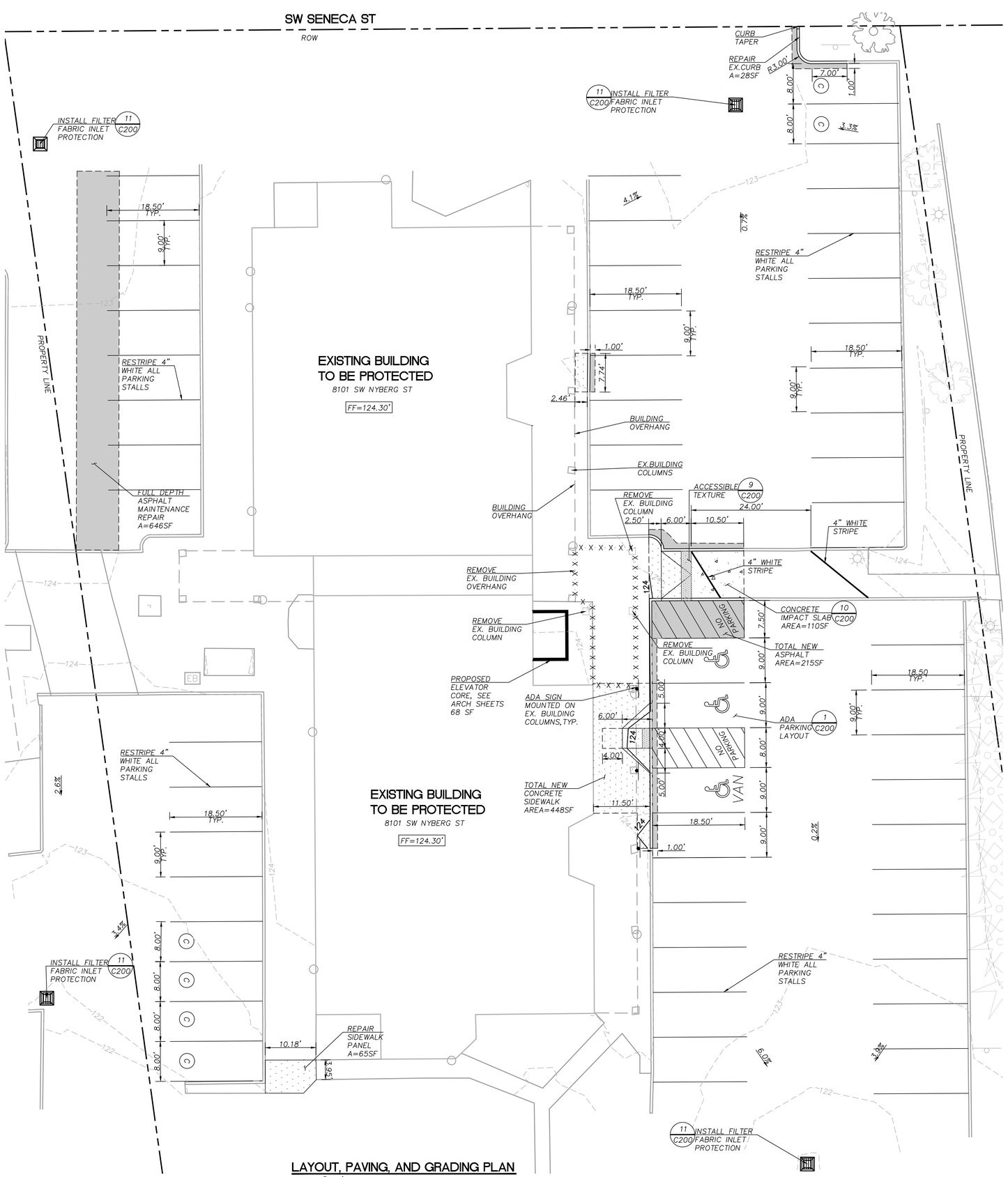
Sheet Title:
EXISTING CONDITIONS PLAN

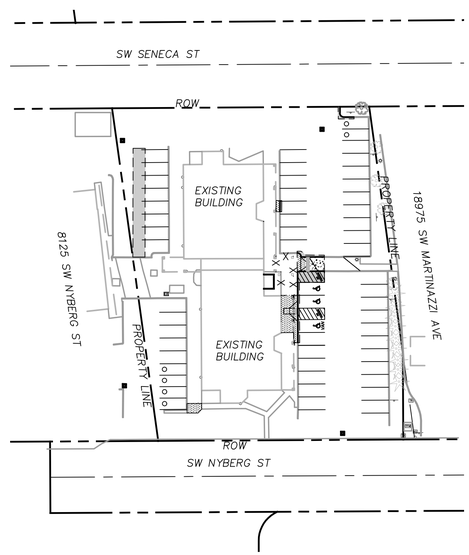
Revisions:

Date: 04/26/2023
Job Number: 122099
Sheet
C050



LAYOUT, PAVING, AND GRADING PLAN

SCALE: 1"=10'



OVERALL SITE PLAN

SCALE: 1"=50'

SHEET LEGEND

	PRIVATE ASPHALT PAVING	7 C200
	PRIVATE CONCRETE SIDEWALK	6 C200
	CONCRETE IMPACT SLAB	10 C200
	STANDARD CONCRETE CURB	5 C200
	SAWCUT	
124	EXISTING CONTOUR	
124	PROPOSED CONTOUR	
	FILTER FABRIC INLET PROTECTION	11 C200

SHEET NOTES

1. SEAL COAT ENTIRE PARKING AREA. TOTAL AREA = 17,056 SF.
2. SAWCUT CONCRETE AT NEAREST JOINT.
3. TOTAL MAINTENANCE/REPAIR AREA = 739 SF.
4. TOTAL NEW/MODIFIED IMPERVIOUS AREA = 841 SF.
5. TOTAL STANDARD PARKING STALL = 55 STALLS. TOTAL COMPACT PARKING STALL = 6 STALLS.

GRAPHIC SCALE
0 10 20
1 inch = 10 ft.

PERMIT SET - FEBRUARY 2023

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Sheet Title:
SITE AND EROSION CONTOL PLAN

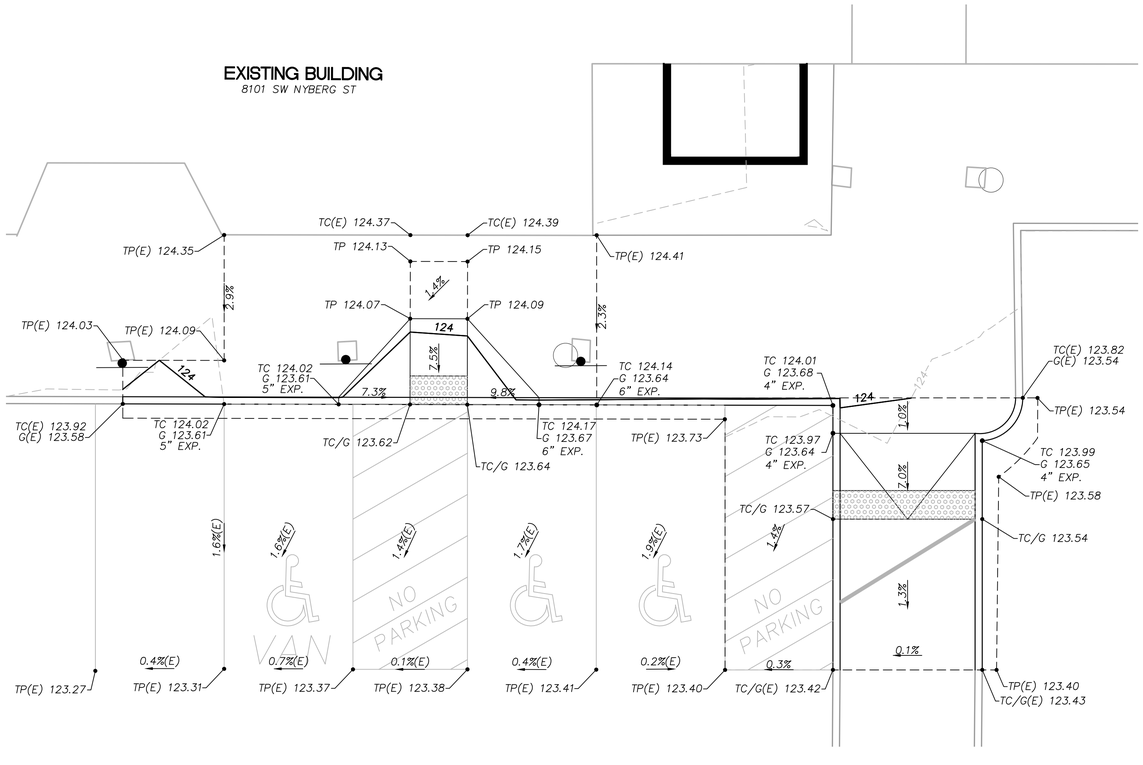
Revisions:

Date: 04/26/2023
Job Number: 122099
Sheet
C100

SHEET LEGEND

═══	STANDARD CONCRETE CURB	5 / C200
– – – – –	SAWCUT	
— —124— —	EXISTING CONTOUR	
124	PROPOSED CONTOUR	

G XXX.XX	GRADE AT GUTTER
TC XXX.XX	GRADE AT TOP OF CURB
TP XXX.XX	GRADE AT TOP OF PAVEMENT
TF XXX.XX	GRADE AT TOP OF FOOTING
FF XX.XX	FINISH FLOOR ELEVATION
FG XXX.XX	FINISHED GRADE
TW XXX.XX	GRADE AT TOP OF WALL
EG XXX.XX	EXISTING GRADE
(E)	EXISTING
X.X%	SLOPE ARROW
GB	GRADE BREAK



ENLARGED GRADING PLAN

SCALE: 1"=5'

GRAPHIC SCALE

0 5 10

1 inch = 5 ft.

PERMIT SET - FEBRUARY 2023

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Sheet Title:

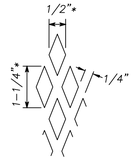
ENLARGED GRADING PLAN

Revisions:

Date: 04/26/2023
Job Number: 122099

Sheet

C101



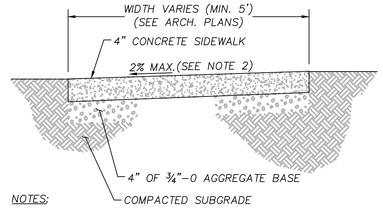
* NOMINAL DIMENSIONS

NOTES:

1. CURB RAMPS SHALL BE POURED AS A SEPARATE UNIT FROM THE SIDEWALK, ISOLATED BY EXPANSION JOINT MATERIAL ON ALL SIDES EXCEPT AT END OF RAMP NEXT TO THE ROADWAY.
2. RAMP TEXTURING IS TO BE DONE WITH AN EXPANDED METAL GRATE PLACED AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN AS SHOWN. THE LONG AXIS OF THE DIAMOND PATTERN SHALL BE PERPENDICULAR TO THE CURB. GROOVES SHALL BE 1/8" DEEP AND 1/4" WIDE.
3. CEMENT CONCRETE APPROACHES SHALL BE CONSTRUCTED OF AIR-ENTRAINED CONCRETE CLASS 3000 AND MAY BE POURED INTEGRAL WITH CURB.

9 ACCESSIBLE TEXTURE

NTS

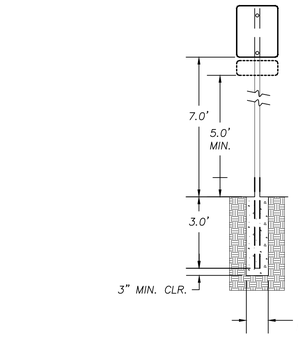


NOTES:

1. CONCRETE SHALL BE 4000 PSI, SLUMP RANGE 3" TO 5".
2. 2% MAX CONSTRUCTED. 1.5% DESIGN UNLESS OTHERWISE NOTED.

6 CONCRETE SIDEWALK

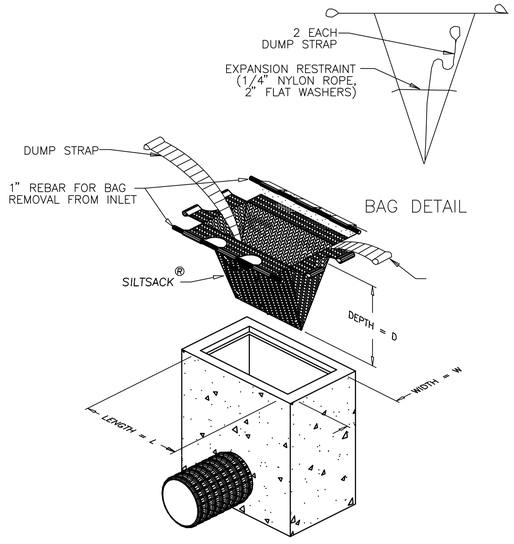
NTS



NOTE:
LOCATE POLE AS SHOWN IN LAYOUT PLAN

3 ACCESSIBLE SIGN POST

NTS



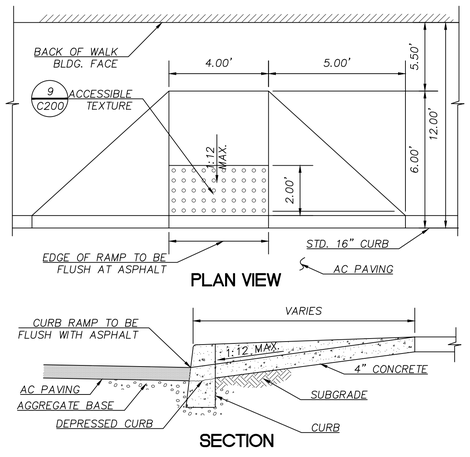
***REGULAR FLOW ONLY. DO NOT USE HIGH FLOW INSERT BAGS.

NOTES:

1. INSERT SACKS MUST BE REMOVED AT THE END OF CONSTRUCTION

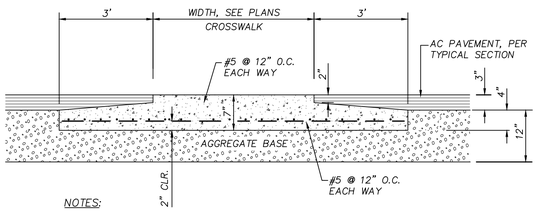
11 FILTER FABRIC INLET PROTECTION

NTS



8 ACCESSIBLE RAMP

NTS

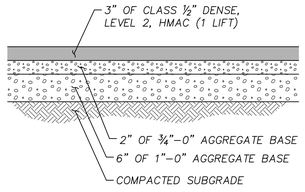


NOTES:

1. CONCRETE SHALL BE 4000 PSI, SLUMP RANGE 3" TO 5"
2. INSTALL CONTRACTION JOINTS AT 10' O.C. BOTH DIRECTION.
3. REBAR TO HAVE A TENSILE YIELD STRENGTH OF 60,000 PSI
4. AGGREGATE BASE AND THE UPPER 12" OF THE SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557.
5. 4,000 PSI CONCRETE MEDIUM BROOM FINISH.

10 CONCRETE CROSSWALK AND IMPACT SLAB

NTS

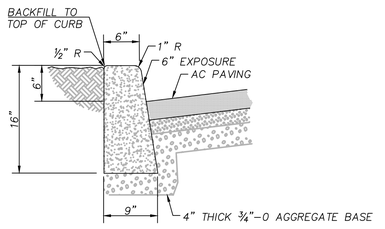


NOTES:

1. AGGREGATE BASE AND THE UPPER 12" OF THE SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557.
2. AC PAVEMENT SHALL BE COMPACTED TO 91% OF THE RICE DENSITY OF THE MIX.

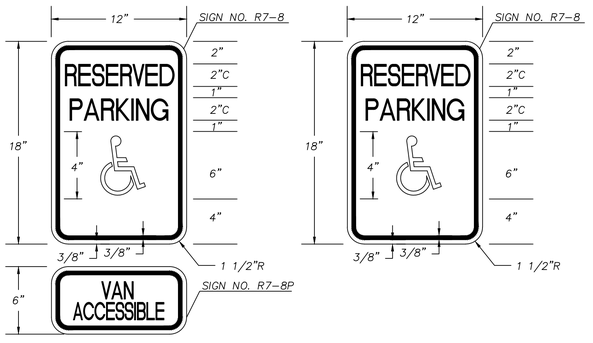
7 TYPICAL ASPHALT PAVEMENT SECTIONS

NTS



5 STANDARD CONCRETE CURB

NTS

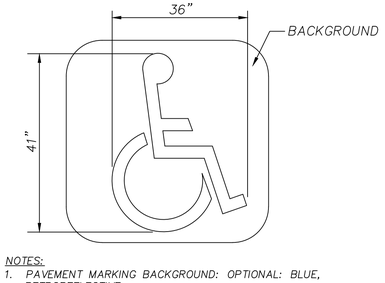


NOTES:

1. SIGN BACKGROUND: WHITE, RETROREFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETROREFLECTIVE SHEETING
3. SIGN SYMBOL (STANDARD ONLY): WHITE ON BLUE, RETROREFLECTIVE SHEETING

4 ACCESSIBLE PARKING SIGN

NTS

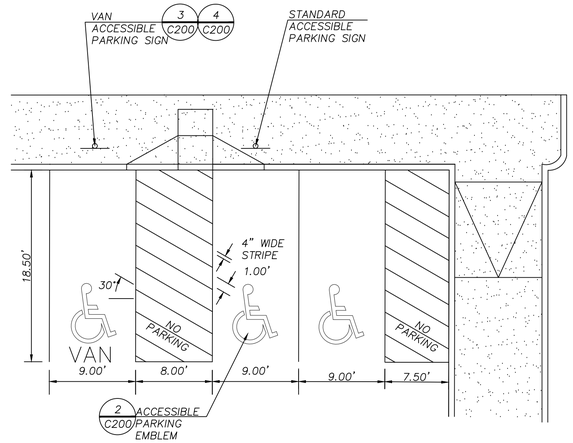


NOTES:

1. PAVEMENT MARKING BACKGROUND: OPTIONAL: BLUE, RETROREFLECTIVE
2. PAVEMENT MARKING STENCIL: WHITE, RETROREFLECTIVE

2 ACCESSIBLE PARKING EMBELEM

NTS



1 ACCESSIBLE PARKING LAYOUT

NTS

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Sheet Title:
CIVIL DETAILS

Revisions:

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Sheet
C200