

Avery I and II

10700 SW Tualatin-Sherwood Road

Tualatin, Oregon

25 March 2022

ARCHITECTURAL

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- A-5 BUILDING A EXTERIOR ELEVATIONS
- A-6 BUILDING B EXTERIOR ELEVATIONS
- A-7 TRASH / RECYCLING ENCLOSURE PLANS AND ELEVATIONS & COVERED BIKE PARKING ELEVATIONS

CIVIL

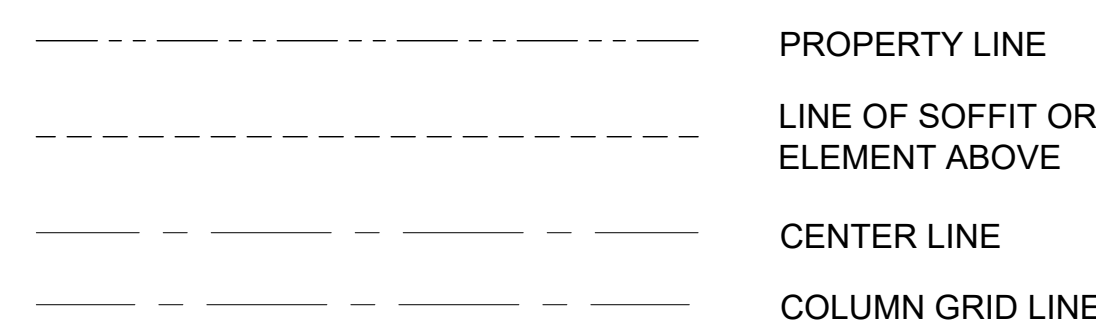
- C0.3 EXISTING CONDITIONS
- C1.0 SITE PLAN
- C2.0 GRADING PLAN
- C3.0 UTILITY PLAN

ELECTRICAL

- SITE LIGHTING PHOTOMETRIC

LANDSCAPE

- L1.0 TREE REMOVAL & PROTECTION PLAN
- L1.0A TREE INVENTORY
- L1.1 ENLARGED LANDSCAPE PLAN
- L1.2 ENLARGED LANDSCAPE PLAN
- L1.3 ENLARGED LANDSCAPE PLAN



LEGEND

ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL STATE AND FEDERAL CODES REGULATION AND LAWS, INCLUDING, BUT NOT LIMITED TO:

BUILDING	2019 OREGON STRUCTURAL SPECIALTY CODE
MECHANICAL	2019 OREGON MECHANICAL SPECIALTY CODE
PLUMBING	2017 OREGON PLUMBING SPECIALTY CODE
ELECTRICAL	2017 OREGON ELECTRICAL SPECIALTY CODE
FIRE	2014 OREGON FIRE CODE
ACCESSIBILITY	2009 ICC / ANSI A117.1 ACCESSIBILITY CODE
ENERGY	2019 OREGON ZERO ENERGY READY COMMERCIAL CODE

CURRENT ZONING USE: MG - GENERAL MANUFACTURING
 PROPOSED ZONING USE: MG - GENERAL MANUFACTURING
 OCCUPANCY GROUP: S-1 / B

CONSTRUCTION TYPE: III-B (BUILDING A), V-B (BUILDING B)

LEGAL DESCRIPTION:

TAX LOT 2100 FROM TAX MAP 2S 1 27AA, TAX LOT 105 FROM TAX MAP 2S 1 26B.

LOT AREA: ± 330,846 sf
 7.60 acres

TOTAL BUILDING AREA: 112,275 sf

BUILDING A:	81,175 sf
WAREHOUSE:	60,881 sf (75%)
MANUFACTURING:	20,294 sf (25%)
BUILDING B:	31,100 sf
WAREHOUSE:	23,325 sf (75%)
MANUFACTURING:	7,775 sf (25%)

SITE COVERAGE: 34.8%

DOCK DOOR RATIO:	
BUILDING A:	1 / 4,059 sf
BUILDING B:	1 / 4,443 sf

PARKING REQUIRED:	72 spaces
BUILDING A:	52 spaces
WAREHOUSE (0.3 / 1,000 sf):	19 spaces
MANUFACTURING (1.6 / 1,000 sf):	33 spaces
BUILDING B:	20 spaces
WAREHOUSE (0.3 / 1,000 sf):	7 spaces
MANUFACTURING (1.6 / 1,000 sf):	13 spaces
PARKING PROVIDED:	72 spaces
LANDSCAPE REQUIRED:	48,464 sf (15%)
LANDSCAPE PROVIDED:	55,309 sf (17.12%)

OWNER / DEVELOPER

PHELAN DEVELOPMENT COMPANY
 450 NEWPORT CENTER DRIVE, SUITE 405
 NEWPORT BEACH, CA 92660
 (949) 720-8050

APPLICANT

MICHAEL DEARMEY
 PHELAN DEVELOPMENT COMPANY
 450 NEWPORT CENTER DRIVE, SUITE 405
 NEWPORT BEACH, CA 92660
 (949) 720-8050

ARCHITECT

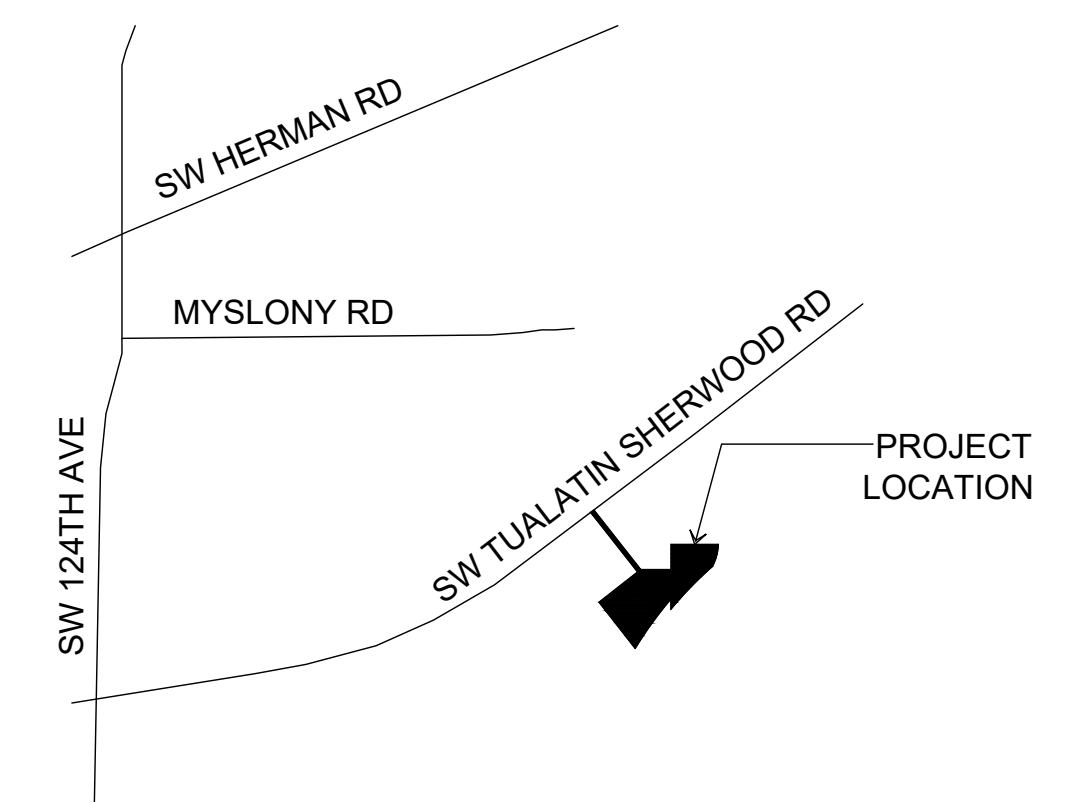
CALVIN J. COATSWORTH ARCHITECTS, PC
 1574 GULF ROAD
 PMB 212
 POINT ROBERTS, WA 98281
 PHONE: (949) 833-1930

CIVIL ENGINEER

CRAIG HARRIS
 AAI ENGINEERING
 4875 SW GRIFFITH DRIVE, SUITE 300
 BEAVERTON, OR 97005
 PHONE: (503) 352-3030

LANDSCAPE

TERESA LONG, PLA
 AAI ENGINEERING
 4875 SW GRIFFITH DRIVE, SUITE 100
 BEAVERTON, OR 97005
 PHONE: (503) 352-3030



SHEET INDEX

APPLICABLE CODES

PROJECT SUMMARY

PROJECT TEAM

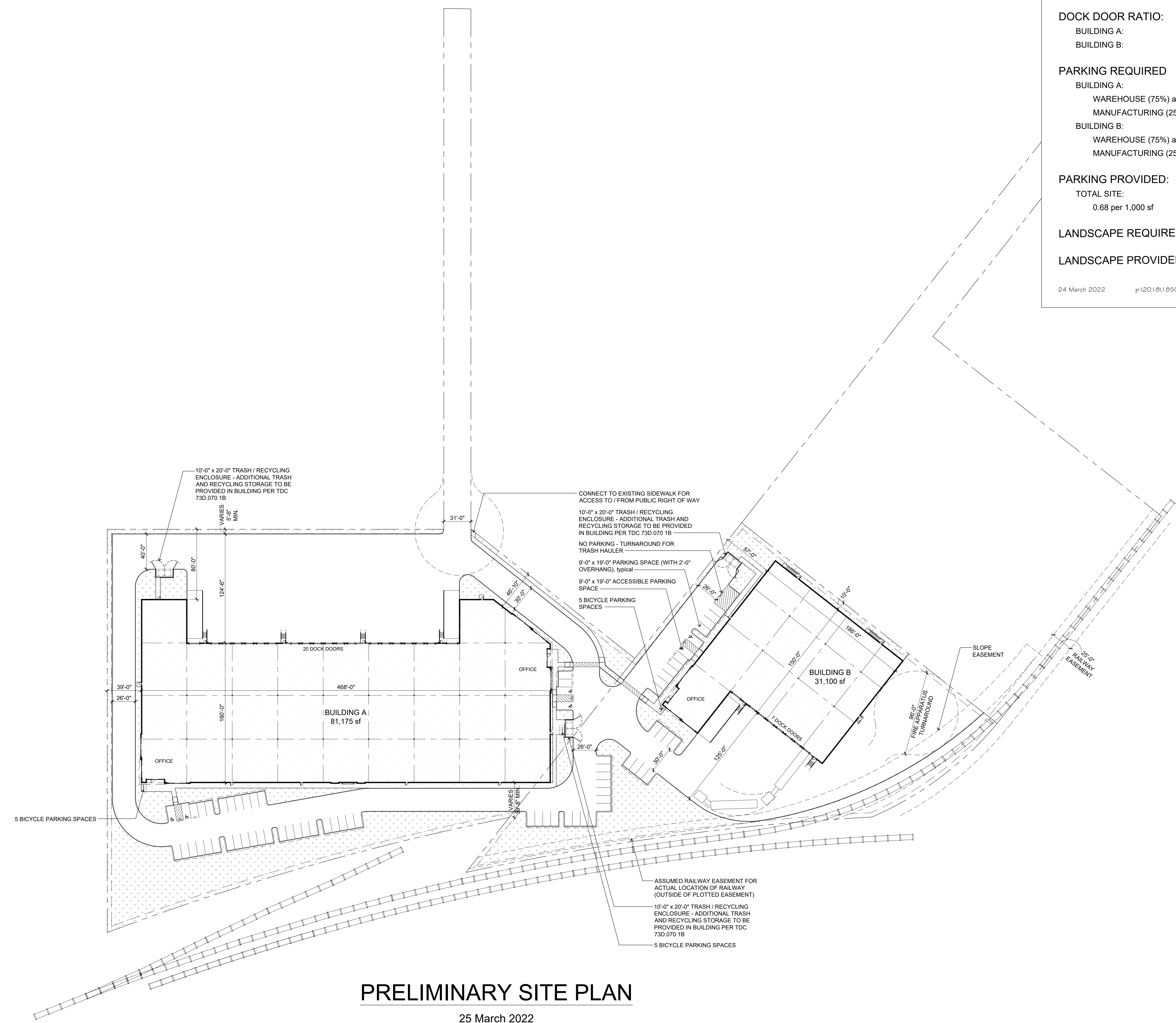
VICINITY MAP

SCALE: NOT TO SCALE



GROSS LOT AREA:	330,846 sf 7.60 acres
NET LOT AREA:	323,090 sf 7.42 acres
TOTAL BUILDING AREA:	112,275 sf
BUILDING A:	81,175 sf
BUILDING B:	31,100 sf
SITE COVERAGE (on NET):	34.8%
DOCK DOOR RATIO:	
BUILDING A:	1 / 4,059 sf
BUILDING B:	1 / 4,443 sf
PARKING REQUIRED	72 spaces
BUILDING A:	52 spaces
WAREHOUSE (75%) at .3 per 1,000:	19 spaces
MANUFACTURING (25%) at 1.6 per 1,000:	33 spaces
BUILDING B:	20 spaces
WAREHOUSE (75%) at .3 per 1,000:	7 spaces
MANUFACTURING (25%) at 1.6 per 1,000:	13 spaces
PARKING PROVIDED:	72 spaces
TOTAL SITE:	0.68 per 1,000 sf
LANDSCAPE REQUIRED (on NET):	48,464 sf (15%)
LANDSCAPE PROVIDED:	55,309 sf (17.12%)

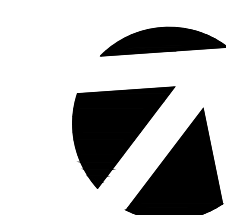
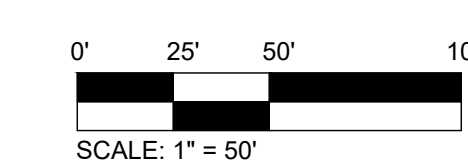
24 March 2022 p:\2018\18500 phelan development\18500.52 pd-avery\1\18500.52 scheme 3r9.dwg

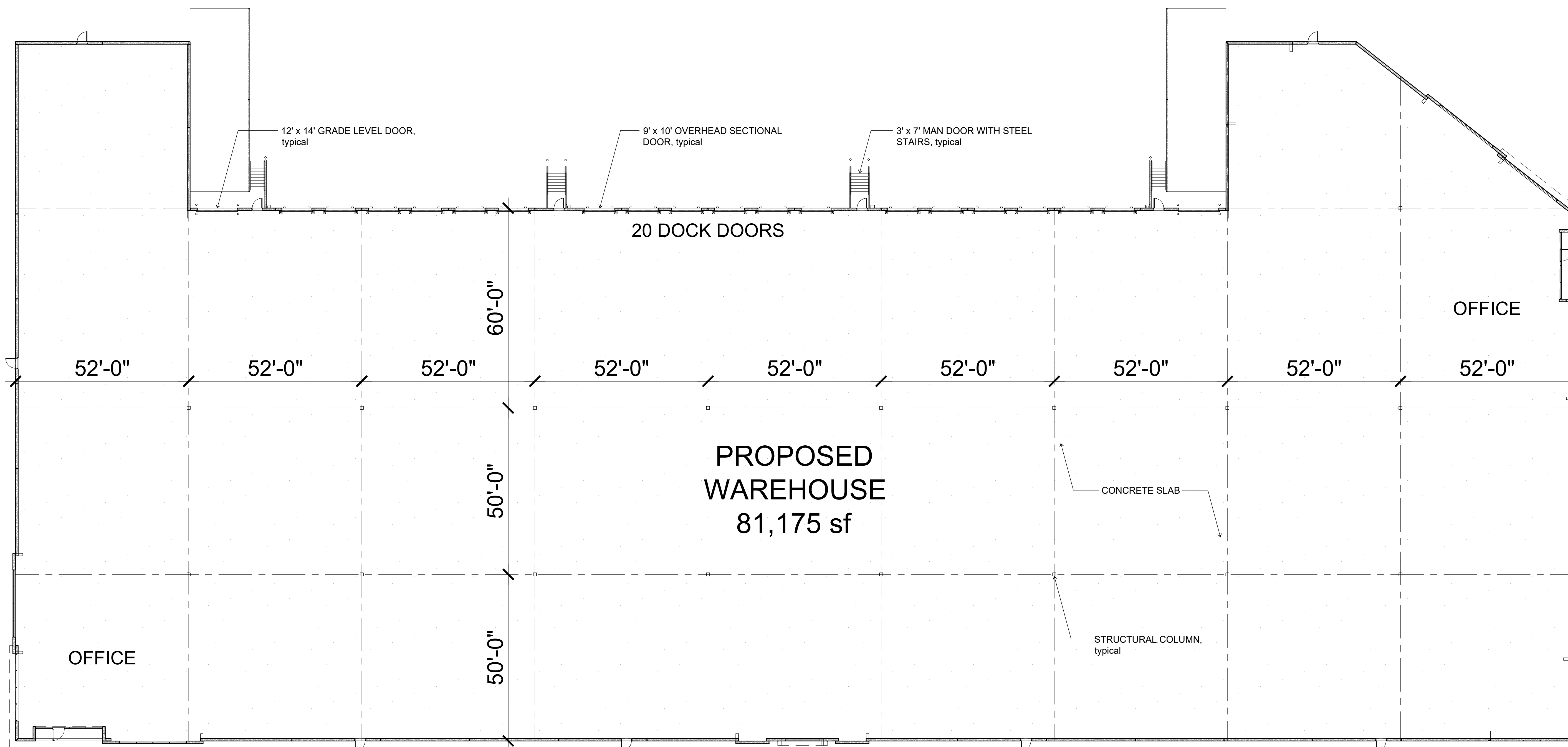


PRELIMINARY SITE PLAN

25 March 2022

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Tualatin, Oregon

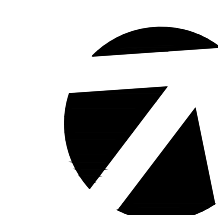
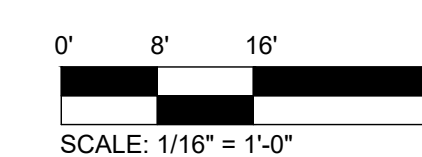


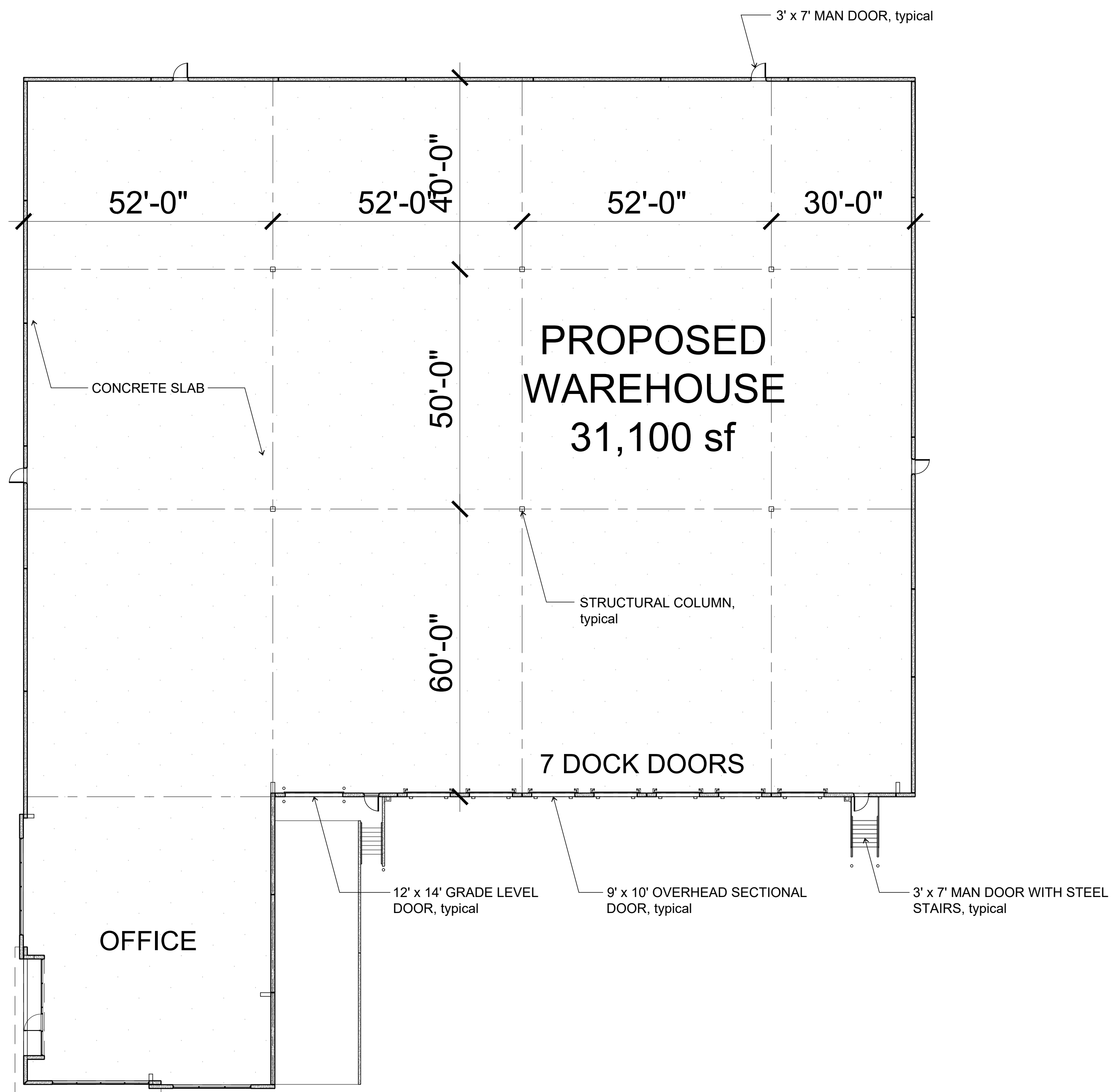


BUILDING A FLOOR PLAN

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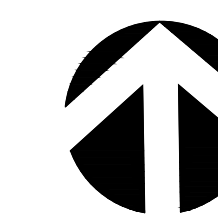
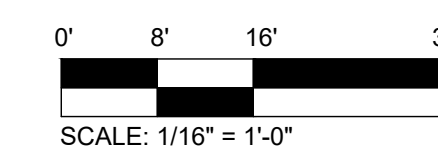


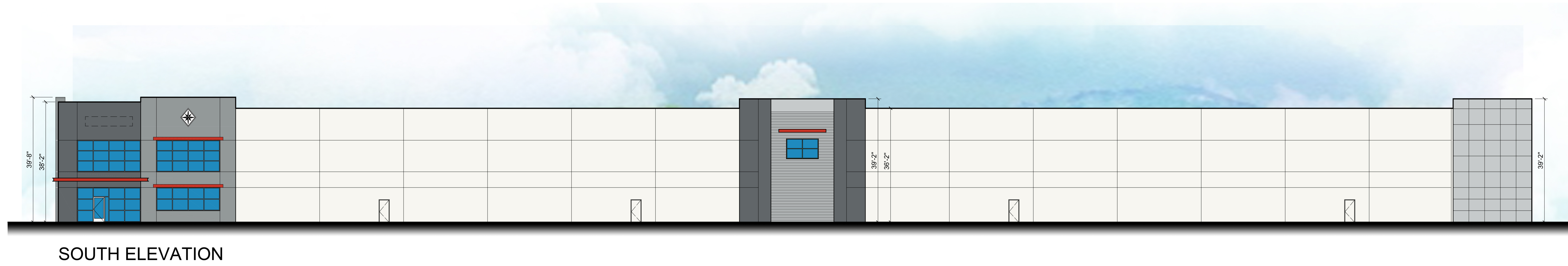
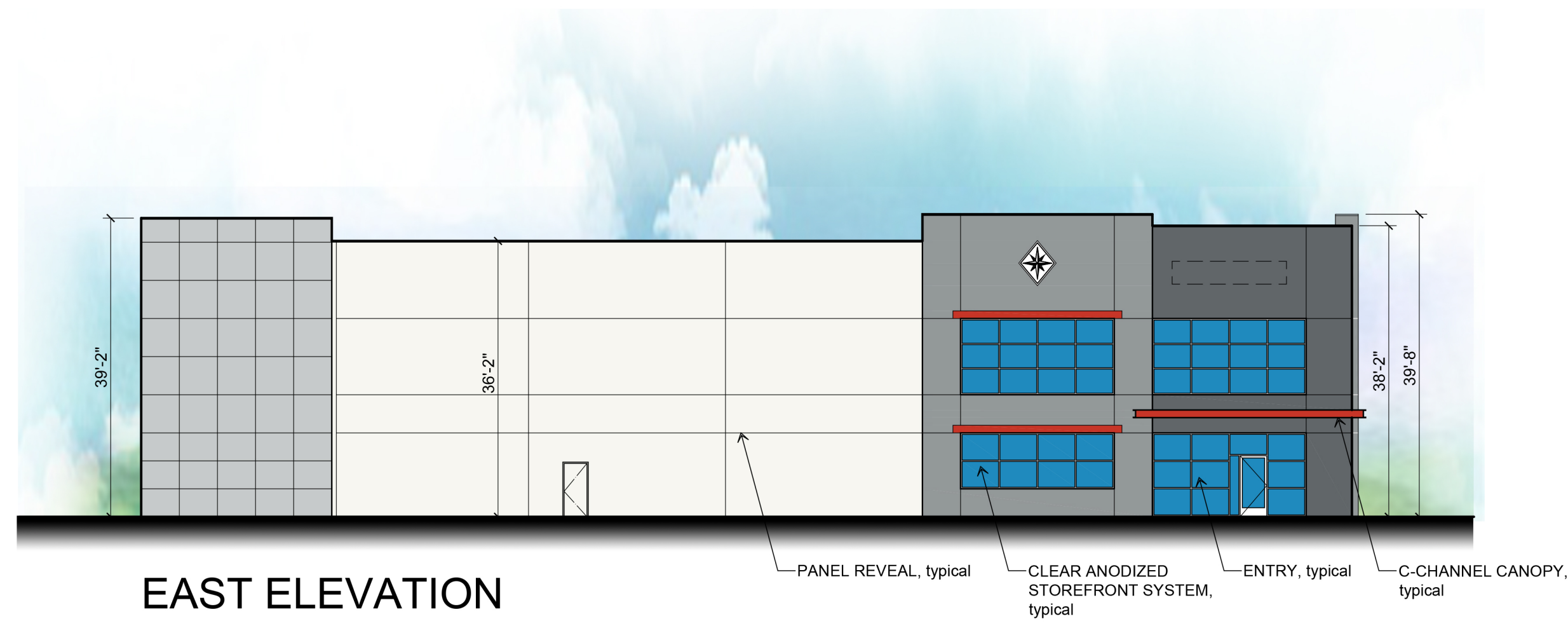
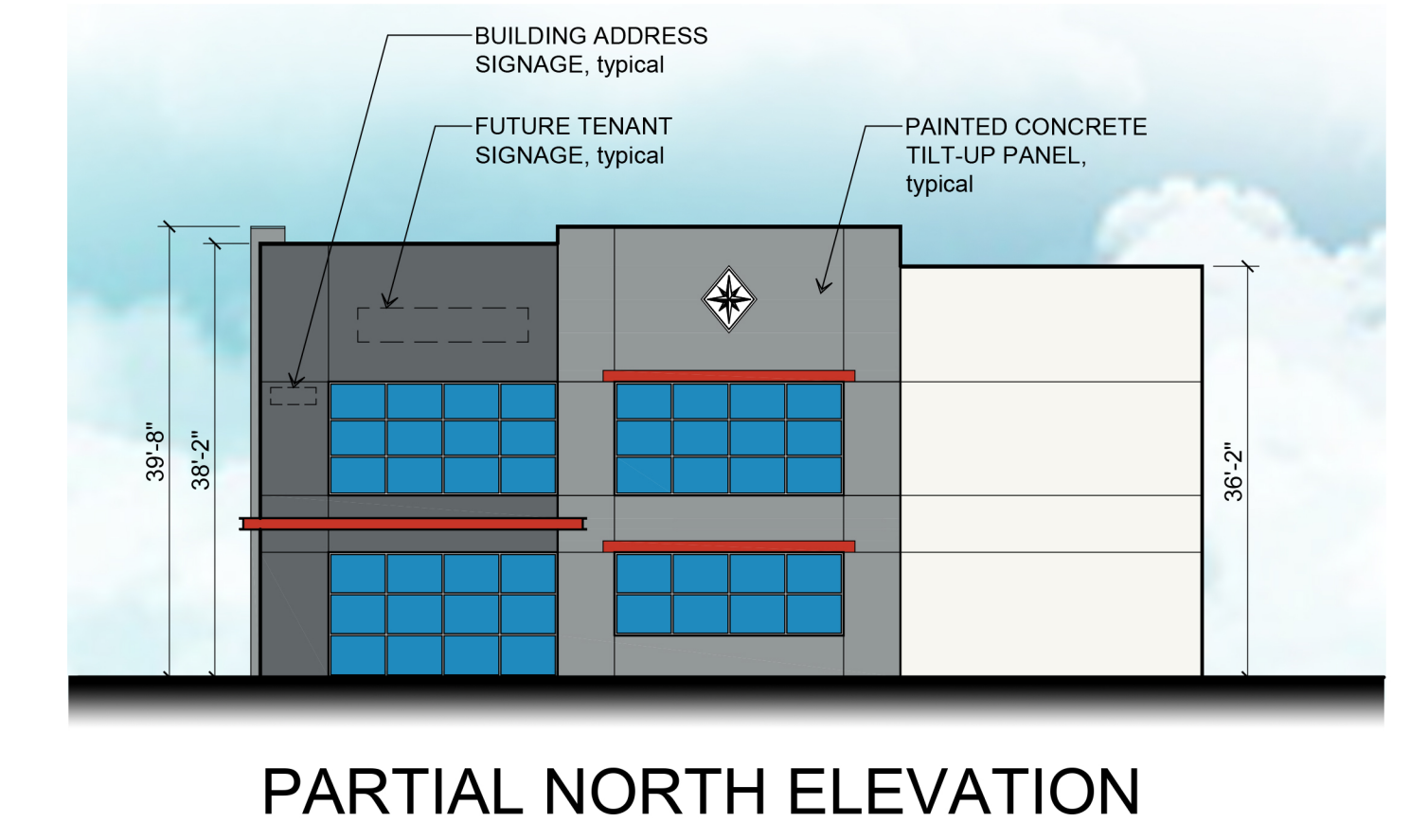


BUILDING B FLOOR PLAN

25 March 2022

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Tualatin, Oregon





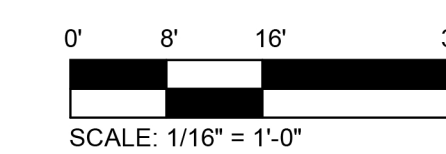
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	TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7071 - GRAY SCREEN
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #7073 - NETWORK GRAY
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #7074 - SOFTWARE
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR CLARION RED - PANTONE 7626C
	1" INSULATED DUAL PANE MEDIUM PERFORMANCE PPG VISTACOL PACIFICA GLAZING CLEAR ANODIZED ALUMINUM MULLIONS


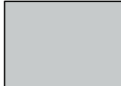




LEGEND

BUILDING A EXTERIOR ELEVATIONS

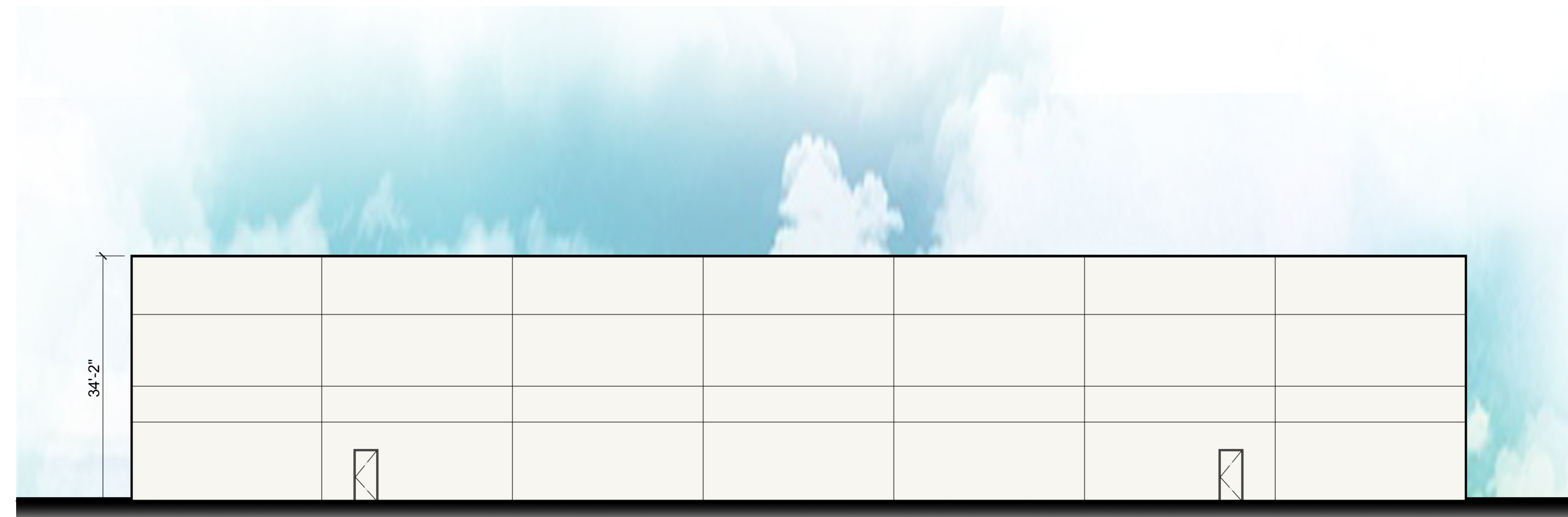
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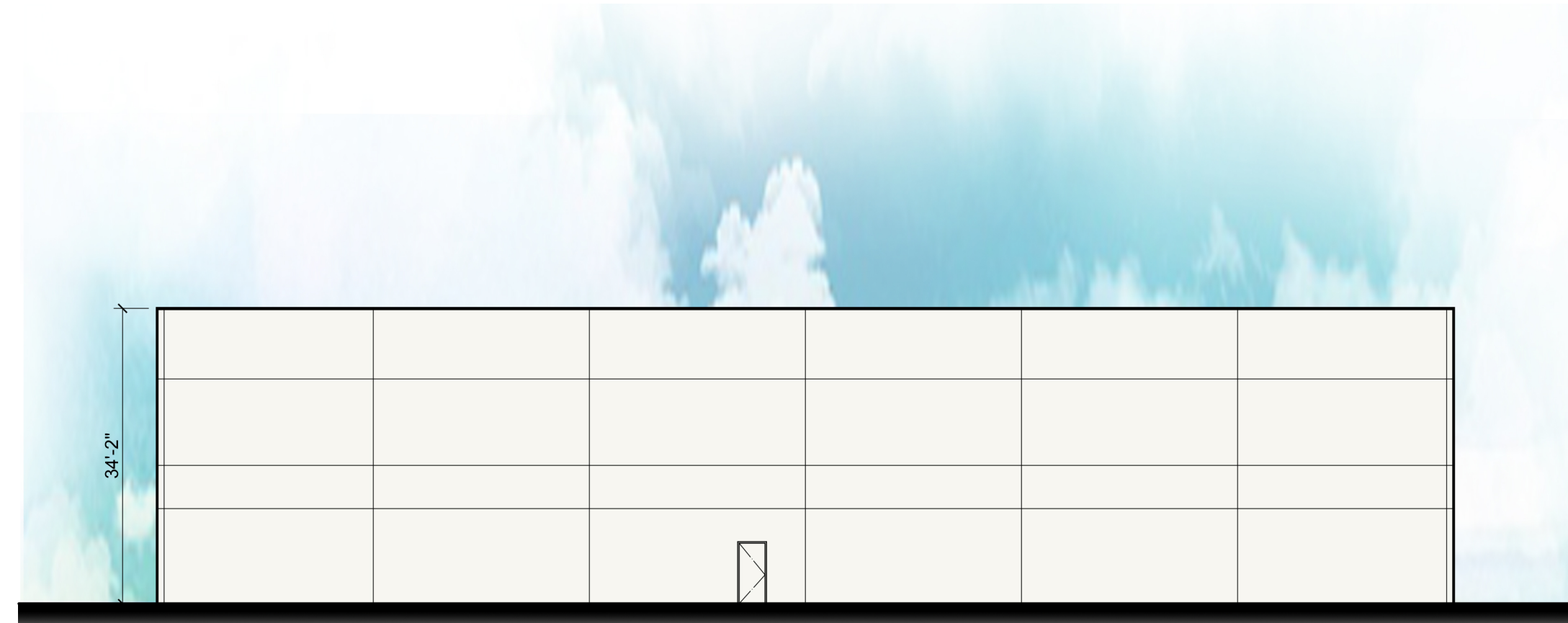


	TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7005 - PURE WHITE
	TILT-UP CONCRETE WALL PANEL WALL PANEL FIELD COLOR SHERWIN WILLIAMS - #7071 - GRAY SCREEN
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #7073 - NETWORK GRAY
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR SHERWIN WILLIAMS - #7074 - SOFTWARE
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR CLARION BED - PANTONE 7526C
	1" INSULATED DUAL PANE MEDIUM PERFORMANCE PPG VISTACOL PACIFICA GLAZING CLEAR ANODIZED ALUMINUM MULLIONS

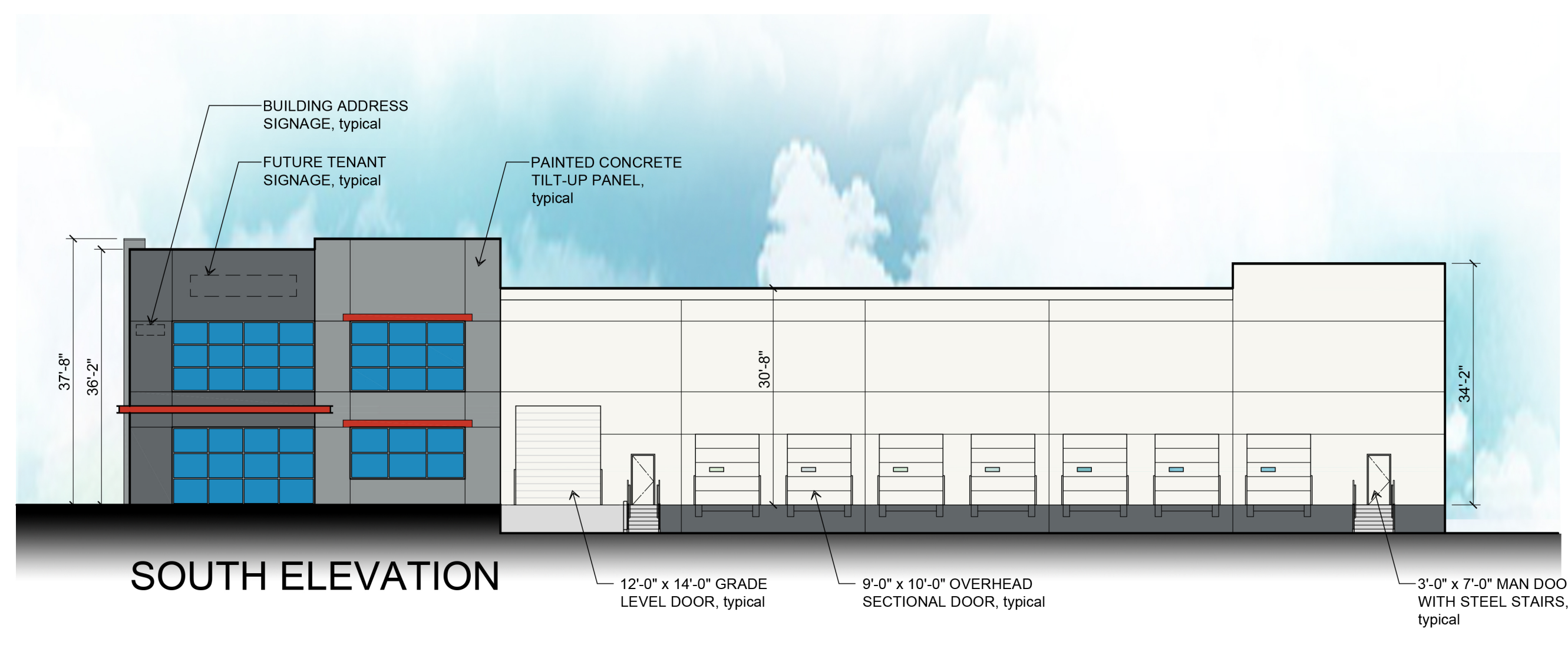
LEGEND



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

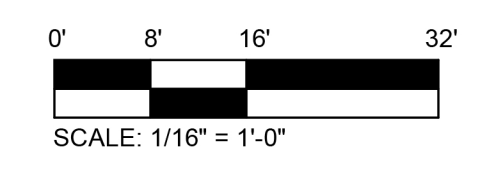


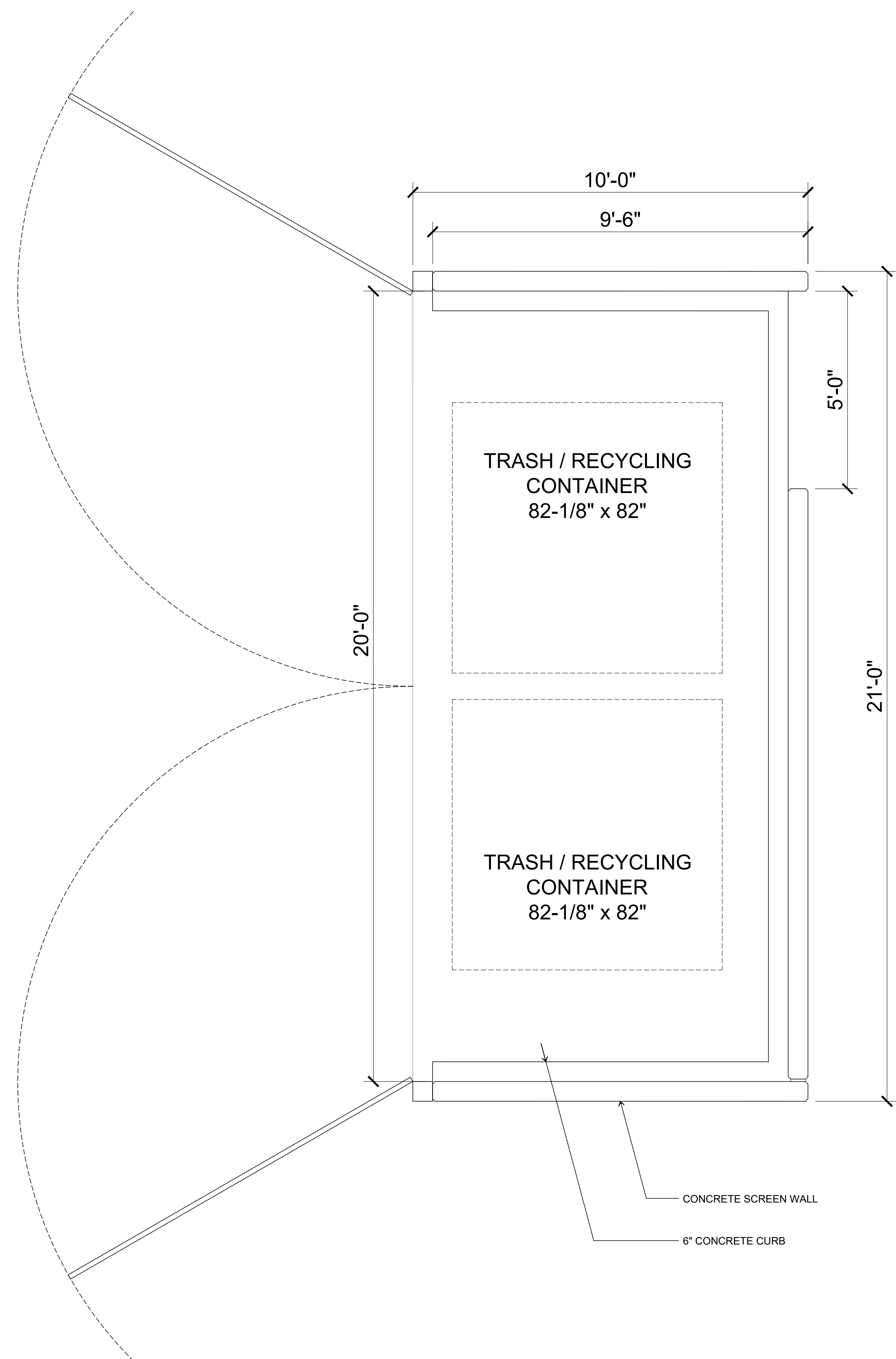
WEST ELEVATION

BUILDING B EXTERIOR ELEVATIONS

25 March 2022

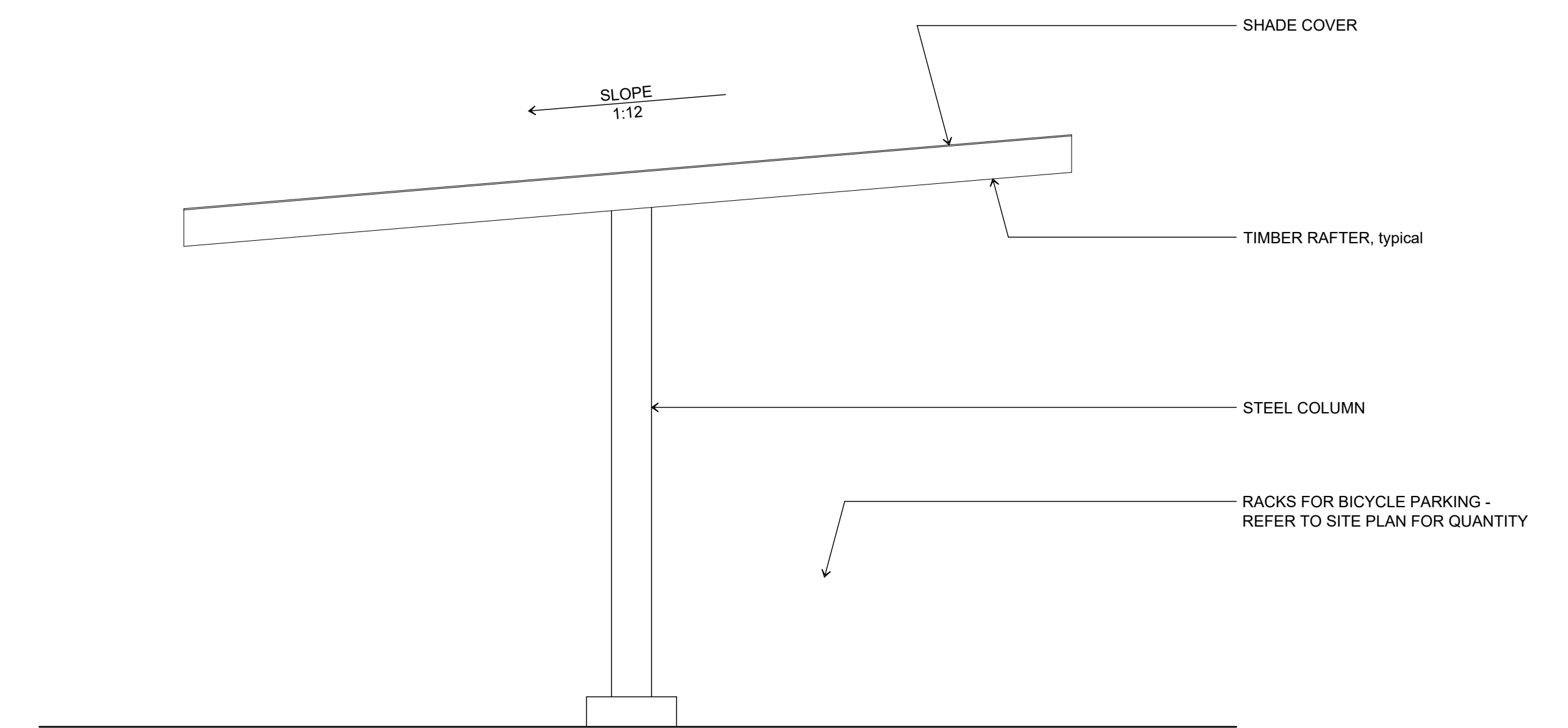
Avery I and II
Tualatin, Oregon





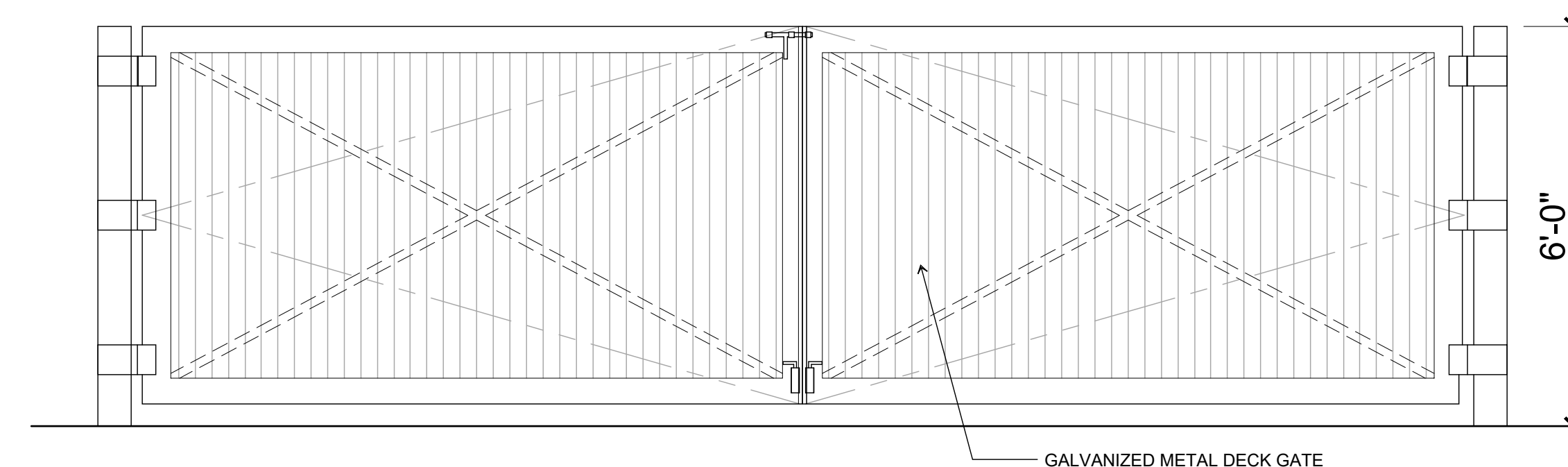
TRASH / RECYCLING ENCLOSURE PLAN

SCALE: 1/2" = 1'-0"



COVERED BICYCLE PARKING ELEVATION

SCALE: 1/2" = 1'-0"



TRASH / RECYCLING ENCLOSURE ELEVATION

SCALE: 1/2" = 1'-0"

**TRASH / RECYCLING ENCLOSURE PLANS AND ELEVATIONS &
COVERED BIKE PARKING ELEVATIONS**

Hedges Creek
11345 SW Herman Road
Tualatin, Oregon

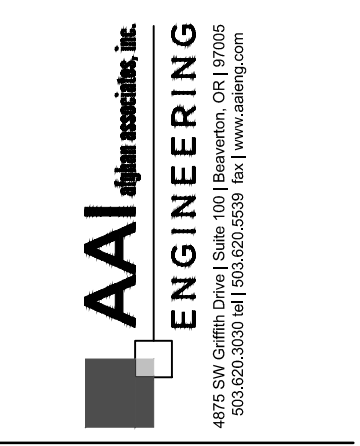
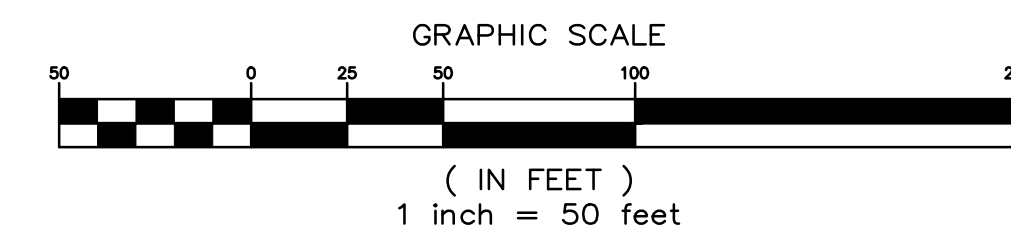


LEGEND

RIGHT-OF-WAY LINE	---
BOUNDARY LINE	---
PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
CURB	---
EDGE OF PAVEMENT	---
FENCE LINE	---
GRAVEL EDGE	---
GAS LINE	---
POWER LINE	---
STORM SEWER LINE	---
SANITARY SEWER LINE	---
TELEPHONE LINE	---
WATER LINE	---
DECIDUOUS TREE	○
CONIFEROUS TREE	★
FIRE HYDRANT	⊙
WATER METER	⊞
WATER VALVE	⊞
WATER VAULT	⊞
SANITARY SEWER CLEAN OUT	⊞
SANITARY SEWER MANHOLE	⊞
STORM SEWER CLEAN OUT	⊞
STORM SEWER CATCH BASIN	⊞
STORM SEWER MANHOLE	⊞
STORM SEWER CURB INLET	⊞
MAILBOX	⊞
RAILROAD TRACKS	---
GAS METER	⊞
GAS VALVE	⊞
POWER VAULT	⊞
ELECTRICAL METER	⊞
POWER JUNCTION BOX	⊞
POWER BOX	⊞
STREET LIGHT	⊞
TELEPHONE/TELEVISION VAULT	⊞
TELEPHONE/TELEVISION JUNCTION BOX	⊞
TELEPHONE/TELEVISION RISER	⊞
SIGN	⊞
BOLLARD WITH LIGHT	⊞
FOUND SURVEY MONUMENT	●

NOTES

- 1) THERE IS NO PHYSICAL ADDRESS FOR THE SURVEYED PROPERTY AT THIS TIME.
- 2) THE AREA OF THE SURVEYED PROPERTY IS 2.61 ACRES, MORE OR LESS.
- 3) THE RIGHT-OF-WAY WIDTH IS BASED ON MULTIPLE SURVEYS, PLATS AND THE COUNTY TAX ASSESSOR'S MAP.
- 4) THE SURVEYED PROPERTY IS NOT ADJACENT WITH A PUBLIC RIGHT-OF-WAY AND THERE IS NO VEHICULAR ACCESS TO THE SURVEYED PROPERTY AT THIS TIME.
- 5) ACCORDING TO THE FEMA FIRM NUMBER 41067C0606F WITH A REVISED DATE OF OCTOBER 19, 2018 THE SURVEYED PROPERTY IS LOCATED WITHIN UNSHADED ZONE 'X', DEFINED AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
- 6) ELEVATIONS AND CONTOURS ARE BASED ON GPS MEASUREMENTS ON THE ORGN REAL TIME NETWORK. THE ELEVATIONS ARE ON THE NAVD 1988 DATUM.
- 7) THE INTERSECTION OF SW TUALATIN-SHERWOOD ROAD AND SW TETON AVENUE IS LOCATED APPROXIMATELY 1,300 FEET NORTHEASTERLY FROM THE NORTHEAST CORNER OF THE SURVEYED PROPERTY.
- 8) THERE WAS NO EVIDENCE OF RECENT EARTH WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED WHILE CONDUCTING THE FIELD WORK FOR THE SURVEYED PROPERTY.



AVERY INDUSTRIAL
 10700 SW TUALATIN SHERWOOD RD.
 TUALATIN, OR

SHEET TITLE

EXISTING CONDITIONS

DATE: 02/21/2022

DRAWN: KPM

CHECKED: CNH

REVISIONS:

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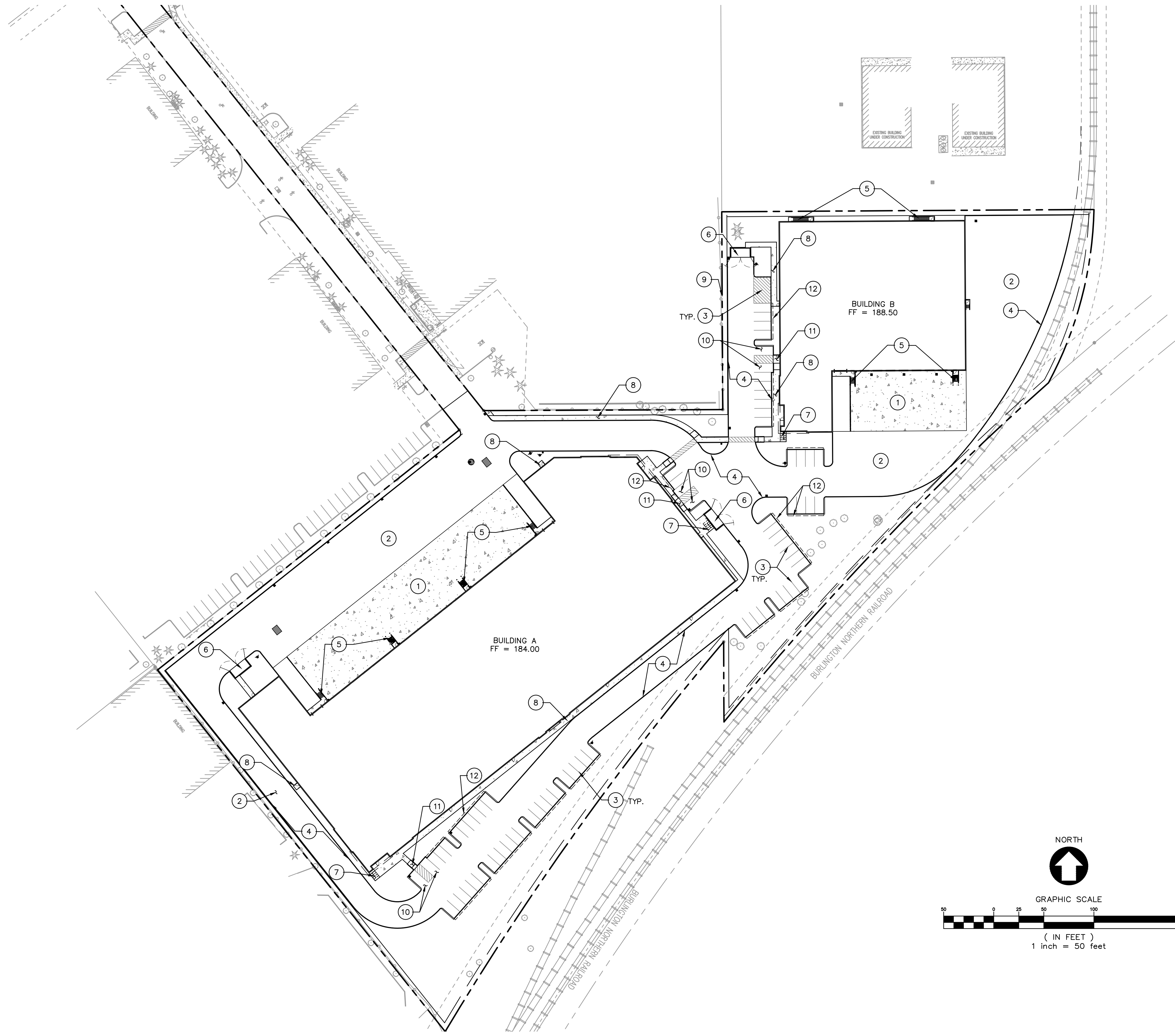
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SHEET NUMBER

C0.3

JOB NUMBER: A21195.10

F:\2021\A21195.10 - Avery Industrial - Avery Industrial - Civil\Civil Cad\Sheets\Onsite\A21195.010-Site Plan.dwg : Mar. 24, 22 - 3:21 PM thornonc



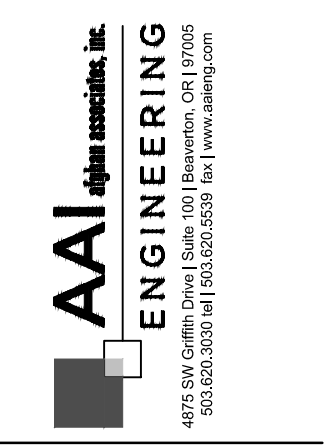
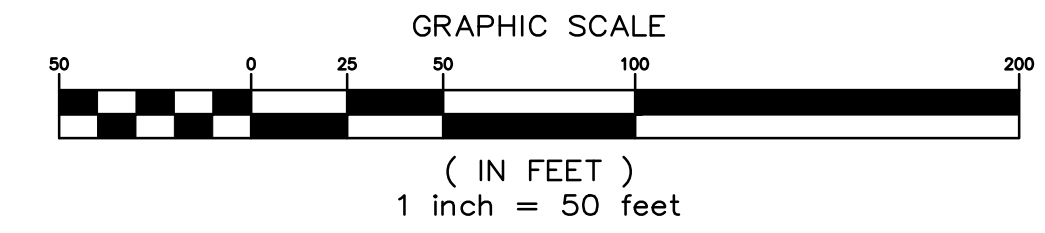
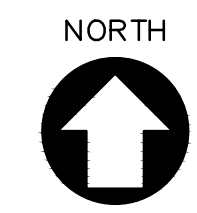
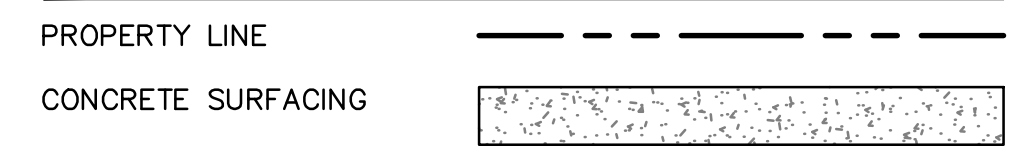
SHEET NOTES

1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
2. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
3. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

(X) CONSTRUCTION NOTES

- 1 INSTALL CONCRETE TRUCK DRIVING SURFACE
- 2 INSTALL ASPHALT SURFACING
- 3 INSTALL STRIPING. SEE ARCHITECTURAL PLANS.
- 4 INSTALL CURB
- 5 INSTALL STAIRS. SEE ARCHITECTURAL PLANS.
- 6 INSTALL TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- 7 INSTALL BICYCLE PARKING. SEE ARCHITECTURAL PLANS.
- 8 INSTALL SIDEWALK
- 9 INSTALL DESIGN BUILD WALL
- 10 INSTALL ADA PARKING
- 11 INSTALL ADA CURB RAMP
- 12 2' WIDE VEHICLE OVERHANG

LEGEND



AVERY INDUSTRIAL
10700 SW TUALATIN SHERWOOD RD.
TUALATIN, OR

SHEET TITLE

SITE PLAN

DATE: 02/21/2022

DRAWN: KPM

CHECKED: CNH

REVISIONS:

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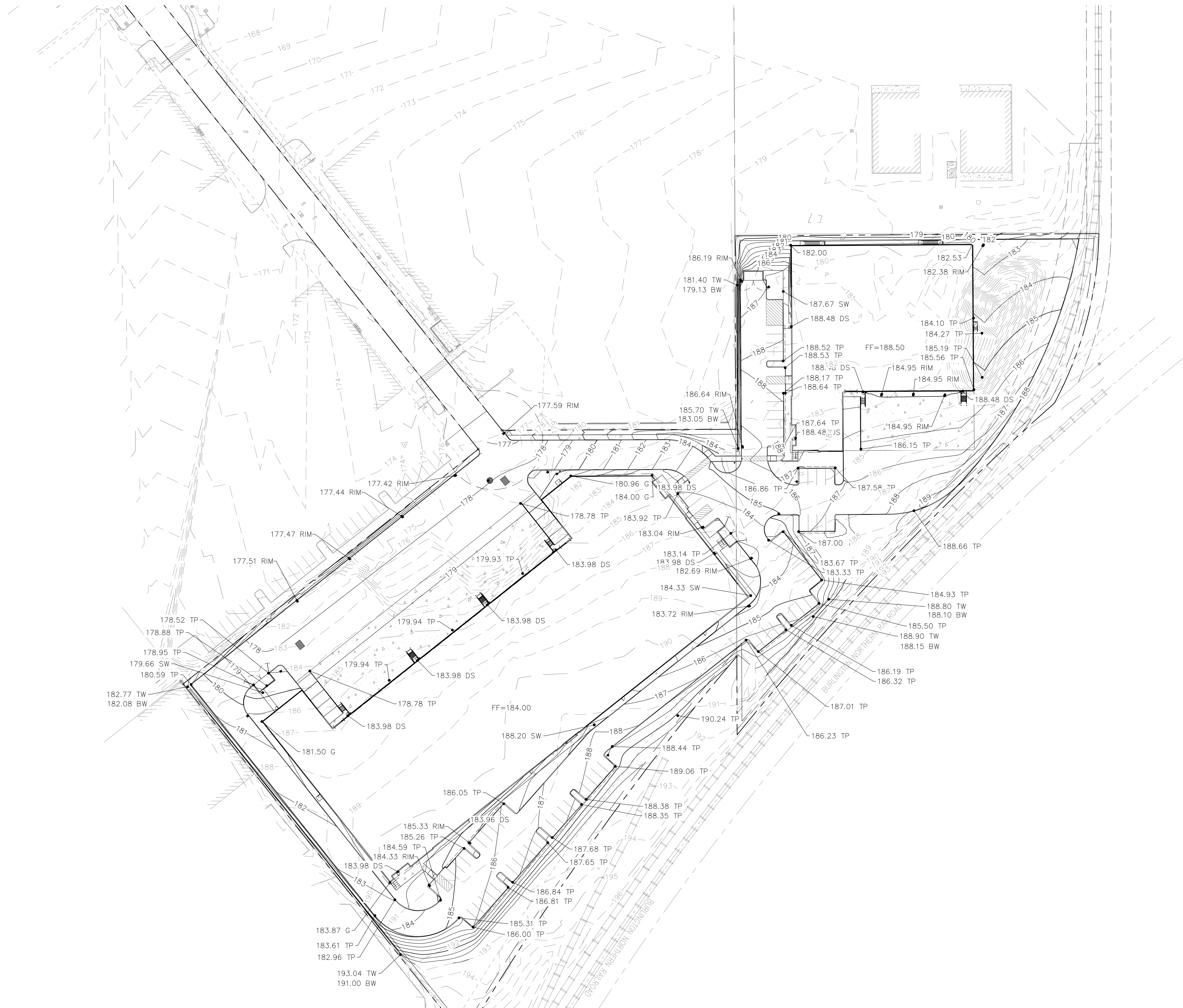
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SHEET NUMBER

C1.0

DESIGN REVIEW - 03/25/2022

JOB NUMBER: A21195.10



SHEET NOTES

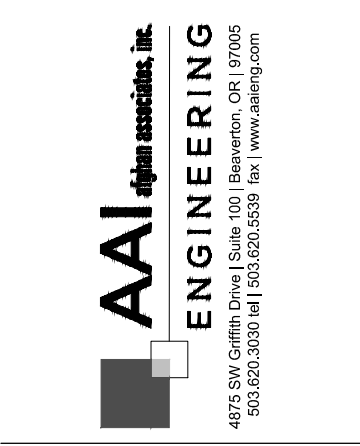
1. CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
4. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMP WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
5. FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
6. GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
XX.XX XX	SPOT ELEVATION
XX.XX XX	DESCRIPTION LISTED BELOW.
BS	BOTTOM OF STAIRS
BW	FINISHED GRADE AT BOTTOM OF WALL
DS	DOOR SILL
EX	EXISTING GRADE
FF	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
G	GROUND
SW	SIDEWALK
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF STAIRS
TW	FINISHED GRADE AT TOP OF WALL

LEGEND

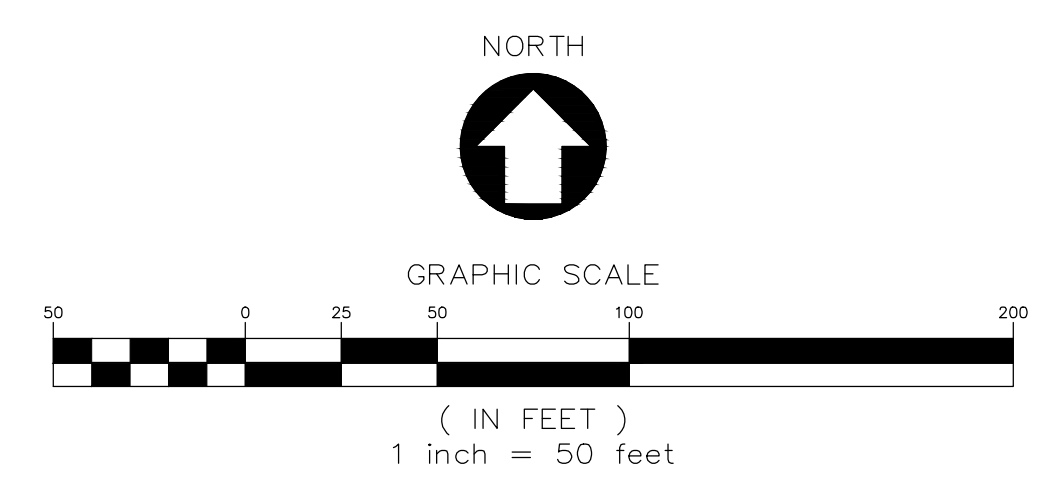
EXISTING CONTOUR MINOR	- - - - - 102 - - - - -
EXISTING CONTOUR MAJOR	- - - - - 100 - - - - -
PROPOSED CONTOUR MINOR	- - - - - 102 - - - - -
PROPOSED CONTOUR MAJOR	- - - - - 100 - - - - -

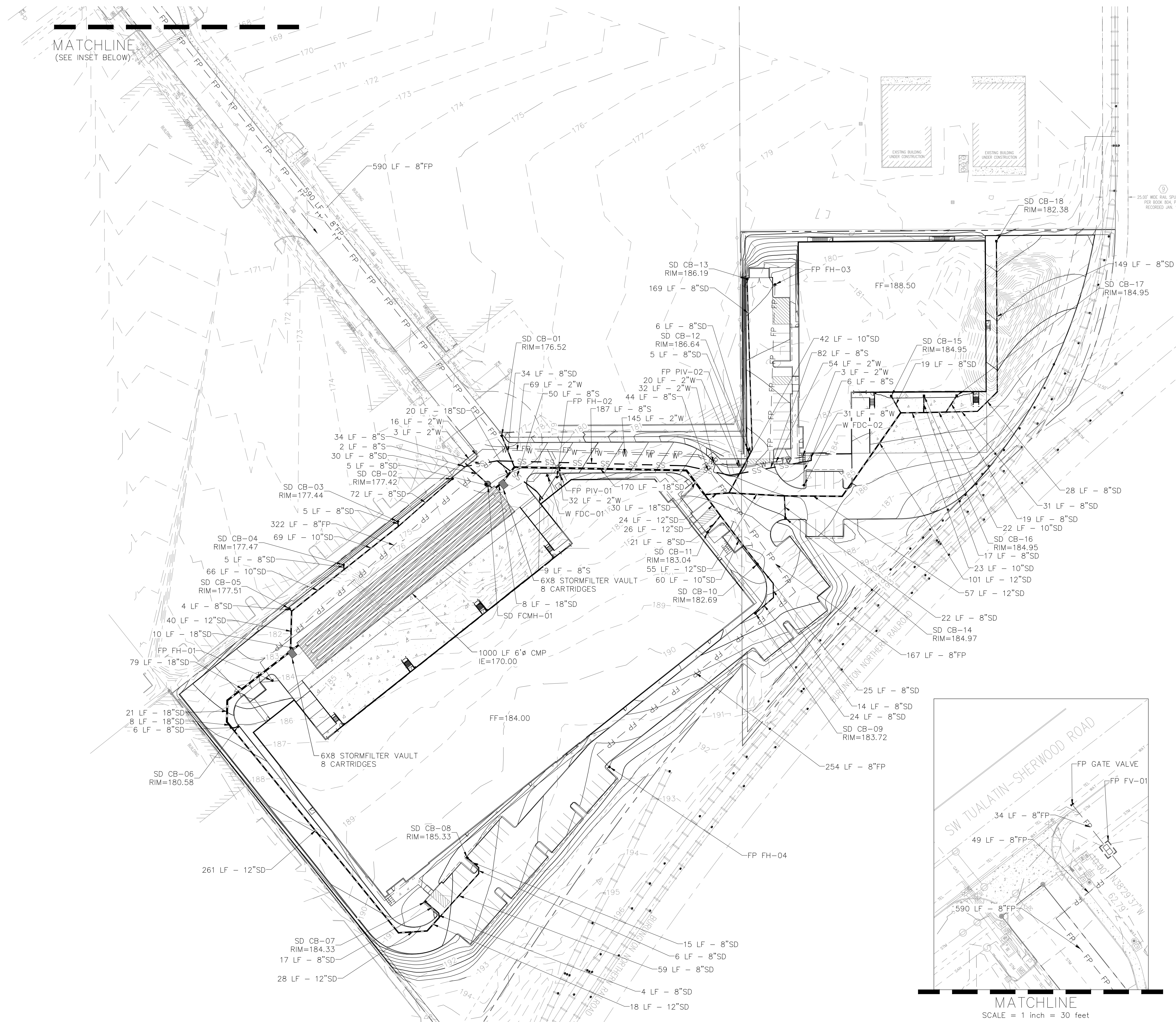


PHELAN DEVELOPMENT
 10700 SW TUALATIN SHERWOOD RD.
 TUALATIN, OR

SHEET TITLE: **GRADING PLAN**
 DATE: 02/21/2022
 DRAWN: KPM
 CHECKED: CNH
 REVISIONS:

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 SHEET NUMBER



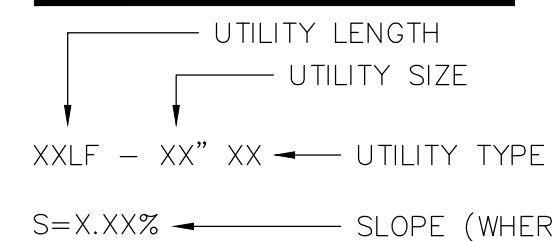


SHEET NOTES

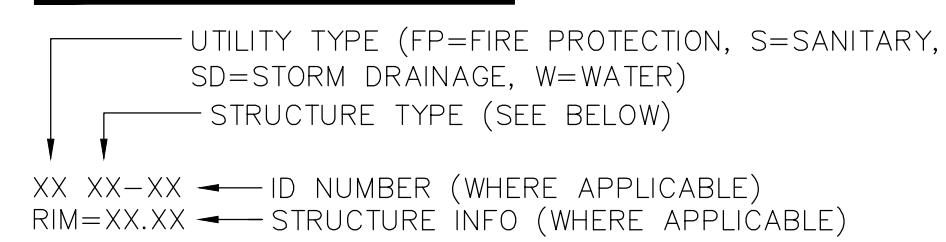
1. ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
2. THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
3. CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
4. DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
5. UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
6. INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
7. CONTRACTOR TO VERIFY SANITARY AND WATER SIZING AND INVERTS WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.
8. ALL STORM AND SANITARY FITTINGS TO BE ECCENTRIC FITTINGS UNLESS OTHERWISE NOTED.

LABEL LEGEND

PIPE LABELS



STRUCTURE LABELS

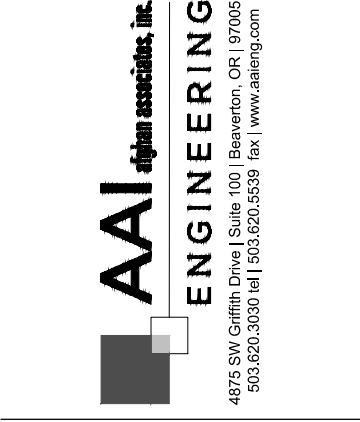
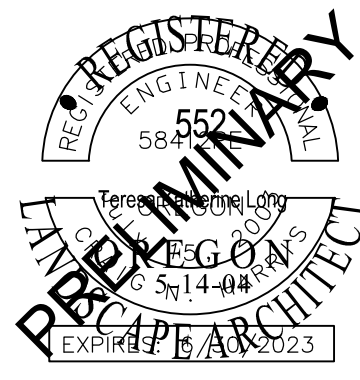
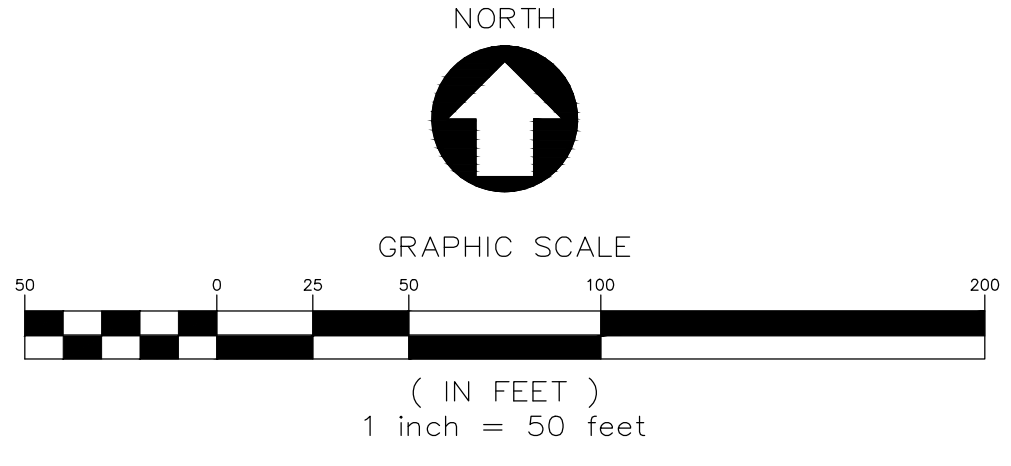


STRUCTURE TYPES

TYPE	DESCRIPTION
CB	CATCH BASIN
RD	ROOF DRAIN CONNECTION

LEGEND

EXISTING CONTOUR MINOR	--- 102 ---
EXISTING CONTOUR MAJOR	--- 100 ---
PROPOSED CONTOUR MINOR	--- 102 ---
PROPOSED CONTOUR MAJOR	--- 100 ---
SANITARY SEWER LINE	SS SS
WATER LINE	W W W
FIRE LINE	FP FP FP FP
FDC LINE	FDC FDC FDC
STORM LINE	SD SD SD



AVERY INDUSTRIAL
10700 SW TUALATIN SHERWOOD RD.
TUALATIN, OR

SHEET TITLE

UTILITY PLAN

DATE: 02/21/2022

DRAWN: KPM

CHECKED: CNH

REVISIONS:

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SHEET NUMBER

C3.0

JOB NUMBER: A21195.10

DESIGN REVIEW - 03/25/2022

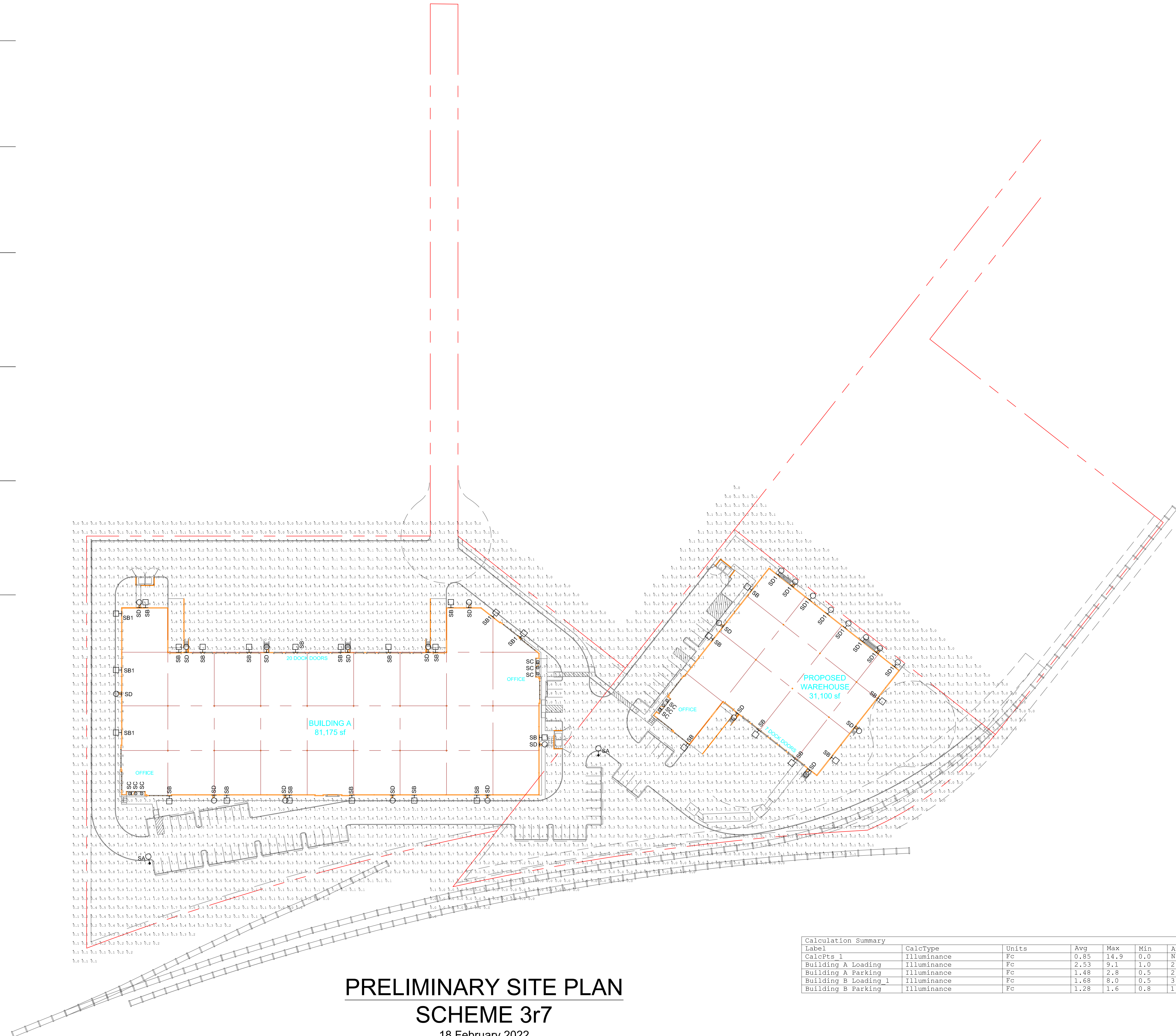
LUMINAIRE SCHEDULE

TYPE: SA DESCRIPTION: LED - SINGLE POLE MOUNTED AREA LIGHT BALLAST: ELECTRONIC DRIVER - 0-10v DIMMING VOLTAGE: 120-277V LAMP TYPE: LED - 3000K LAMP QUANTITY: 1 EFFICIENCY: MIN 23,000 LUMENS - 1050mA OPTIONS: MOTION SENSOR - DIMS TO 37% MT HEIGHT: PARKING +30'-0" ABOVE FINISH GRADE POLES: SQUARE ALUMINUM, PROVIDE CONCRETE POLE BASE 3" AFG	BUG RATING: 5 / 0 / 3 HOUSING: DIE CAST ALUMINUM LENS / OPTICS: GLASS REFLECTOR: DISTRIBUTION: TYPE V FINISH: BLACK WATTAGE: 207
MANUFACTURER: LITHONIA DSX1 LED-P8-30K-TSM-MV-SPA-PIRH1FC3V-HS-DBDX OR APPROVED EQUIVALENT	
TYPE: SB DESCRIPTION: LED - WALL MOUNT BALLAST: ELECTRONIC DRIVER - 0-10v DIMMING VOLTAGE: 120-277V LAMP TYPE: LED - 3000K LAMP QUANTITY: 1 EFFICIENCY: MIN 10,000 LUMENS, 1000mA OPTIONS: MOTION SENSOR - DIMS TO 37%	BUG RATING: 2 / 0 / 2 HOUSING: DIE CAST ALUMINUM LENS / OPTICS: GLASS REFLECTOR: DISTRIBUTION: TYPE 4M FINISH: BLACK WATTAGE: 109
MANUFACTURER: LITHONIA DSXW2 LED-30C-1000-30K-T4M-MV-PIRH1FC3V-DBDX OR APPROVED EQUIVALENT	
TYPE: SB1 DESCRIPTION: LED - WALL MOUNT BALLAST: ELECTRONIC DRIVER - 0-10v DIMMING VOLTAGE: 120-277V LAMP TYPE: LED - 3000K LAMP QUANTITY: 1 EFFICIENCY: MIN 6,000 LUMENS, 530mA OPTIONS: MOTION SENSOR - DIMS TO 37%	BUG RATING: 1 / 0 / 1 HOUSING: DIE CAST ALUMINUM LENS / OPTICS: GLASS REFLECTOR: DISTRIBUTION: TYPE 4M FINISH: BLACK WATTAGE: 54
MANUFACTURER: LITHONIA DSXW2 LED-30C-530-30K-T2S-MV-PIRH1FC3V-DBDX OR APPROVED EQUIVALENT	
TYPE: SC DESCRIPTION: LED - RECESSED DOWNLIGHT 6" ROUND BALLAST: ELECTRONIC DRIVER - 0-10v DIMMING VOLTAGE: 120-277V LAMP TYPE: LED - 3000K LAMP QUANTITY: 1 EFFICIENCY: MIN 1000 LUMENS OPTIONS: WET LOCATION	HOUSING: DIE CAST ALUMINUM LENS / OPTICS: ACRYLIC LENS REFLECTOR: CLEAR DISTRIBUTION: MEDIUM FINISH: SEMI-SPECULAR WATTAGE: 12
MANUFACTURER: LITHONIA EVO-30/10-6AR-MD-LSS-MV-GZ1 SERIES OR APPROVED EQUIVALENT	
TYPE: SD DESCRIPTION: LED - EXTERIOR WALL MOUNT BALLAST: ELECTRONIC DRIVER - 0-10v DIMMING VOLTAGE: 120-277V LAMP TYPE: LED - 3000K LAMP QUANTITY: 1 EFFICIENCY: MIN 2000 LUMENS OPTIONS: CRI - 80 WET LOCATION	BUG RATING: 1 / 0 / 0 HOUSING: DIE CAST ALUMINUM LENS / OPTICS: ACRYLIC LENS REFLECTOR: DISTRIBUTION: WIDE FINISH: BLACK WATTAGE: 15
MANUFACTURER: LITHONIA WDGE2 LED-P2-30K-80CRI-VV-MV-SRM-DBLXD SERIES OR APPROVED EQUIVALENT	
TYPE: SD1 DESCRIPTION: LED - EXTERIOR WALL MOUNT BALLAST: ELECTRONIC DRIVER - 0-10v DIMMING VOLTAGE: 120-277V LAMP TYPE: LED - 3000K LAMP QUANTITY: 1 EFFICIENCY: MIN 2000 LUMENS OPTIONS: CRI - 80 WET LOCATION	BUG RATING: 1 / 0 / 0 HOUSING: DIE CAST ALUMINUM LENS / OPTICS: ACRYLIC LENS REFLECTOR: DISTRIBUTION: WIDE FINISH: BLACK WATTAGE: 10
MANUFACTURER: LITHONIA WDGE2 LED-P1-30K-80CRI-VV-MV-SRM-DBLXD SERIES OR APPROVED EQUIVALENT	

LUMINAIRE MOUNTING HEIGHTS

EXTERIOR:
 TYPE SB - +24'-0" AFF
 TYPE SB1 - +24'-0" AFF
 TYPE SC - SURFACE MOUNTED
 TYPE SD - +8'-7" ABOVE DOOR
 TYPE SD1 - +8'-7" ABOVE DOOR

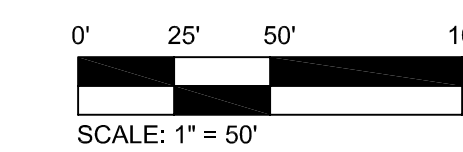
- NOTE:**
- HEIGHT IS TO CENTER LINE OF LUMINAIRE UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL ELEVATIONS FOR LUMINAIRE LOCATIONS



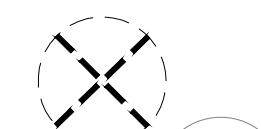
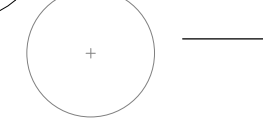
PRELIMINARY SITE PLAN
SCHEME 3r7
 18 February 2022

Avery I and II
 Tualatin, Oregon

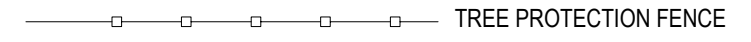
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CalcPts 1	illumination	Fc	0.85	14.9	0.0	N.A.	N.A.
Building A Loading	illumination	Fc	2.53	9.1	1.0	2.53	9.10
Building A Parking	illumination	Fc	1.48	2.8	0.5	2.96	5.60
Building B Loading 1	illumination	Fc	1.68	8.0	0.5	3.36	16.00
Building B Parking	illumination	Fc	1.28	1.6	0.8	1.60	2.00

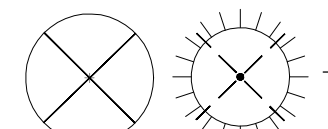
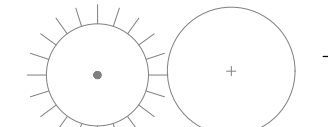


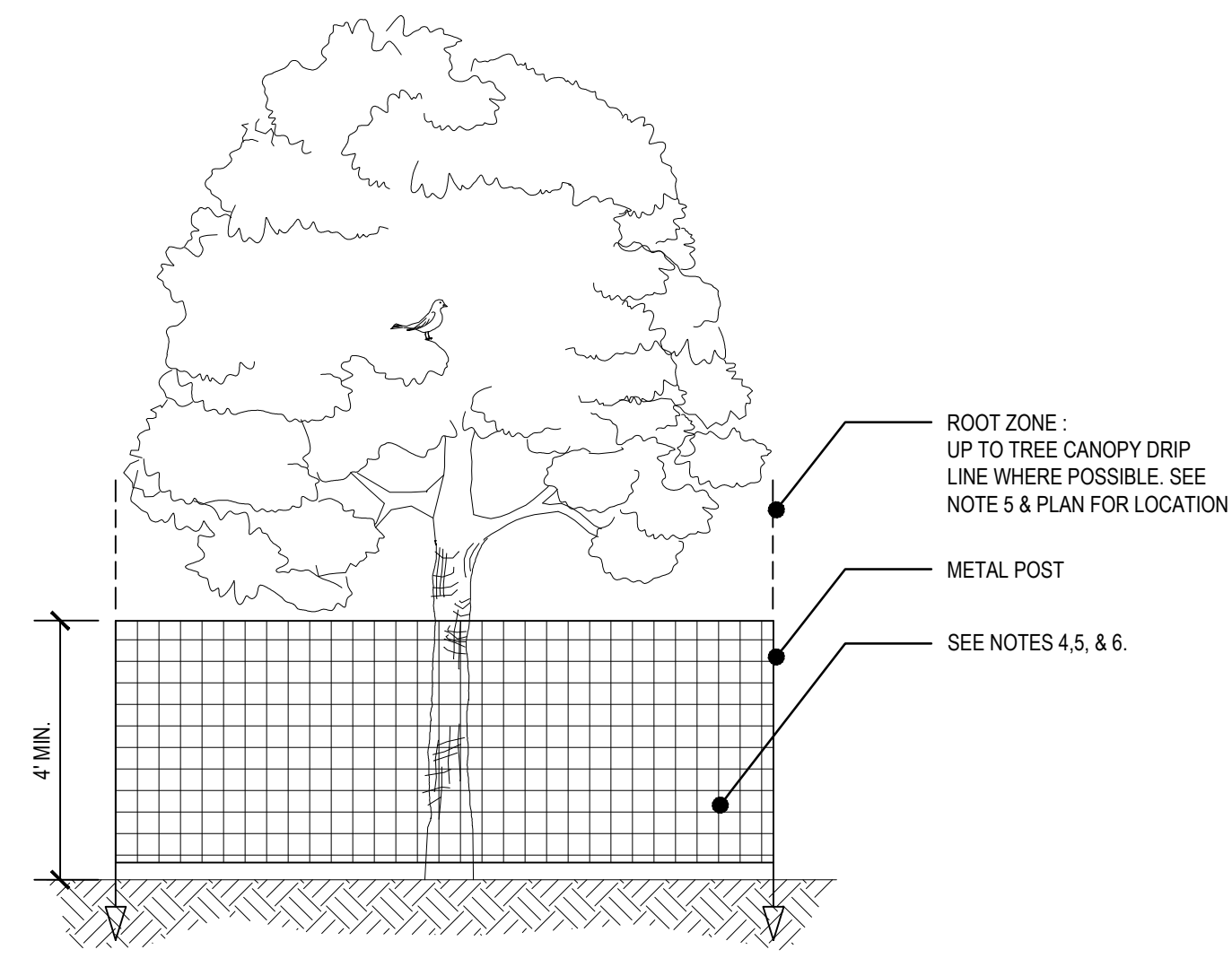
LEGEND

 EXISTING TREES TO BE REMOVED. SEE ARBORIST REPORT FOR MORE DETAILS
 EXISTING TREES TO REMAIN

TREE PROTECTION FENCE

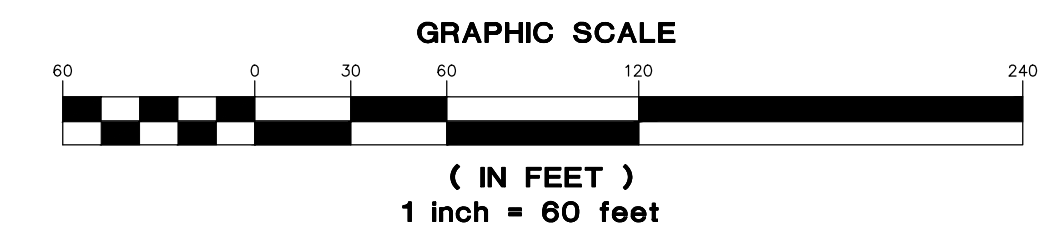
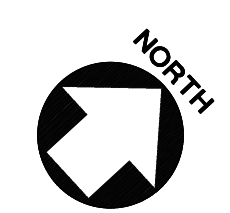
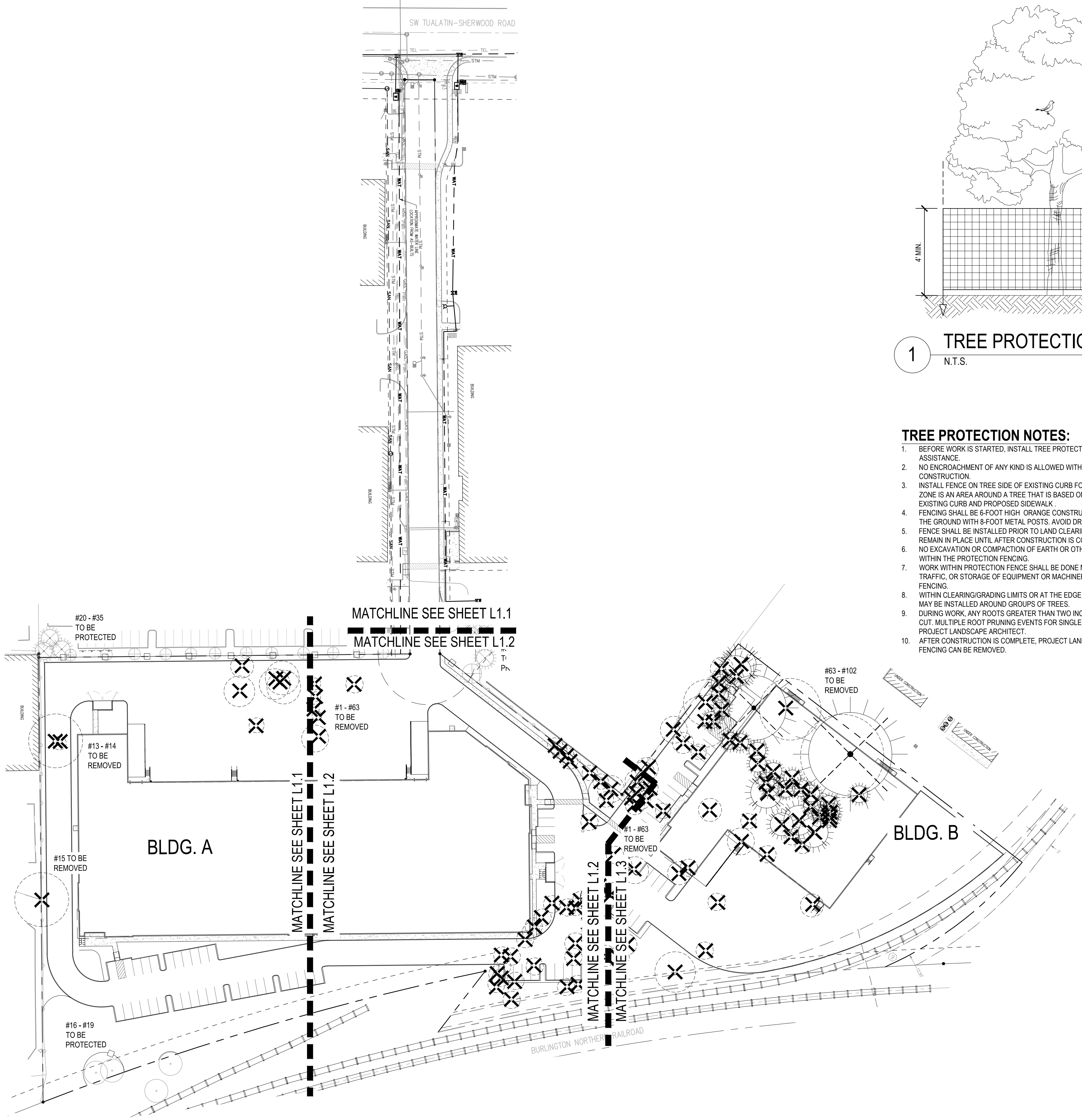
 TREE PROTECTION FENCE

 EXISTING TREES TO BE REMOVED
 EXISTING TREES TO REMAIN



1 TREE PROTECTION FENCING DETAIL
N.T.S.

- TREE PROTECTION NOTES:**
- BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT ARBORIST FOR ASSISTANCE.
 - NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
 - INSTALL FENCE ON TREE SIDE OF EXISTING CURB FOR ALL TREES TO BE PRESERVED. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
 - FENCING SHALL BE 6-FOOT HIGH ORANGE CONSTRUCTION FENCE WITH METAL POSTS AND BE SECURED TO THE GROUND WITH 8-FOOT METAL POSTS. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
 - FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
 - NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
 - WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
 - WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
 - DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY THE PROJECT LANDSCAPE ARCHITECT.
 - AFTER CONSTRUCTION IS COMPLETE, PROJECT LANDSCAPE ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.



REGISTERED
552
Teresa Katherine Long
OREGON
5-14-04
LANDSCAPE ARCHITECT

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503.638.1234

PHELAN DEVELOPMENT
450 Newport Center Drive, Suite 405
Newport Beach, CA 92660

AVERY INDUSTRIAL
10700 SW TUALATIN SHERWOOD RD.
TUALATIN, OR

SHEET TITLE
TREE REMOVAL & PROTECTION PLAN

DATE: 02/21/2022
DRAWN: KPM
CHECKED: CNH
REVISIONS:

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SHEET NUMBER

L1.0

DESIGN REVIEW - 03/25/2022

JOB NUMBER: A21195.10

Prepared by Peter van Oss PN 8145A

Avery Building B

Table with 11 columns: Tree ID, Common Name, Latin Name, DBH, To be Removed, Regulated status, Condition (Health), Condition (Structure), Fencing Distance in Feet, Status, Observation Comments. Includes trees like Western white pine, Ponderosa pine, Oregon white oak, Douglas fir, Black Pine, etc.

Table with 11 columns: Tree ID, Common Name, Latin Name, DBH, To be Removed, Regulated status, Condition (Health), Condition (Structure), Fencing Distance in Feet, Status, Observation Comments. Includes trees like Black cottonwood, Scouler willow, English hawthorn, etc.

Prepared by Peter van Oss PN 8145A

Avery Building A

Table with 15 columns: Tree ID, Common Name, Latin Name, Status, Tree Tag Number, DBH, Critical Root Zone (CRZ), Tree Protection Zone (TPZ), Condition (Structure), To be Removed, Regulated status, Offset Required (RPZ), RPZ/CFZ Fencing, Construction arborist req, Notes. Includes trees like Scouler willow, Madrone, Black cottonwood, etc.

Prepared by Peter van Oss PN 8145A

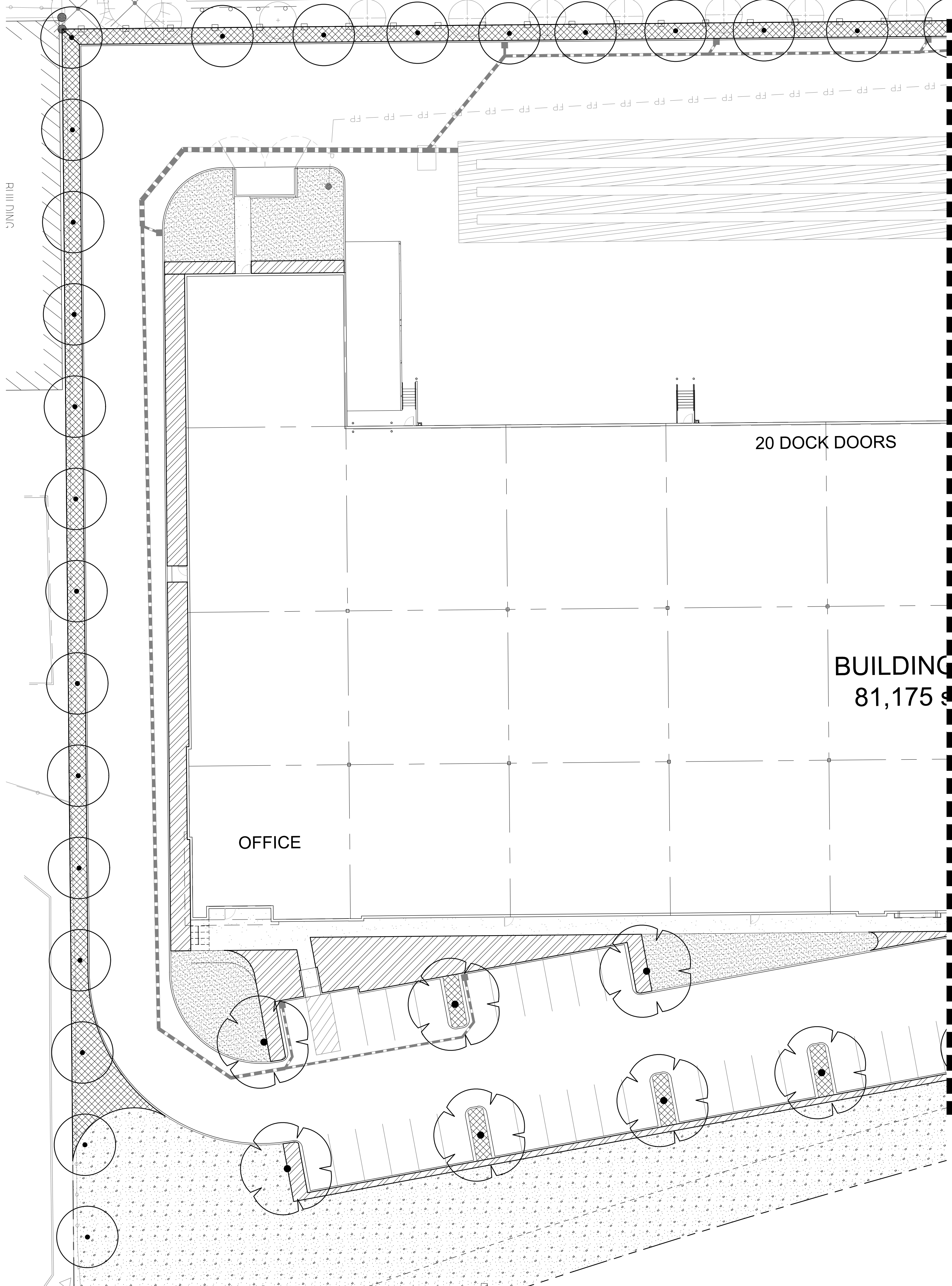
Avery Building B

Table with 11 columns: Tree ID, Common Name, Latin Name, DBH, To be Removed, Regulated status, Condition (Health), Condition (Structure), Fencing Distance in Feet, Status, Observation Comments. Includes trees like Sweet cherry, English hawthorn, Black Pine, etc.

Prepared by Peter van Oss PN 8145A

Avery Building A

Table with 11 columns: Tree ID, Common Name, Latin Name, Status, Tree Tag Number, DBH, Critical Root Zone (CRZ), Tree Protection Zone (TPZ), Condition (Structure), To be Removed, Regulated status. Includes trees like Red maple, Western red cedar, etc.



TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AB2	26	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	1.5" CAL.	
	FU2	8	FRAXINUS PENNSYLVANICA 'URBANITE' LARGE	URBANITE ASH	1.5" CAL.	
	GI	11	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE' SMALL	THORNLESS HONEY LOCUST	1.5" CAL.	
	QS	22	QUERCUS ROBUR 'SKYROCKET'	SKYROCKET ENGLISH OAK	1.5" CAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	FL	270	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	1 GAL.	18" o.c.

LANDSCAPE REQUIREMENTS	
TOTAL SITE AREA	= 323,090 SF
LANDSCAPE AREA REQUIRED 15% OF SITE	= 48,464 SF
LANDSCAPE AREA PROPOSED 17% OF SITE	= 55,309 SF
INTERIOR PKG. LOT LANDSCAPING REQ. PKG. LOT TREES REQ.	= 25 SF PER PKG. SPACE = 1 TREE PER 4 PKG. SPACE
PKG. SPACES = 76	
PKG. LOT LANDSCAPING REQ.	= 1,900 SF
PKG. LOT LANDSCAPING PROVIDED	= 10,266 SF
PKG. LOT TREES REQ.	= 19
PKG. LOT TREES PROVIDED	= 19

CONCEPT PLANT SCHEDULE		
	SHRUB PLANTING BEDS ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / KALEIDOSCOPE GLOSSY ABELIA CISTUS X CYPRIUS / BICOLOR ROCK ROSE CORNUS SERICEA 'KELSEY' / KELSEY'S DWARF RED TWIG DOGWOOD DAPHNE X BURKWOODII 'CAROL MACKIE' / CAROL MACKIE DAPHNE HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA HYDRANGEA MACROPHYLLA 'PIA' / PIA DWARF HYDRANGEA ILEX CRENATA 'LEMON GEM' / LEMON GEM JAPANESE HOLLY LEUCOTHOE FONTANESIANA 'ZEBLID' TM / SCARLETTA DROOPING LEUCOTHOE LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF NANDINA DOMESTICA 'COMPACTA' / DWARF HEAVENLY BAMBOO NANDINA DOMESTICA 'FIREPOWER' / FIREPOWER HEAVENLY BAMBOO NANDINA DOMESTICA 'SIENNA SUNRISE' / SIENNA SUNRISE HEAVENLY BAMBOO PIERIS JAPONICA 'BROOKSIDE MINIATURE' / BROOKSIDE MINIATURE JAPANESE PIERIS SPIRAEA JAPONICA 'SMSJMLG' TM / LIL' SIZZLE JAPANESE SPIREA VIBURNUM DAVIDII / DAVID VIBURNUM WEIGELA FLORIDA 'BOKRASPIW' TM / SPILLED WINE WEIGELA	8,207 SF

	EVERGREEN HEDGE ABELIA X GRANDIFLORA 'EDIHARD COUCHER' / GLOSSY ABELIA ARBUTUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE AZALEA X 'ROBLEE' TM / AUTUMN SANGRIA ENCORE AZALEA CEANOTHUS THYRSIFLORUS 'VICTORIA' / VICTORIA CEANOTHUS CHOISYA TERNATA / MEXICAN ORANGE EUONYMUS JAPONICUS 'SILVER KING' / SILVER KING EUONYMUS GAULTHERIA SHALLOON / SALAL ILEX GLABRA 'SHAMROCK' / INK BERRY LONICERA NITIDA 'LEMON BEAUTY' / BOXLEAF HONEYSUCKLE MAHONIA AQUIFOLIUM / OREGON GRAPE RHODODENDRON X 'JEAN MARIE DE MONTAGUE' / JEAN MARIE DE MONTAGUE RHODODENDRON VIBURNUM TINUS 'SPRING BOUQUET' / SPRING BOUQUET LAURESTINUS	6,660 SF
	LAWN	7,697 SF
	NATIVE ECOLOGY SEED	32,402 SF

- ### PLANTING NOTES
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF TUALATIN STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
 - CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.
 - SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS SPECIFICALLY ACCEPTED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - VERIFY EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 - DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
 - PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
 - REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
 - MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
 - COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
 - INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF TUALATIN STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
 - CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
 - CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
 - CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
 - CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
 - ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
 - PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
 - ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
 - COORDINATE INSTALLATION PLANTING MATERIALS WITH IRRIGATION. PLANT ONLY IN AREAS WHERE THE IRRIGATION SYSTEM IS COMPLETE AND FULLY OPERATIONAL.

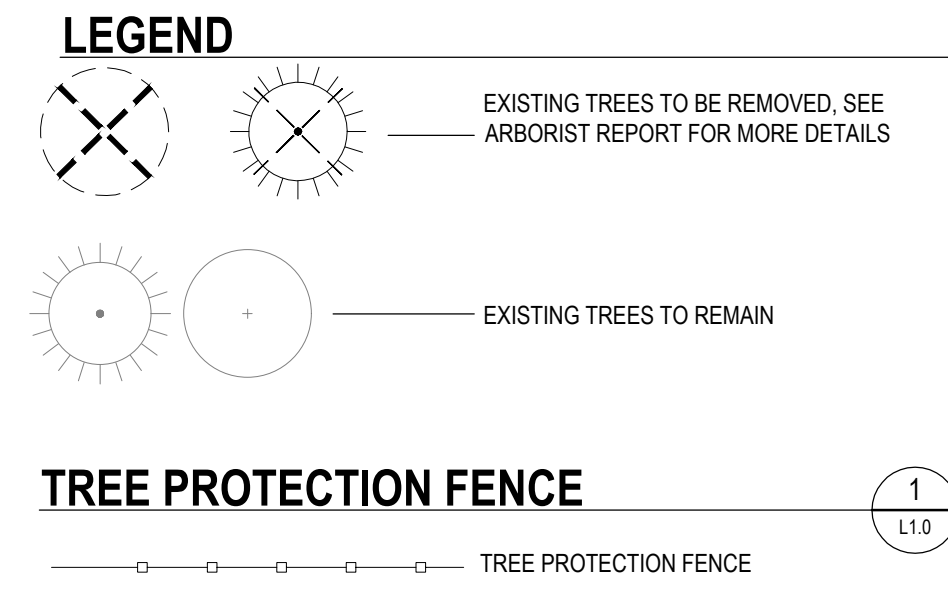
- ### INITIAL INSPECTION OF PLANT MATERIAL
- ASSEMBLE ALL PLANTS FOR EACH INSPECTION AT ONE LOCATION FOR INSPECTION TO BE COMPLETED IN ONE VISIT. ANY FURTHER INSPECTION REQUIRED DUE TO PLANTS BEING UNAVAILABLE, REJECTED, AND/OR NOT MEETING SPECIFICATIONS SHALL BE CHARGED TO THE CONTRACTOR AT THE CURRENT HOURLY RATE FOR THE LANDSCAPE ARCHITECT PERFORMING THE INSPECTION.
 - OWNER RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
 - REMOVE REJECTED TREES OR SHRUBS FROM PROJECT SITE WITHIN 24 HOURS.
 - REPLACE PLANT MATERIALS REJECTED BY OWNER AT NO ADDITIONAL EXPENSE TO OWNER.
- ### PLANT LAYOUT AND INSPECTION
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
 - LAYOUT OF MAJOR PLANTING AREAS AS INDICATED IN THE DRAWINGS ARE APPROXIMATE ONLY. OUTLINE IN THE FIELD LOCATIONS AND IDENTITY OF ALL TREES, SHRUBS AND GROUND COVERS, SUBJECT TO REVIEW AND APPROVAL.
 - INSPECTION: NOTIFY THE OWNER 48 HOURS PRIOR TO BEGINNING PLANTING. THE OWNER MAY ADJUST PLANT MATERIAL LOCATION TO MEET FIELD CONDITIONS.
 - DO NOT COMMENCE WITH PLANTING UNTIL OWNER HAS APPROVED THE LOCATION AND LAYOUT OF ALL PLANT BEDS.
 - IF WORK IS NOT PROMPTLY OR PROPERLY PERFORMED BY THE CONTRACTOR, THE OWNER WILL, AT THEIR DISCRETION, HAVE THE WORK PERFORMED BY OTHERS. THE COST OF THE WORK BY OTHERS WILL BE DEDUCTED FROM THE CONTRACT AMOUNT.
 - MULCH ALL SHRUBS AND GROUND COVER PLANTING BEDS WITH A 2 INCH LAYER OF IMPORTED MULCH MATERIAL WITHIN 2 DAYS AFTER PLANTING.
 - COVER ENTIRE BED AREAS; APPLY EVENLY.
- ### EDGING INSTALLATION
- SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS, CURBS, AND PAVING WITH A 45 DEGREE, 4 TO 6 INCH DEEP, SHOVEL-CUT EDGE.
- ### MAINTENANCE
- MAINTAIN LANDSCAPE PLANTINGS FROM INSTALLATION UNTIL FINAL ACCEPTANCE.
 - MAINTAIN TREES, SHRUBS, AND GROUND COVER BY TRIMMING, PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - WATER TREES BY DEEP ROOT WATERING METHOD.
- ### WEEDING AND CLEANUP
- KEEP ALL LANDSCAPE AREAS CLEAN AND WEED FREE. KEEP ALL BUILDINGS, PAVEMENTS, AND OTHER EXTERIOR IMPROVEMENTS CLEAN AND FREE OF SOIL AND DEBRIS.
 - WEED ALL BEDS WEEKLY.
 - APPLY A 2 INCH LAYER OF MULCH MATERIAL TO SAUCER AREAS OF TREES AND SHRUBS LOCATED OUTSIDE OF PLANTING BEDS. PLACE MULCH NO CLOSER THAN 4 INCHES FROM TRUNKS OF WOODY PLANT MATERIAL AND AWAY FROM THE CROWNS OF HERBACEOUS PLANTS.

MATCHLINE SEE SHEET L1.2

20 DOCK DOORS

BUILDING
81,175 sq ft

OFFICE



EVERY INDUSTRIAL
10700 SW TUALATIN SHERWOOD RD.
TUALATIN, OR

SHEET TITLE
ENLARGED LANDSCAPE PLAN

DATE: 02/21/2022
DRAWN: KPM
CHECKED: CNH
REVISIONS:

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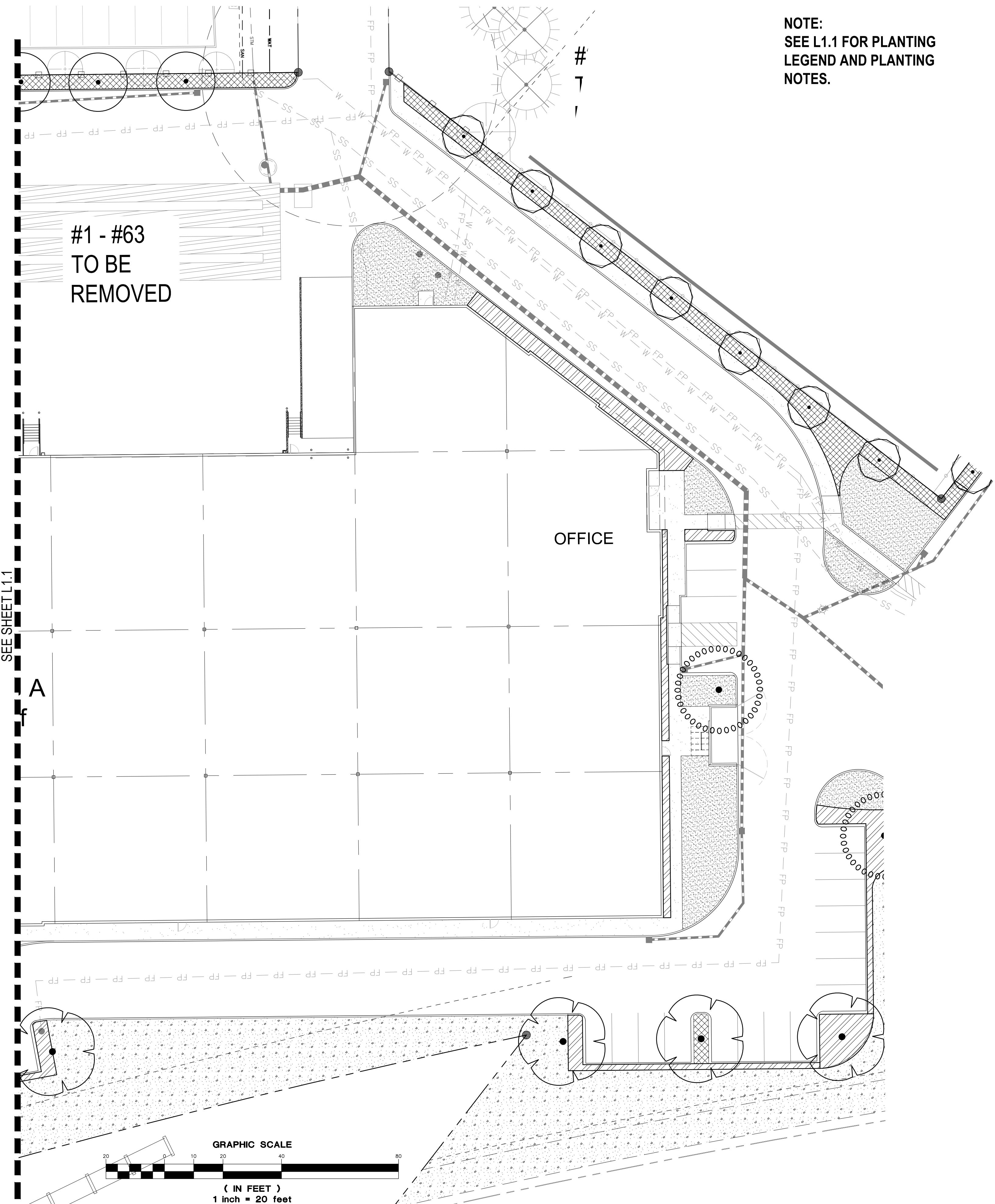
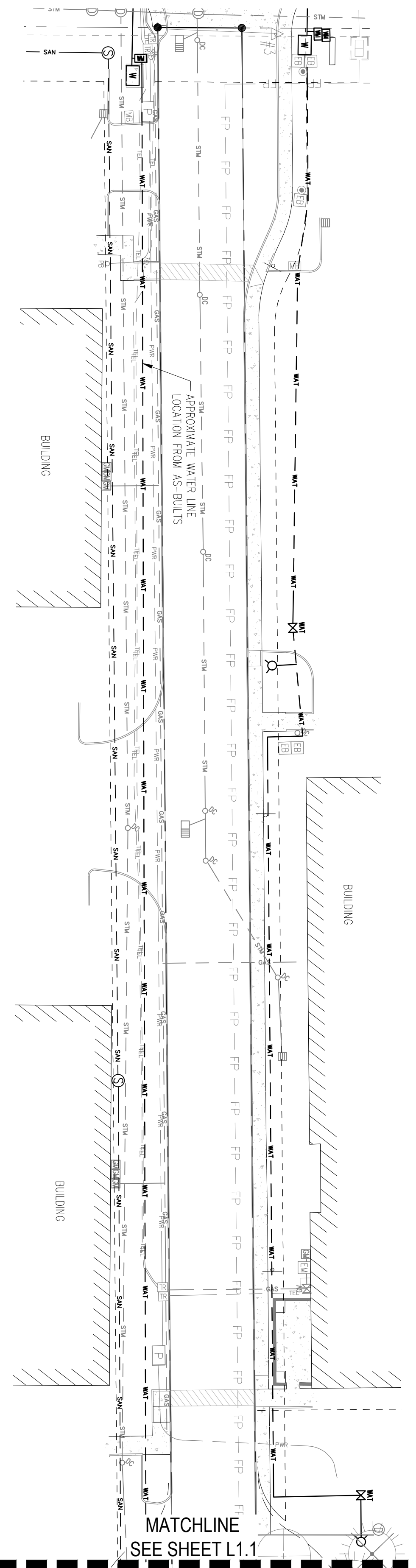
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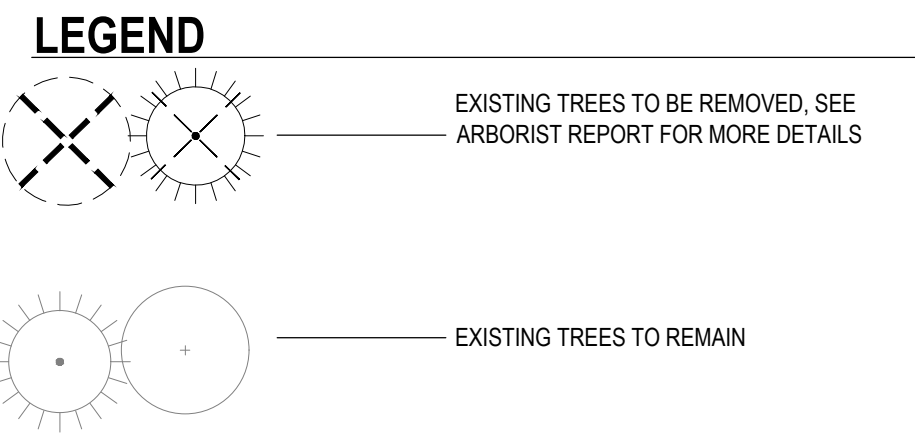
JOB NUMBER: A21195.10

DESIGN REVIEW - 03/25/2022

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NOTE:
SEE L1.1 FOR PLANTING
LEGEND AND PLANTING
NOTES.



PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF TUALATIN STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.
- SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS SPECIFICALLY ACCEPTED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES. SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS. PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED. COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF TUALATIN STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- COORDINATE INSTALLATION PLANTING MATERIALS WITH IRRIGATION. PLANT ONLY IN AREAS WHERE THE IRRIGATION SYSTEM IS COMPLETE AND FULLY OPERATIONAL.

PLANT HEALTH AND REPLACEMENT

- PROVIDE PLANT MATERIAL THAT IS HEALTHY NURSERY STOCK, WELL BRANCHED, AND FULL FOLIATED WHEN IN LEAF; AND FREE FROM DISEASE, INJURY, INSECTS, WEEDS AND WEED ROOTS.
 - PLANT MATERIALS NOT MEETING SPECIFICATION REQUIREMENTS WILL BE REJECTED.
- INITIAL INSPECTION OF PLANT MATERIAL**
- ASSEMBLE ALL PLANTS FOR EACH INSPECTION AT ONE LOCATION FOR INSPECTION TO BE COMPLETED IN ONE VISIT. ANY FURTHER INSPECTION REQUIRED DUE TO PLANTS BEING UNAVAILABLE, REJECTED, AND/OR NOT MEETING SPECIFICATIONS SHALL BE CHARGED TO THE CONTRACTOR AT THE CURRENT HOURLY RATE FOR THE LANDSCAPE ARCHITECT PERFORMING THE INSPECTION.
 - OWNER RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
 - REMOVE REJECTED TREES OR SHRUBS FROM PROJECT SITE WITHIN 24 HOURS.
 - REPLACE PLANT MATERIALS REJECTED BY OWNER AT NO ADDITIONAL EXPENSE TO OWNER.

PLANT LAYOUT AND INSPECTION

- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- LAYOUT OF MAJOR PLANTING AREAS AS INDICATED IN THE DRAWINGS ARE APPROXIMATE ONLY. OUTLINE IN THE FIELD LOCATIONS AND IDENTITY OF ALL TREES, SHRUBS AND GROUND COVERS, SUBJECT TO REVIEW AND APPROVAL.
- INSPECTION: NOTIFY THE OWNER 48 HOURS PRIOR TO BEGINNING PLANTING. THE OWNER MAY ADJUST PLANT MATERIAL LOCATION TO MEET FIELD CONDITIONS.
- DO NOT COMMENCE WITH PLANTING UNTIL OWNER HAS APPROVED THE LOCATION AND LAYOUT OF ALL PLANT BEDS.
- IF WORK IS NOT PROMPTLY OR PROPERLY PERFORMED BY THE CONTRACTOR, THE OWNER WILL, AT THEIR DISCRETION, HAVE THE WORK PERFORMED BY OTHERS. THE COST OF THE WORK BY OTHERS WILL BE DEDUCTED FROM THE CONTRACT AMOUNT.
- MULCH ALL SHRUBS AND GROUND COVER PLANTING BEDS WITH A 2 INCH LAYER OF IMPORTED MULCH MATERIAL WITHIN 2 DAYS AFTER PLANTING.
- COVER ENTIRE BED AREAS; APPLY EVENLY.

EDGING INSTALLATION

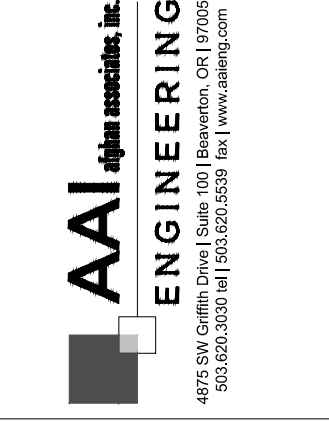
- SHOVEL-CUT EDGING: SEPARATE MULCHED AREAS FROM TURF AREAS, CURBS, AND PAVING WITH A 45 DEGREE, 4 TO 6 INCH DEEP, SHOVEL-CUT EDGE.

MAINTENANCE

1. MAINTAIN LANDSCAPE PLANTINGS FROM INSTALLATION UNTIL FINAL ACCEPTANCE.
2. MAINTAIN TREES, SHRUBS, AND GROUND COVER BY TRIMMING, PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
3. WATER TREES BY DEEP ROOT WATERING METHOD.

WEEDING AND CLEANUP

- KEEP ALL LANDSCAPE AREAS CLEAN AND WEED FREE. KEEP ALL BUILDINGS, PAVEMENTS, AND OTHER EXTERIOR IMPROVEMENTS CLEAN AND FREE OF SOIL AND DEBRIS.
- WEED ALL BEDS WEEKLY.
- APPLY A 2 INCH LAYER OF MULCH MATERIAL TO SAUCER AREAS OF TREES AND SHRUBS LOCATED OUTSIDE OF PLANTING BEDS. PLACE MULCH NO CLOSER THAN 4 INCHES FROM TRUNKS OF WOODY PLANT MATERIAL AND AWAY FROM THE CROWNS OF HERBACEOUS PLANTS.



AVERY INDUSTRIAL
10700 SW TUALATIN SHERWOOD RD.
TUALATIN, OR

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PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AB2	26	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	1.5" CAL.	
	FU2	8	FRAXINUS PENNSYLVANICA 'URBANITE' LARGE	URBANITE ASH	1.5" CAL.	
	GI	11	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE' SMALL	THORNLESS HONEY LOCUST	1.5" CAL.	
	QS	22	QUERCUS ROBUR 'SKYROCKET'	SKYROCKET ENGLISH OAK	1.5" CAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	FL	270	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	1 GAL.	18" o.c.

LEGEND

EXISTING TREES TO BE REMOVED, SEE ARBORIST REPORT FOR MORE DETAILS

EXISTING TREES TO REMAIN

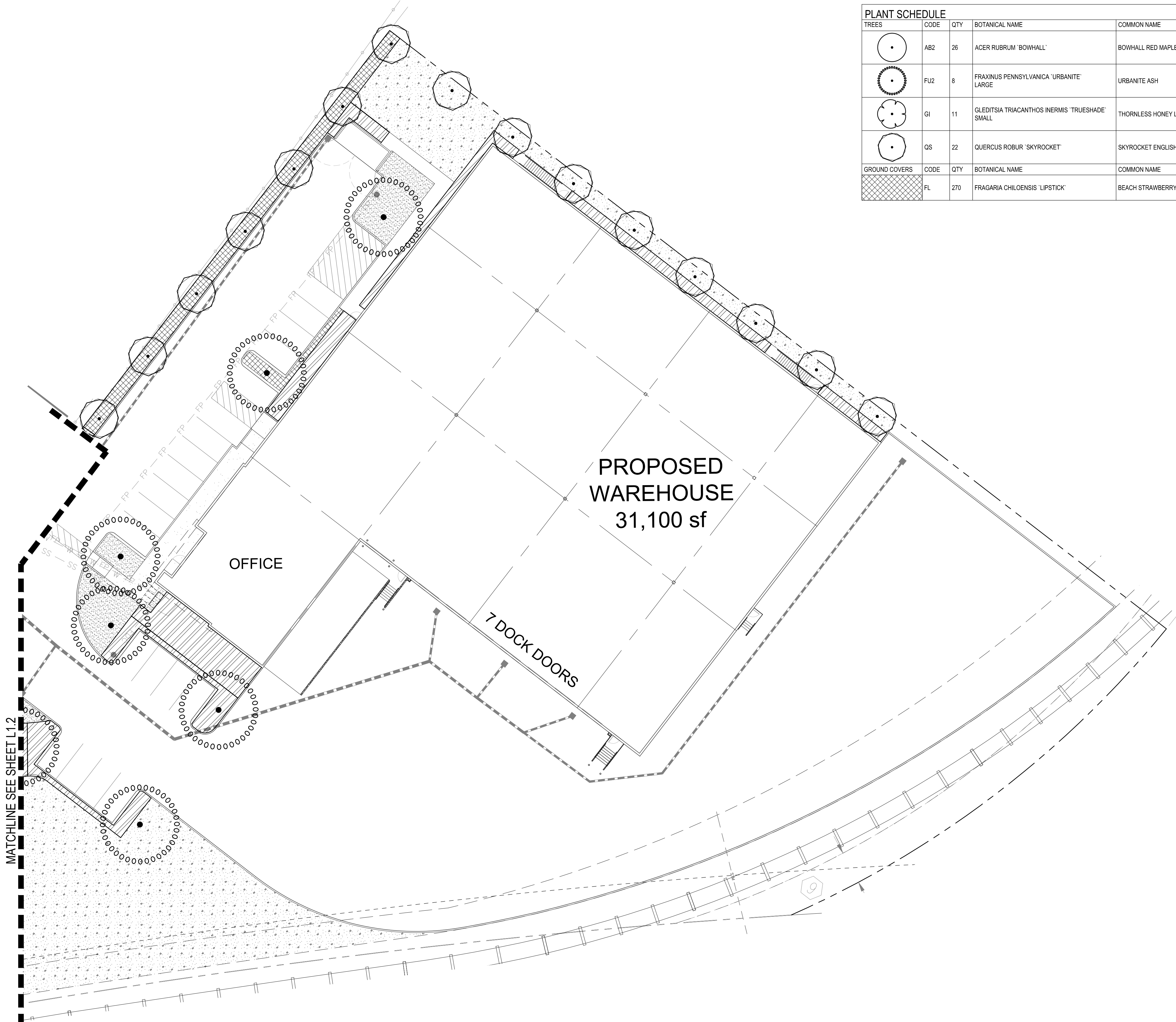
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TREE PROTECTION FENCE

CONCEPT PLANT SCHEDULE

	SHRUB PLANTING BEDS ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / KALEIDOSCOPE GLOSSY ABELIA CISTUS X CYPRIUS / BICOLOR ROCK ROSE CORNUS SERICEA 'KELSEY' / KELSEY'S DWARF RED TWIG DOGWOOD DAPHNE X BURKWOODII 'CAROL MACKIE' / CAROL MACKIE DAPHNE HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA HYDRANGEA MACROPHYLLA 'PIA' / PIA DWARF HYDRANGEA ILEX CRENATA 'LEMON GEM' / LEMON GEM JAPANESE HOLLY LEUCOTHOE FONTANESIANA 'ZEBLID' TM / SCARLETTA DROOPING LEUCOTHOE LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF NANDINA DOMESTICA 'COMPACTA' / DWARF HEAVENLY BAMBOO NANDINA DOMESTICA 'FIREPOWER' / FIREPOWER HEAVENLY BAMBOO NANDINA DOMESTICA 'SIENNA SUNRISE' / SIENNA SUNRISE HEAVENLY BAMBOO PIERIS JAPONICA 'BROOKSIDE MINIATURE' / BROOKSIDE MINIATURE JAPANESE PIERIS SPIRAEA JAPONICA 'SMSJMLG' TM / LIL' SIZZLE JAPANESE SPIREA VIBURNUM DAVIDII / DAVID VIBURNUM WEIGELA FLORIDA 'BOKRASPIWI' TM / SPILLED WINE WEIGELA	8,207 SF
	EVERGREEN HEDGE ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA ARBUTUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE AZALEA X 'ROBLEE' TM / AUTUMN SANGRIA ENCORE AZALEA CEANOTHUS THYRSIFLORUS 'VICTORIA' / VICTORIA CEANOTHUS CHOISYA TERNATA / MEXICAN ORANGE EUONYMUS JAPONICUS 'SILVER KING' / SILVER KING EUONYMUS GAULTHERIA SHALLOO / SALAL ILEX GLABRA 'SHAMROCK' / INK BERRY LONICERA NITIDA 'LEMON BEAUTY' / BOXLEAF HONEYSUCKLE MAHONIA AQUIFOLIUM / OREGON GRAPE RHODODENDRON X 'JEAN MARIE DE MONTAGUE' / JEAN MARIE DE MONTAGUE RHODODENDRON VIBURNUM TINUS 'SPRING BOUQUET' / SPRING BOUQUET LAURESTINUS	6,560 SF 39,266 9,817 61,353 39,266 39,266 109,072 61,353 39,266 39,266 61,353 27,288 39,266
	LAWN	7,697 SF
	NATIVE ECOLOGY SEED	32,402 SF

NOTE:
SEE L1.1 FOR PLANTING NOTES.



GRAPHIC SCALE

(IN FEET)
1 inch = 20 feet