

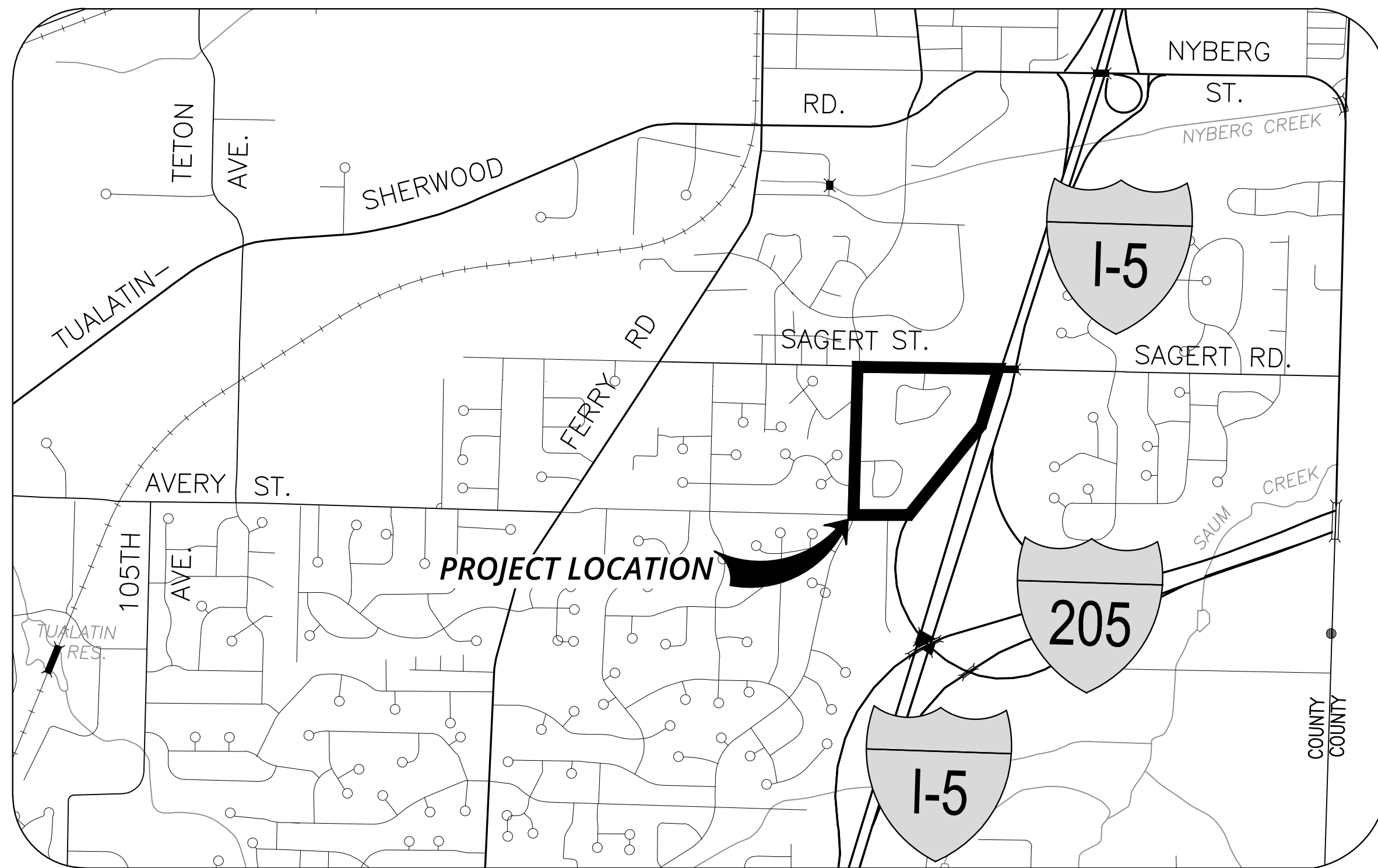
TYPE III ARCHITECTURAL REVIEW DRAWINGS

FOR ALDEN APARTMENTS

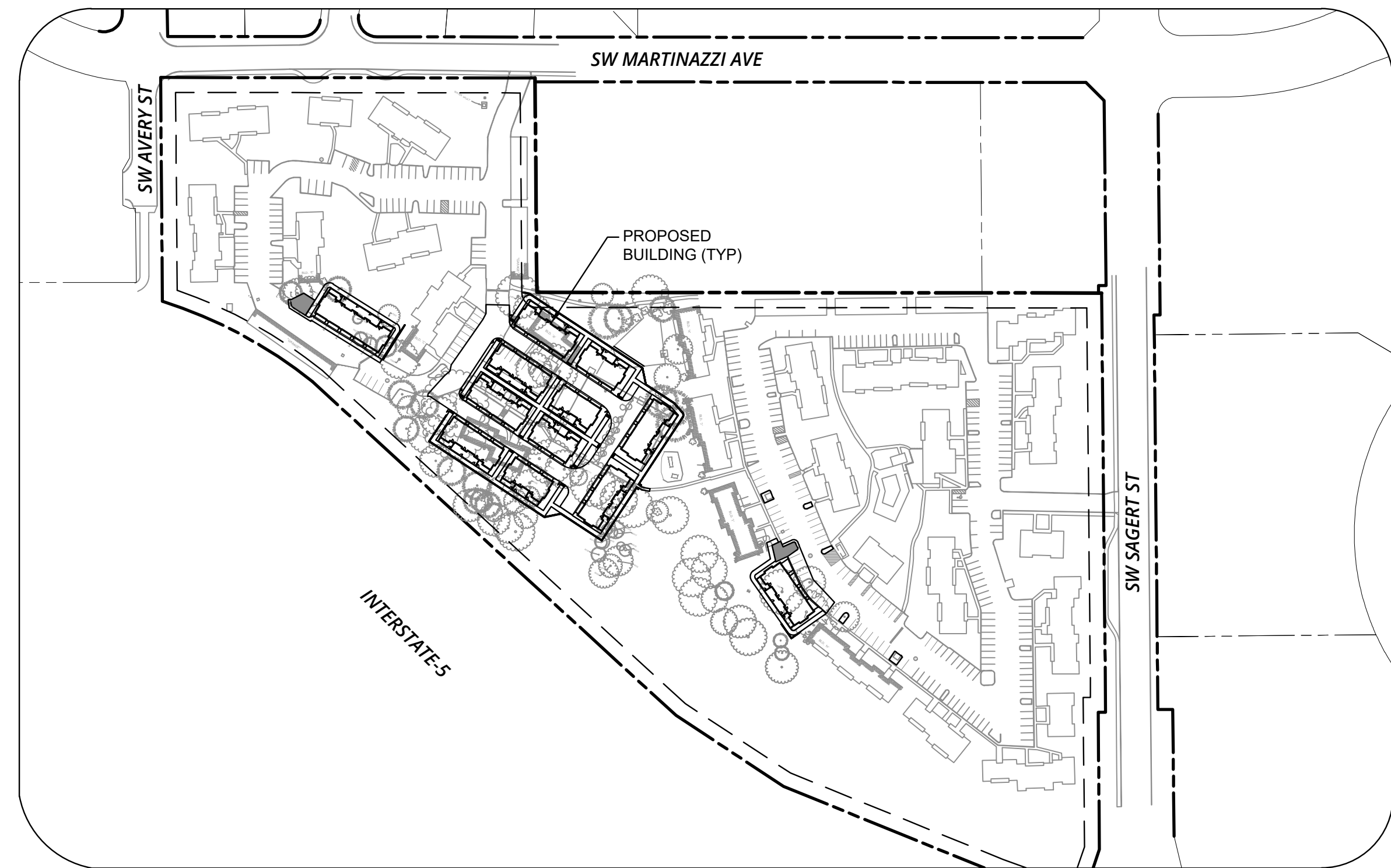
PREPARED FOR
COLRICH



PUBLISH DATE
09/01/2022
ISSUED FOR
LAND USE
REVISIONS



VICINITY MAP
NOT TO SCALE



SITE MAP
NOT TO SCALE

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
C000	COVER SHEET
C100	OVERALL EXISTING CONDITIONS PLAN
C101	EXTG CONDITIONS PLAN
C110	TREE INVENTORY AND PROTECTION PLAN
C200	DEMOLITION PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN
C310	EROSION AND SEDIMENT CONTROL DETAILS
C400	UTILITY PLAN
C500	GRADING PLAN
C600	OVERALL SITE PLAN
C601	SITE PLAN
C700	FIRE ACCESS PLAN

SITE INFORMATION

SITE ADDRESS
7800 SW SAGERT STREET &
20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

JURISDICTION
CITY OF TUALATIN

HORIZONTAL DATUM (BASIS OF BEARINGS)

OREGON COORDINATE REFERENCE SYSTEM O.C.R.S. (PORTLAND ZONE),
INTERNATIONAL FEET.

VERTICAL DATUM

NAVD 88.

FLOOD HAZARD

MAP NUMBERS: 41067C0607E
ZONE X (UNSHADED)

LOCATION

N.W. 1/4 OF SECTION 25,
T.2S., R.1W., W.M., WASHINGTON
COUNTY, OR

PROJECT TEAM

OWNER

COLRICH
444 WEST BEECH ST, SUITE 300
SAN DIEGO, CA 92101
CONTACT: MATHEW MOISEVE
PHONE: 858-490-2300
EMAIL: matm@colrich.com

LAND SURVEYOR

CESINW
13190 SW 68TH PARKWAY, SUITE 150
TIGARD, OR 97223
CONTACT: PAUL KOHN, PLS
PHONE: (503) 968-6655
EMAIL: pkohn@cesinw.com

CIVIL ENGINEER

3J CONSULTING, INC.
9600 SW NIMBUS AVE, SUITE 100
BEAVERTON, OR 97008
CONTACT: BRIAN O'ROURKE, P.E.
PHONE: (503) 946-9365
EMAIL: brian.orourke@3j-consulting.com

ARCHITECT

DAHLIN GROUP
10900 NE 8TH ST, SUITE 1120
BELLEVUE, WA 98004
CONTACT: CAMILA GARRIDO, AIA
PHONE: (858) 602-2376
EMAIL: camila.garrido@dahlingroup.com

UTILITIES & SERVICES

STORM WATER

CITY OF TUALATIN
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062
PHONE: (503) 692-2000

WATER

CITY OF TUALATIN
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062
PHONE: (503) 692-2000

GAS

NORTHWEST NATURAL
NW AMBERWOOD DRIVE
HILLSBORO, OR 97124
PHONE: (800) 422-4102

GARBAGE

REPUBLIC SERVICES
PHONE: (503)-981-1278

SANITARY SEWER

CITY OF TUALATIN
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062
PHONE: (503) 692-2000

POWER

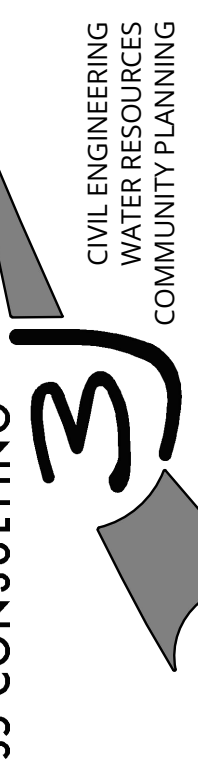
PORTLAND GENERAL ELECTRIC
PHONE: (800) 743-5000

FIRE

TUALATIN VALLEY FIRE & RESCUE
STATION NUMBER 34
19365 SW 90TH COURT
TUALATIN, OR 97062
PHONE: (503) 649-8577

COVER SHEET ALDEN APARTMENTS

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062



PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
C000

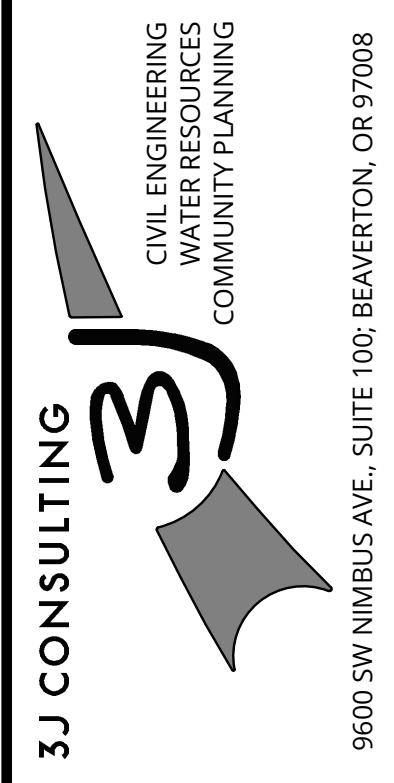
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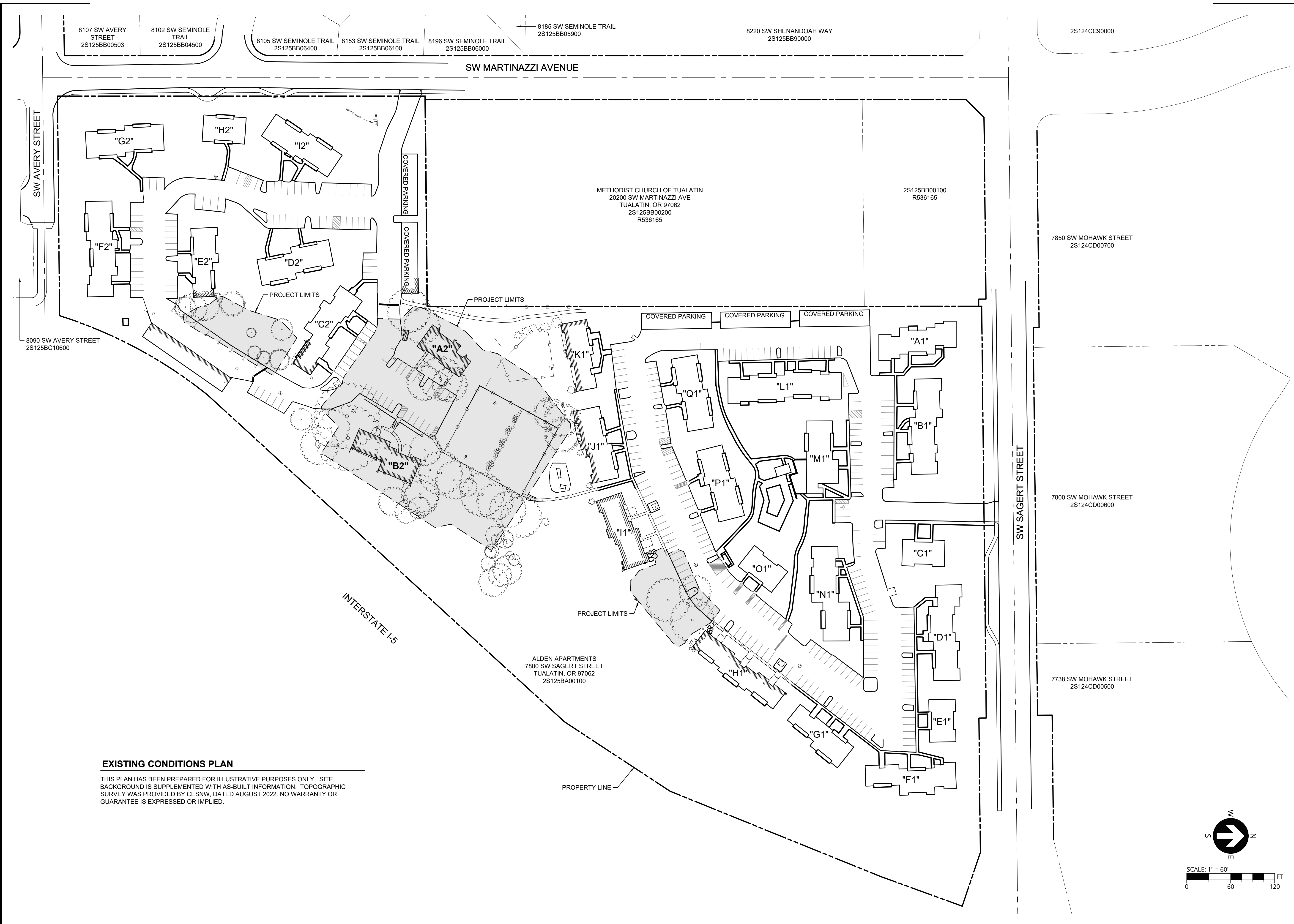
OVERALL EXISTING CONDITIONS PLAN
ALDEN APARTMENTS

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062



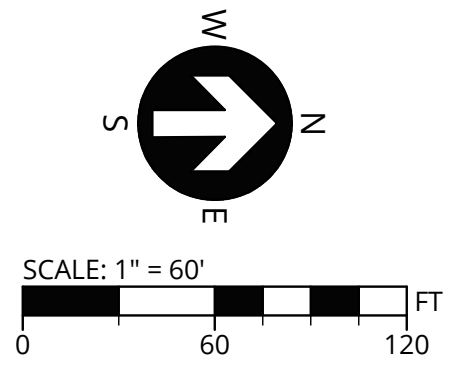
PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
C100



EXISTING CONDITIONS PLAN

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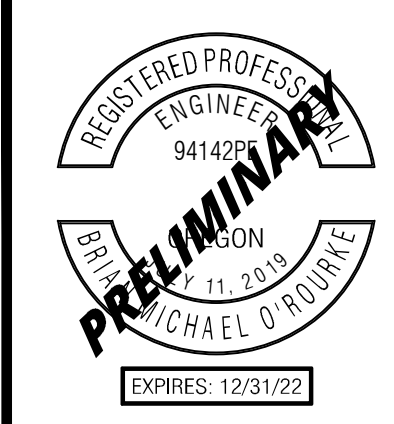


EXISTING CONDITIONS PLAN

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF PUBLIC GIS DATA SOURCES, AERIAL PHOTOS, TAX ASSESSOR MAPS AND PHYSICAL SITE OBSERVATIONS. TOPOGRAPHIC SURVEY WAS PROVIDED BY CESNW, DATED AUGUST 2022. PROPOSED SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

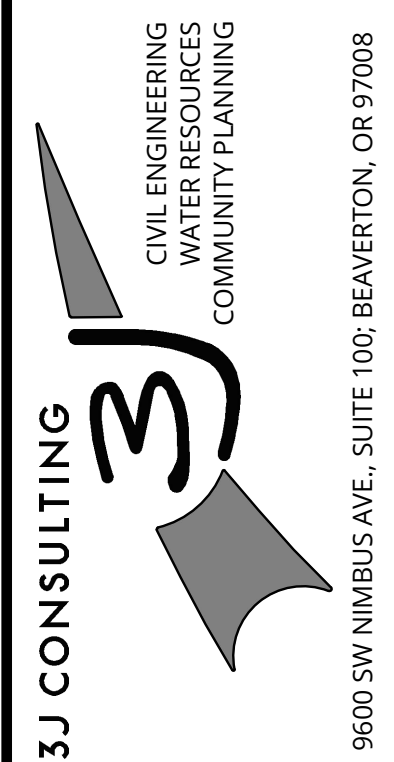
EXISTING LEGEND

	PROPERTY LINE		STORM MANHOLE
	RIGHT-OF-WAY LINE		CATCH BASIN
	STORM LINE		CLEANOUT/ROOF DRAIN
	SEWER LINE		SANITARY MANHOLE
	WATER LINE		WATER METER
	GAS LINE		IRRIGATION VALVE
	UNDERGROUND POWER LINE		ELECTRIC TRANSFORMER
	OVERHEAD POWER LINE		ELECTRIC METER
	COMMUNICATIONS LINE		ELECTRIC JUNCTION BOX
	FENCE		LIGHT POLE
	MAJOR CONTOUR		UTILITY POLE ANCHOR
	MINOR CONTOUR		COMM JUNCTION BOX
	CURB		COMM RISER
	EDGE OF BUILDING		CONIFEROUS TREE
	BUILDING EAVE		DECIDUOUS TREE
	WALL		
	ASPHALT		
	CONCRETE		



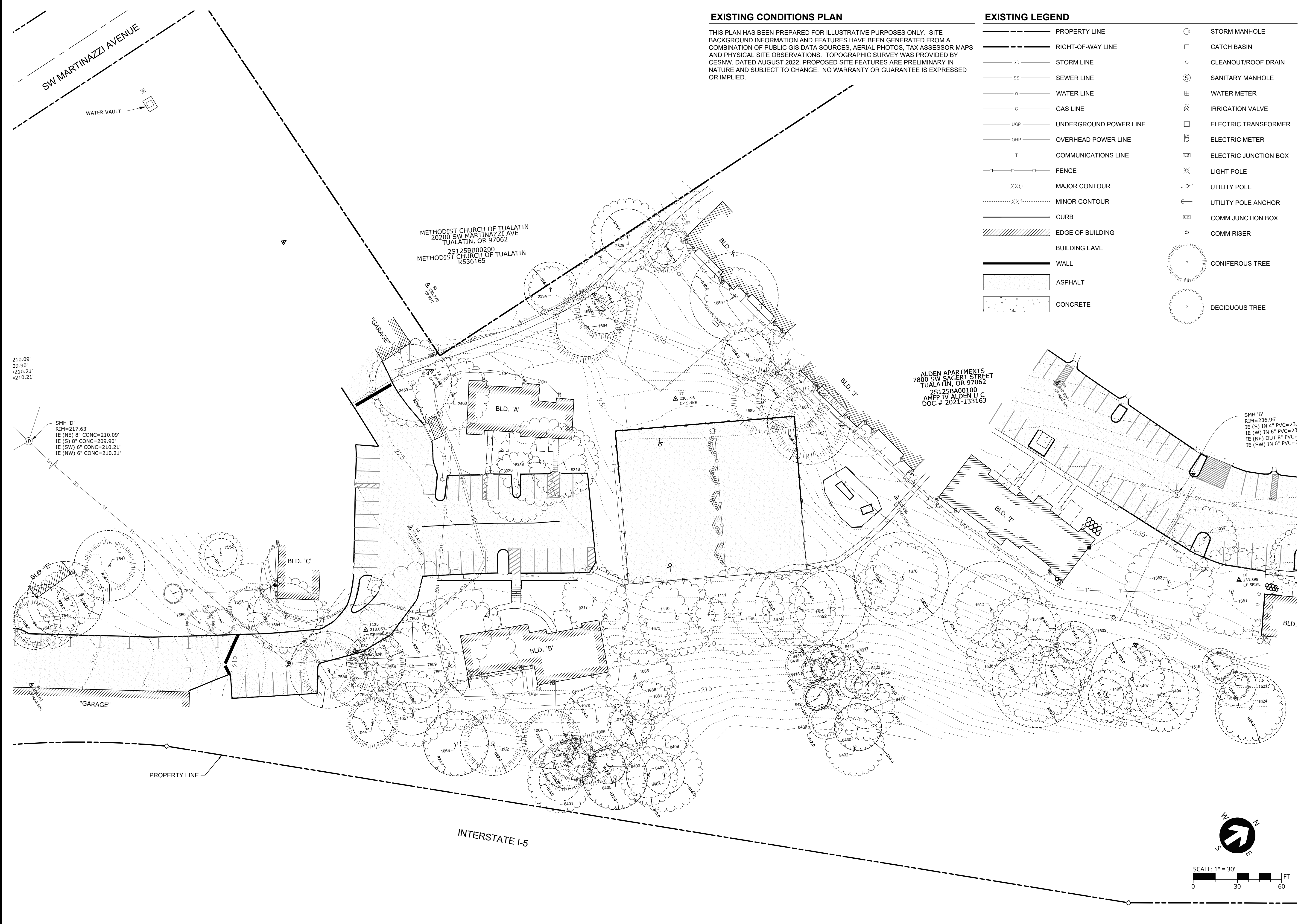
PUBLISH DATE
09/01/2022
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REVISIONS

EXTG CONDITIONS PLAN
ALDEN APARTMENTS
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062



PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
C101



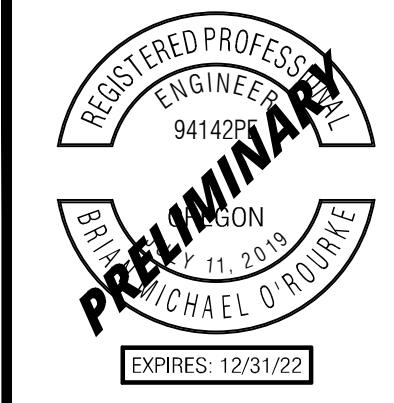
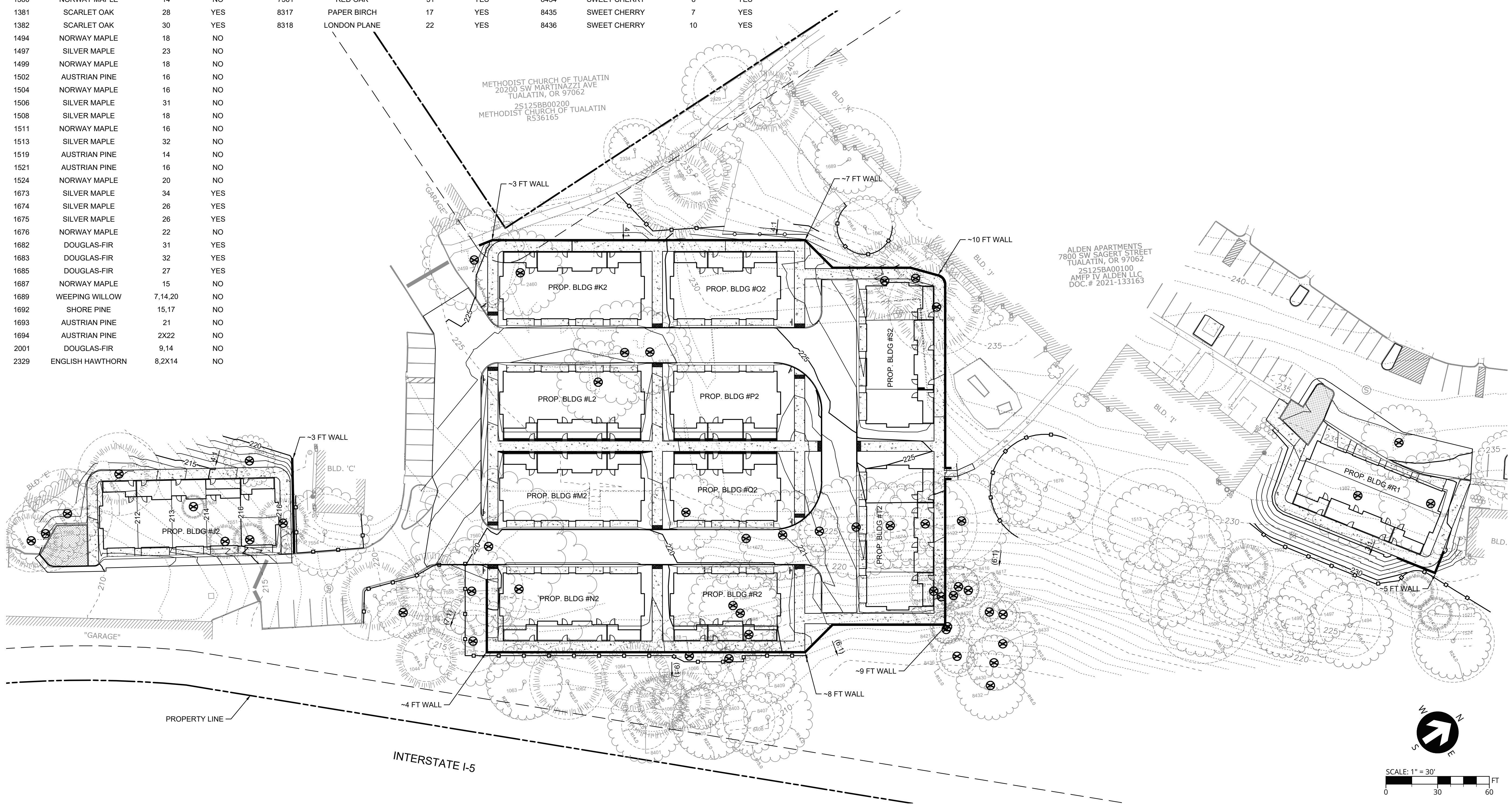
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TREE INVENTORY

TREE #	TREE SPECIES	DBH (IN)	REMOVED?	2334	SERVICEBERRY	7.8,12	NO	8319	LONDON PLANE	29	YES
1044	AUSTRIAN PINE	18	NO	2459	LONDON PLANE	32	YES	8320	NORWAY MAPLE	22	YES
1057	RED OAK	28	YES	2460	PAPER BIRCH	22	YES	8401	RED OAK	2X22	NO
1062	DOUGLAS-FIR	26	NO	7544	SHORE PINE	13	YES	8403	SWEET CHERRY	8	NO
1063	RED OAK	20	NO	7545	NORWAY MAPLE	17	YES	8405	RED OAK	25	NO
1064	DOUGLAS-FIR	21	NO	7546	NORWAY MAPLE	18	YES	8407	RED OAK	25	NO
1065	DOUGLAS-FIR	22	NO	7547	DOUGLAS-FIR	31	YES	8408	RED OAK	24	NO
1066	DOUGLAS-FIR	24	NO	7549	DOUGLAS-FIR	10	YES	8411	NORWAY MAPLE	32	NO
1078	NORWAY MAPLE	19	YES	7550	SHORE PINE	15	YES	8416	ENGLISH HAWTHORN	7.8	YES
1079	NORWAY MAPLE	10	YES	7551	SHORE PINE	15	YES	8417	SWEET CHERRY	7	YES
1081	NORWAY MAPLE	15	YES	7552	NORWAY MAPLE	13	YES	8418	SWEET CHERRY	10	YES
1085	SCARLET OAK	32	YES	7553	DOUGLAS-FIR	22	YES	8419	SWEET CHERRY	10	YES
1086	SCARLET OAK	29	YES	7554	NORWAY MAPLE	26	NO	8420	SWEET CHERRY	12	YES
1110	SILVER MAPLE	40	YES	7556	AUSTRIAN PINE	24	NO	8421	SWEET CHERRY	10	YES
1111	SILVER MAPLE	14	YES	7557	SWEET CHERRY	22	YES	8422	SWEET CHERRY	7.8	YES
1115	SILVER MAPLE	28	YES	7558	AUSTRIAN PINE	20	NO	8430	SWEET CHERRY	16	YES
1122	SILVER MAPLE	29	YES	7559	RED OAK	25	YES	8432	SWEET CHERRY	22	YES
1297	NORWAY MAPLE	19	YES	7560	RED OAK	39	YES	8433	SWEET CHERRY	14	YES
1380	NORWAY MAPLE	14	NO	7561	RED OAK	31	YES	8434	SWEET CHERRY	8	YES
1381	SCARLET OAK	28	YES	8317	PAPER BIRCH	17	YES	8435	SWEET CHERRY	7	YES
1382	SCARLET OAK	30	YES	8318	LONDON PLANE	22	YES	8436	SWEET CHERRY	10	YES
1494	NORWAY MAPLE	18	NO								
1497	SILVER MAPLE	23	NO								
1499	NORWAY MAPLE	18	NO								
1502	AUSTRIAN PINE	16	NO								
1504	NORWAY MAPLE	16	NO								
1506	SILVER MAPLE	31	NO								
1508	SILVER MAPLE	18	NO								
1511	NORWAY MAPLE	16	NO								
1513	SILVER MAPLE	32	NO								
1519	AUSTRIAN PINE	14	NO								
1521	AUSTRIAN PINE	16	NO								
1524	NORWAY MAPLE	20	NO								
1673	SILVER MAPLE	34	YES								
1674	SILVER MAPLE	26	YES								
1675	SILVER MAPLE	26	YES								
1676	NORWAY MAPLE	22	NO								
1682	DOUGLAS-FIR	31	YES								
1683	DOUGLAS-FIR	32	YES								
1685	DOUGLAS-FIR	27	YES								
1687	NORWAY MAPLE	15	NO								
1689	WEeping WILLOW	7,14,20	NO								
1692	SHORE PINE	15,17	NO								
1693	AUSTRIAN PINE	21	NO								
1694	AUSTRIAN PINE	2X22	NO								
2001	DOUGLAS-FIR	9,14	NO								
2329	ENGLISH HAWTHORN	8,2X14	NO								

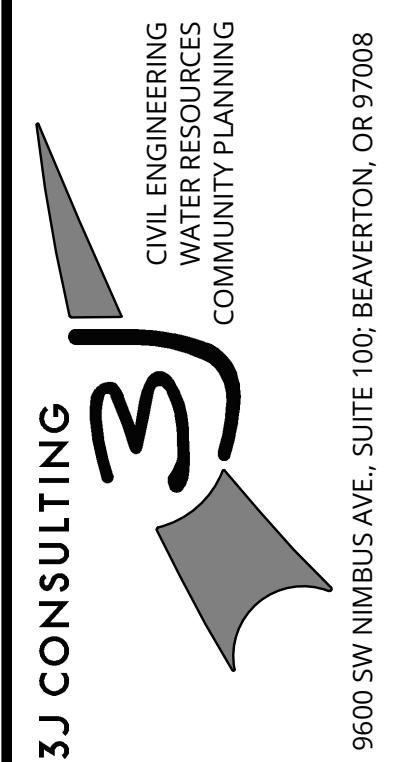
LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 110 --- PROPOSED MAJOR CONTOUR
- 108 --- PROPOSED MINOR CONTOUR
- - - XX0 - - - EXISTING MAJOR CONTOUR
- - - XX1 - - - EXISTING MINOR CONTOUR
- TREE PROTECTION FENCING
- ⊗ PROPOSED TREE REMOVAL
- CONIFEROUS TREE
- DECIDUOUS TREE



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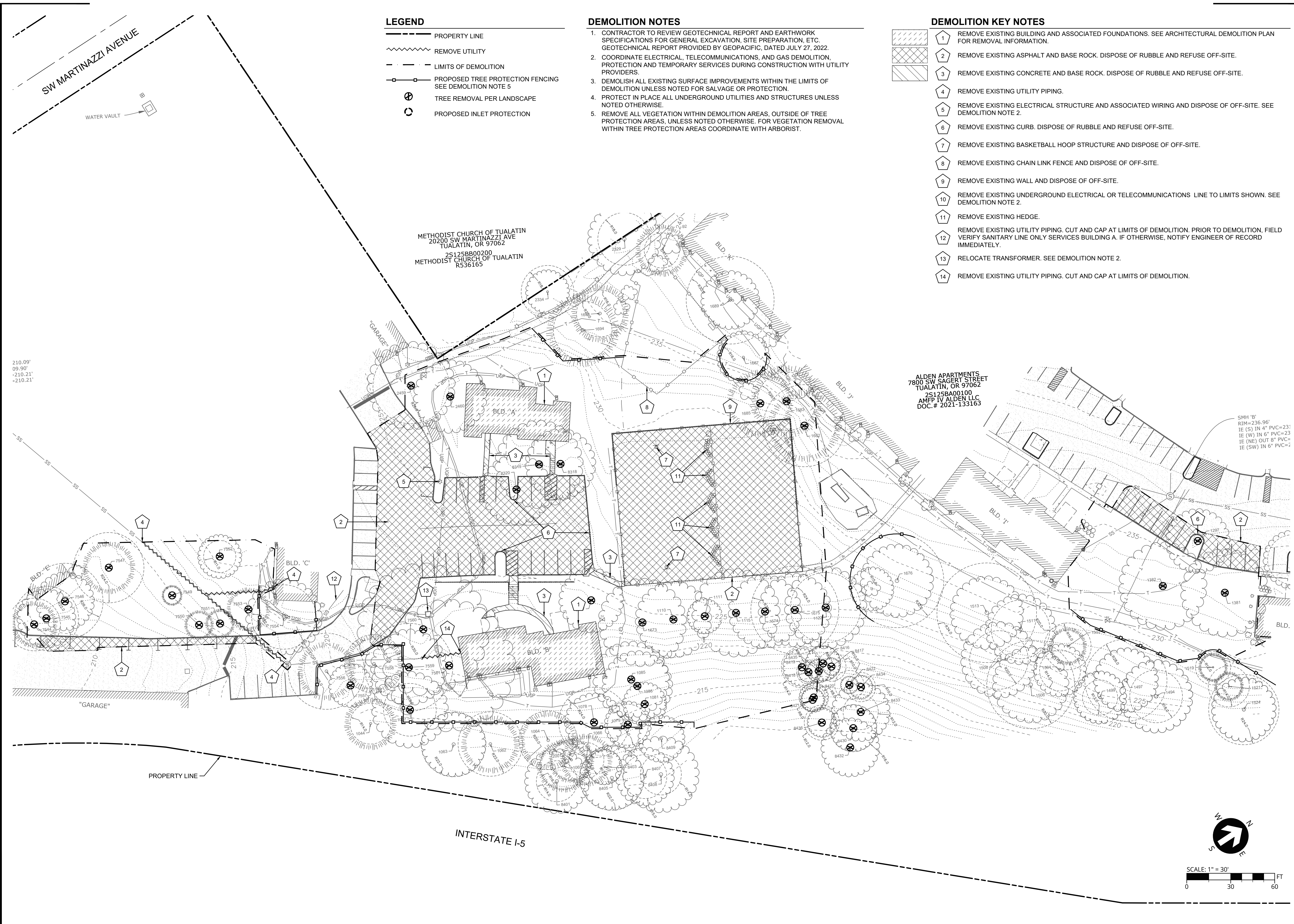
TREE INVENTORY AND PROTECTION PLAN
ALDEN APARTMENTS
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
 TUALATIN, OR 97062



PROJECT INFORMATION
 3J PROJECT # | 22791
 TAX LOT(S) | 2S125BA00100
 LAND USE # | 22-0004
 DESIGNED BY | KMK
 CHECKED BY | BMO

SHEET NUMBER
C110

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LEGEND

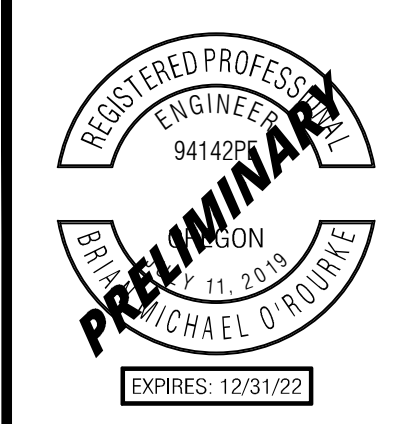
- PROPERTY LINE
- ~~~~ REMOVE UTILITY
- - - - LIMITS OF DEMOLITION
- PROPOSED TREE PROTECTION FENCING
SEE DEMOLITION NOTE 5
- ⊗ TREE REMOVAL PER LANDSCAPE
- PROPOSED INLET PROTECTION

DEMOLITION NOTES

1. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR GENERAL EXCAVATION, SITE PREPARATION, ETC. GEOTECHNICAL REPORT PROVIDED BY GEOPACIFIC, DATED JULY 27, 2022.
2. COORDINATE ELECTRICAL, TELECOMMUNICATIONS, AND GAS DEMOLITION, PROTECTION AND TEMPORARY SERVICES DURING CONSTRUCTION WITH UTILITY PROVIDERS.
3. DEMOLISH ALL EXISTING SURFACE IMPROVEMENTS WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED FOR SALVAGE OR PROTECTION.
4. PROTECT IN PLACE ALL UNDERGROUND UTILITIES AND STRUCTURES UNLESS NOTED OTHERWISE.
5. REMOVE ALL VEGETATION WITHIN DEMOLITION AREAS, OUTSIDE OF TREE PROTECTION AREAS, UNLESS NOTED OTHERWISE. FOR VEGETATION REMOVAL WITHIN TREE PROTECTION AREAS COORDINATE WITH ARBORIST.

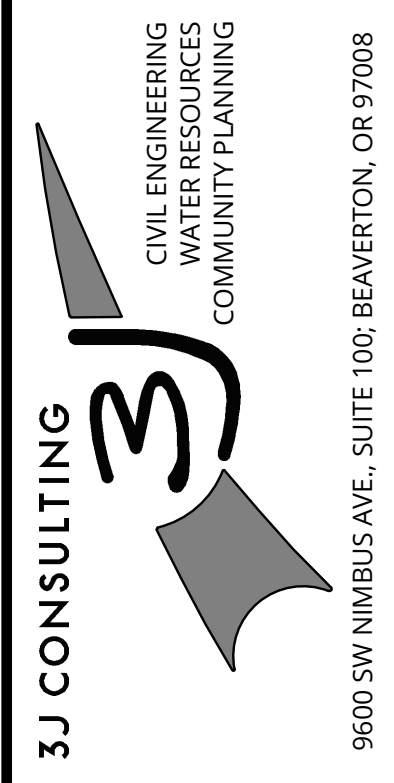
DEMOLITION KEY NOTES

- 1 REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATIONS. SEE ARCHITECTURAL DEMOLITION PLAN FOR REMOVAL INFORMATION.
- 2 REMOVE EXISTING ASPHALT AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 3 REMOVE EXISTING CONCRETE AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 4 REMOVE EXISTING UTILITY PIPING.
- 5 REMOVE EXISTING ELECTRICAL STRUCTURE AND ASSOCIATED WIRING AND DISPOSE OF OFF-SITE. SEE DEMOLITION NOTE 2.
- 6 REMOVE EXISTING CURB. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 7 REMOVE EXISTING BASKETBALL HOOP STRUCTURE AND DISPOSE OF OFF-SITE.
- 8 REMOVE EXISTING CHAIN LINK FENCE AND DISPOSE OF OFF-SITE.
- 9 REMOVE EXISTING WALL AND DISPOSE OF OFF-SITE.
- 10 REMOVE EXISTING UNDERGROUND ELECTRICAL OR TELECOMMUNICATIONS LINE TO LIMITS SHOWN. SEE DEMOLITION NOTE 2.
- 11 REMOVE EXISTING HEDGE.
- 12 REMOVE EXISTING UTILITY PIPING. CUT AND CAP AT LIMITS OF DEMOLITION. PRIOR TO DEMOLITION, FIELD VERIFY SANITARY LINE ONLY SERVICES BUILDING A. IF OTHERWISE, NOTIFY ENGINEER OF RECORD IMMEDIATELY.
- 13 RELOCATE TRANSFORMER. SEE DEMOLITION NOTE 2.
- 14 REMOVE EXISTING UTILITY PIPING. CUT AND CAP AT LIMITS OF DEMOLITION.



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DEMOLITION PLAN
ALDEN APARTMENTS
 7800 SW SAGER STREET & 20400 SW MARTINAZZI AVENUE
 TUALATIN, OR 97062



PROJECT INFORMATION
 3J PROJECT # | 22791
 TAX LOT(S) | 2S125BA00100
 LAND USE # | 22-0004
 DESIGNED BY | KMK
 CHECKED BY | BMO

SHEET NUMBER
C200

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DD\C200 - DEMO PLAN.DWG

LEGEND

- PROPERTY LINE
- PROPOSED SILT FENCING
- PROPOSED TREE PROTECTION FENCING
- PROPOSED HIGH VISIBILITY FENCING
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED PLASTIC SHEETING
- PROPOSED INLET PROTECTION
- PROPOSED SURFACE RUN-OFF FLOW ARROW
- EXISTING SURFACE RUN-OFF FLOW ARROW

KEY NOTES

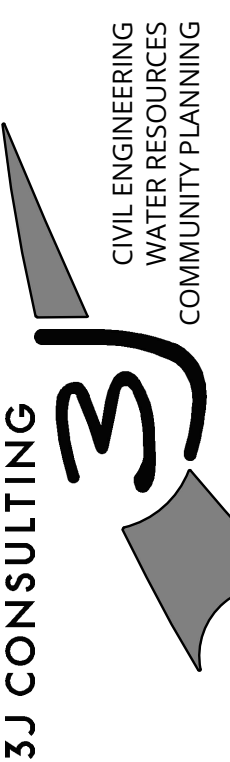
- 1 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION AS NEEDED.
- 2 INSTALL SEDIMENT FENCING PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION.
- 3 INSTALL INLET PROTECTION PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION.
- 4 INSTALL HIGH VISIBILITY ORANGE CONSTRUCTION FENCING. MAINTAIN THROUGHOUT CONSTRUCTION.
- 5 INSTALL TREE PROTECTION FENCING PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION. SEE EROSION CONTROL NOTE 3.
- 6 STOCKPILE AREA. PROTECT WITH PLASTIC SHEETING PER DETAIL ON SHEET C310.



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EROSION AND SEDIMENT CONTROL PLAN
ALDEN APARTMENTS

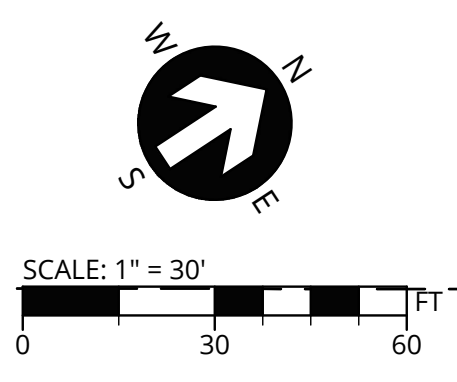
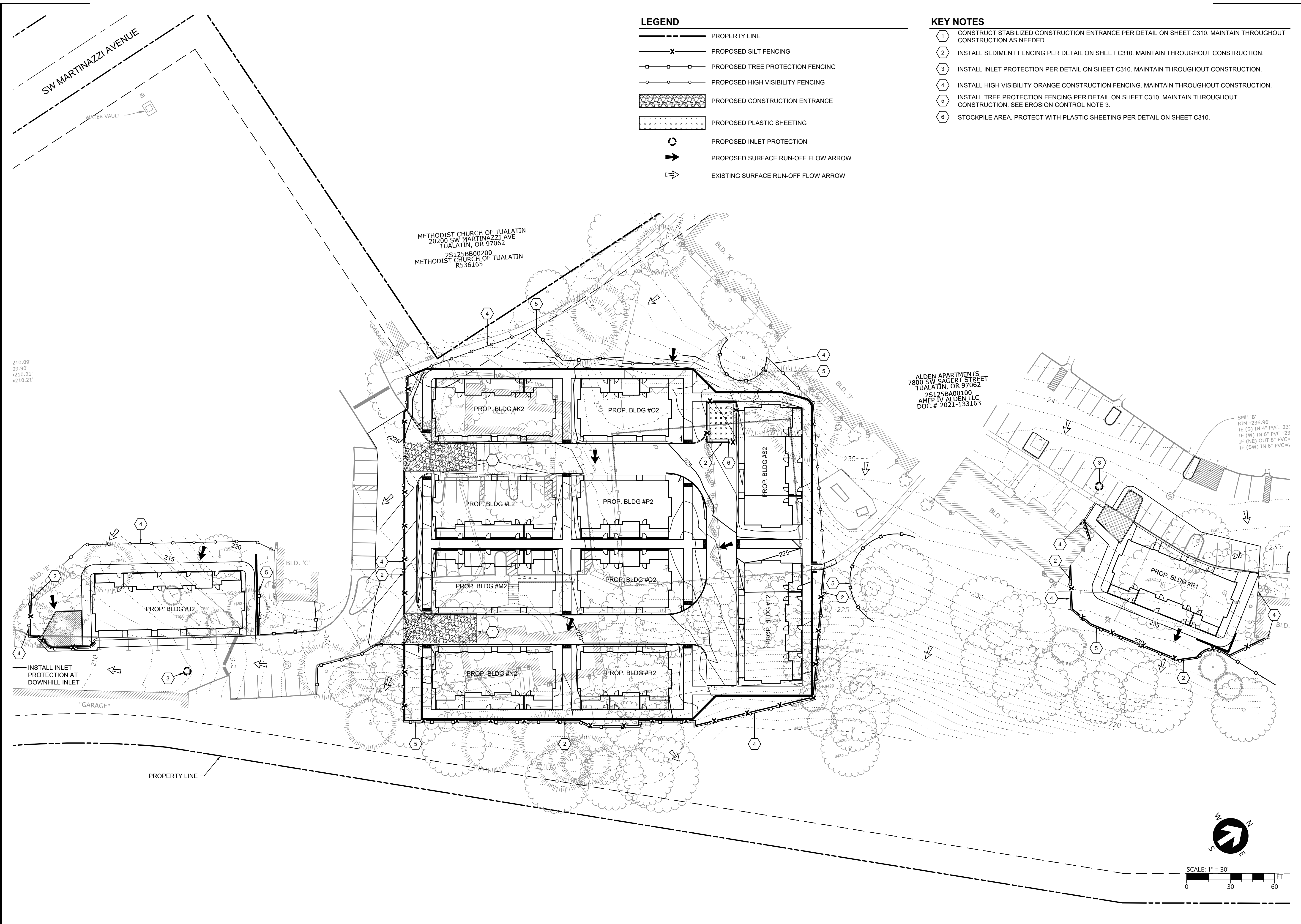
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062



9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

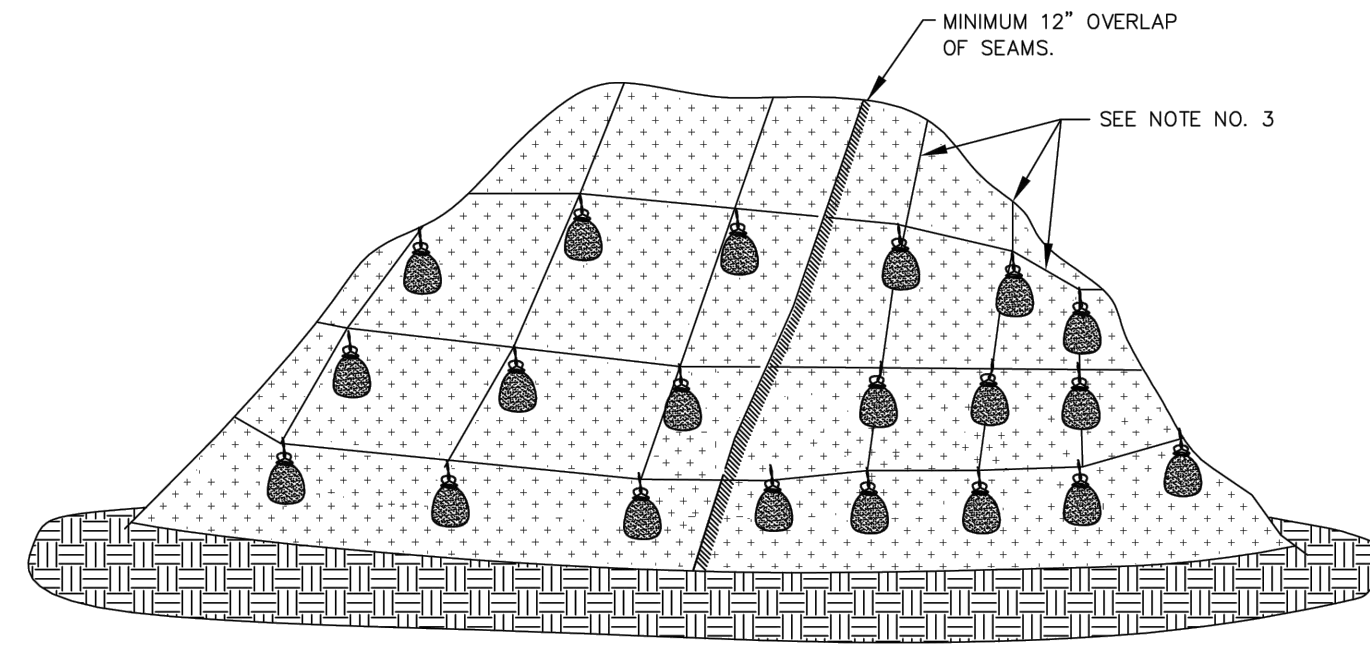
SHEET NUMBER
C300



P:\22791-ALDEN APARTMENTS\CAD\SHETS\DD\C300 - ESC PLAN.DWG

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FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



PLASTIC SHEETING

NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. PERIMETER SEDIMENT CONTROL BMP TO BE INSTALLED A MINIMUM OF 3' FROM TOE OF STOCKPILE
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR APPROVED EQUAL ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
4. PLASTIC TO EXTEND MINIMUM 1' BEYOND TOE OF SLOPE.
5. AS APPROPRIATE, BMP'S SHALL BE INSTALLED TO CONVEY WATER DISCHARGE FROM STOCKPILE AREAS.

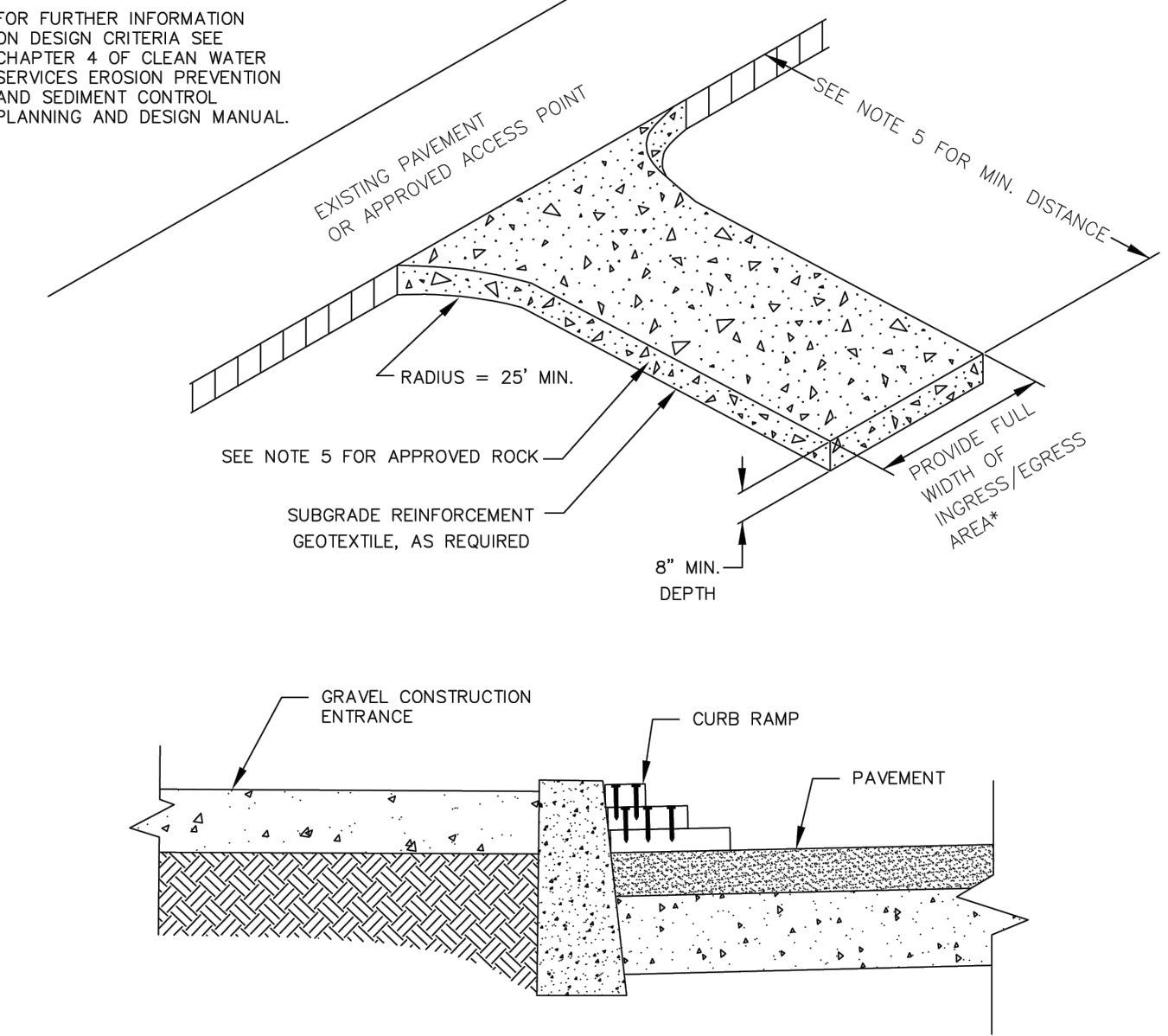
PLASTIC SHEETING

DRAWING NO. 810

REVISED 10-31-19



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



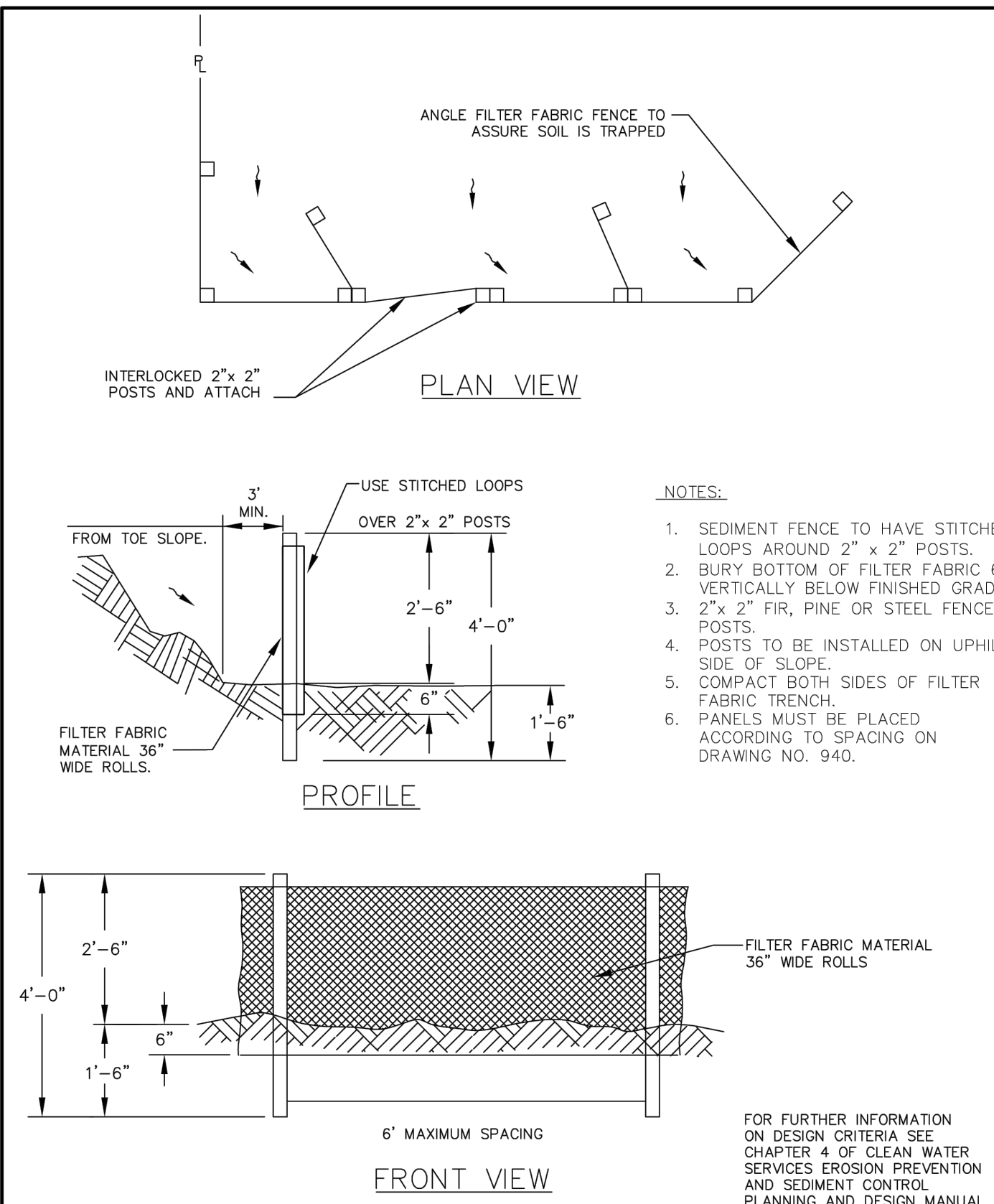
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
5. DIMENSIONS
SINGLE FAMILY
20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.
COMMERCIAL/SITE DEVELOPMENT
50' LONG BY 20' WIDE 3-6" CLEAN ROCK, GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

CONSTRUCTION ENTRANCE

DRAWING NO. 855

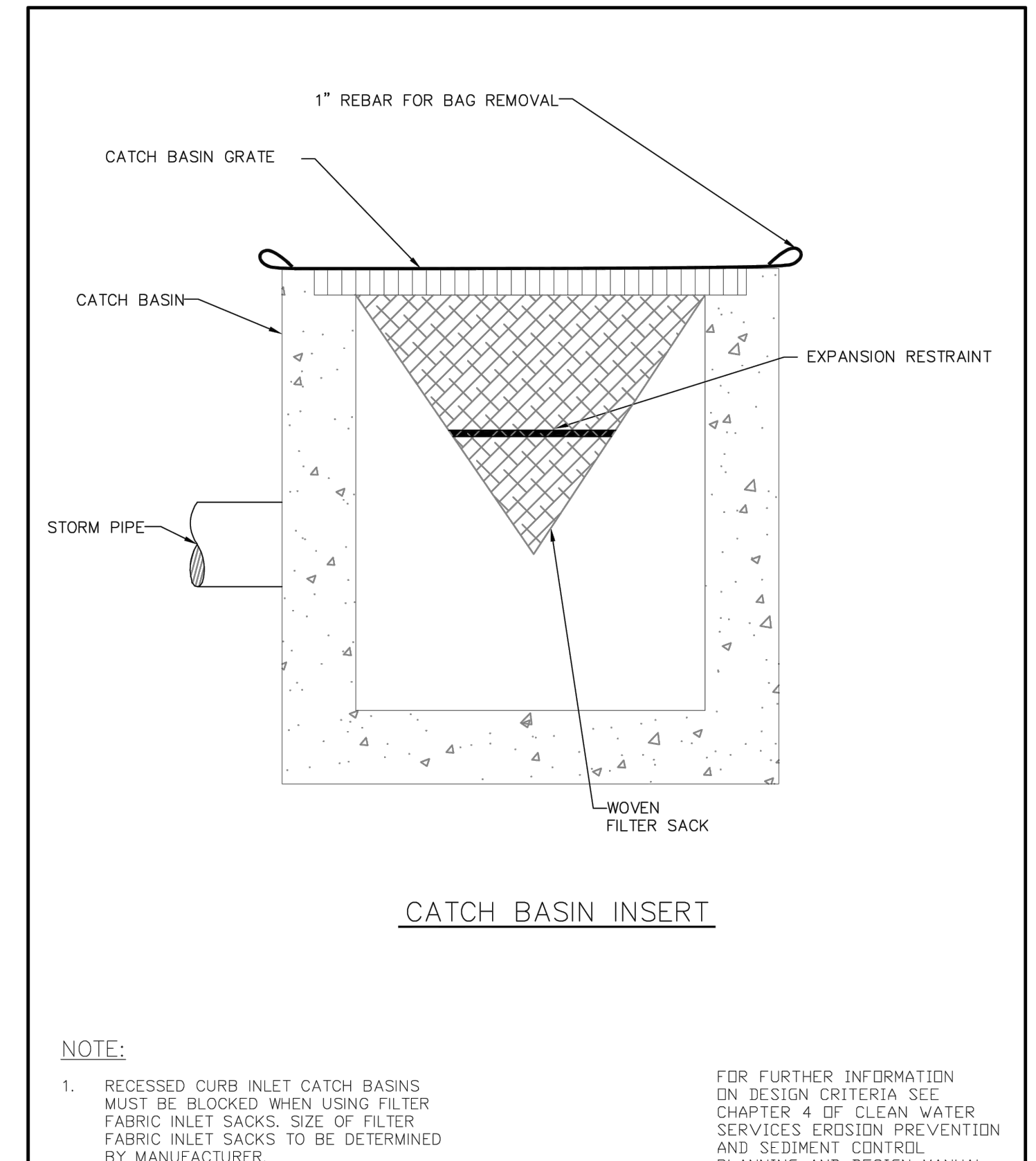
REVISED 10-31-19



SEDIMENT FENCE

DRAWING NO. 875

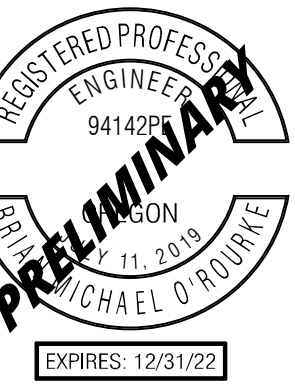
REVISED 10-31-19



INLET PROTECTION TYPE 5

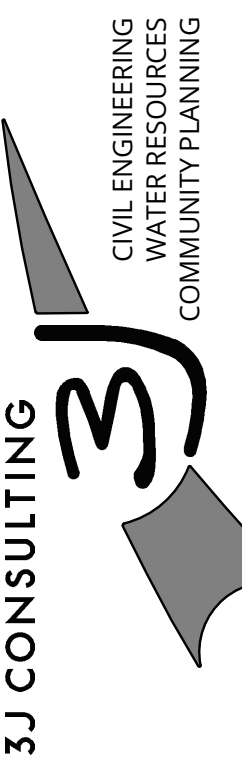
DRAWING NO. 920

REVISED 10-31-19



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LAND USE
REVISIONS

EROSION AND SEDIMENT CONTROL DETAILS
ALDEN APARTMENTS
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062



PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
C310

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008



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REVISIONS

UTILITY PLAN
ALDEN APARTMENTS
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
C400

LEGEND

- — — — — PROPERTY LINE
- SD — PROPOSED STORM LINE
- SS — PROPOSED SANITARY LINE
- DW — PROPOSED DOMESTIC WATER LINE
- FW — PROPOSED FIRE SERVICE LINE
- (D) PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED AREA DRAIN
- ⊕ PROPOSED BEEHIVE INLET
- PROPOSED CLEANOUT
- (S) PROPOSED SANITARY MANHOLE

WATER SYSTEM KEY NOTES

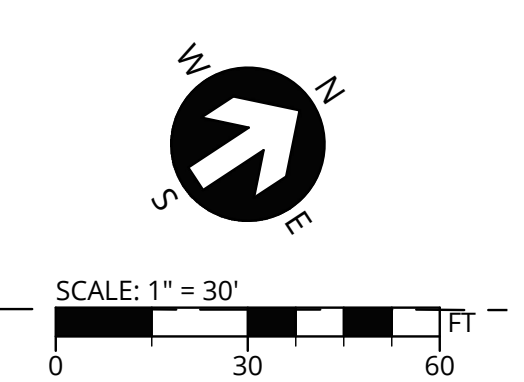
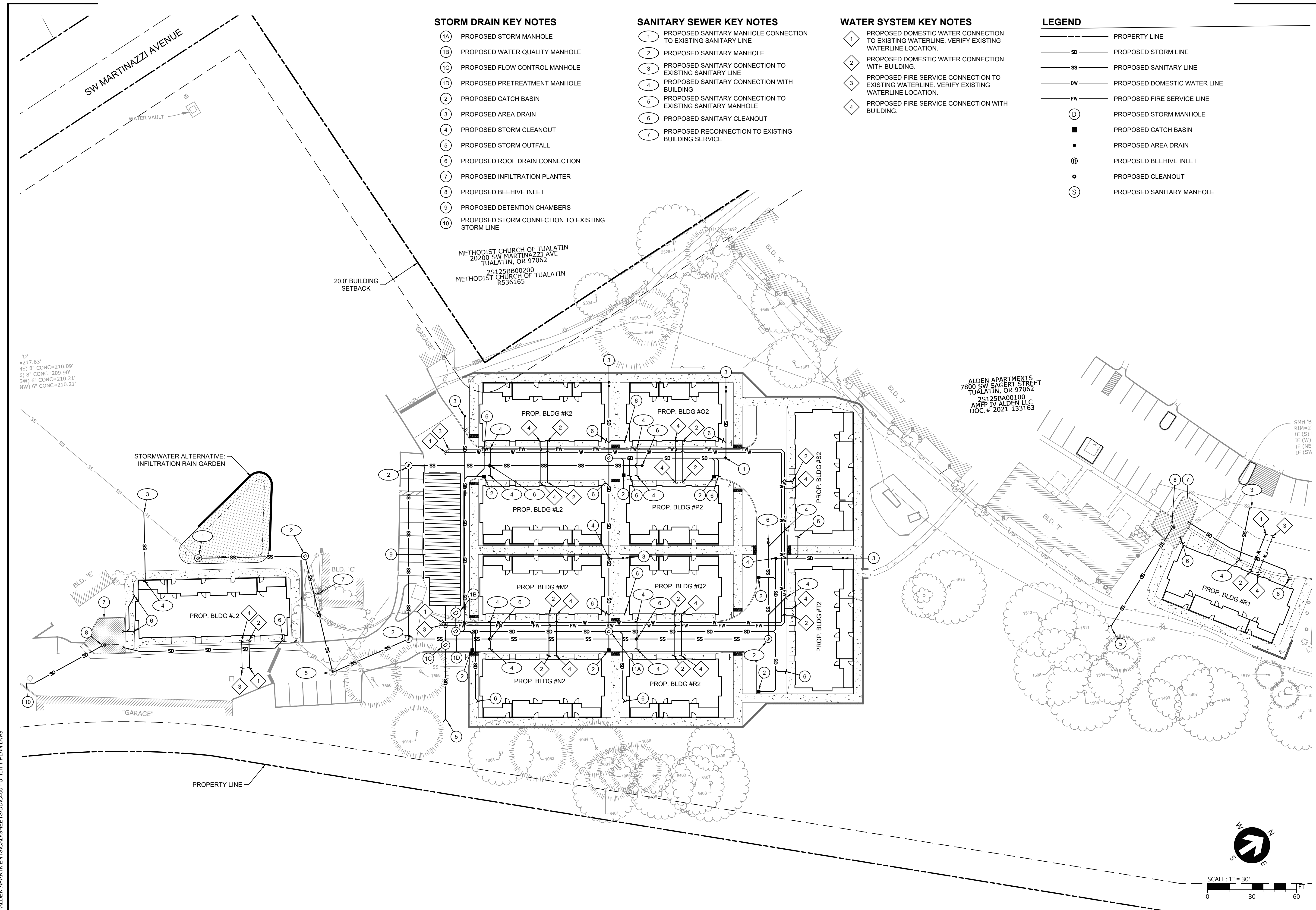
- 1 PROPOSED DOMESTIC WATER CONNECTION TO EXISTING WATERLINE. VERIFY EXISTING WATERLINE LOCATION.
- 2 PROPOSED DOMESTIC WATER CONNECTION WITH BUILDING.
- 3 PROPOSED FIRE SERVICE CONNECTION TO EXISTING WATERLINE. VERIFY EXISTING WATERLINE LOCATION.
- 4 PROPOSED FIRE SERVICE CONNECTION WITH BUILDING.

SANITARY SEWER KEY NOTES

- 1 PROPOSED SANITARY MANHOLE CONNECTION TO EXISTING SANITARY LINE
- 2 PROPOSED SANITARY MANHOLE
- 3 PROPOSED SANITARY CONNECTION TO EXISTING SANITARY LINE
- 4 PROPOSED SANITARY CONNECTION WITH BUILDING
- 5 PROPOSED SANITARY CONNECTION TO EXISTING SANITARY MANHOLE
- 6 PROPOSED SANITARY CLEANOUT
- 7 PROPOSED RECONNECTION TO EXISTING BUILDING SERVICE

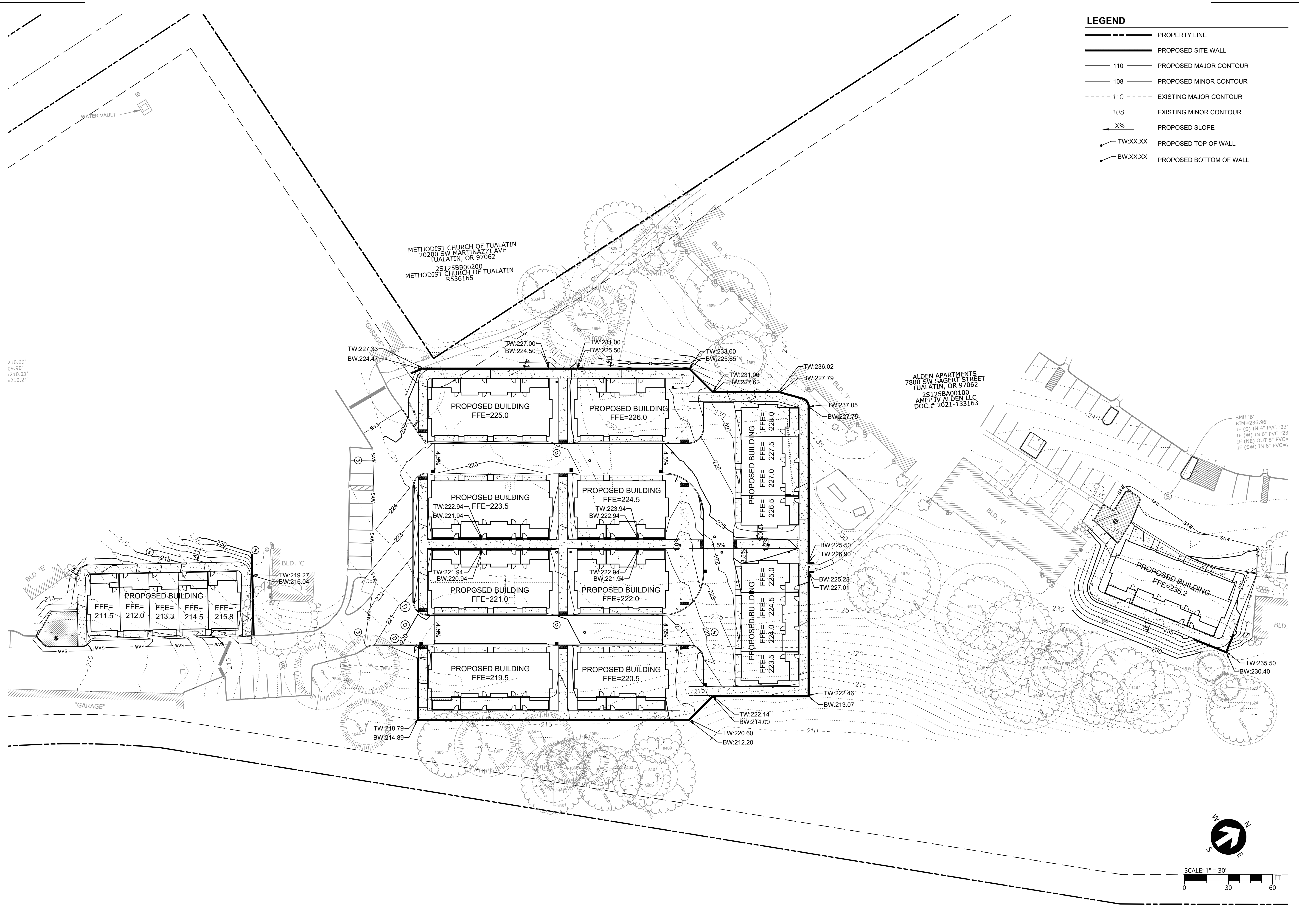
STORM DRAIN KEY NOTES

- 1A PROPOSED STORM MANHOLE
- 1B PROPOSED WATER QUALITY MANHOLE
- 1C PROPOSED FLOW CONTROL MANHOLE
- 1D PROPOSED PRETREATMENT MANHOLE
- 2 PROPOSED CATCH BASIN
- 3 PROPOSED AREA DRAIN
- 4 PROPOSED STORM CLEANOUT
- 5 PROPOSED STORM OUTFALL
- 6 PROPOSED ROOF DRAIN CONNECTION
- 7 PROPOSED INFILTRATION PLANTER
- 8 PROPOSED BEEHIVE INLET
- 9 PROPOSED DETENTION CHAMBERS
- 10 PROPOSED STORM CONNECTION TO EXISTING STORM LINE



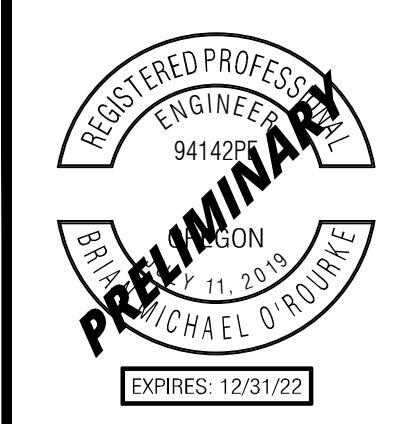
P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDIC400 - UTILITY PLAN.DWG

P:\22791-ALDEN APARTMENTS\CAD\SHETS\DD\C500 - GRADING PLAN.DWG



LEGEND

	PROPERTY LINE
	PROPOSED SITE WALL
	110 PROPOSED MAJOR CONTOUR
	108 PROPOSED MINOR CONTOUR
	110 EXISTING MAJOR CONTOUR
	108 EXISTING MINOR CONTOUR
	X% PROPOSED SLOPE
	TW:XX.XX PROPOSED TOP OF WALL
	BW:XX.XX PROPOSED BOTTOM OF WALL



PUBLISH DATE
09/01/2022
ISSUED FOR
LAND USE
REVISIONS

GRADING PLAN
ALDEN APARTMENTS
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
 TUALATIN, OR 97062

3J CONSULTING

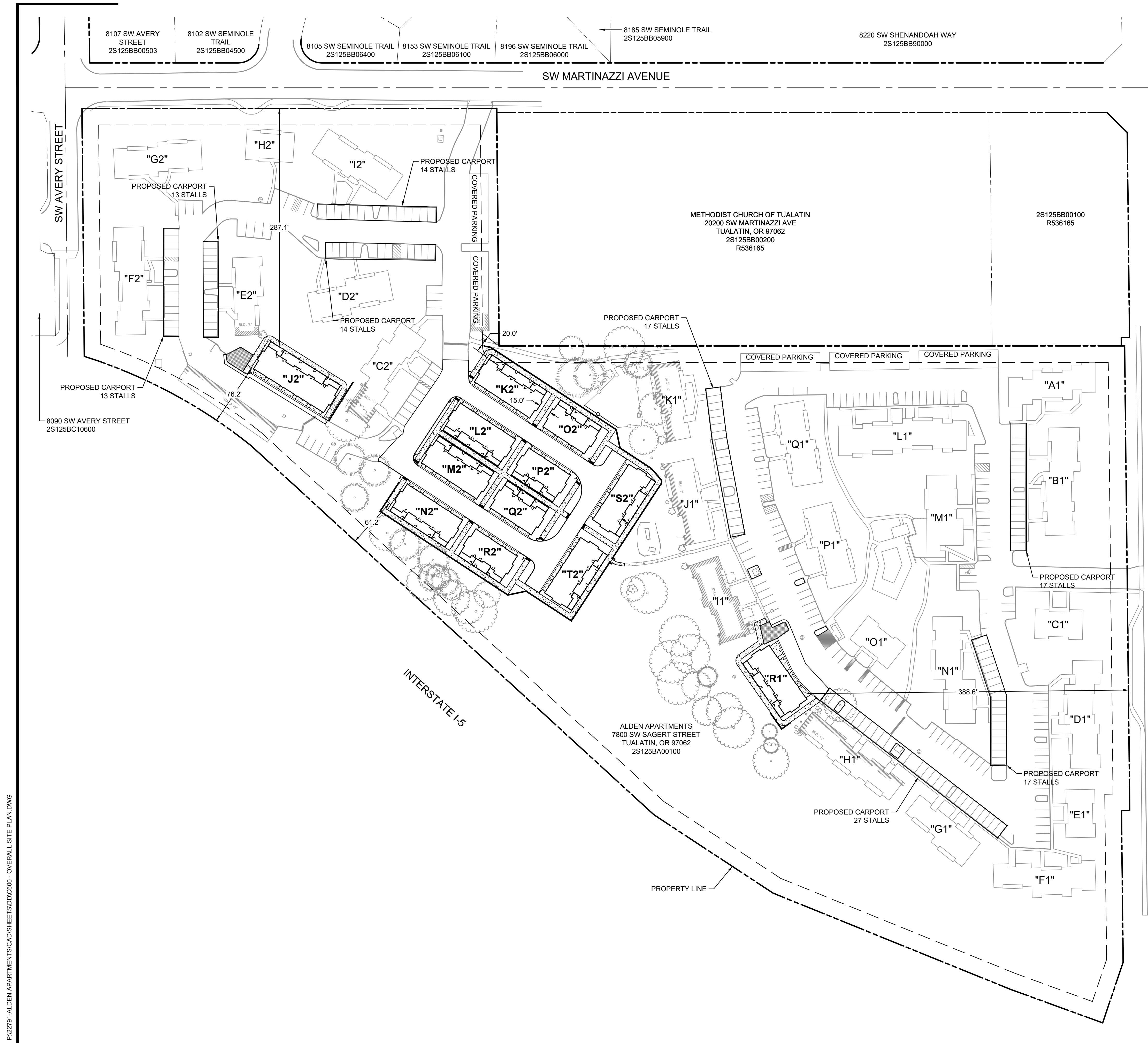
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION

3J PROJECT # | 22791
 TAX LOT(S) | 2S125BA00100
 LAND USE # | 22-0004
 DESIGNED BY | KMK
 CHECKED BY | BMO

SHEET NUMBER
C500



SITE INFORMATION

SITE ADDRESS 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE TUALATIN, OREGON 97062

TAX LOT 2S125BA00100

JURISDICTION CITY OF TUALATIN

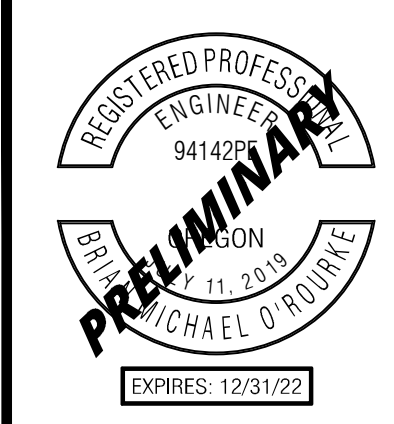
FLOOD HAZARD MAP NUMBERS: 41067C0607E ZONE X (UNSHADED)

ZONING EXISTING = RMH
PROPOSED = RMH

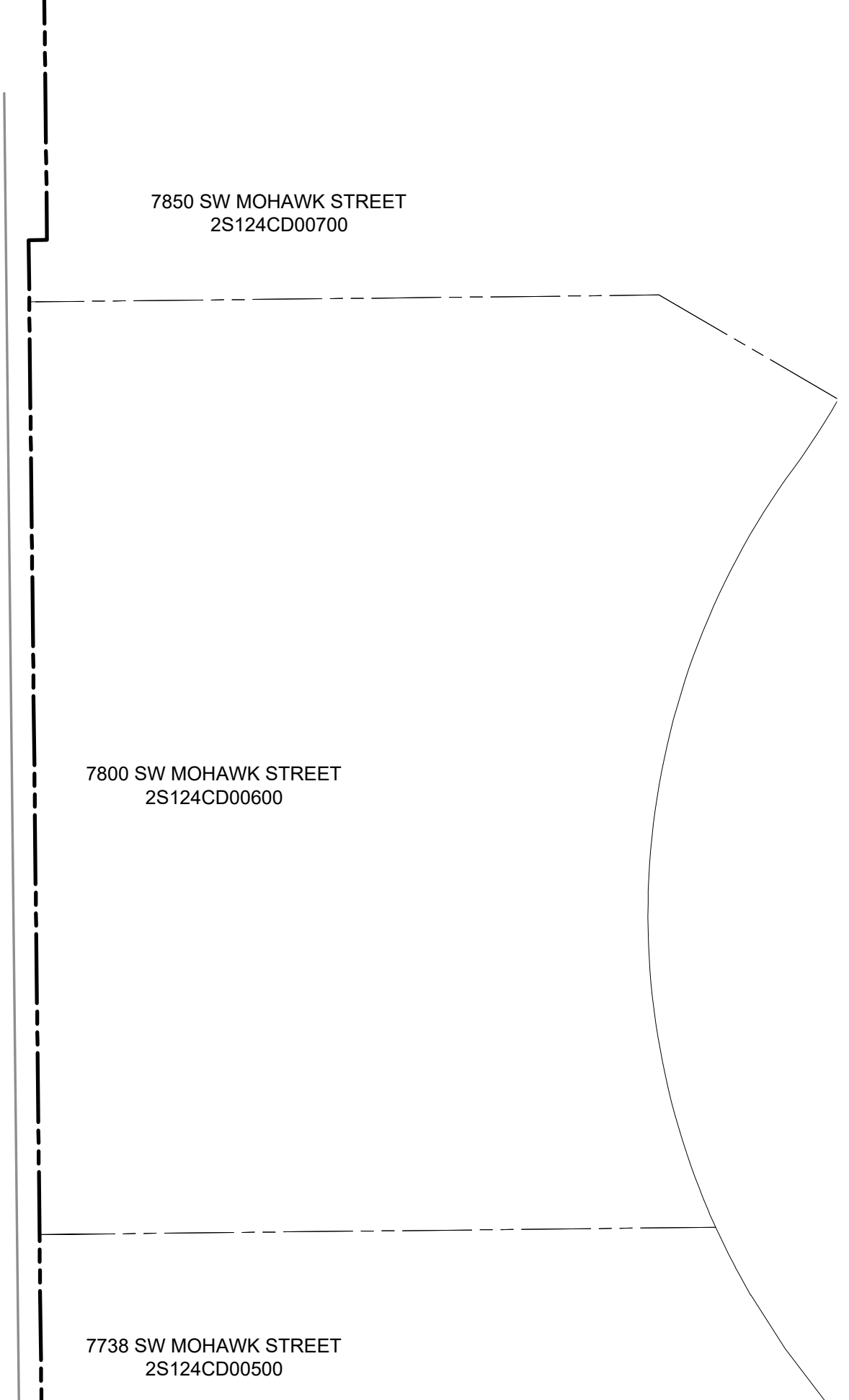
GROSS SITE AREA 16.74 ACRES

BUILDING STANDARDS
TUALATIN MUNICIPAL CODE (TMC) CHAPTER 42

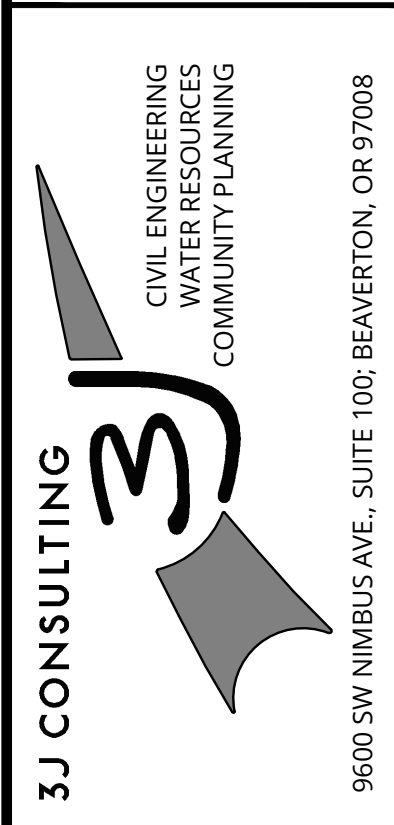
	REQUIRED	PROPOSED
FRONT SETBACK	35'	281'
SIDE AND REAR SETBACK	20'	20'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'	15'



PUBLISH DATE 09/01/2022
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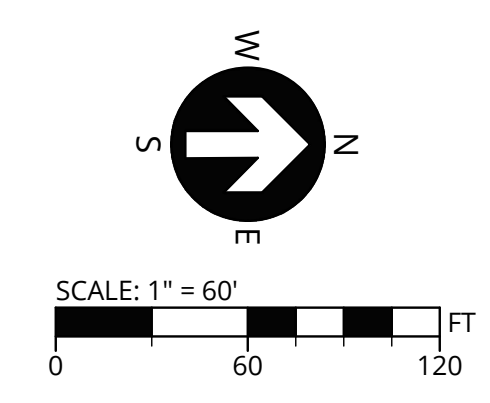


OVERALL SITE PLAN
ALDEN APARTMENTS
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE TUALATIN, OR 97062



PROJECT INFORMATION
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
C600



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TYPICAL PAVEMENT SECTION

PAVEMENT SECTIONS REFERENCED FROM PROJECT GEOTECHNICAL REPORT

	ASPHALT THICKNESS (IN)	CRUSHED ROCK BASE THICKNESS (IN)
MINIMUM DRY-WEATHER PAVEMENT SECTION: PRIVATE (20 YEARS)	3	12

LEGEND

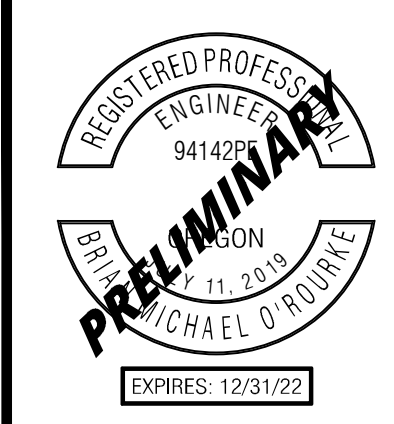
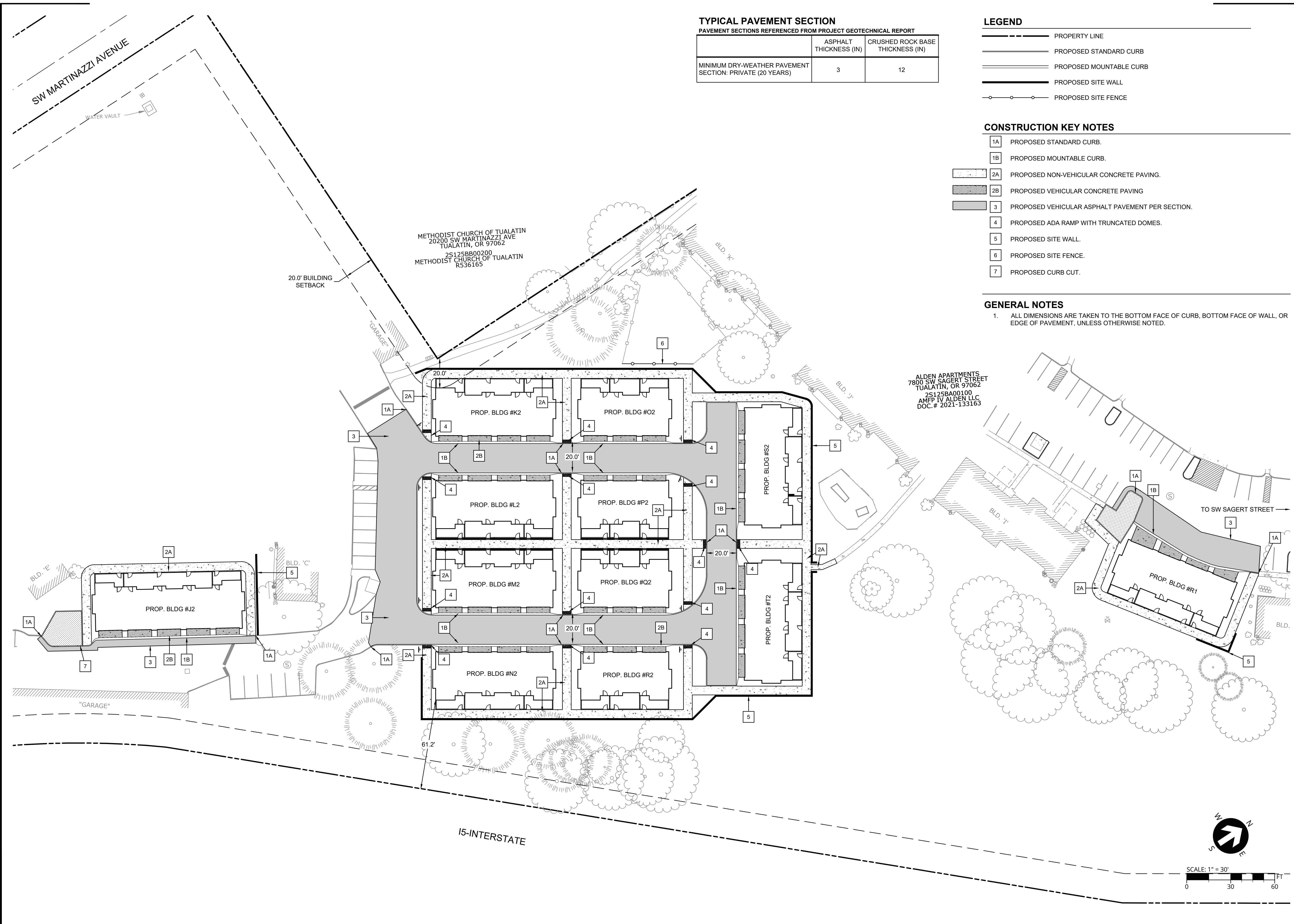
- PROPERTY LINE
- PROPOSED STANDARD CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED SITE WALL
- PROPOSED SITE FENCE

CONSTRUCTION KEY NOTES

- 1A PROPOSED STANDARD CURB.
- 1B PROPOSED MOUNTABLE CURB.
- 2A PROPOSED NON-VEHICULAR CONCRETE PAVING.
- 2B PROPOSED VEHICULAR CONCRETE PAVING
- 3 PROPOSED VEHICULAR ASPHALT PAVEMENT PER SECTION.
- 4 PROPOSED ADA RAMP WITH TRUNCATED DOMES.
- 5 PROPOSED SITE WALL.
- 6 PROPOSED SITE FENCE.
- 7 PROPOSED CURB CUT.

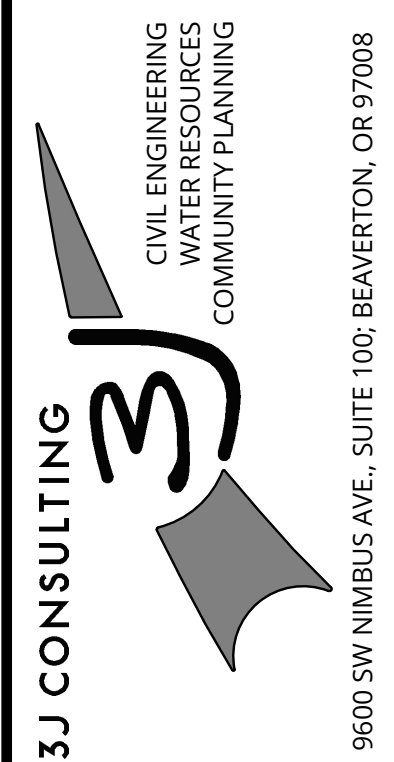
GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN TO THE BOTTOM FACE OF CURB, BOTTOM FACE OF WALL, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.



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SITE PLAN
ALDEN APARTMENTS
 7800 SW SAGER STREET & 20400 SW MARTINAZZI AVENUE
 TUALATIN, OR 97062

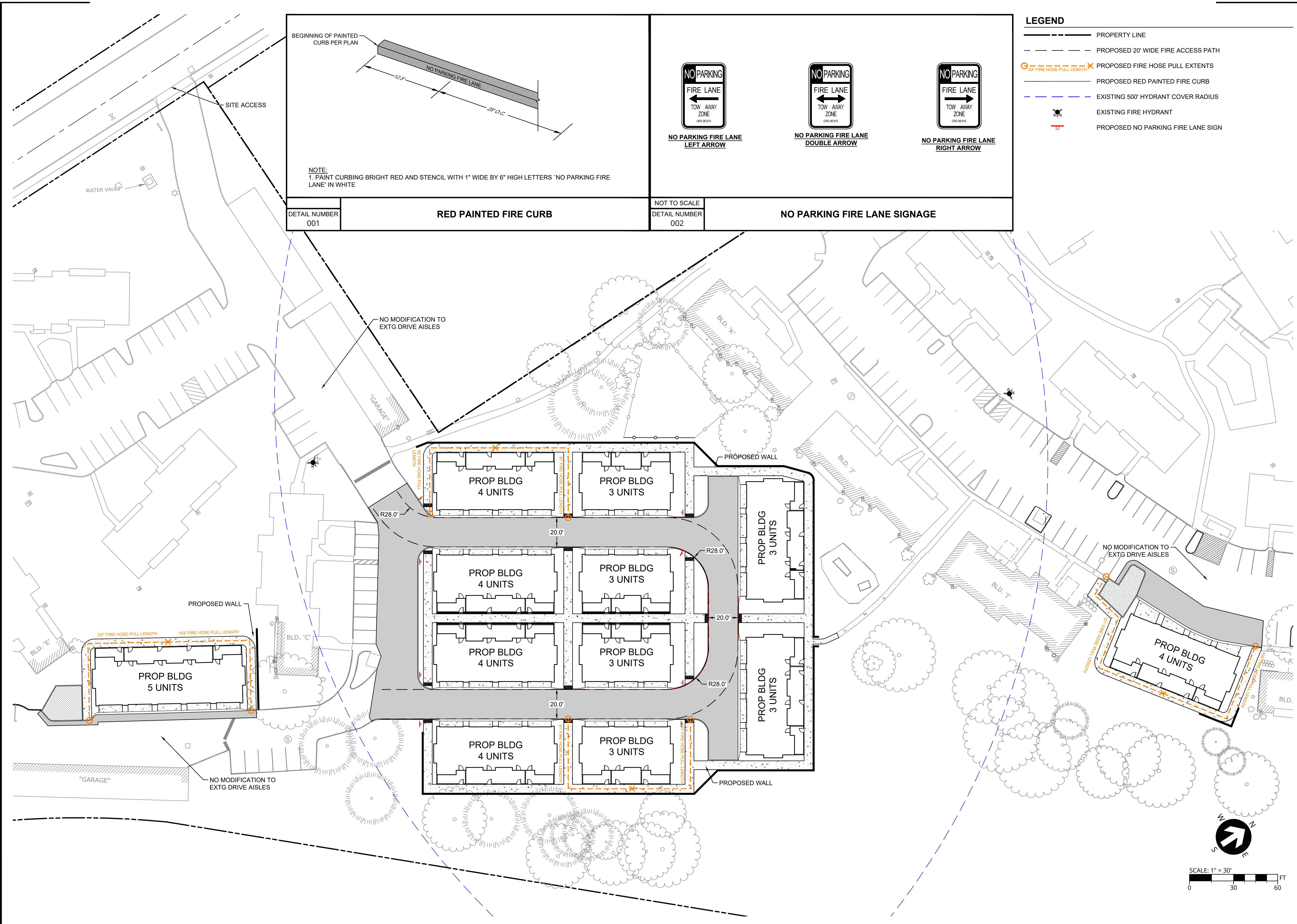


PROJECT INFORMATION
 3J PROJECT # | 22791
 TAX LOT(S) | 2S125BA00100
 LAND USE # | 22-0004
 DESIGNED BY | KMK
 CHECKED BY | BMO

SHEET NUMBER
C601

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P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDC700 - FIRE ACCESS PLAN.DWG



LEGEND

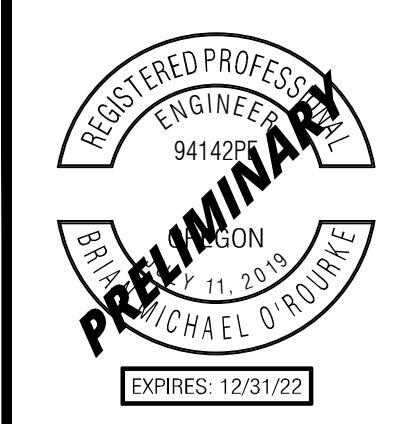
- PROPERTY LINE
- PROPOSED 20' WIDE FIRE ACCESS PATH
- PROPOSED FIRE HOSE PULL EXTENTS
- PROPOSED RED PAINTED FIRE CURB
- EXISTING 500' HYDRANT COVER RADIUS
- EXISTING FIRE HYDRANT
- PROPOSED NO PARKING FIRE LANE SIGN

NOTE:
1. PAINT CURBING BRIGHT RED AND STENCIL WITH 1" WIDE BY 6" HIGH LETTERS 'NO PARKING FIRE LANE' IN WHITE

DETAIL NUMBER 001 **RED PAINTED FIRE CURB**

NOT TO SCALE
DETAIL NUMBER 002 **NO PARKING FIRE LANE SIGNAGE**

NO PARKING FIRE LANE LEFT ARROW NO PARKING FIRE LANE DOUBLE ARROW NO PARKING FIRE LANE RIGHT ARROW



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REVISIONS

FIRE ACCESS PLAN

ALDEN APARTMENTS

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

3J CONSULTING

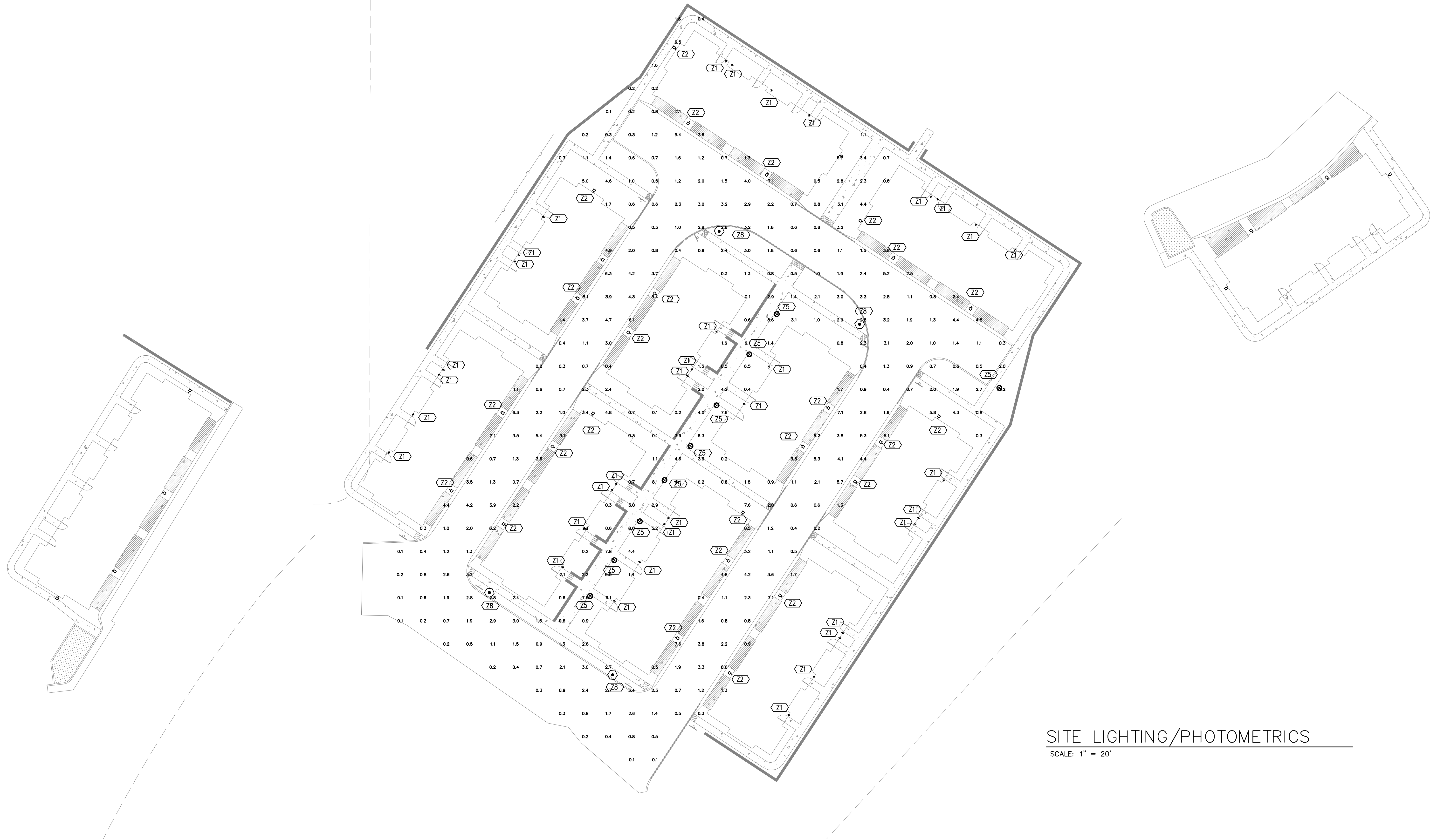
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION

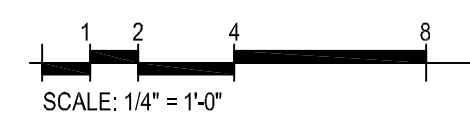
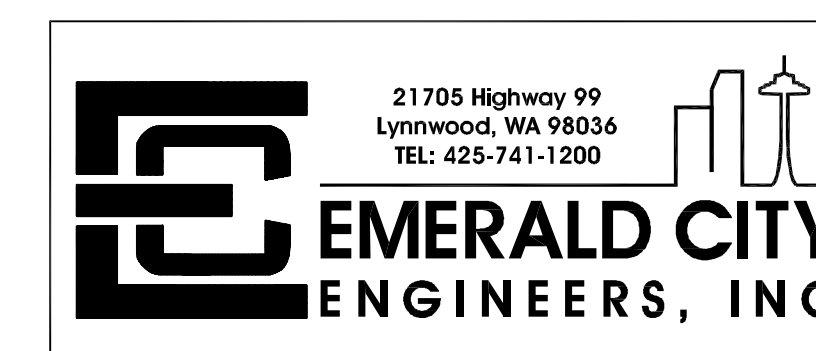
3J PROJECT # | 22791
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | KMK
CHECKED BY | BMO

SHEET NUMBER
FS-1



SITE LIGHTING/PHOTOMETRICS
SCALE: 1" = 20'

ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES



JOB NO. 0727-013
DATE 12/08/17

E01

EL CAPITAN (MR16 LAMP)

CATALOG NUMBER LOGIC
Example B-EC-1MR-25-1MRP-3-11-0

MATERIAL
Housing: Aluminum B- Brass

SERIES
EC- El Capitan

SOURCE
MR- MR16 Lamp

LAMP TYPE
a- MR16 HALOGEN LAMP (Manufactured by Osram)

FINISH
Standard Finishes (BZ, BL, BR, BU, BK, BW, BRN, GR, V, GRN, W, S, CR, CRN, H, U, G, MD, N, BR, O, CR, A, NG, S, BK, S, TA, W, W, C, W, S, W, S, W)

FINISH (See page 2 for full-color swatches)

LENS TYPE
9- Clear (standard)
10- Spaced
12- Soft Focus
13- Redlinear

SHIELDING
11- Noncyclops Matte

CAP STYLE
A- 4P
B- 1/2"
C- Flush
D- 4P Lens Weep-hole (Exterior use only)
E- 1/2" Lens Weep-hole (Exterior use only)
F- 1/2" with Flush

B-K LIGHTING MADE IN THE USA

Invue

DESCRIPTION
The geometric form of Mesa Laminate allows it to adjust to either contemporary or traditional architectural settings. Available in single or twin pole mount configurations with optional wall mounting capability. The Mesa Laminate mounting options allow for horizontal or vertical whether at the entrance or in the parking lot. UL listed for use in wet locations.

CATALOG NUMBER LOGIC
Example B-EC-1MR-25-1MRP-3-11-0

MATERIAL
Housing: Aluminum B- Brass

SERIES
EC- El Capitan

SOURCE
MR- MR16 Lamp

LAMP TYPE
a- MR16 HALOGEN LAMP (Manufactured by Osram)

FINISH
Standard Finishes (BZ, BL, BR, BU, BK, BW, BRN, GR, V, GRN, W, S, CR, CRN, H, U, G, MD, N, BR, O, CR, A, NG, S, BK, S, TA, W, W, C, W, S, W, S, W)

FINISH (See page 2 for full-color swatches)

LENS TYPE
9- Clear (standard)
10- Spaced
12- Soft Focus
13- Redlinear

SHIELDING
11- Noncyclops Matte

CAP STYLE
A- 4P
B- 1/2"
C- Flush
D- 4P Lens Weep-hole (Exterior use only)
E- 1/2" Lens Weep-hole (Exterior use only)
F- 1/2" with Flush

COOPER LIGHTING

WDGE2 LED Architectural Wall Scone

Specifications
Depth: 2 1/2"
Depth (H): 1 1/2"
Height: 1"
Weight: 11.5 lbs (without option)

WDGE LED Family Overview

Series	Standard DL, PT	Color, 31°C	Series	15	20	25	30	35	40
WDGE10	4W	—	—	1.00	1.00	—	—	—	—
WDGE15	10W	10W	Standard height	1.00	1.00	1.00	1.00	1.00	—
WDGE20	15W	15W	Standard height	1.00	1.00	1.00	1.00	1.00	—
WDGE25	—	—	Standard height	1.00	1.00	1.00	1.00	1.00	1.00

Ordering Information EXAMPLE: WDGE2 LED P3 40K 80CR VF MVOLT SKM DDBXD

Series	Height	Color Temperature	CR	Beam Angle	Mounting	Options	Notes
WDGE10	P1	F15W	27K	70°	80°	10'	Standard
	P2	F15W	50K	50°	80°	10'	Standard
	P3	F15W	50K	50°	80°	10'	Standard
	P4	F15W	50K	50°	80°	10'	Standard

KBA8 LED LED Specification Bollard

Specifications
8" Round
Height: 42"
Weight: 27 lbs
Finish: Polished

Introduction
The KBA8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

Ordering Information EXAMPLE: KBA8 LED 16C 700 40K SYM MVOLT DDBXD

Series	Color	Beam angle	Color temperature	Beamwidth	Height	Control options
KBA816	Asymmetric	80°	3000K	4.5'	42"	0V
	Symmetric	80°	3000K	4.5'	42"	0V

Accessories
WLF2 - Adjustable WALKWAY

NOTES
1. Only available in the US, AIA version.
2. Only available in the US, AIA version.
3. Only available in the US, AIA version.
4. Not available with 3000K. Not available with 3000K. Not available with 3000K.

FIXTURE Z1
SCALE: NONE

FIXTURE Z8
SCALE: NONE

FIXTURE Z2
SCALE: NONE

FIXTURE Z5
SCALE: NONE

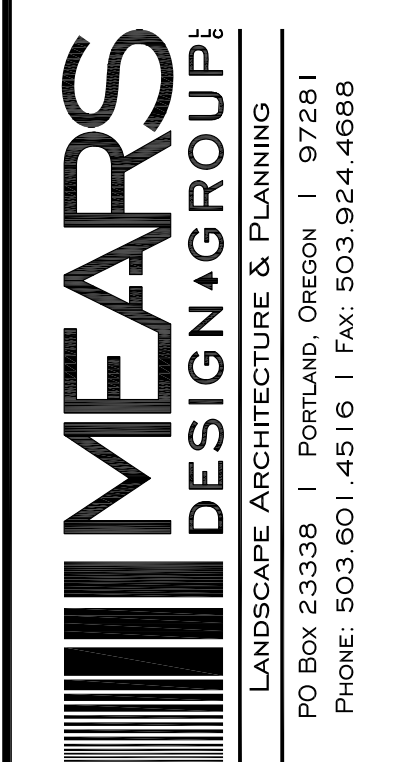
CALLOUT	SYMBOL	DESCRIPTION	LAMP	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTES
Z1	+	EXTERIOR WALL LIGHT, SMALL CYLINDER, 5" TALL, FULL CUTOFF, MEDIUM FLOOD, 4000K, ALUMINUM FINISH, TRANSFORMER LOCATED IN DEEP BOX	(1) 7W LED 4000K	INTEGRAL XFMR IN DEEP JBOX	WALL	BK LIGHTING EL CAPITAN EC LED E66 MFL A9 12 11 B, TRe20	7	120V 1P 2W	EXTERIOR WALL. PROVIDE WITH 4" OCTAGON BOX, 1-1/2" DEEP WITH 1-1/2" BOX EXTENSION. LOCATE DRIVER WITHIN DEEP BOX
Z2	◻	EXTERIOR WEDGE LIGHT, 11.5"W X 9"H X 7"D, FULL CUTOFF, FORWARD THROW	(1) 15W LED 4000K	ELECTRONIC	WALL	LITHONIA WDGE2 LED P2 40K 90 CRI VF MVOLT DDBXD	15	MULTIPLE	EXTERIOR
Z5	⊙	EXTERIOR 42" TALL BOLLARD, SYMMETRIC DIST., FULL CUTOFF	(1) 28W LED 4000K	ELECTRONIC	CEILING	LITHONIA KBA8 LED 16C 530 40K SY MVOLT	28	120V 1P 2W	SITE, B1-U0-G0
Z8	⊙	PEDESTRIAN SCALE POLE LIGHT, FROSTED LENS, TYPE III DISTRIBUTION, FULL CUTOFF, 10' STEEL POLE	(1) 48W LED 4000K	0-10V DIM	10' STEEL POLE WITH CONCRETE BASE	COOPER MESA MSA E02 LED E1 T3 DIM	48	120V 1P 2W	SITE LIGHTING, PROVIDE WITH TUNING DIMMERS

TUALATIN MUNICIPAL CODE:
TDC 63.055 (2)
It uses and development may utilize exterior lighting, but the exterior lighting must be screened, baffled or directed away from residential planning districts



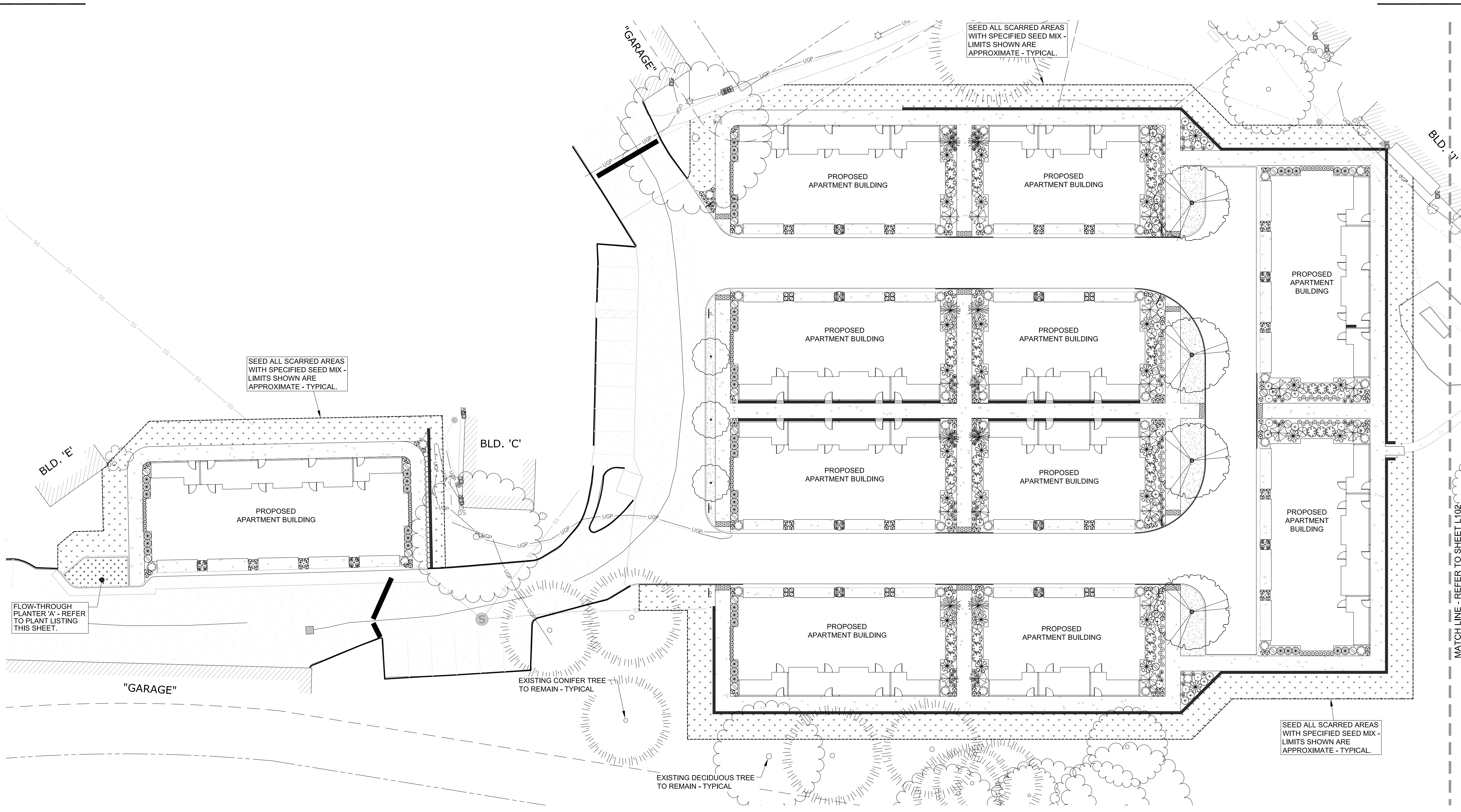
PUBLISH DATE
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ISSUED FOR
LAND USE
REVISIONS
10/10/2022

PLANTING PLAN
ALDEN APARTMENTS
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062



PROJECT INFORMATION
MDG PROJECT # | 2223
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | TAM
CHECKED BY | TAM

SHEET NUMBER
L101



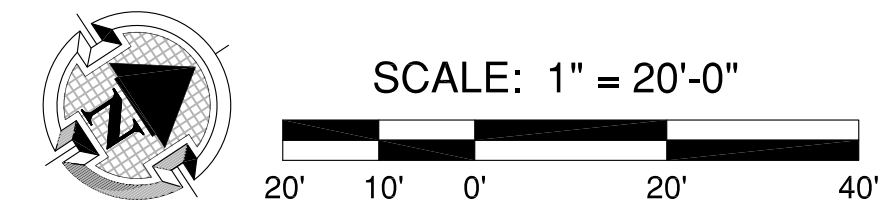
PLANT LISTING FOR FLOW-THROUGH PLANTER

FLOW-THROUGH PLANTER 'A'	Minimum Species Quantity	Plant Category	Zone	Minimum Plant Height	Condition (size)	Wetland Indicator Status	Spacing Format
TREATMENT AREA 253 sq. ft.							
Scientific Name Common Name							
Carex obnupta Slough Sedge	97	Herb	Moist	6"	1/2 Gal.	OBL	1 / sq.ft.
Carex deweyana Dewey's Sedge	97	Herb	Dry	6"	1/2 Gal.	FAC	1 / sq.ft.
Juncus patens Spreading Rush	97	Herb	Moist	6"	1/2 Gal.	FACW	1 / sq.ft.
HERBACEOUS PLANT TOTAL:	291						

APPROXIMATE LANDSCAPE AREA

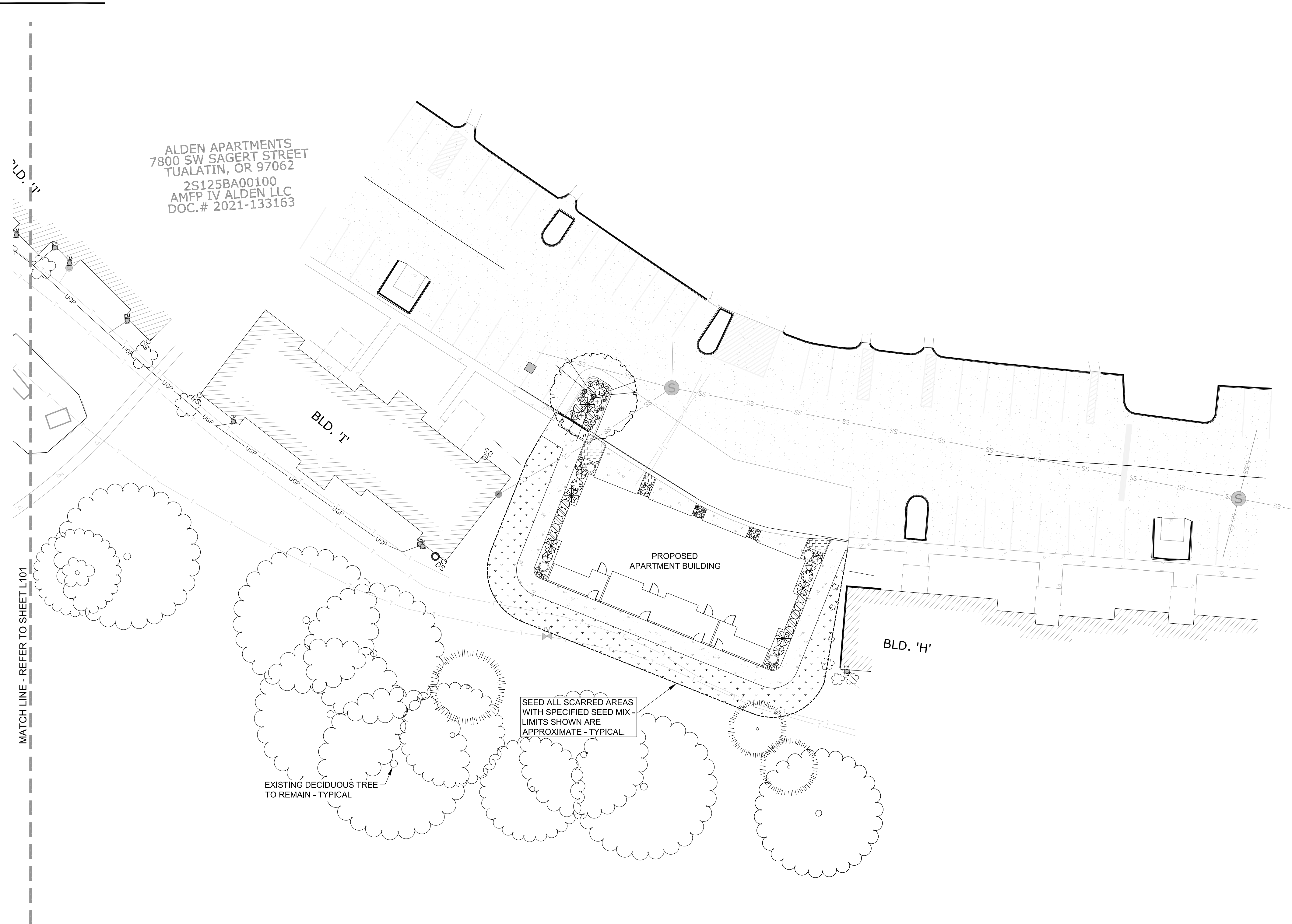
PLANTING BED AREA:	7,056 SF
LAWN AREA:	1,405 SF
LAWN AREA (RESTORATION):	12,280 SF
WATER QUALITY PLANTER:	253 SF
TOTAL LANDSCAPE AREA:	20,994 SF

REFER TO SHEET L102 FOR PLANTING MATERIAL LISTING
REFER TO SHEET L103 FOR PLANTING DETAILS AND NOTES



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PLANT MATERIAL LISTING:					
TREES		Quantity	Planted Size	Condition	Mature size
SYMBOL	Botanical name Common Name				
	Acer platanoides 'Crimson King' Crimson King Maple	5	1.5" Cal.	B&B	30-40' tall, 20-40' wide
	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Pyramid Limber Pine	20	6-7'	B&B	20-30' tall, 10-15' wide
	Carpinus betulus 'Frans Fontaine' Frans Fontaine Hornbeam	3	1.5" Cal.	B&B	40' tall, 15' wide
	Picea pungens 'Baby Blue Eyes' Baby Blue Eyes Spruce	8	6-7'	B&B	12-15' tall, 6-7' wide
Total Trees		36			

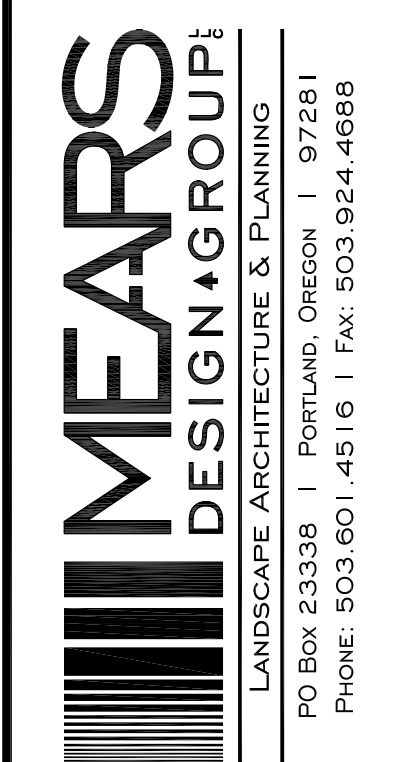
PLANT MATERIAL LISTING:					
SHRUBS & GRASSES		Quantity	Planted Size	Condition	Mature size
SYMBOL	Botanical name Common Name				
	Azalea x 'Hino-Crimson' Hino-Crimson Azalea	46	1 Gal	Can	2-4' tall, 3-5' wide
	Berberis thunbergii 'Crimson Pygmy' Crimson Pygmy Barberry	41	1 Gal	Can	2' tall, 3' wide
	Berberis thunbergii 'Gold Pillar' Gold Pillar Barberry	23	1 Gal	Can	3-4' tall, 2' wide
	Chamaecyparis obtusa 'Confucius' Confucius Hinoki Cypress	12	5 Gal	Can	4-6' tall 3-4' wide
	Choisya ternata 'Sundance' Sundance Mexican Orange	35	5 Gal	Can	5-6' tall & wide
	Euonymus japonicus 'Silver King' Silver King Euonymus	46	5 Gal	Can	6' tall, 3' wide
	Hakonechloa macro 'All Gold' All Gold Japanese Forest Grass	162	1 gal	Can	18" tall & wide
	Hemerocallis 'Stella d'oro' Stella d'oro Daylily	24	1 gal	Can	1' tall & wide
	Hydrangea paniculata 'Littlelime' Littlelime Hydrangea	4	2 Gal	Can	3-5' tall & wide
	Imperata cylindrica 'Rubra' Japanese Blood Grass	150	1 Gal	Can	1' tall 18" wide
	Nandina domestica 'Gulf Stream' Gulf Stream Heavenly Bamboo	51	2 Gal	Can	3' tall & wide
	Rhododendron 'P.J.M. Elite' P.J.M. Elite Rhododendron	14	18-24"	B&B	4-5' tall 3-5' wide
	Rudbeckia 'Little Goldstar' Little Goldstar Daisy	215	1 Gal	Can	18" tall & wide
	Viburnum tinus 'Spring Bouquet' Spring Bouquet Viburnum	44	5 Gal	Can	4-6' tall & wide
	Weigela florida 'Bokraspiwi' Spilled Wine Weigela	35	1 Gal	Can	1-2' tall 2-3' wide
Total Shrubs		902			

SYM	GROUND COVER	QTY.	SIZE	CONDITION	REMARKS
	Vinca minor 'Bowles' Bowles Common Periwinkle	45	4"	Pots	18" O.C.
	Lawn (Hydro-seed)				1,405 SF
	Lawn RESTORATION (Hydro-seed)				12,280 SF (approximate)



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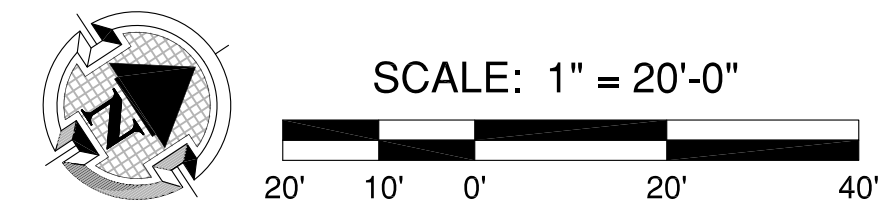
PLANTING PLAN
ALDEN APARTMENTS
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

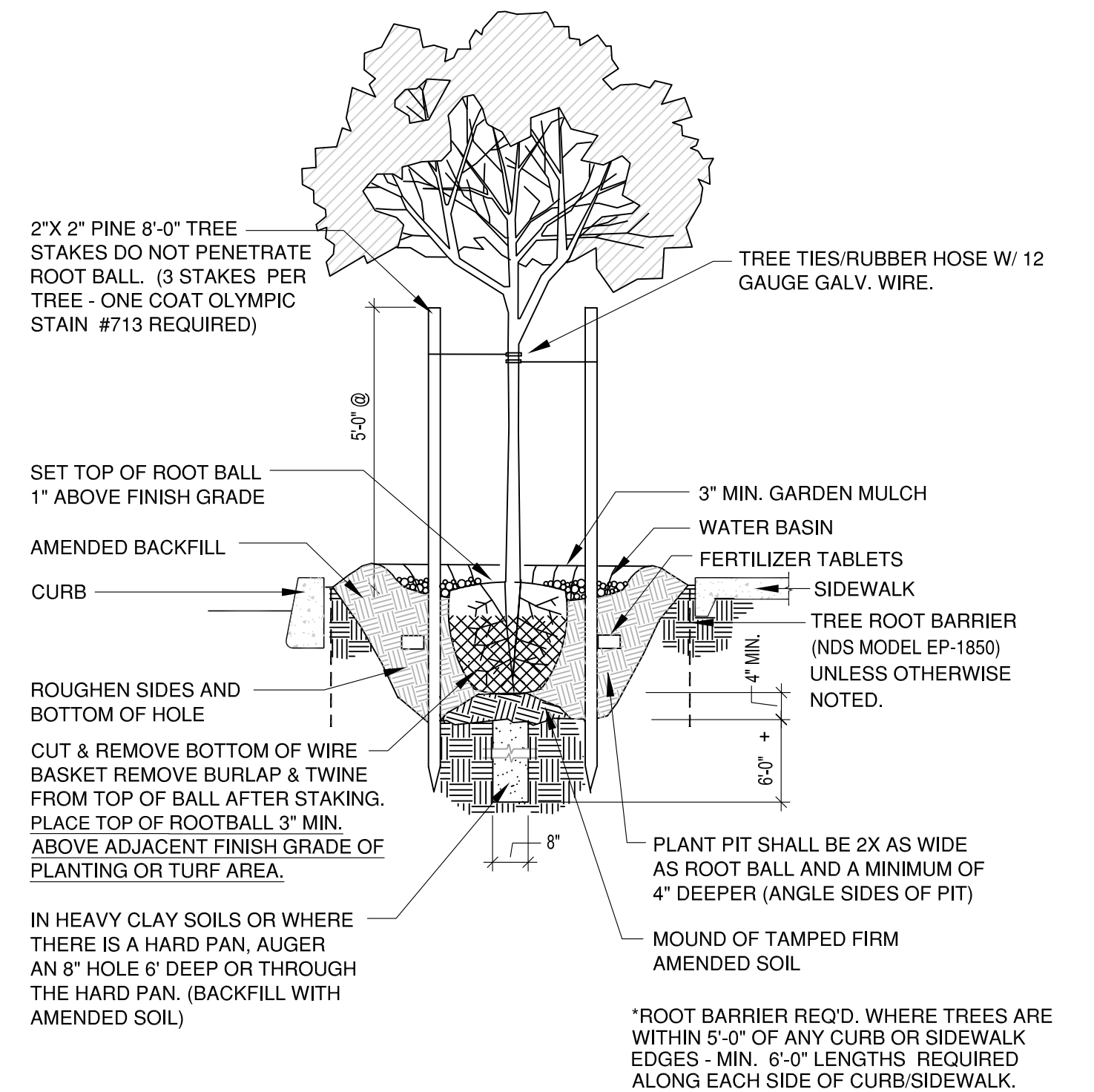


PROJECT INFORMATION
MDG PROJECT # | 2223
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | TAM
CHECKED BY | TAM

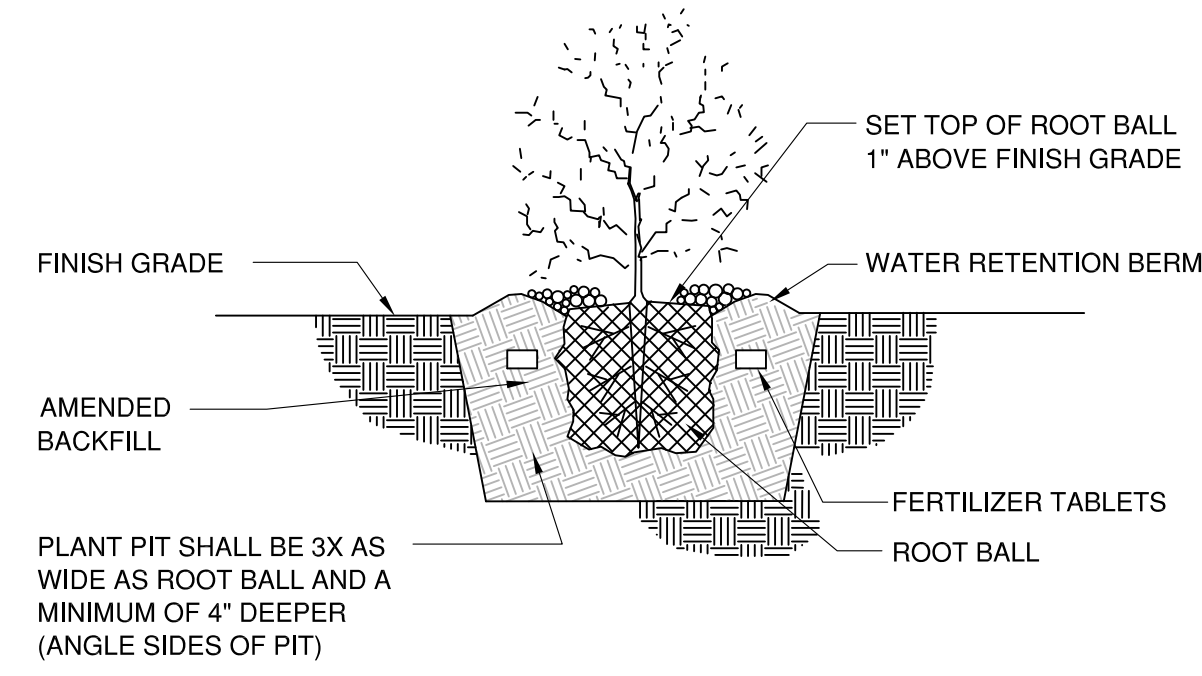
SHEET NUMBER
L102

REFER TO SHEET L103 FOR PLANTING DETAILS AND NOTES

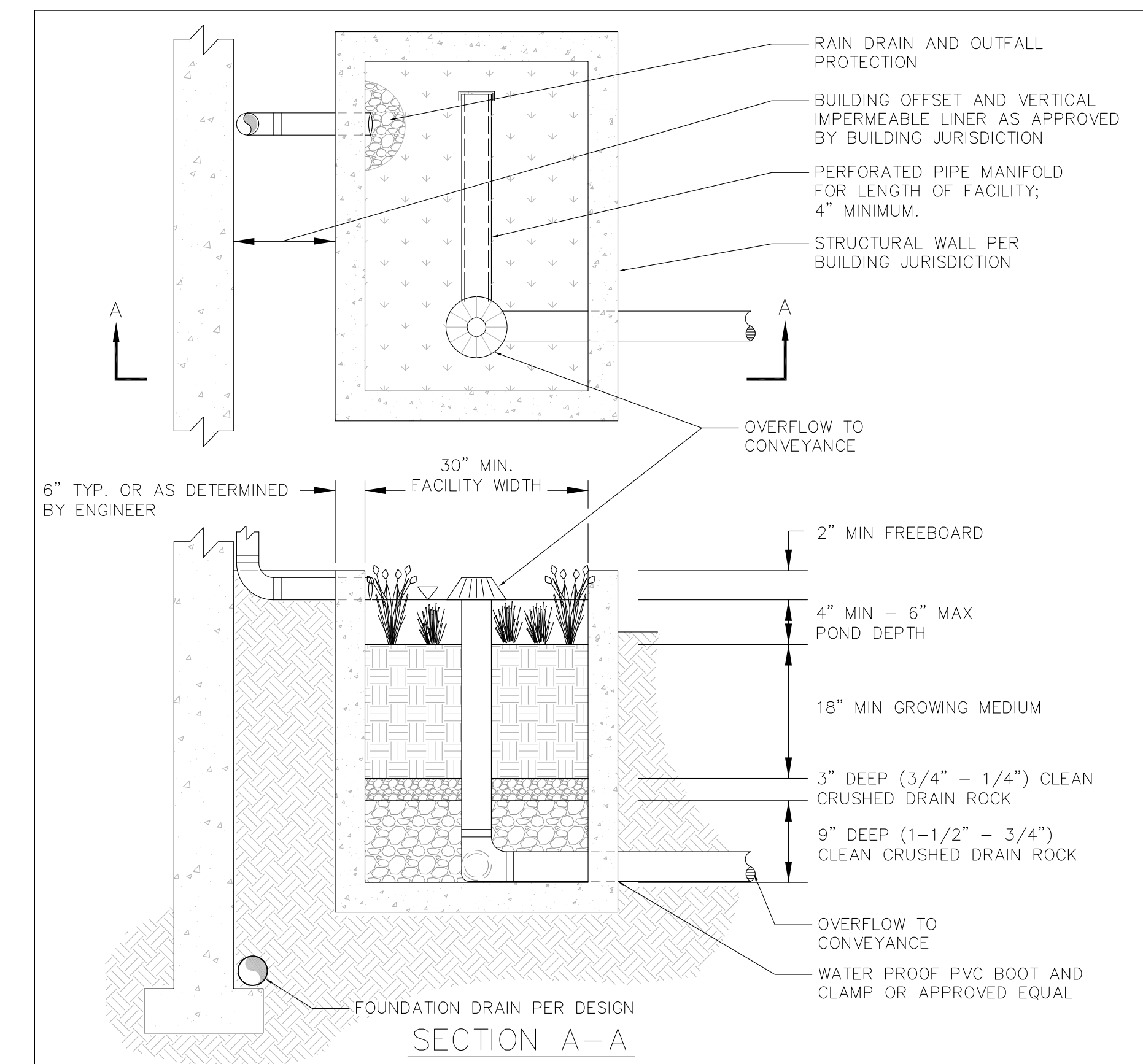




TREE PLANTING DETAIL
N.T.S.



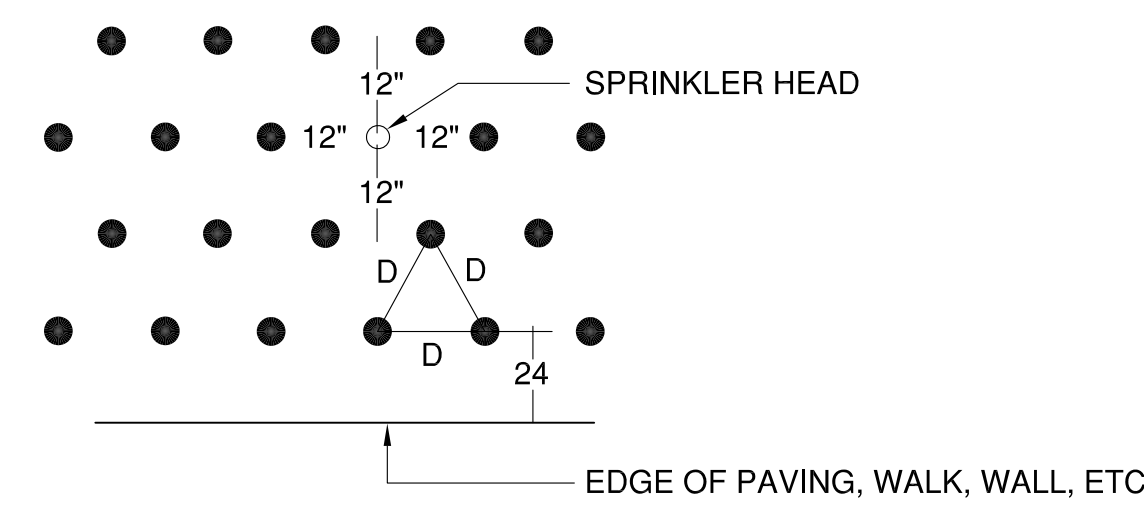
SHRUB PLANTING DETAIL
N.T.S.



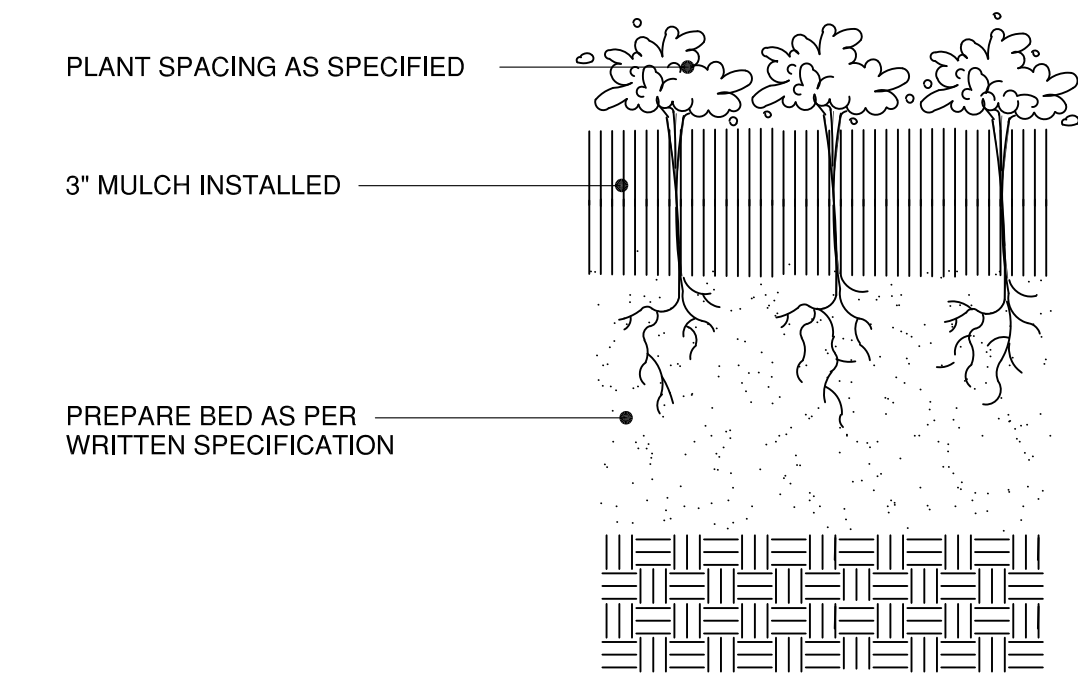
NOTES:

1. PRIVATE WATER QUALITY TREATMENT.
2. 30" MIN WIDTH - FACILITY LENGTH TO BE CALCULATED BASED ON INCOMING FLOWS.
3. VEGETATION: SEE PLANT LIST IN LIDA HANDBOOK.
4. I.E. OF RAIN DRAINS MUST MATCH THE ELEVATION OF THE OVERFLOW STRUCTURE.
5. RAIN DRAINS AND OVERFLOW TO MAINTAIN MAXIMUM LINEAR SEPARATION.
6. OUTFALL PROTECTION SIZED PER FLOW CALCULATIONS.
7. BUILDING JURISDICTION APPROVAL REQUIRED WHEN DEPTH OF FACILITY IS BELOW BUILDING FOOTING.

FLOW THROUGH PLANTER
DRAWING NO. 730 REVISED 10-31-19
CleanWater Services



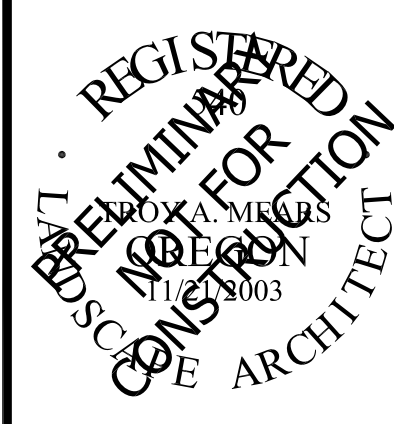
NOTE:
LOCATE PLANTS SPACED EQUAL DISTANCE (D) FROM EACH OTHER AS SPECIFIED AND MINIMUM OF 12" FROM SPRINKLER HEAD



GROUNDCOVER PLANTING DETAIL
N.T.S.

TYPICAL PLANTING NOTES:

1. B&B stock may be substituted with container stock of equal grade.
2. Container stock may be substituted with B&B stock of equal grade.
3. Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2004 edition.
4. All trees shall be branched.
5. Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
6. Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
7. In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
8. In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
9. Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
10. Landscape Contractor to verify plant material quantities.
11. Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.
12. Automatic irrigation to be installed for all new planted areas.



PUBLISH DATE
09/01/2022
ISSUED FOR
LAND USE
REVISIONS
10/10/2022

PLANTING DETAILS & NOTES
ALDEN APARTMENTS

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

MEARS
DESIGN GROUP
LANDSCAPE ARCHITECTURE & PLANNING
PO BOX 23338 | PORTLAND, OREGON | 97281
PHONE: 503.601.4516 | FAX: 503.924.4688

PROJECT INFORMATION
MDG PROJECT # | 2223
TAX LOT(S) | 2S125BA00100
LAND USE # | 22-0004
DESIGNED BY | TAM
CHECKED BY | TAM

SHEET NUMBER
L103

SW MARTINAZZI AVENUE



New multi-family units proposed in existing vacant area

New multi-family units proposed, removing two existing buildings

New multi-family units proposed in existing vacant area

I 5
I 205
Interchange

PROJECT SUMMARY

Approximate Lot Area: 727,859 sq.ft. | 16.7 acres

Zoning Designation: RMH (Medium High Density)

Maximum Density: 250 units (at 15 units/acre)
 Minimum Density: 183 units (at 11 units/acre)
 Maximum Coverage: 291,144 sq.ft. (at 40%)
 Minimum Open Space Requirements: 450 sq.ft./dwelling unit
breakdown-
 Common Space Required: 300 sq.ft./d.u.
 Children Play Area Required: 150 sq.ft./d.u.
 - does not apply to duplexes/townhomes

the following numbers are estimates

As Built Project Stats:

Number of Units: 211
 Number of Buildings: 26
 Number of Parking Spaces: 372
 Coverage Provided: 85,251 sq.ft. (12%)
 Common Space Required: 87,750 sq.ft.
 All Open Space (including landscape): ~246,473 sq.ft.

Proposal Project Stats:

**proposing to demolish two existing buildings*

Number of Units: 240
 Number of Buildings: 36
 Number of Parking Spaces: 442
 Coverage Provided: 90,223 sq.ft. (12%)

Shared Outdoor Area Required: 108,000 sq.ft.
breakdown-
 -Common Space Required: 72,000 sq.ft.
 -Children Play Area Required: 36,000 sq.ft.

Shared Outdoor Area Provided: 122,521 sq.ft.
breakdown-
 -Common Space Provided: 83,776 sq.ft.
 -Children Play Area Provided: 36,000 sq.ft.

Approximate Landscaping Area: 245,007 sq.ft. (33%)

key

- Landscaping
- Common Space
- Children Play Area
- Bluff

SW SAGERT STREET



ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES

SITE AERIAL

SCALE: N.T.S.

DATE 09.01.2022
JOB NO. 727.013

505 W, Broadway, Ste 1080
San Diego, CA 92101
858.350.0544



A2



SITE
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022
JOB NO. 727.013

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858.350.0544



A3



SITE
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022
JOB NO. 727.013

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858.350.0544



A4



FRONT
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022
JOB NO. 727.013



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A5



REAR
PERSPECTIVE

SCALE: N.T.S.

DATE 09.01.2022
JOB NO. 727.013

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858.350.0544



A6

ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES





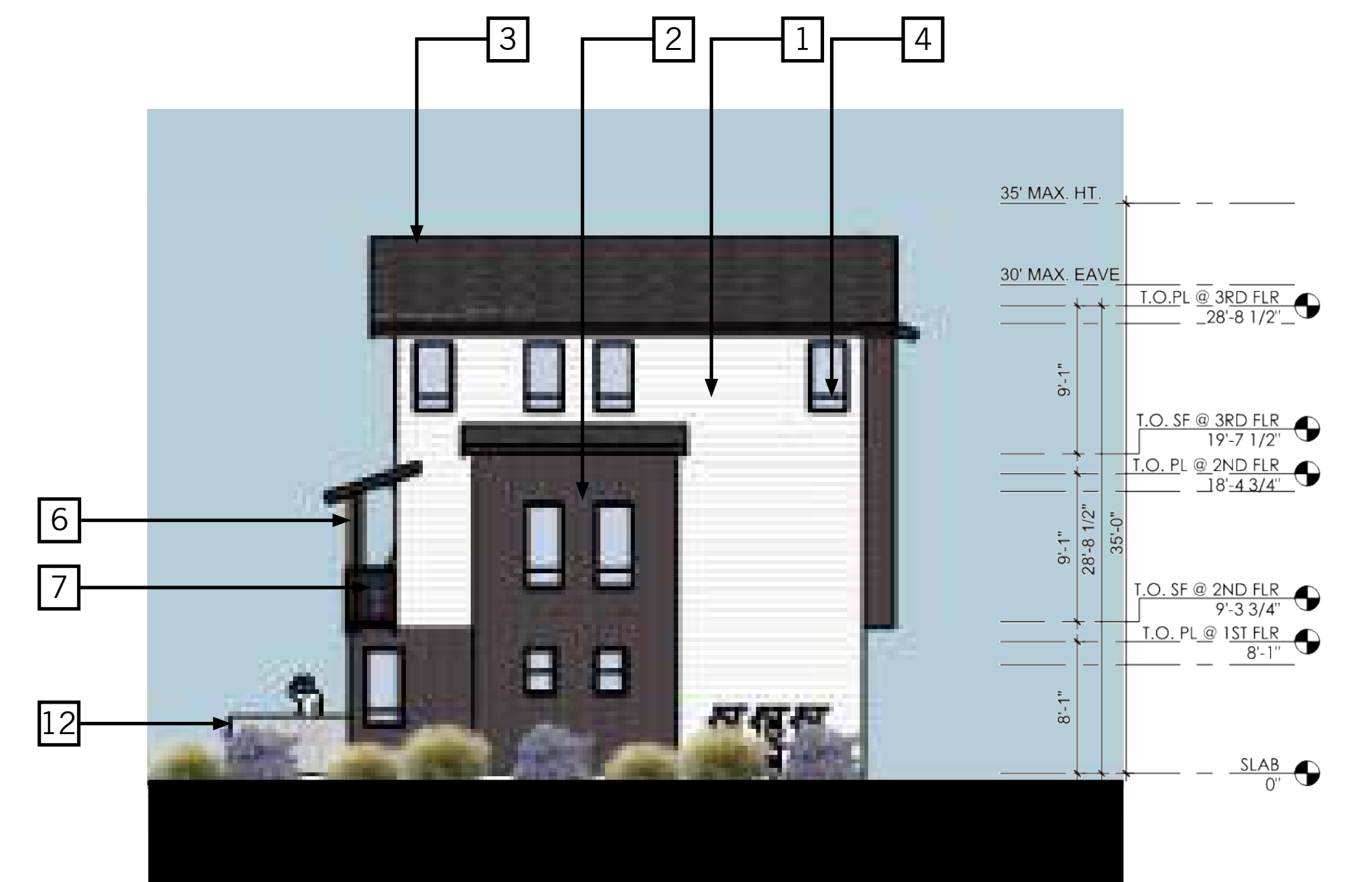
A FRONT EXTERIOR ELEVATION



B LEFT EXTERIOR ELEVATION



C REAR EXTERIOR ELEVATION



D RIGHT EXTERIOR ELEVATION

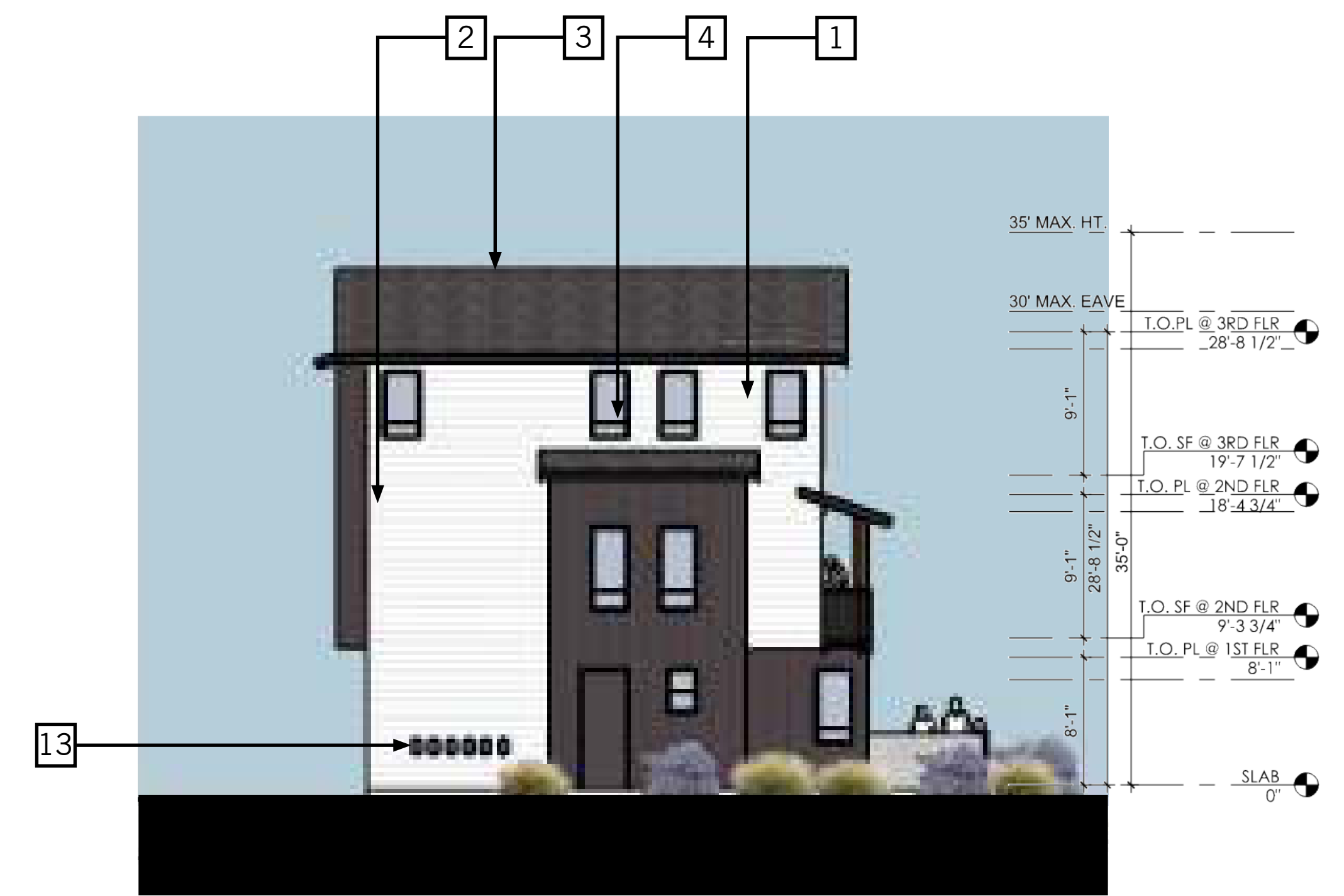
KEYNOTES:

- 1. FIBER CEMENT LAP SIDING – 6” EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16” O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST
- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE A -
3-PLEX ELEVATIONS**



A FRONT EXTERIOR ELEVATION



B LEFT EXTERIOR ELEVATION



C REAR EXTERIOR ELEVATION



D RIGHT EXTERIOR ELEVATION

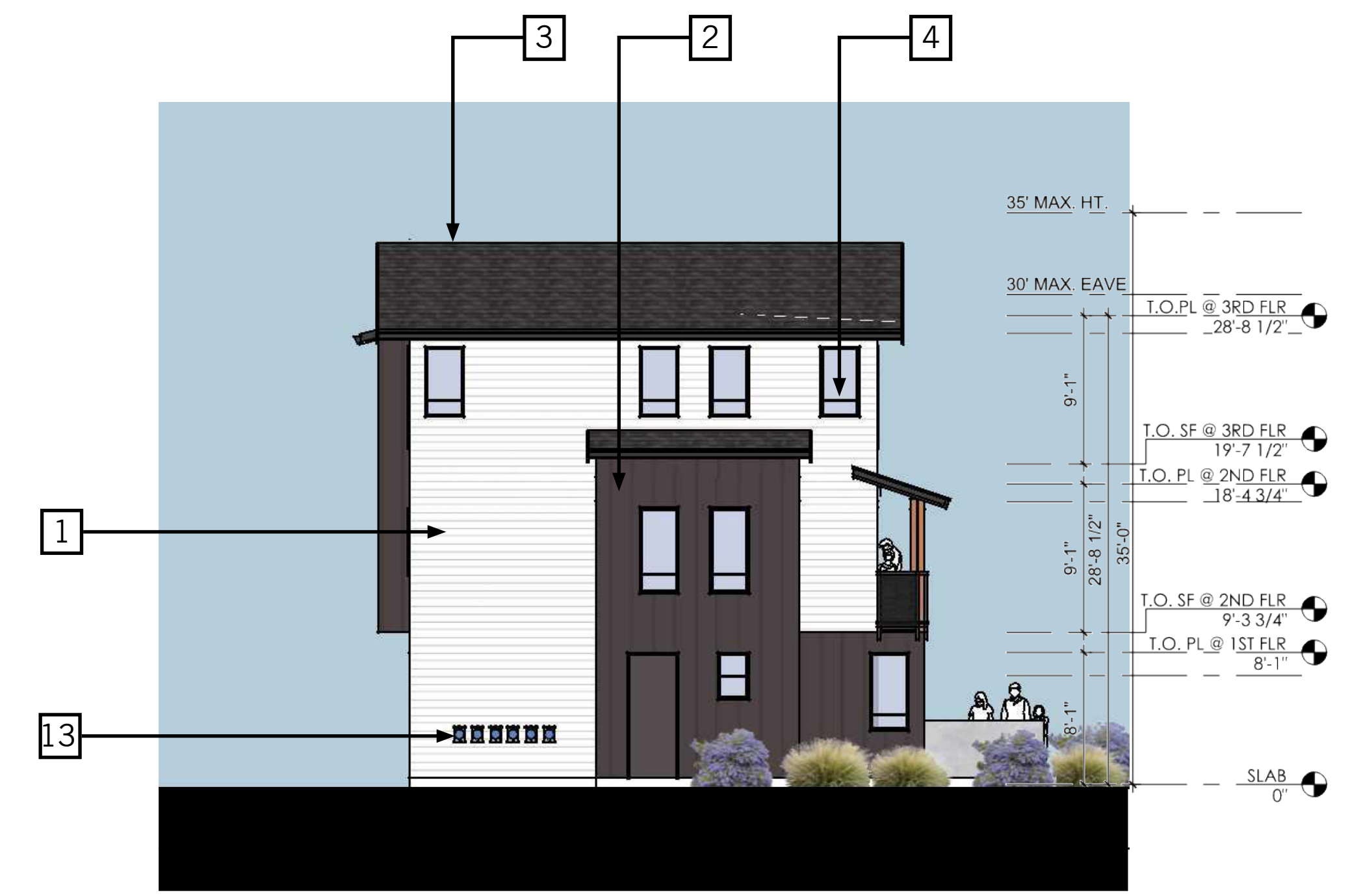
KEYNOTES:

- 1. FIBER CEMENT LAP SIDING – 6" EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16" O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST
- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE B -
4-PLEX ELEVATIONS**



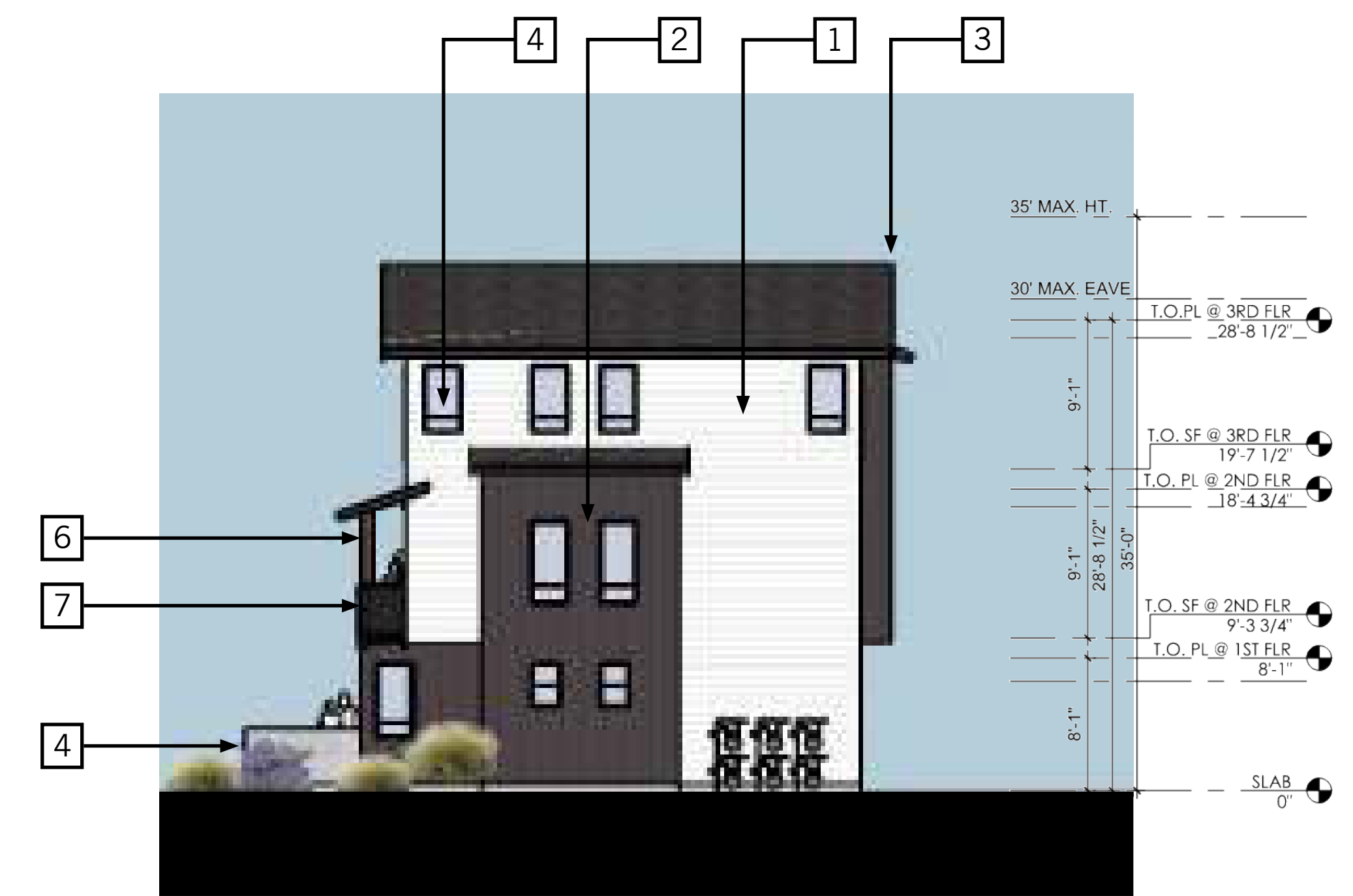
A FRONT EXTERIOR ELEVATION



B LEFT EXTERIOR ELEVATION



C REAR EXTERIOR ELEVATION



D RIGHT EXTERIOR ELEVATION

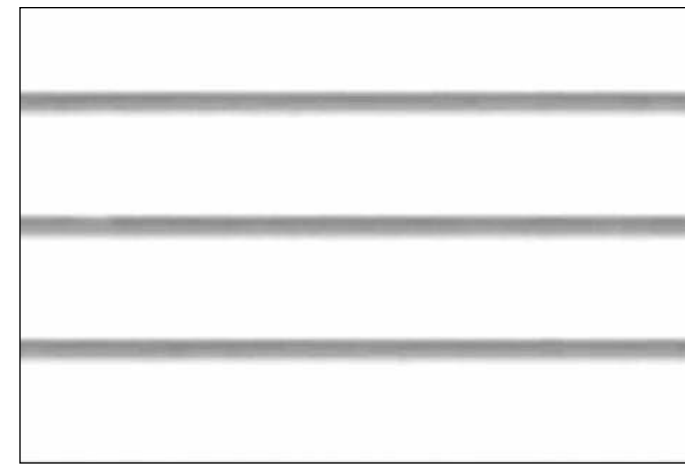
KEYNOTES:

- 1. FIBER CEMENT LAP SIDING – 6" EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16" O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST

- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE C -
5-PLEX ELEVATIONS**

COLORS + MATERIALS



1 EXTERIOR SIDING 1
SMOOTH FIBER CEMENT SIDING - 6" REVEAL
Extra White SW 7006 by Sherwin Williams



2 EXTERIOR SIDING 2
SMOOTH FIBER CEMENT SIDING - BOARD AND BATTEN
Iron Ore SW 7069 by Sherwin Williams



3 EXTERIOR SIDING 3
CEDARMILL FIBER CEMENT SIDING - 6" REVEAL
Mountain Cedar by Woodtone



4 ACCENT COLOR 1
ENTRY DOOR
Seaworthy SW 7620 by Sherwin Williams



5 ROOFING
COMPOSITION SHINGLE ROOF
Driftwood by Owens Corning



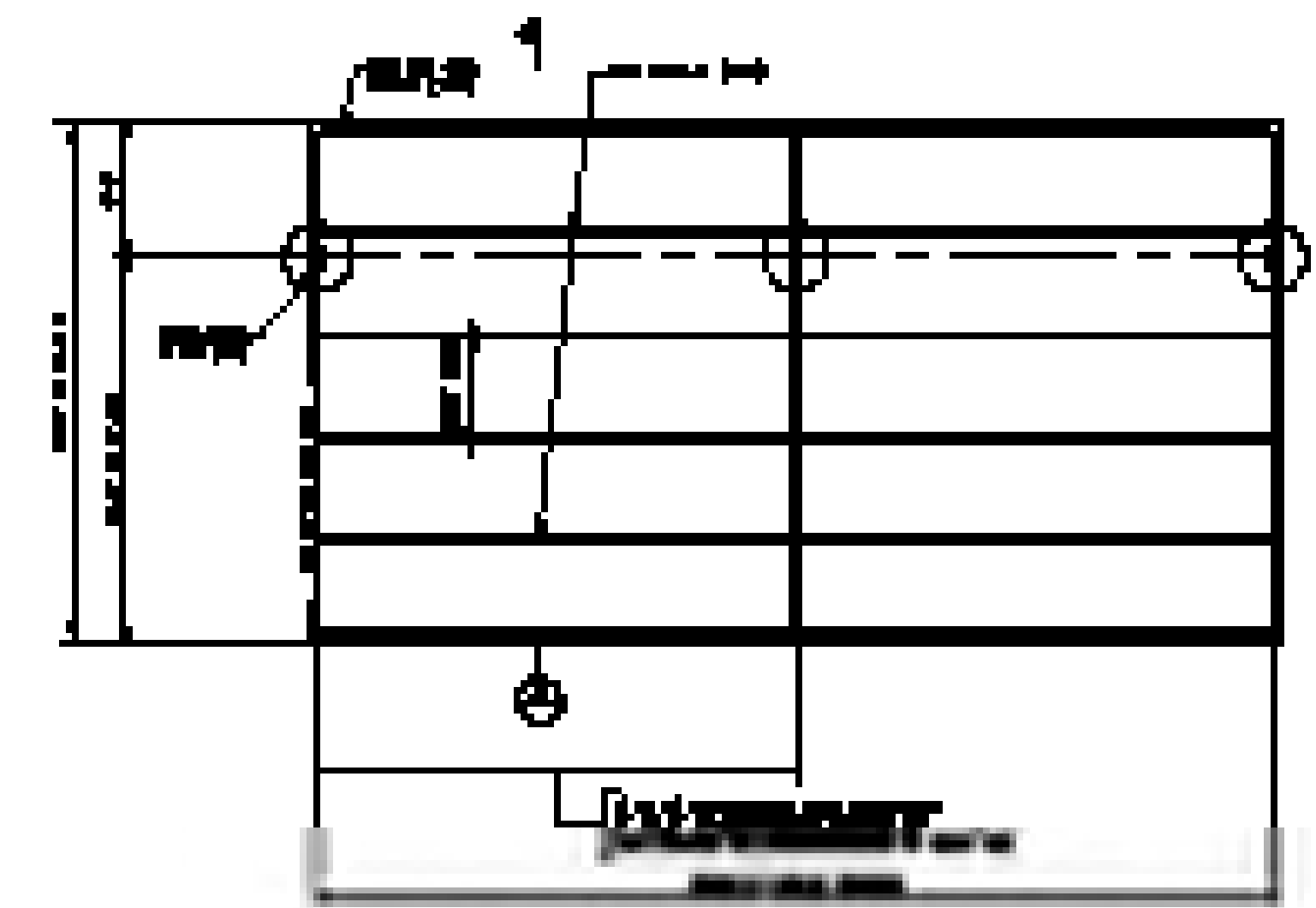
COLORS + MATERIALS



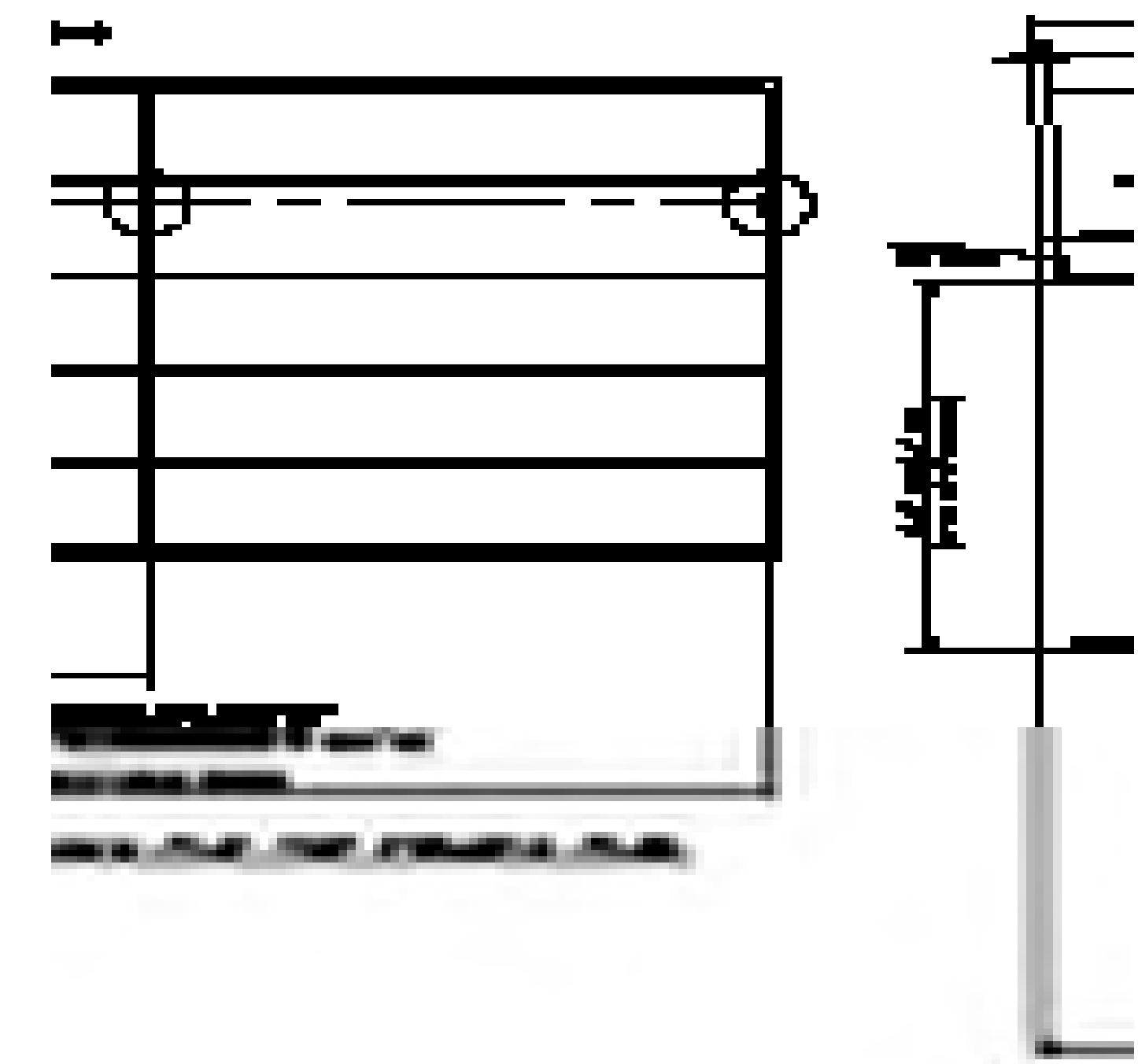
A PERSPECTIVE AT BUILDINGS J1 & K1

KEYNOTES:

- 1. EXISTING LANDSCAPE AND HARDSCAPE TO REMAIN
- 2. EXISTING BUILDINGS TO REMAIN
- 3. NEW CARPORT STRUCTURE BY OTHERS, STANDING SEAM METAL ROOF O/ ROOF DECK, PAINT COLOR T.B.D.
- 4. EXISTING PARKING TO BE RESTRIPE

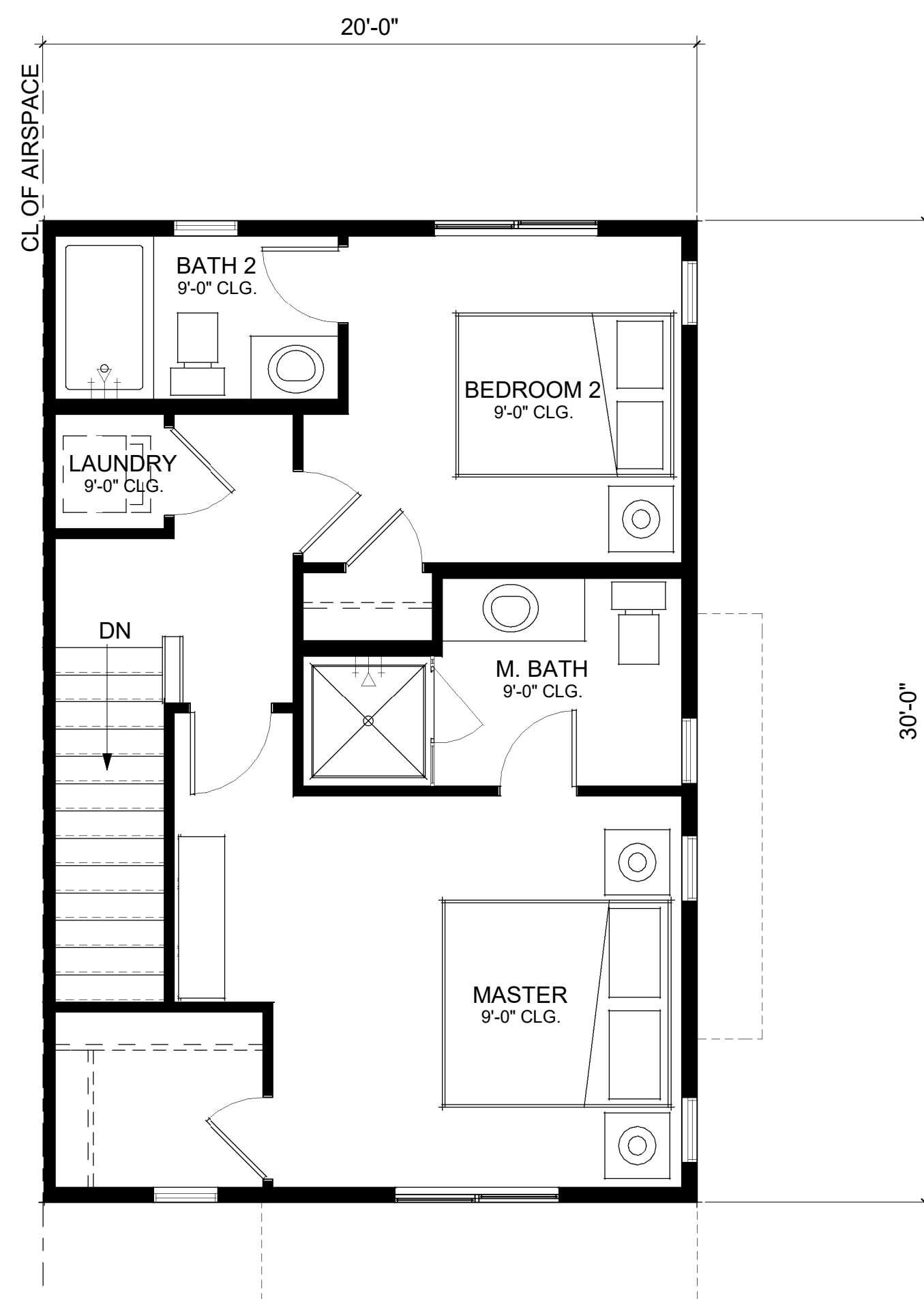


C ROOF PLAN PER MANUF.

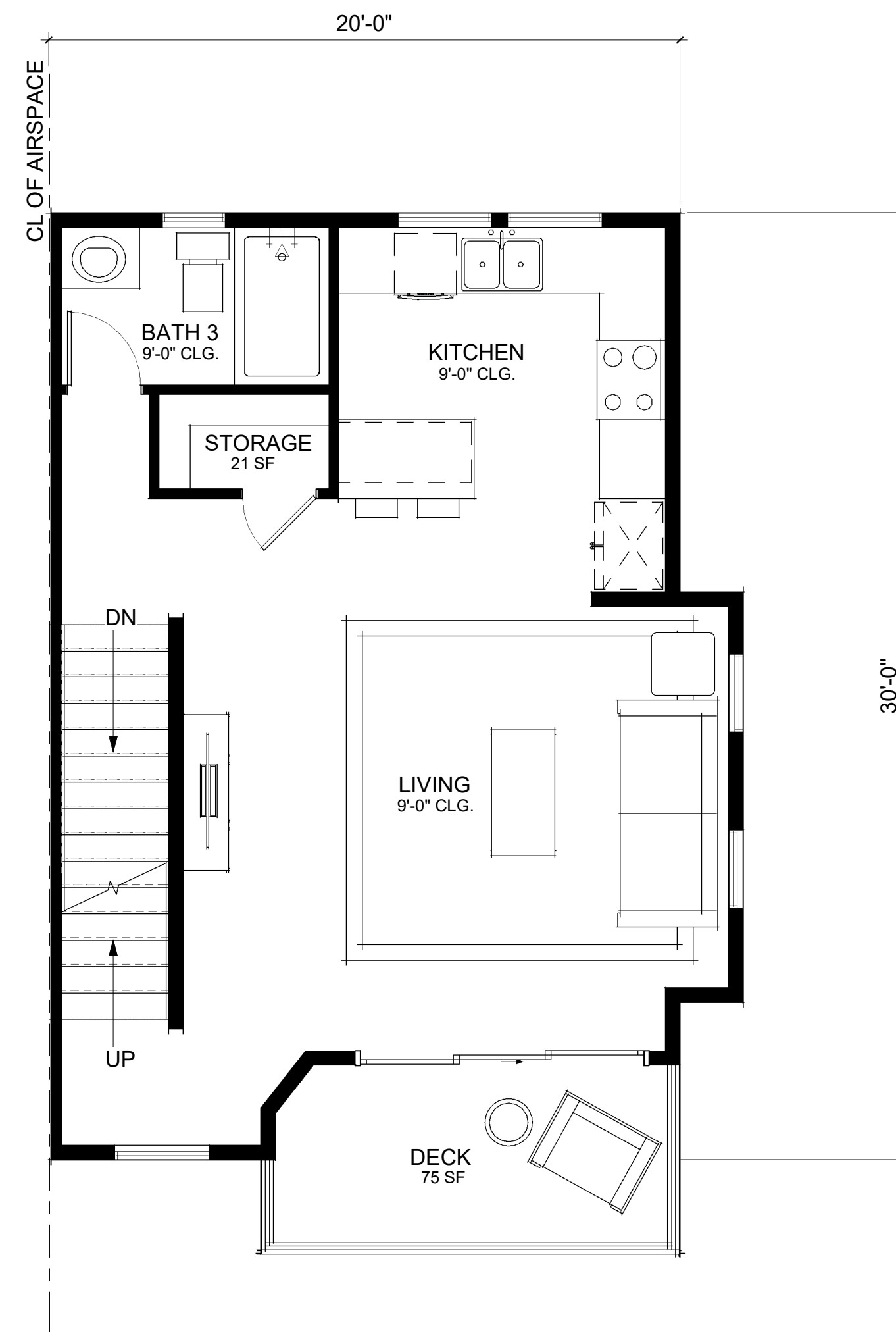


B SECTION PER MANUF.

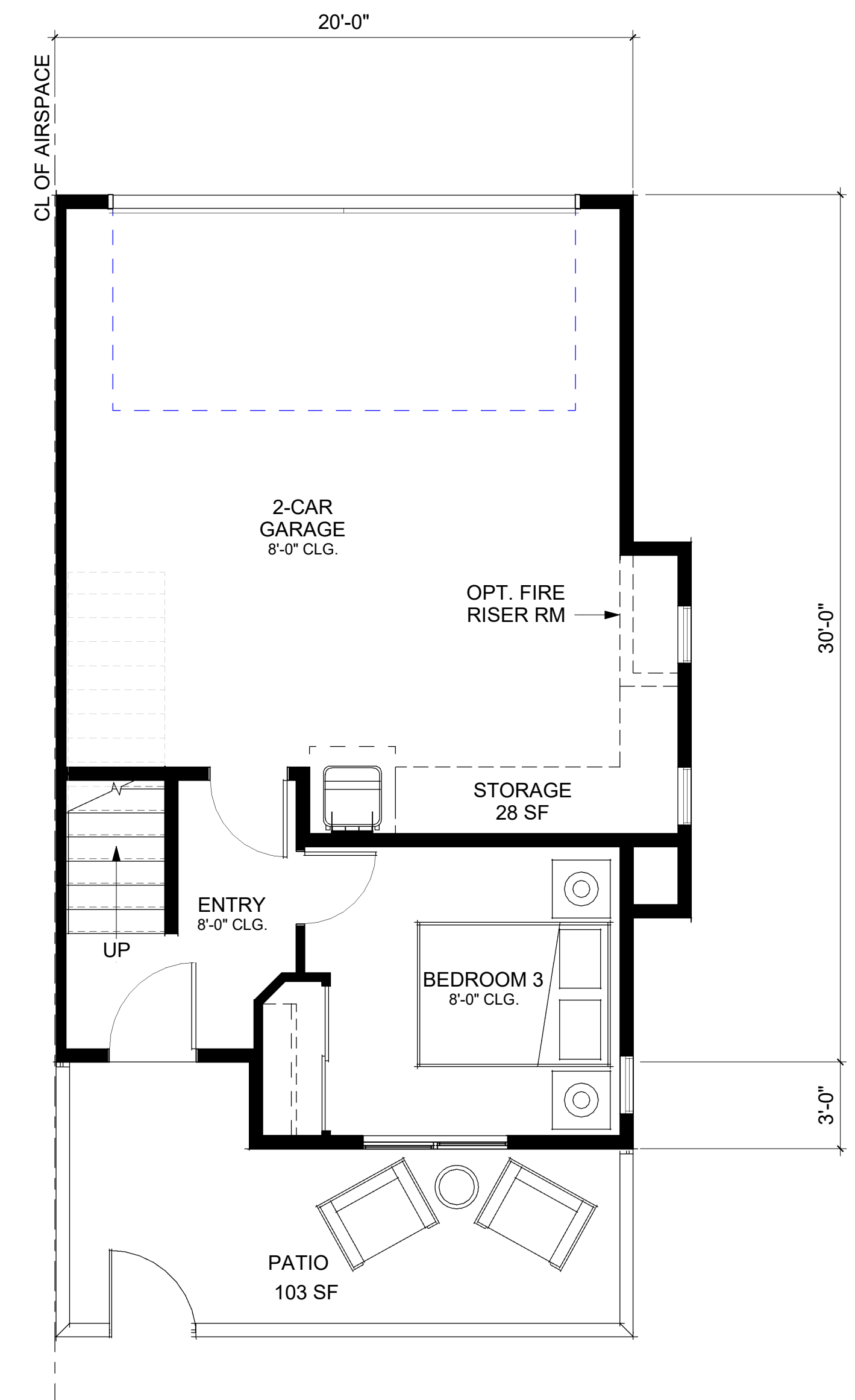
SITE CARPORT



3 UNIT PLAN A - THIRD FLOOR
1/4" = 1'-0"



2 UNIT PLAN A - SECOND FLOOR
1/4" = 1'-0"



1 UNIT PLAN A - FIRST FLOOR
1/4" = 1'-0"

UNIT PLAN A - 3 BR / 3 BA	
NAME	Area
FIRST FLOOR	217 SF
SECOND FLOOR	583 SF
THIRD FLOOR	559 SF
TOTAL LIVING AREA	1,359 SF
2-CAR GARAGE	414
DECK	75
PATIO	103
STORAGE 1ST LEVEL	28
STORAGE 2ND LEVEL	21

UNIT FLOOR PLANS



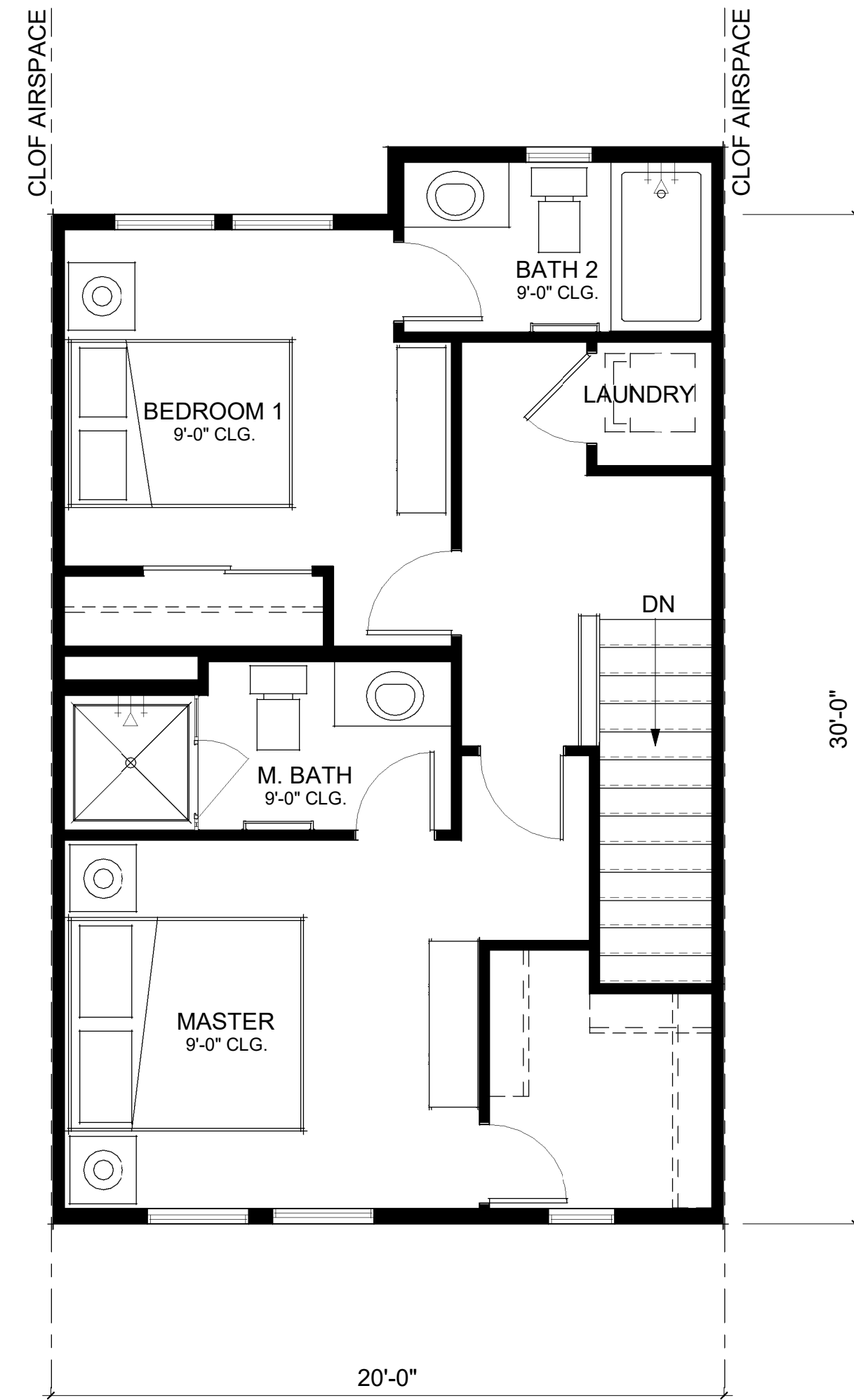
DATE 09.01.2022
JOB NO. 727.013



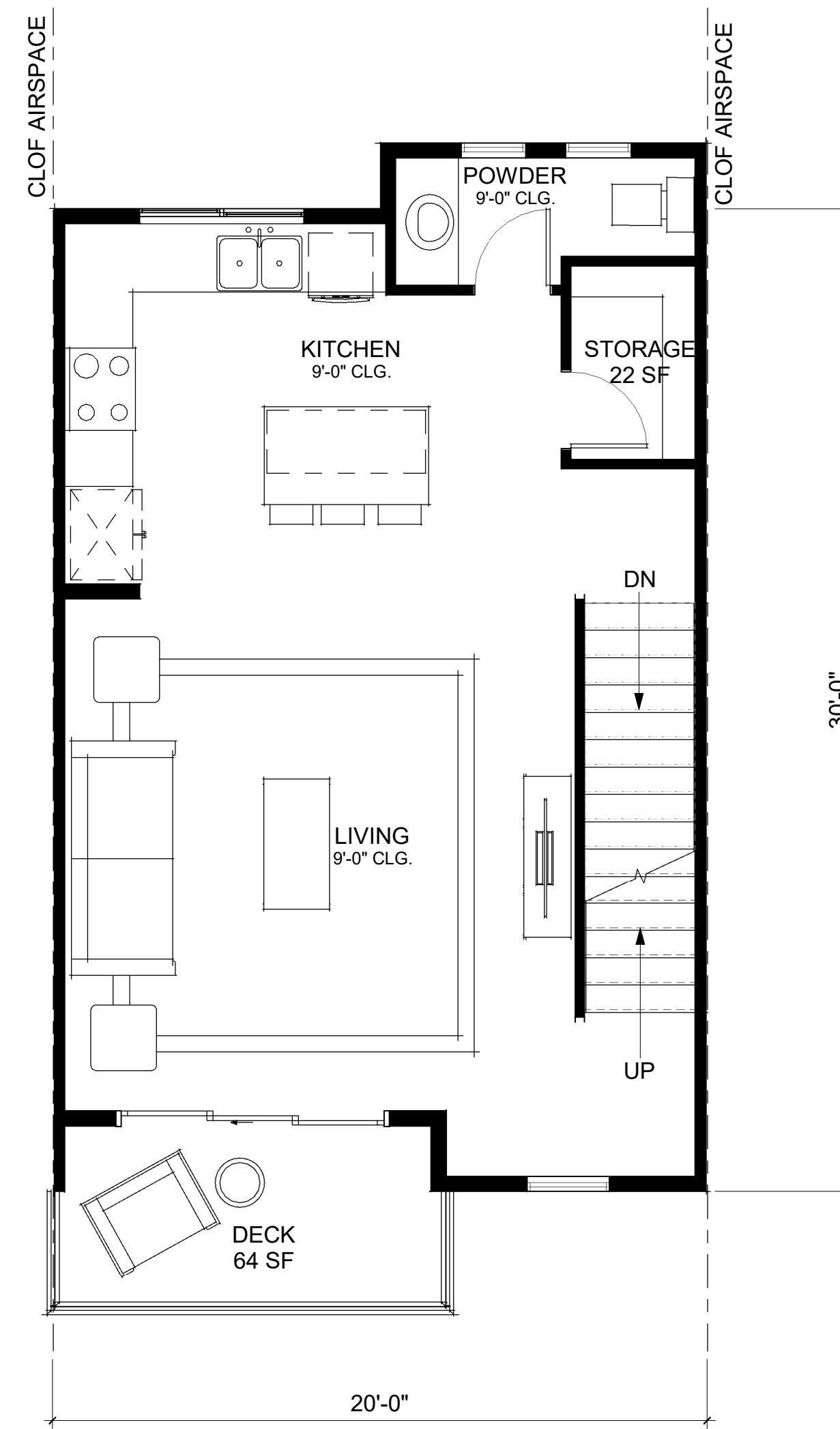
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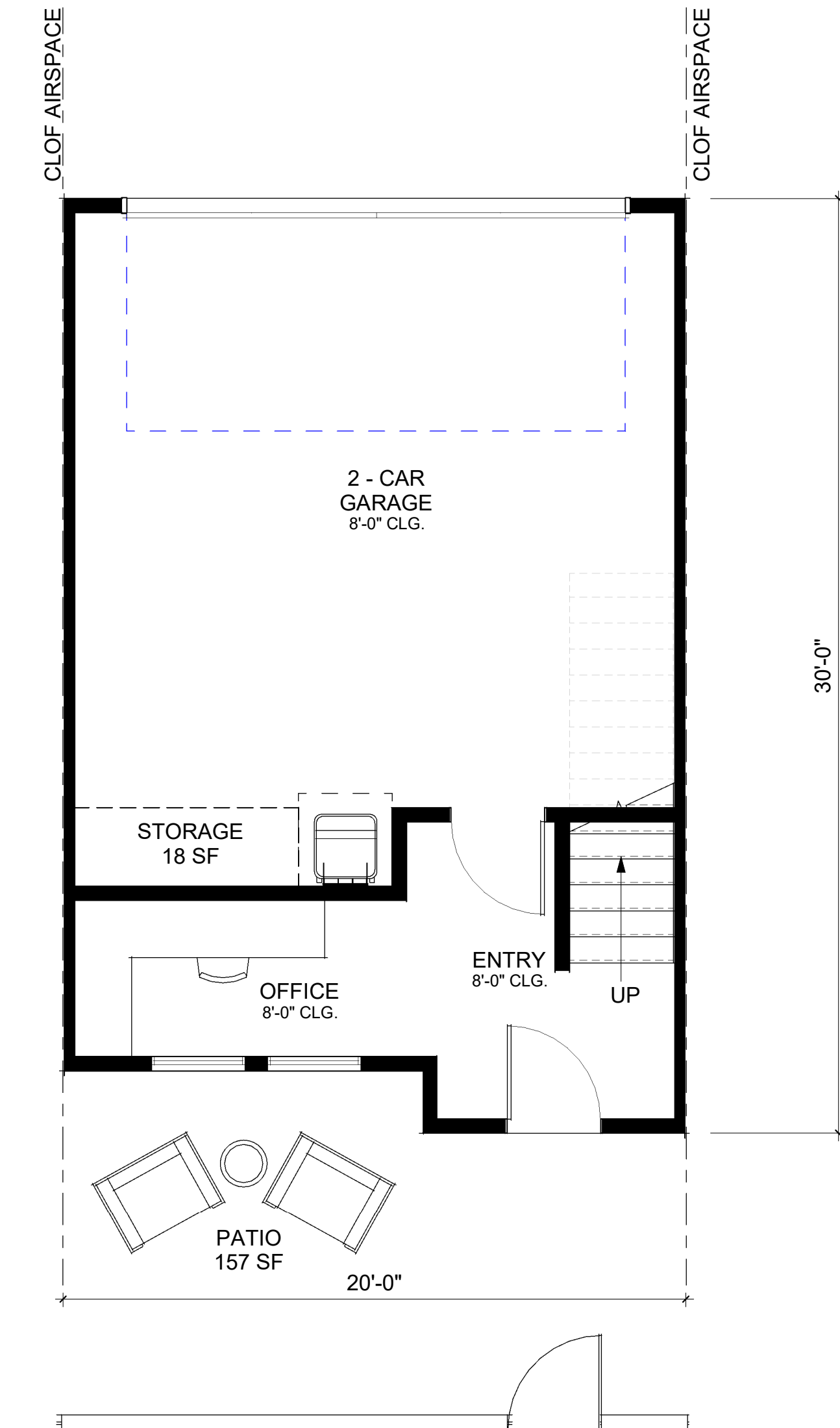
A12



3 UNIT PLAN B - THIRD FLOOR
1/4" = 1'-0"



2 UNIT PLAN B - SECOND FLOOR
1/4" = 1'-0"



1 UNIT PLAN B - FIRST FLOOR
1/4" = 1'-0"

UNIT PLAN B - 2 BR / 2.5 BA	
NAME	Area
FIRST FLOOR	159 SF
SECOND FLOOR	589 SF
THIRD FLOOR	577 SF
TOTAL LIVING AREA	1,325 SF
2-CAR GARAGE	398 SF
DECK	64 SF
PATIO	157 SF
STORAGE 1ST LEVEL	18 SF
STORAGE 2ND LEVEL	22 SF

UNIT FLOOR PLANS



ALDEN APARTMENTS - TUALATIN, OREGON
COLRICH COMMUNITIES

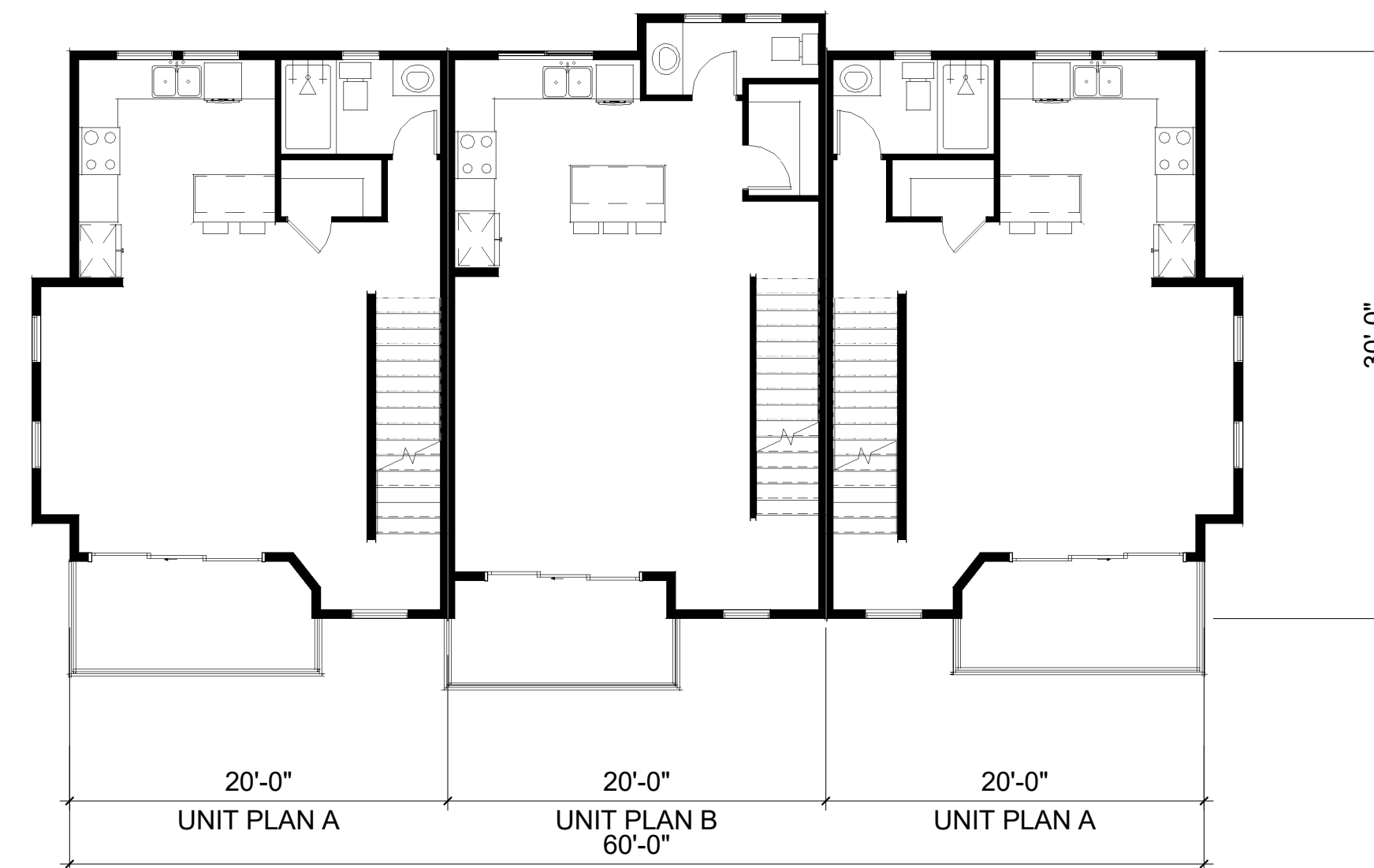


DATE 09.01.2022
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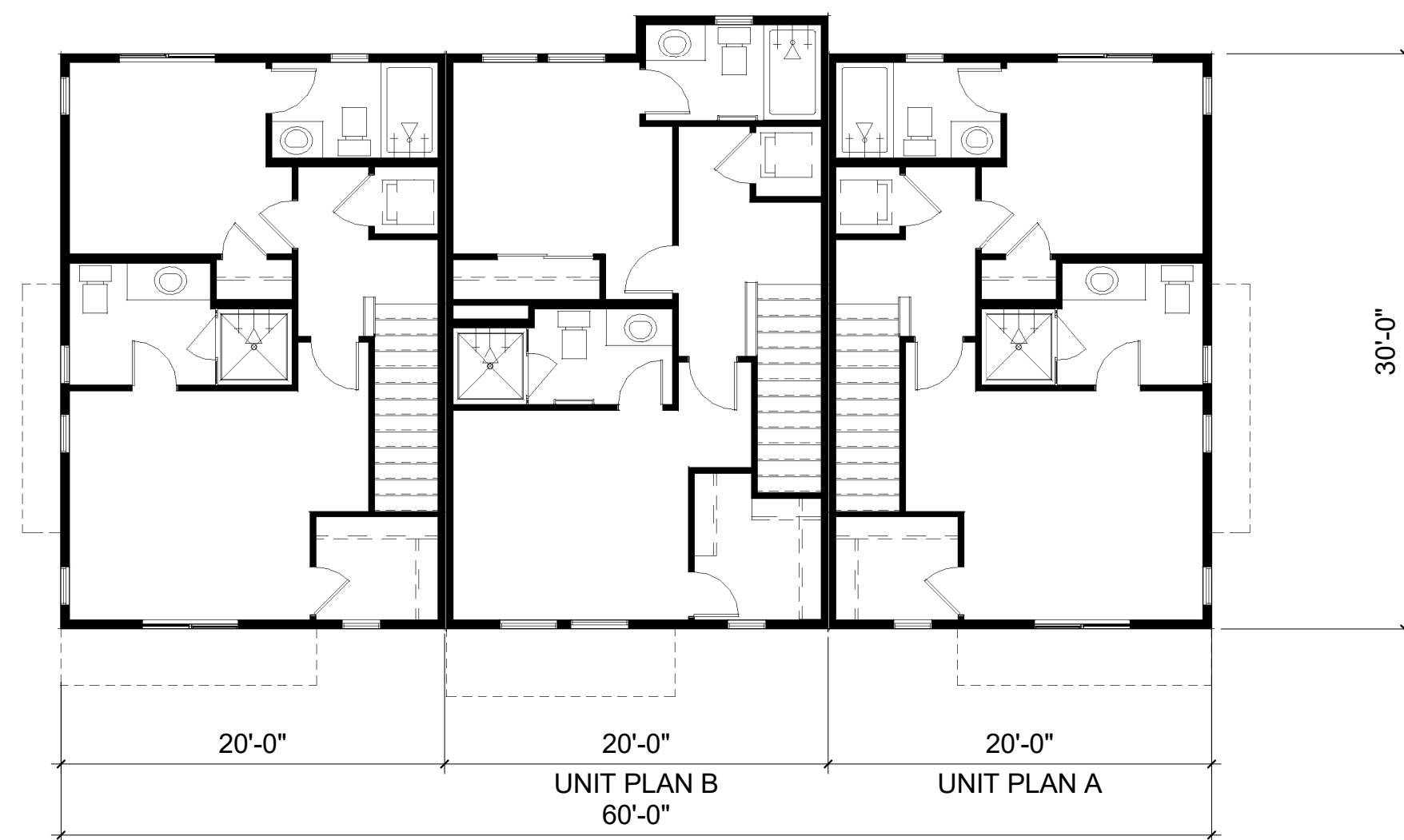
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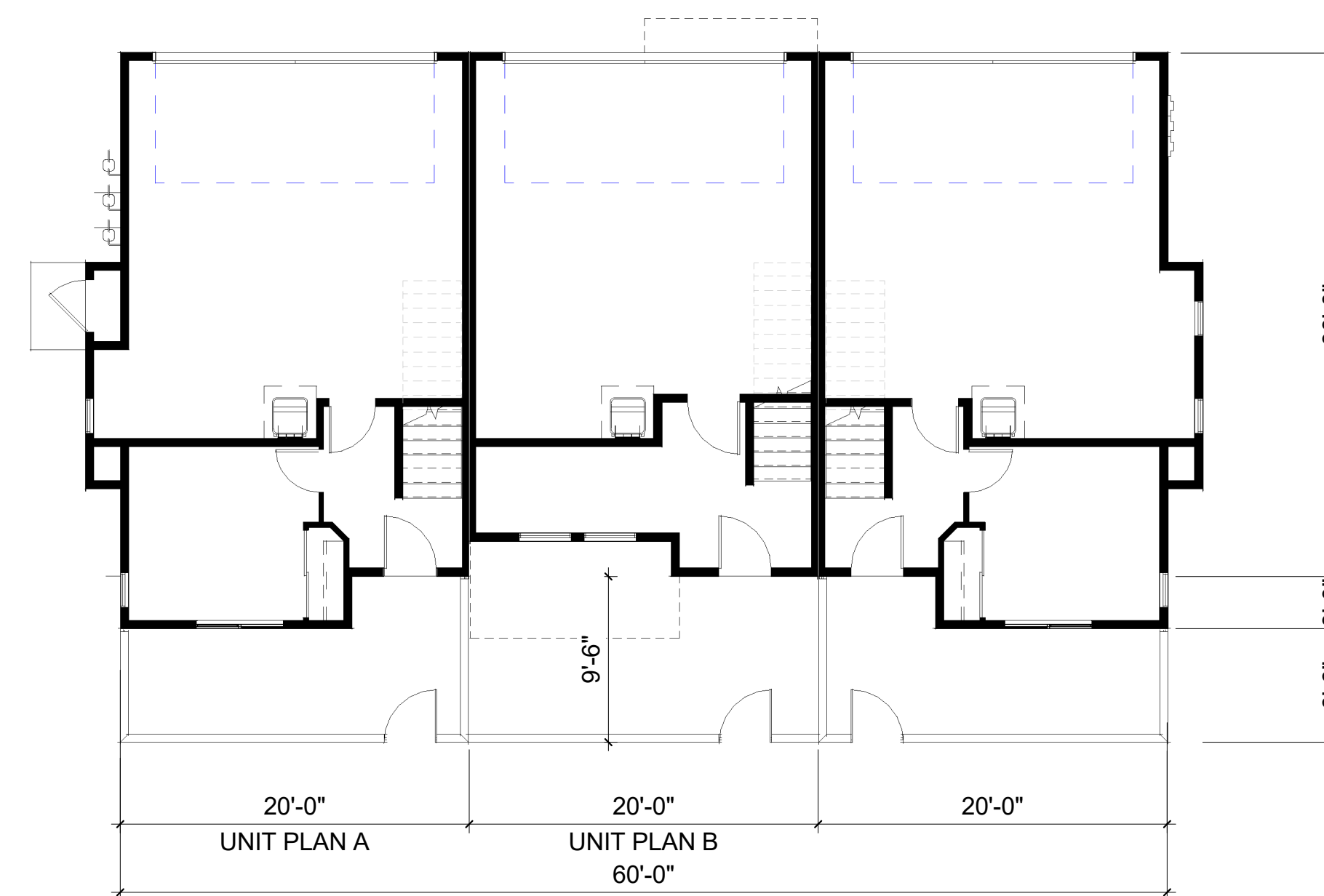
A13



2 BUILDING TYPE A - 3-PLEX - FIRST FLOOR
1/8" = 1'-0"

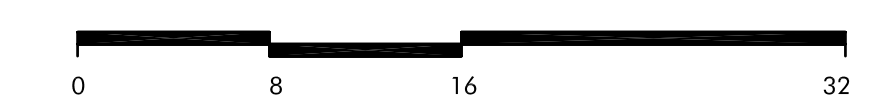


3 BUILDING TYPE A - 3-PLEX - THIRD FLOOR
1/8" = 1'-0"



1 BUILDING TYPE A - 3-PLEX - SECOND FLOOR
1/8" = 1'-0"

BUILDING TYPE A -
3-PLEX (BLDGS O2,
P2, Q2, R2)



SCALE: 1/8" = 1'-0"

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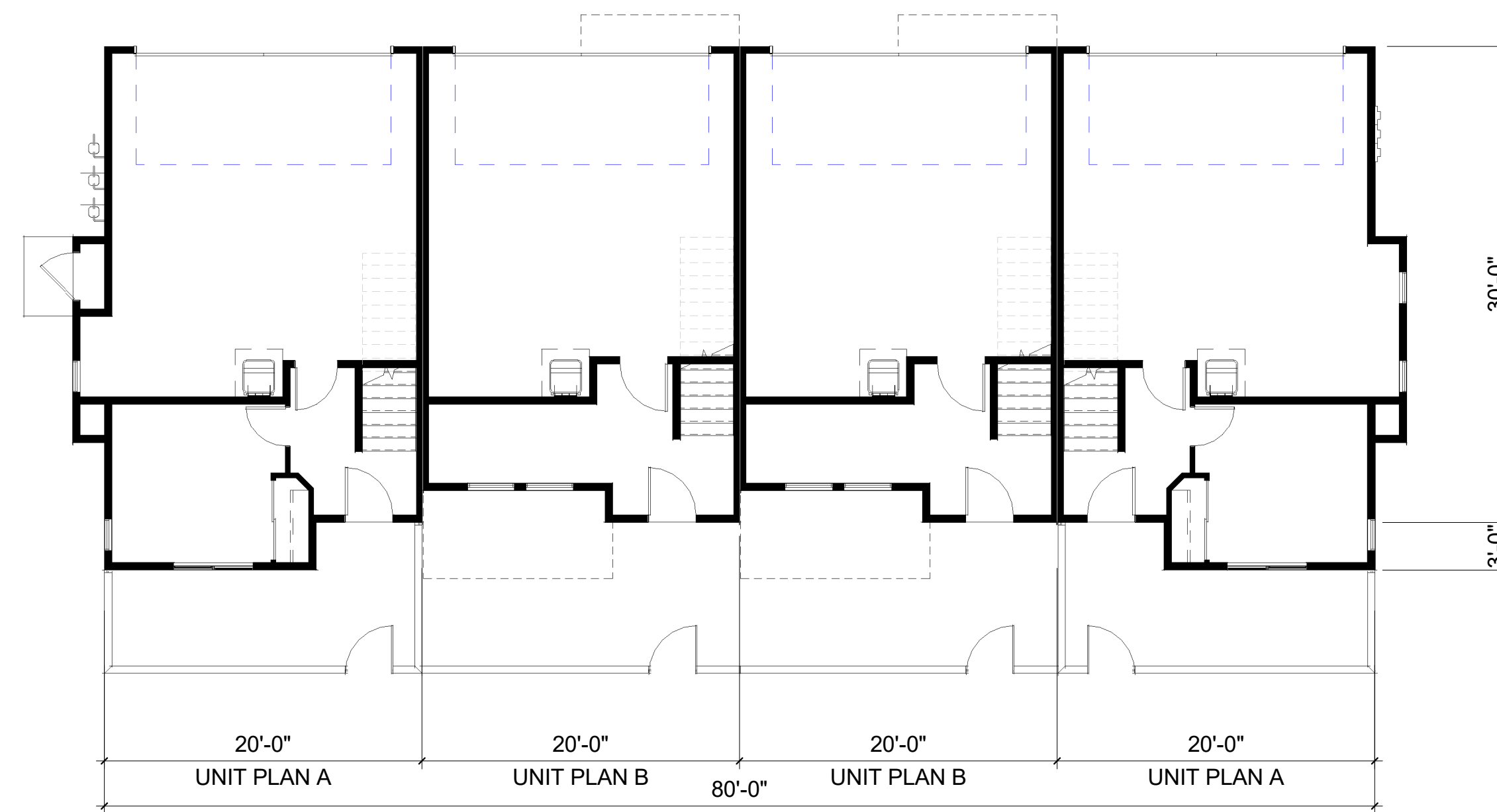
A14



2 BUILDING TYPE B - 4-PLEX - SECOND FLOOR
1/8" = 1'-0"



3 BUILDING TYPE B - 4-PLEX - THIRD FLOOR
1/8" = 1'-0"



1 BUILDING TYPE B - 4-PLEX - FIRST FLOOR
1/8" = 1'-0"

BUILDING TYPE B -
4-PLEX (BLDGS K2,
L2, M2, N2, R1, S2,
T2)



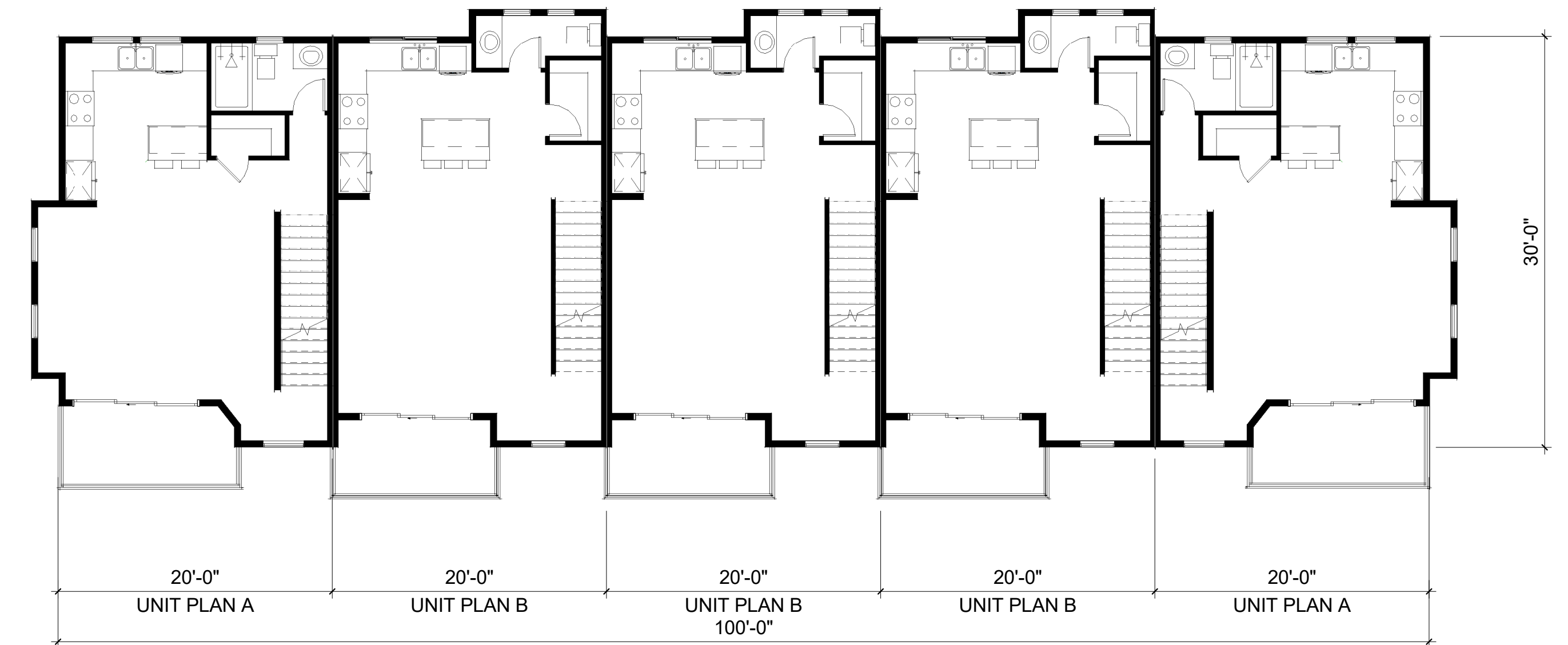
SCALE: 1/8" = 1'-0"

DATE 09.01.2022
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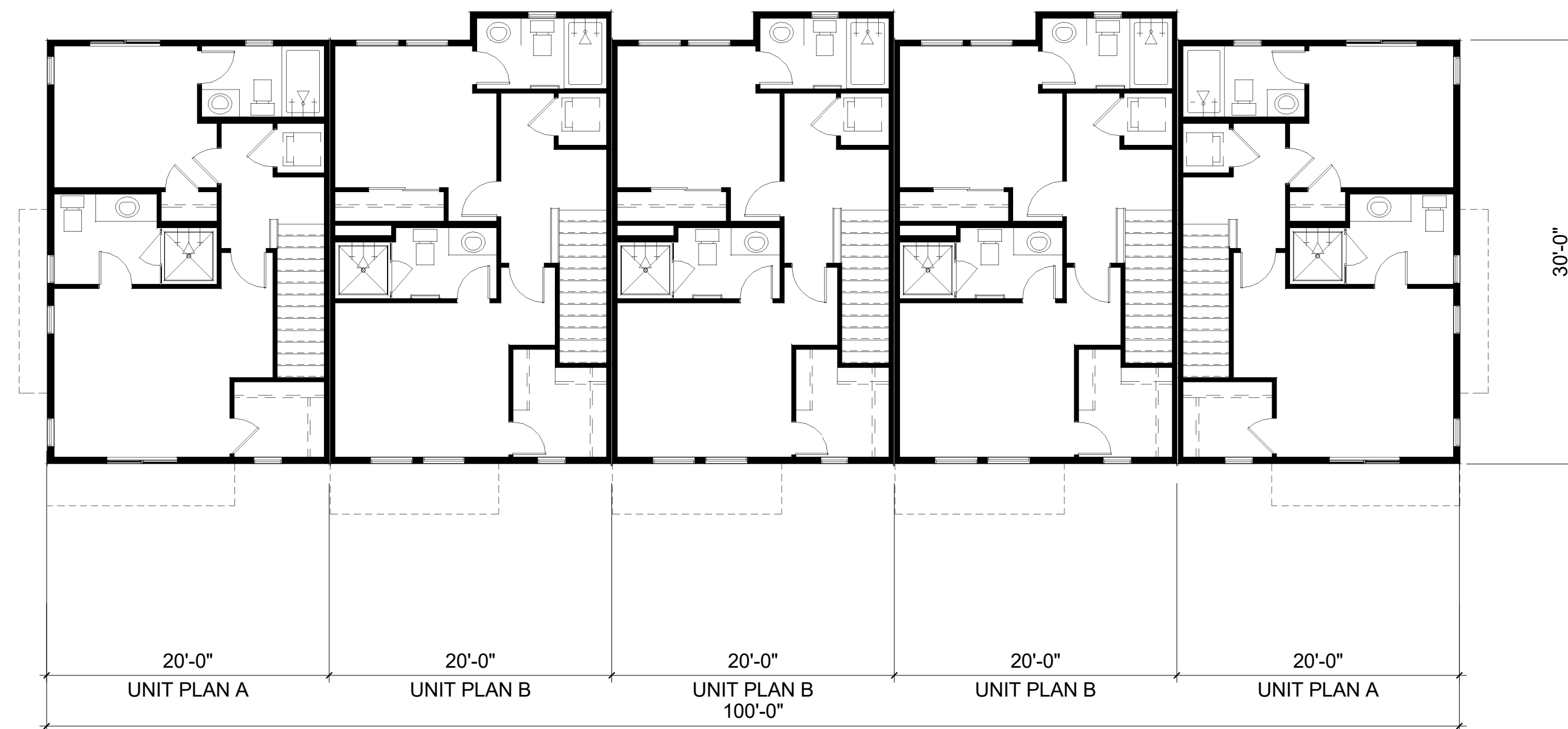
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San Diego, CA 92101
858.350.0544



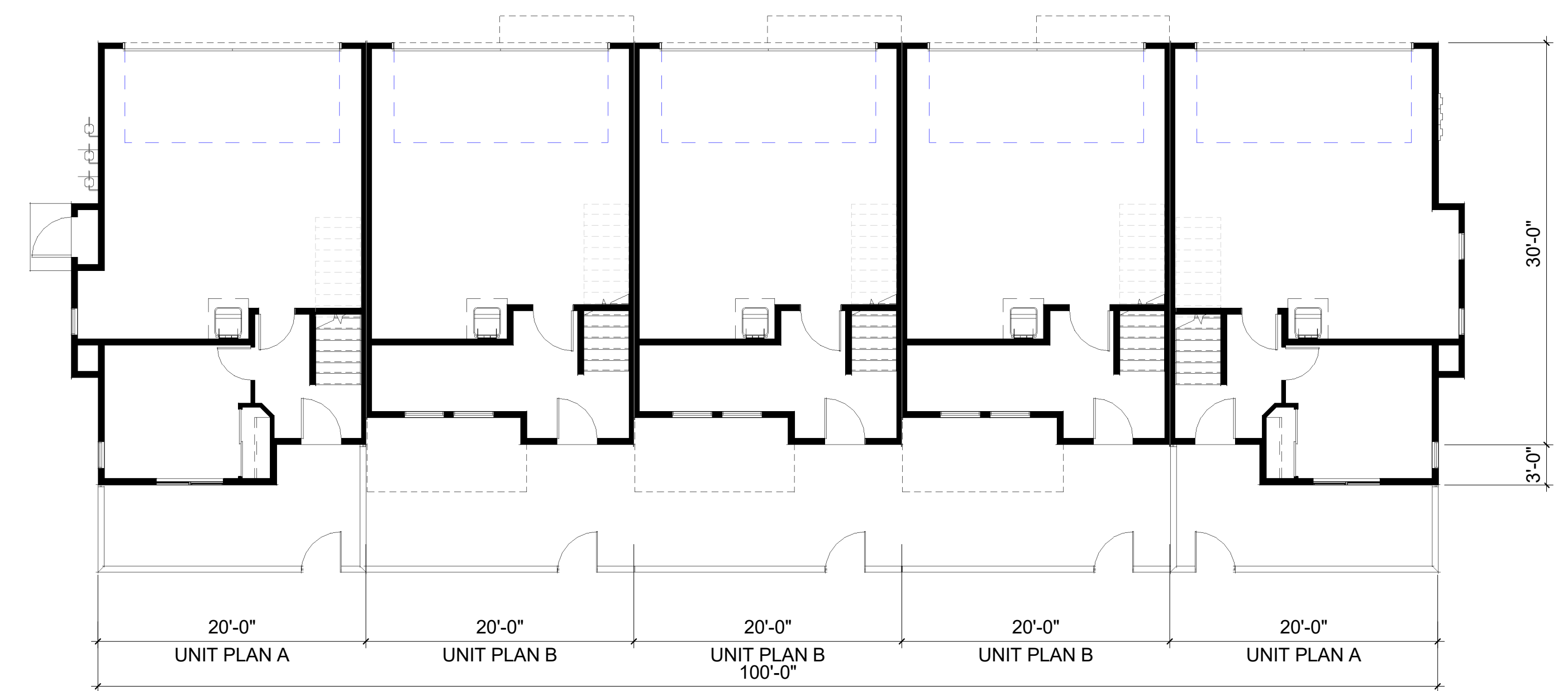
A15



2 BUILDING TYPE C - 5-PLEX - FIRST FLOOR
1/8" = 1'-0"



3 BUILDING TYPE C - 5-PLEX - THIRD FLOOR
1/8" = 1'-0"



1 BUILDING TYPE C - 5-PLEX - SECOND FLOOR
1/8" = 1'-0"