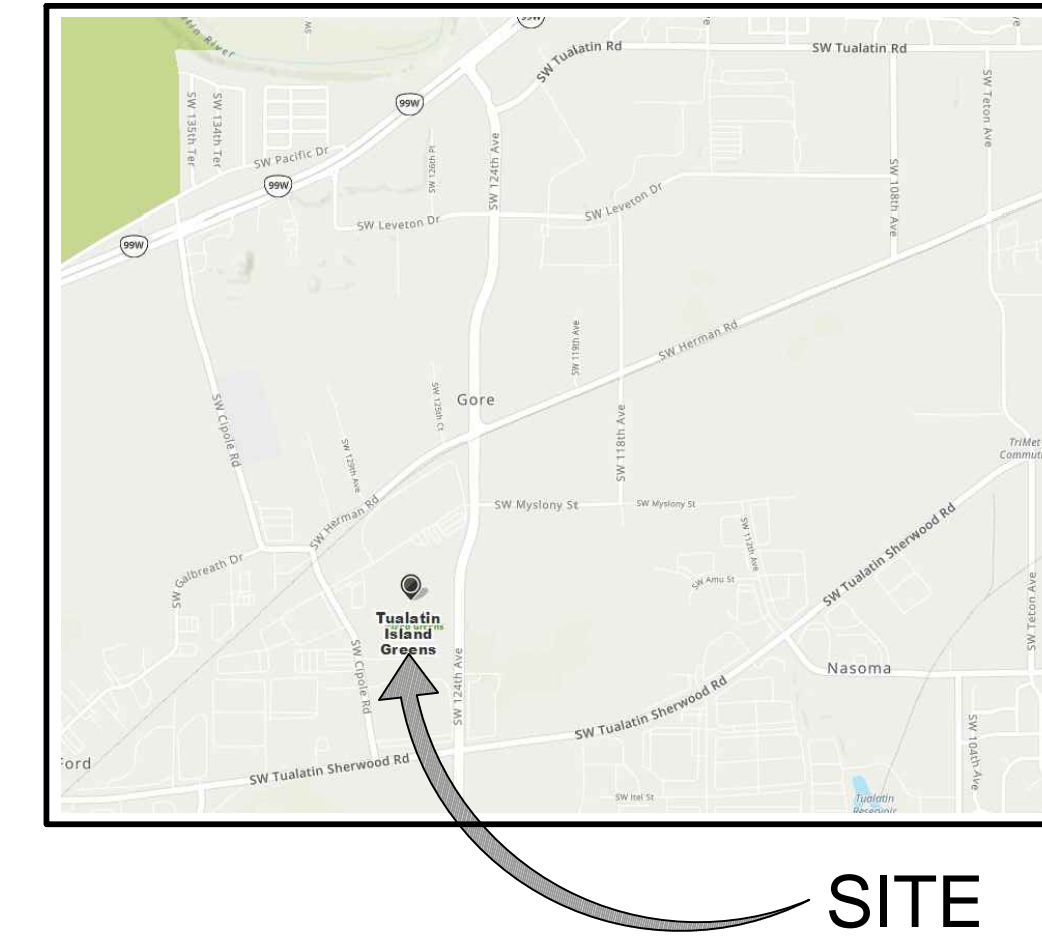


Tualatin Logistics Park

A New Distribution Facility
20400 Southwest Cipole Road
Tualatin, Oregon 97062

Vicinity Map:



Project Directory:

DEVELOPER:
Specht Development, Inc.
10260 Southwest Greenburg Road, Suite 170
Portland, Oregon 97223
Phone: (503) 646-2202
Contact: Peter Skei, Tyler Reeves

ENGINEER:
VLMK Engineering + Design
3933 South Kelly Avenue
Portland, Oregon 97239
Phone: (503) 222-4453
Contact: Havlin Kemp, Kurt Nakashima

CONTRACTOR:
Perlo Construction
11450 Southwest Annu Street
Tualatin, Oregon 97062
Phone: (503) 624-2090
Contact: Chris McLaughlin

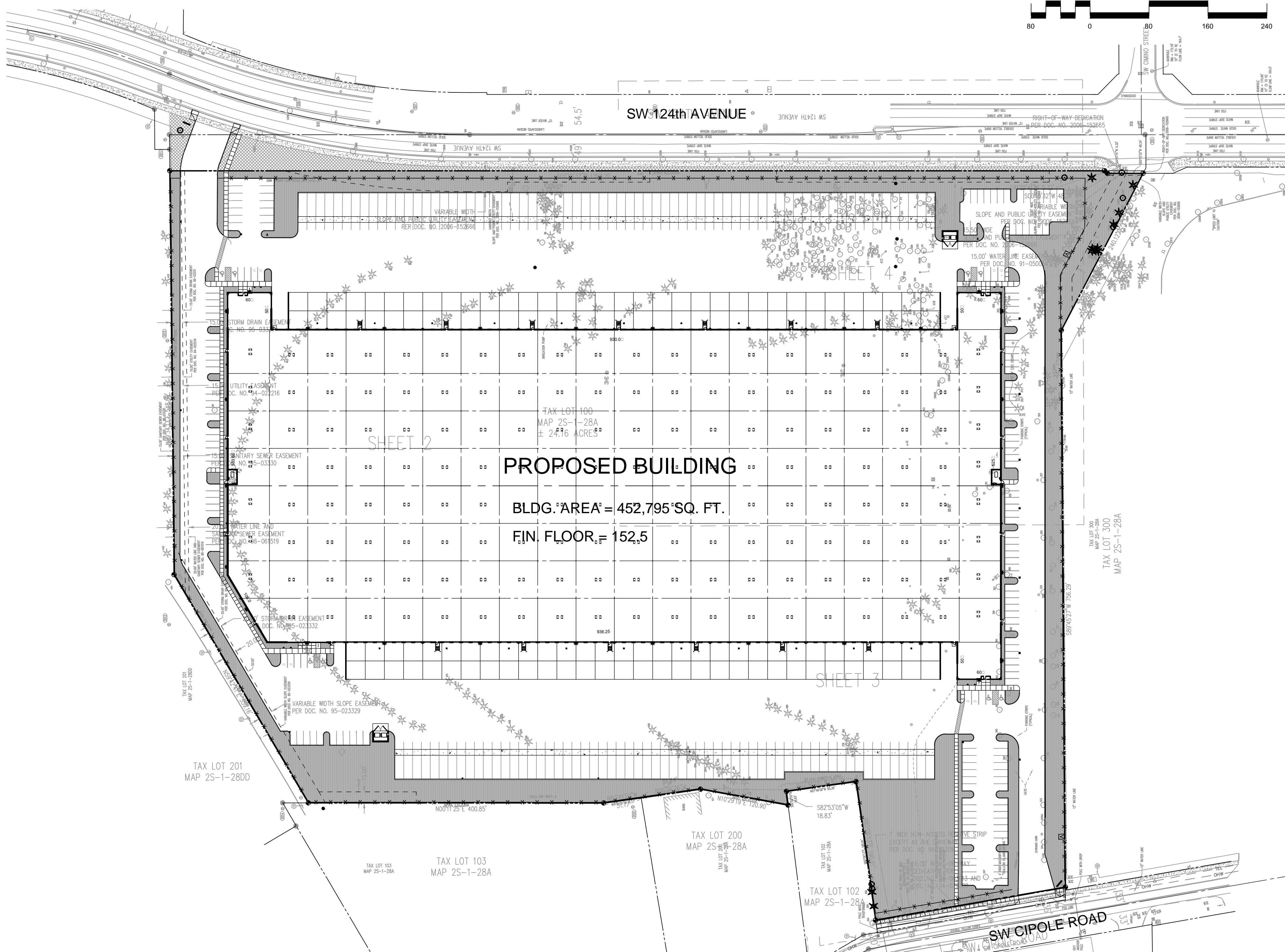
SURVEYOR:
Northwest Surveying, Inc.
1815 Northwest 169th Place Suite 2090
Beaverton, Oregon 97006
Phone: (503) 848-2127
Contact: Corey Watson

JURISDICTION:
Tualatin, Oregon
18880 Southwest Martinazzi Avenue
Tualatin, Oregon 97062
Phone: (503) 692-2000
Contact: Chris Ragland

LANDSCAPE ARCHITECT:
Otten and Associates
3933 South Kelly Avenue, Suite B
Portland, Oregon 97239
Phone: (503) 972-0311
Contact: Erin Holsonback

GEOTECHNICAL ENGINEER:
Geo Designs, Inc.
9450 Southwest Commerce Circle Suite 300
Wilsonville, Oregon 97070
Phone: (503) 968-8787
Contact: George Saunders

General Site Plan - Reference Only



Separate Permits / Deferred Submittals

NO.	SYSTEM DESCRIPTION	SUB-CONTRACTOR	SUBMITTAL
1	STEEL ROOF JOISTS AND GIRDERS	TO BE DETERMINED	SHOP DRAWINGS
2	ELECTRICAL	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
3	MECHANICAL	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
4	FIRE PROTECTION	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
5	PLUMBING	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
6	EMERGENCY RESPONDER RADIO	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
7	LANDSCAPE IRRIGATION	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
8	RACKING	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR
9	OFFICE IMPROVEMENTS	TO BE DETERMINED	DIRECTLY TO CITY BY ARCHITECT
10			

DEFERRED SUBMITTAL NOTE:
IN ACCORDANCE WITH IBC, SECTION 107.5.4.1 DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY VLMK PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL FOR PERMIT APPROVAL. THE SUB-CONTRACTOR OR VENDOR IS RESPONSIBLE TO PROVIDE CUSTOMARY DESIGN DOCUMENTS AND PERMIT COORDINATION FOR THEIR DEFERRED SUBMITTAL ITEMS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

APPLICABLE CODES AND STANDARDS INCLUDE:
2019 O.S.S.C., 2019 O.M.S.C., 2017 O.P.S.C., 2017 O.E.S.C., 2019 O.E.E.S.C. AND 2009 ICC ANS I 17.1

Building Codes:

APPLICABLE CODES AND STANDARDS INCLUDE:

1	BUILDING	2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
2	MECHANICAL	2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)
3	PLUMBING	2017 OREGON PLUMBING SPECIALTY CODE (OPSC)
4	ELECTRICAL	2017 OREGON ELECTRICAL SPECIALTY CODE (OESC)
5	FIRE	2019 OREGON FIRE CODE (OFCC)
6	ENERGY	2019 OREGON ZERO ENERGY READY COMMERCIAL CODE (ZERCC)
7	ADA	2010 STANDARDS FOR ACCESSIBLE DESIGN
8	N.F.P.A.	NATIONAL FIRE PROTECTION AGENCY

Schedule of Drawings:

SHEET	TITLE	DATE	REVISIONS
CVR1.0	COVER SHEET	07/29/21	
G1.0	SITE PLAN	07/29/21	
G2.0	SITE DETAILS	07/29/21	
TT1.0	TRUCK TURNING PLAN	07/29/21	
LT1.0	SITE LIGHTING PLAN	07/29/21	
LT1.1	SITE LIGHTING DETAILS	07/29/21	
C1.0	OVERALL GRADING PLAN	07/29/21	
C1.1	ENLARGED GRADING PLAN N.E. CORNER	07/29/21	
C1.2	ENLARGED GRADING PLAN S.E. CORNER	07/29/21	
C1.3	ENLARGED GRADING PLAN S.W. CORNER	07/29/21	
C1.4	ENLARGED GRADING PLAN N.W. CORNER	07/29/21	
C2.0	OVERALL UTILITY PLAN	07/29/21	
C2.1	ENLARGED UTILITY PLAN N.E. CORNER	07/29/21	
C2.2	ENLARGED UTILITY PLAN S.E. CORNER	07/29/21	
C2.3	ENLARGED UTILITY PLAN S.W. CORNER	07/29/21	
C2.4	ENLARGED UTILITY PLAN N.W. CORNER	07/29/21	
C2.5	UTILITY DETAILS	07/29/21	
C2.6	UTILITY DETAILS	07/29/21	
C2.7	UTILITY DETAILS	07/29/21	
C3.0	EROSION AND SEDIMENT CONTROL COVER	07/29/21	
C3.1	CLEARING AND DEMOLITION ESCP OVERALL PLAN	07/29/21	
C3.2	CLEARING AND DEMOLITION PLAN N.E.C.	07/29/21	
C3.3	CLEARING AND DEMOLITION PLAN S.E.C.	07/29/21	
C3.4	CLEARING AND DEMOLITION PLAN S.W.C.	07/29/21	
C3.5	CLEARING AND DEMOLITION PLAN N.W.C.	07/29/21	
C3.6	GRADING AND UTILITY CONSTRUCTION ESCP OVERALL PLAN	07/29/21	
C3.7	GRADING AND UTILITY CONSTRUCTION ESCP N.E.C.	07/29/21	
C3.8	GRADING AND UTILITY CONSTRUCTION ESCP S.E.C.	07/29/21	
C3.9	GRADING AND UTILITY CONSTRUCTION ESCP S.W.C.	07/29/21	
C3.10	GRADING AND UTILITY CONSTRUCTION ESCP N.W.C.	07/29/21	
C3.11	EROSION AND SEDIMENT CONTROL DETAILS	07/29/21	
C4.0	OVERALL SITE AND PAVING PLAN	07/29/21	
C4.1	ENLARGED PAVING AND STRIPING PLAN N.E. SECTION	07/29/21	
C4.2	ENLARGED PAVING AND STRIPING PLAN S.E. SECTION	07/29/21	
C4.3	ENLARGED PAVING AND STRIPING PLAN S.W. SECTION	07/29/21	
C4.4	ENLARGED PAVING AND STRIPING PLAN N.W. SECTION	07/29/21	
FS1.0	FIRE SUPPLY PLAN	07/29/21	
L1.0	OVERALL LANDSCAPE SITE PLAN	07/29/21	
L1.1	LANDSCAPE PLAN	07/29/21	
L1.2	LANDSCAPE PLAN	07/29/21	
L1.3	LANDSCAPE PLAN	07/29/21	
L1.4	LANDSCAPE PLAN	07/29/21	
L2.0	LANDSCAPE DETAILS AND SPECIFICATIONS	07/29/21	
A0.0	CODE REVIEW	07/29/21	
A0.1	ENLARGED CODE REVIEW FLOOR PLANS AND ADA DETAILS	07/29/21	
A1.0	OVERALL FLOOR	07/29/21	
A1.1	ENLARGED FLOOR PLAN - NORTHEAST	07/29/21	
A1.2	ENLARGED FLOOR PLAN - SOUTHWEST	07/29/21	
A1.3	ENLARGED FLOOR PLAN - NORTHWEST	07/29/21	
A1.4	ENLARGED FLOOR PLAN - SOUTHWEST	07/29/21	
A2.0	OVERALL BUILDING ELEVATIONS	07/29/21	
A2.1	ENLARGED BUILDING ELEVATIONS	07/29/21	
A2.2	ENLARGED BUILDING ELEVATIONS	07/29/21	
A2.3	BUILDING SECTIONS AND COLORS	07/29/21	
A3.0	WALL SECTIONS	07/29/21	
A3.1	WALL SECTIONS	07/29/21	
A3.2	WALL SECTIONS	07/29/21	
A3.3	WALL SECTIONS	07/29/21	
A4.0	ARCHITECTURAL DETAILS	07/29/21	
A4.1	ARCHITECTURAL DETAILS	07/29/21	
A5.0	ROOF PLAN AND DETAILS	07/29/21	
A5.1	ROOF DETAILS	07/29/21	
A5.2	ROOF DETAILS	07/29/21	
A6.0	SPECIFICATIONS	07/29/21	
A6.1	SPECIFICATIONS	07/29/21	
A6.2	SPECIFICATIONS	07/29/21	
S0.0	SPECIAL INSPECTIONS AND NOTES	07/29/21	
S1.0	OVERALL FOUNDATION PLAN AND SCHEDULES	07/29/21	
S1.1	ENLARGED FOUNDATION PLAN N.E. CORNER	07/29/21	
S1.2	ENLARGED FOUNDATION PLAN S.E. CORNER	07/29/21	
S1.3	ENLARGED FOUNDATION PLAN S.W. CORNER	07/29/21	
S1.4	ENLARGED FOUNDATION PLAN N.W. CORNER	07/29/21	
S2.0	FOUNDATION DETAILS	07/29/21	
S2.1	FOUNDATION DETAILS	07/29/21	
S3.0	OVERALL ROOF FRAMING PLAN	07/29/21	
S3.1	ENLARGED ROOF FRAMING PLAN N.E. CORNER	07/29/21	
S3.2	ENLARGED ROOF FRAMING PLAN S.E. CORNER	07/29/21	
S3.3	ENLARGED ROOF FRAMING PLAN S.W. CORNER	07/29/21	
S3.4	ENLARGED ROOF FRAMING PLAN N.W. CORNER	07/29/21	
S4.0	ROOF FRAMING DETAILS	07/29/21	
S4.1	ROOF FRAMING DETAILS	07/29/21	
S4.2	ROOF FRAMING DETAILS	07/29/21	
S5.0	PANEL ELEVATIONS NORTH AND EAST	07/29/21	
S5.1	PANEL ELEVATIONS SOUTH AND WEST	07/29/21	
S6.0	TYPICAL PANEL ELEVATIONS	07/29/21	
S6.1	TYPICAL PANEL ELEVATIONS	07/29/21	
S6.2	PANEL DETAILS	07/29/21	
S7.0	BRFF ELEVATIONS AND DETAILS	07/29/21	
S8.0	CANOPY FRAMING PLANS AND DETAILS	07/29/21	
FP001	FIRE PROTECTION NOTES	07/29/21	
FP101	FIRE PROTECTION SITE PLAN AND DETAILS	07/29/21	
FP401	FIRE PUMP ROOM	07/29/21	
FA001	FIRE ALARM NOTES AND DETAILS	07/29/21	
P2.0	PLUMBING PLAN	07/29/21	
MT0.1	MECHANICAL TITLE SHEET	07/29/21	
M2.0	HVAC PLAN	07/29/21	
E1.0	POWER SITE PLAN - NORTH	07/29/21	
E2.0	POWER SITE PLAN - SOUTH	07/29/21	
EL1.0	SITE PHOTOMETRIC PLAN	07/29/21	
C	CIVIL CALCULATIONS	07/29/21	
	STRUCTURAL CALCULATIONS	07/29/21	

BID SET
ARCH. REVIEW SET
PERMIT SET
CONSTRUCTION SET
RECORD SET

PROJECT: TUALATIN LOGISTICS PARK
 VLMK PROJECT #: 20190311
 DATE: JUNE 2021



TUALATIN LOGISTICS PARK
 10260 SW Greenburg Road
 Suite 170
 Portland, Oregon 97223
 503.646.2202
SPECHTPROP.COM

20400 SW Cipole Road
 TUALATIN, OREGON 97062

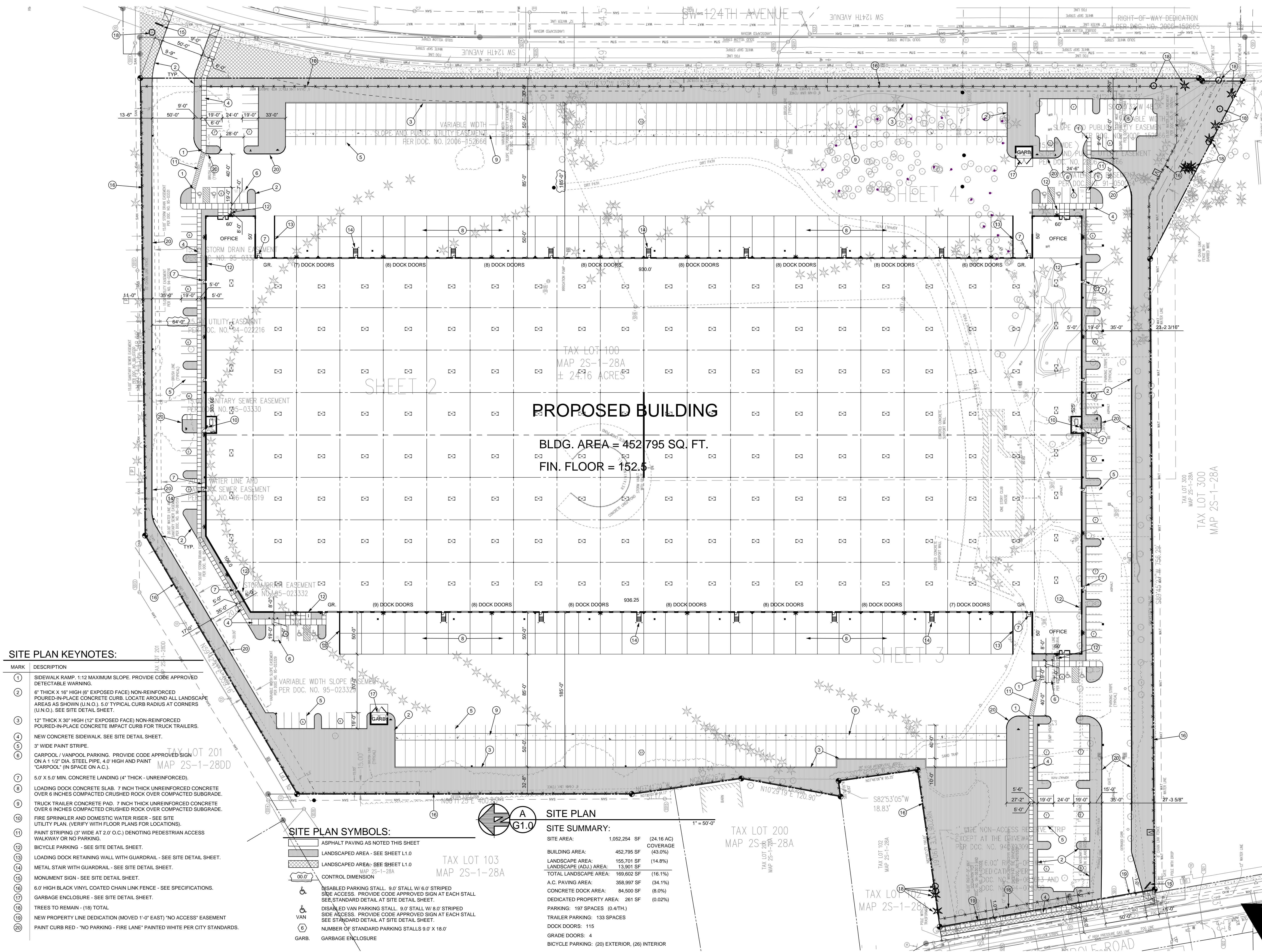
REVISIONS

DATE	DESCRIPTION

DATE: APRIL 2021
 SCALE: AS NOTED
 PROJ. NO.: 20190311
 DRAWN: KAN
 CHECKED: HGK

SITE PLAN

G1.0



SITE PLAN KEYNOTES:

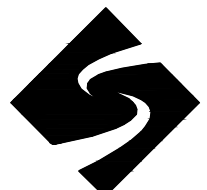
MARK	DESCRIPTION
1	SIDEWALK RAMP. 1:12 MAXIMUM SLOPE. PROVIDE CODE APPROVED DETECTABLE WARNING.
2	6" THICK X 16" HIGH (6" EXPOSED FACE) NON-REINFORCED POURED-IN-PLACE CONCRETE CURB. LOCATE AROUND ALL LANDSCAPE AREAS AS SHOWN (U.N.O.). 5.0' TYPICAL CURB RADIUS AT CORNERS (U.N.O.). SEE SITE DETAIL SHEET.
3	12" THICK X 30" HIGH (12" EXPOSED FACE) NON-REINFORCED POURED-IN-PLACE CONCRETE IMPACT CURB FOR TRUCK TRAILERS.
4	NEW CONCRETE SIDEWALK. SEE SITE DETAIL SHEET.
5	3" WIDE PAINT STRIPE.
6	CARPOOL / VANPOOL PARKING. PROVIDE CODE APPROVED SIGN ON A 1-1/2" DIA. STEEL PIPE, 4.0' HIGH AND PAINT "CARPOOL" (IN SPACE ON A.C.).
7	5.0' X 5.0' MIN. CONCRETE LANDING (4" THICK - UNREINFORCED).
8	LOADING DOCK CONCRETE SLAB. 7 INCH THICK UNREINFORCED CONCRETE OVER 6 INCHES COMPACTED CRUSHED ROCK OVER COMPACTED SUBGRADE.
9	TRUCK TRAILER CONCRETE PAD. 7 INCH THICK UNREINFORCED CONCRETE OVER 6 INCHES COMPACTED CRUSHED ROCK OVER COMPACTED SUBGRADE.
10	FIRE SPRINKLER AND DOMESTIC WATER RISER - SEE SITE UTILITY PLAN. (VERIFY WITH FLOOR PLANS FOR LOCATIONS).
11	PAINT STRIPING (3" WIDE AT 2.0' O.C.) DENOTING PEDESTRIAN ACCESS WALKWAY OR NO PARKING.
12	BICYCLE PARKING - SEE SITE DETAIL SHEET.
13	LOADING DOCK RETAINING WALL WITH GUARDRAIL - SEE SITE DETAIL SHEET.
14	METAL STAIR WITH GUARDRAIL - SEE SITE DETAIL SHEET.
15	MONUMENT SIGN - SEE SITE DETAIL SHEET.
16	6.0' HIGH BLACK VINYL COATED CHAIN LINK FENCE - SEE SPECIFICATIONS.
17	GARBAGE ENCLOSURE - SEE SITE DETAIL SHEET.
18	TREES TO REMAIN - (18) TOTAL
19	NEW PROPERTY LINE DEDICATION (MOVED 1'-0" EAST) "NO ACCESS" EASEMENT
20	PAINT CURB RED - "NO PARKING - FIRE LANE" PAINTED WHITE PER CITY STANDARDS.

SITE PLAN SYMBOLS:

- [Symbol] ASPHALT PAVING AS NOTED THIS SHEET
- [Symbol] LANDSCAPED AREA - SEE SHEET L1.0
- [Symbol] LANDSCAPED AREA - SEE SHEET L1.0
- [Symbol] CONTROL DIMENSION
- [Symbol] DISABLED PARKING STALL. 9.0' STALL W/ 6.0' STRIPED SIDE ACCESS. PROVIDE CODE APPROVED SIGN AT EACH STALL SEE STANDARD DETAIL AT SITE DETAIL SHEET.
- [Symbol] DISABLED VAN PARKING STALL. 9.0' STALL W/ 8.0' STRIPED SIDE ACCESS. PROVIDE CODE APPROVED SIGN AT EACH STALL SEE STANDARD DETAIL AT SITE DETAIL SHEET.
- [Symbol] NUMBER OF STANDARD PARKING STALLS 9.0' X 18.0'
- [Symbol] GARB. GARBAGE ENCLOSURE

SITE SUMMARY:

SITE AREA:	1,052,254 SF (24.16 AC)
COVERAGE:	43.0%
BUILDING AREA:	452,795 SF (14.8%)
LANDSCAPE AREA:	155,701 SF (14.8%)
LANDSCAPE (ADJ.) AREA:	13,901 SF
TOTAL LANDSCAPE AREA:	169,602 SF (16.1%)
A.C. PAVING AREA:	358,997 SF (34.1%)
CONCRETE DOCK AREA:	84,500 SF (8.0%)
DEDICATED PROPERTY AREA:	261 SF (0.02%)
PARKING:	197 SPACES (0.47H)
TRAILER PARKING:	133 SPACES
DOCK DOORS:	115
GRADE DOORS:	4
BICYCLE PARKING:	(20) EXTERIOR, (26) INTERIOR



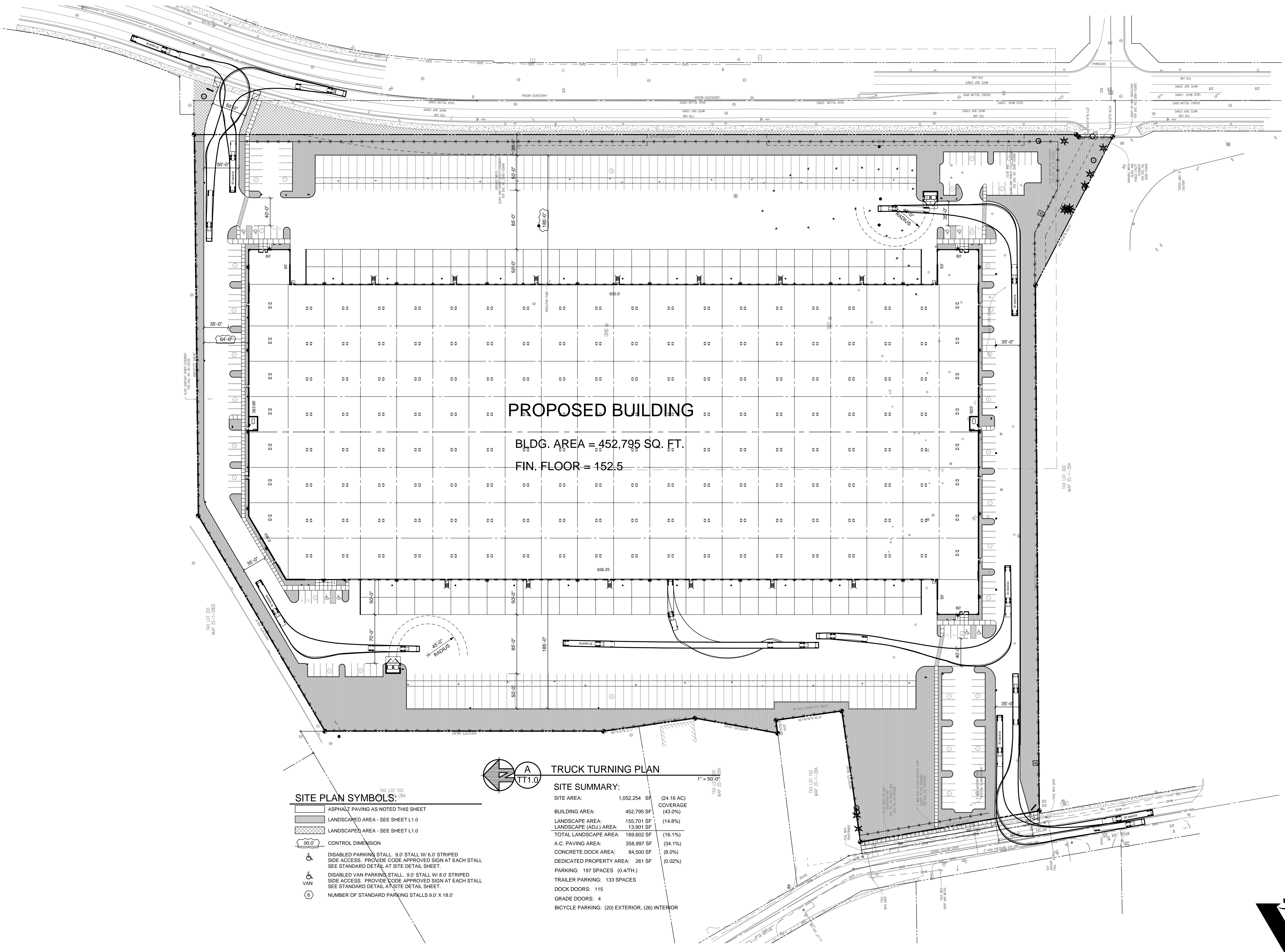
REVISIONS

DATE	DESCRIPTION

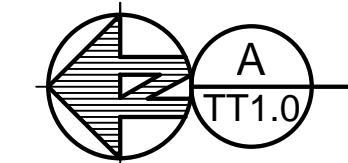
DATE	APRIL 2021
SCALE	AS NOTED
DRAWN	KAN
CHECKED	HGK
PROJ. NO.	20190311

**TRUCK
TURNING
PLAN**

TT1.0



PROPOSED BUILDING
BLDG. AREA = 452,795 SQ. FT.
FIN. FLOOR = 152.5



TRUCK TURNING PLAN

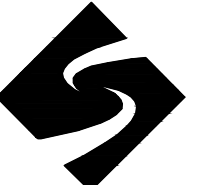
SITE SUMMARY:

SITE AREA:	1,052,254 SF	(24.16 AC)	COVERAGE
BUILDING AREA:	452,795 SF	(43.0%)	
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TRAILER PARKING:	133 SPACES		
DOCK DOORS:	115		
GRADE DOORS:	4		
BICYCLE PARKING:	(20) EXTERIOR, (26) INTERIOR		

SITE PLAN SYMBOLS:

	ASPHALT PAVING AS NOTED THIS SHEET
	LANDSCAPED AREA - SEE SHEET L1.0
	LANDSCAPED AREA - SEE SHEET L1.0
	CONTROL DIMENSION
	DISABLED PARKING STALL. 9'0" STALL W/ 6'0" STRIPED SIDE ACCESS. PROVIDE CODE APPROVED SIGN AT EACH STALL SEE STANDARD DETAIL AT SITE DETAIL SHEET.
	DISABLED VAN PARKING STALL. 9'0" STALL W/ 8'0" STRIPED SIDE ACCESS. PROVIDE CODE APPROVED SIGN AT EACH STALL SEE STANDARD DETAIL AT SITE DETAIL SHEET.
	NUMBER OF STANDARD PARKING STALLS 9'0" X 18'0"

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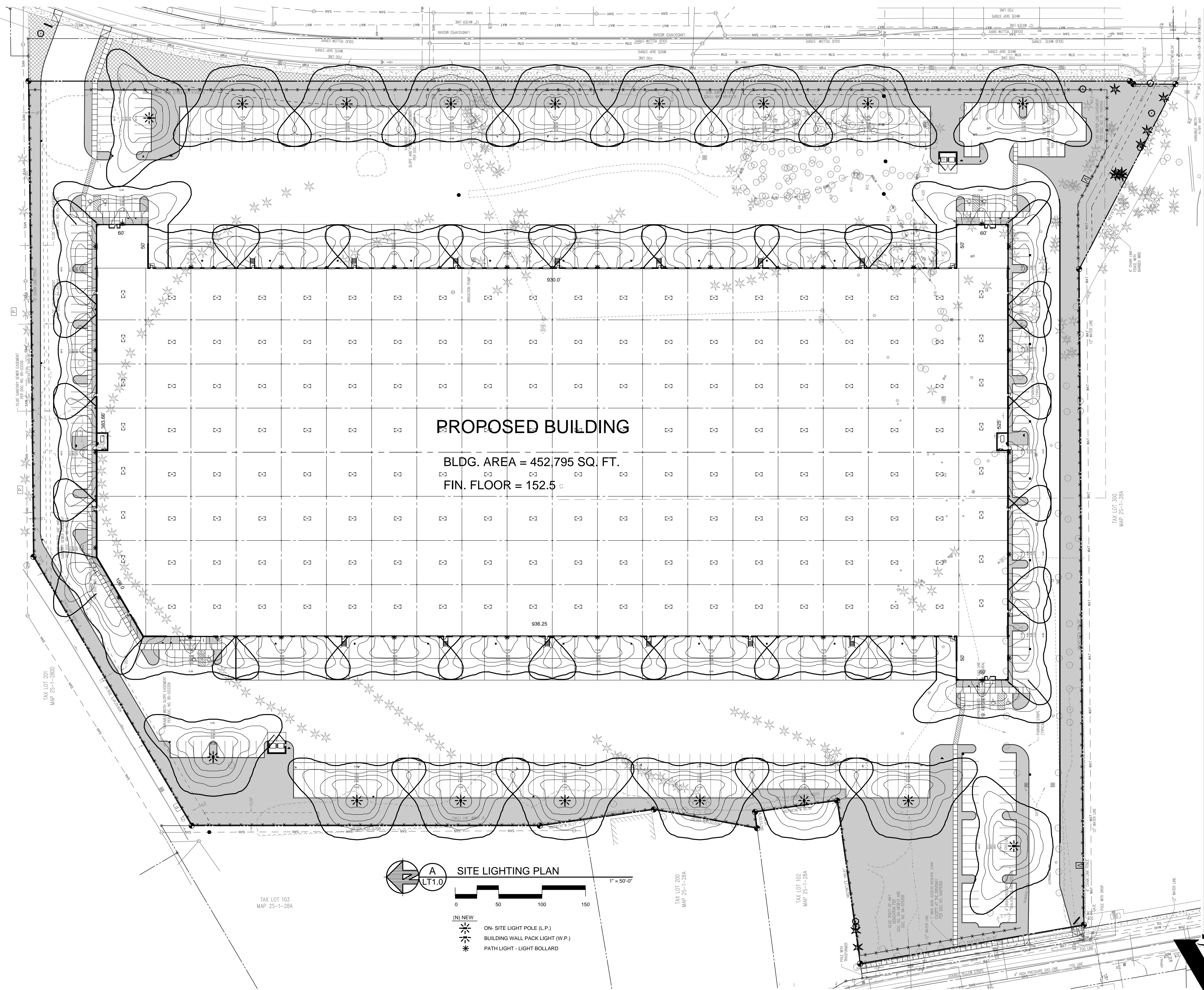
REVISIONS

DATE	DESCRIPTION

DATE	APRIL 2021
SCALE	AS NOTED
DRAWN	KAN
CHECKED	HGK
PROJ. NO.	20190311

SITE LIGHTING PLAN

LT1.0



A
LT1.0
SITE LIGHTING PLAN

1" = 50'-0"

0 50 100 150

(N) NEW

- ON-SITE LIGHT POLE (L.P.)
- BUILDING WALL PACK LIGHT (W.P.)
- PATH LIGHT - LIGHT BOLLARD

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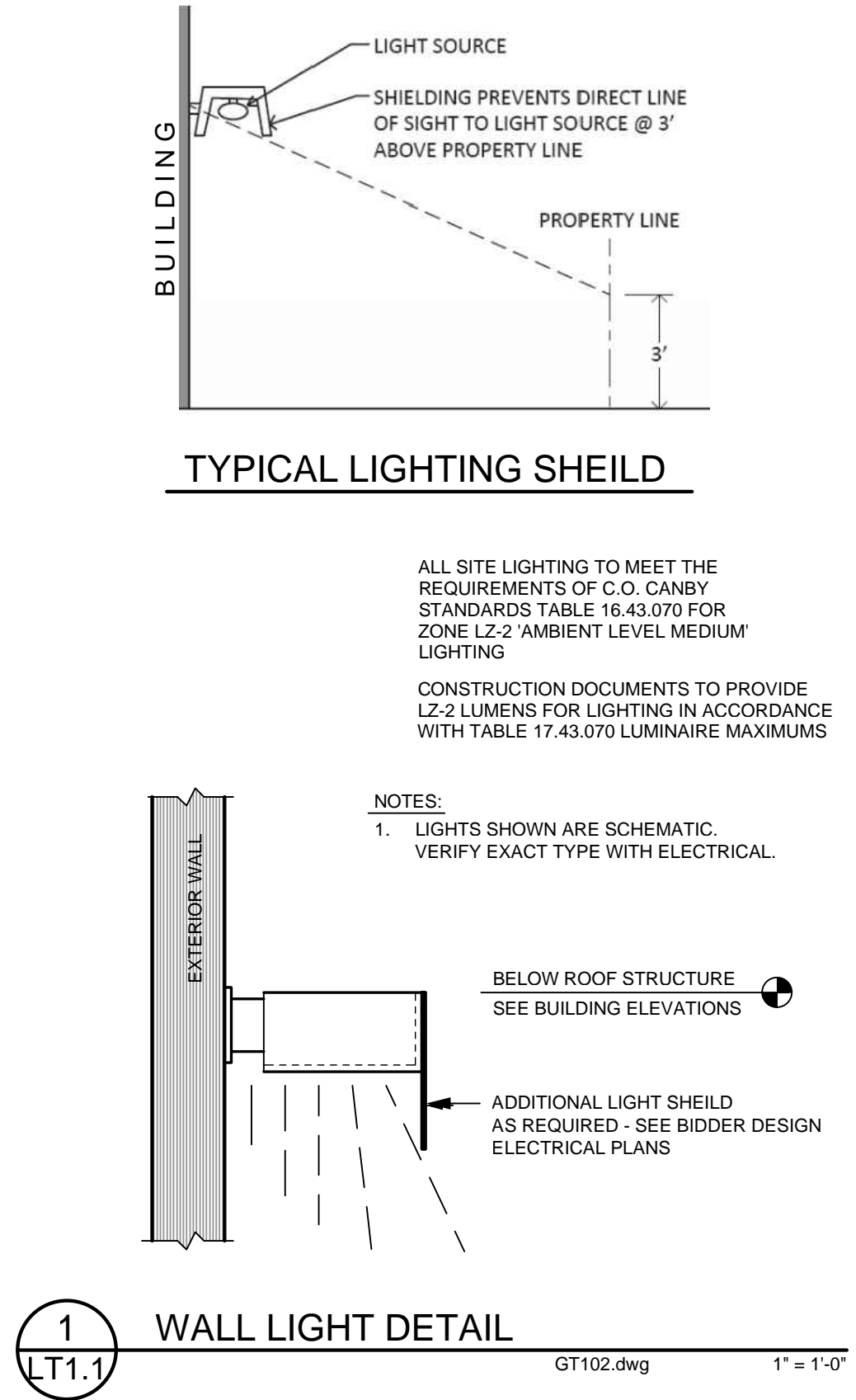
REVISIONS

DATE	DESCRIPTION

DATE	
SCALE	PROJ. NO.
AS NOTED	20190311
DRAWN	CHECKED
KAN	HGK

SITE LIGHTING DETAILS

LT1.1



1 WALL LIGHT DETAIL
GT1102.dwg 1" = 1'-0"

D-Series Size 2 LED Area Luminaire

Specifications
EPA: 2.0 ft²
Length: 40"
Width: 15"
Height: 7.12"
Weight: 39 lbs

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

Order ID	Order Code	Order Description	Order Details
3021101	3021101	D-Series Size 2 LED Area Luminaire	Order Details

Features & Specifications

- Available with 80-200 lumens per foot
- 500,000-hour life expectancy
- 3000K color temperature
- 16:9 aspect ratio

Electrical Load

Power (W)	Voltage (V)	Current (A)
300	120	2.5

WALL / POLE LIGHTS



Performance Data

Lumen Output

Beam Angle	Lumens
15°	10,000
30°	40,000

Lumen Ambient Temperature (LAT) Multipliers

Temperature (°C)	Multiplier
25°C	1.0
35°C	0.9

Projected LED Lumen Maintenance

Hours	% Maintenance
10,000	90%
20,000	80%

Photometric Diagrams

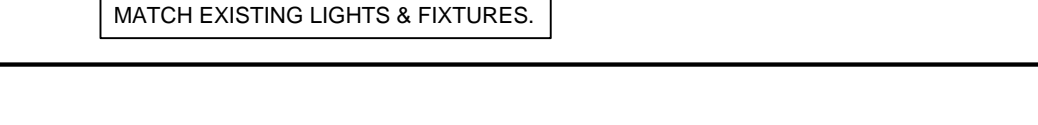
Features & Specifications

- Available with 80-200 lumens per foot
- 500,000-hour life expectancy
- 3000K color temperature
- 16:9 aspect ratio

Electrical

See manufacturer's catalog for detailed specifications.

WALL / POLE LIGHTS



ElumTools General Use Illuminance Results

Average	Maximum	Minimum	Avg/Min	Max/Min
2.8 fc	10.8 fc	0.0 fc	59.8	228.6

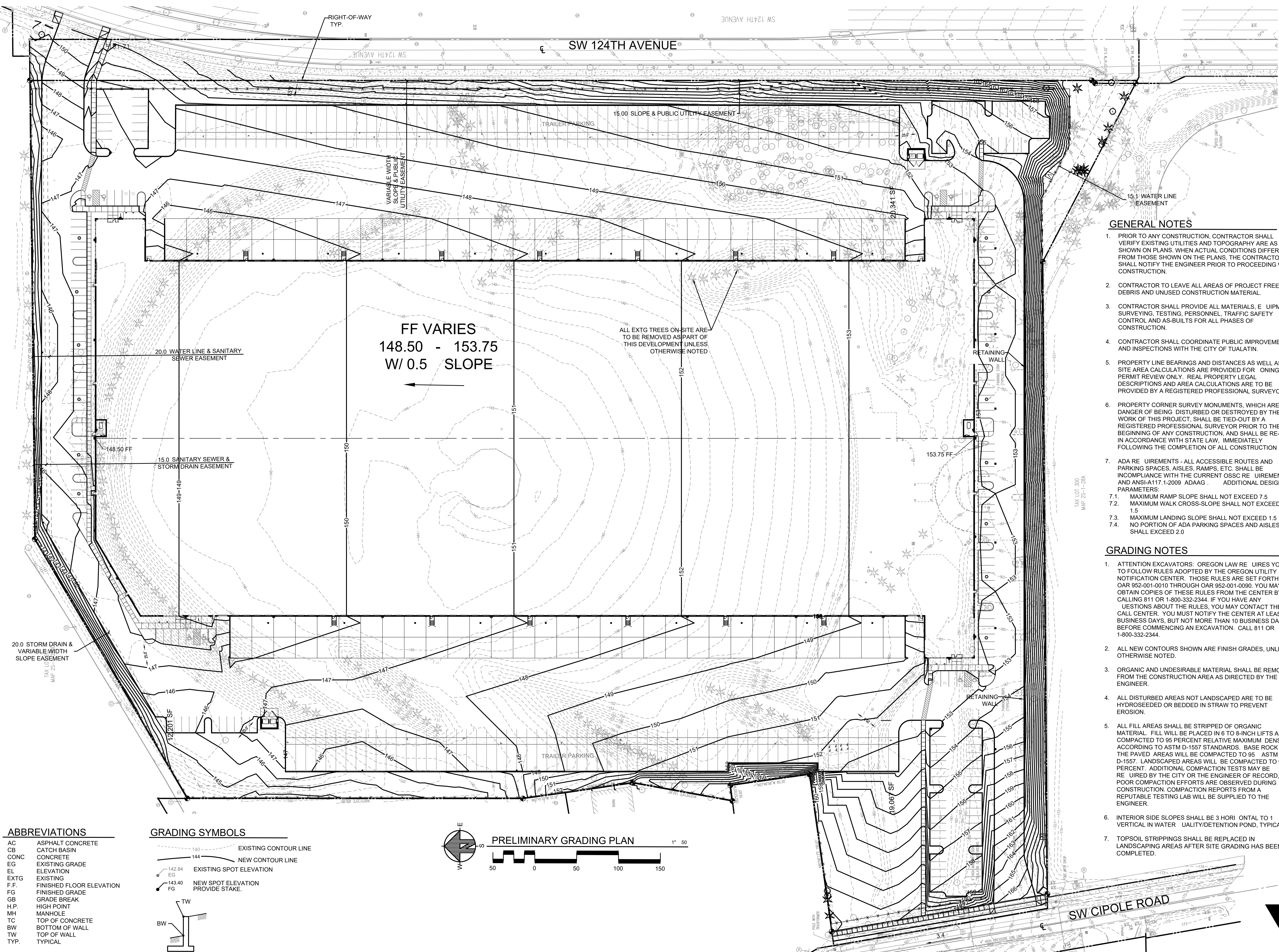
REVISIONS

DATE	DESCRIPTION

DATE	APRIL 2021
SCALE	AS NOTED
PROJ. NO.	20190311
DRAWN	JG
CHECKED	HGK

PRELIMINARY GRADING PLAN

C1.0



GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND TOPOGRAPHY ARE AS SHOWN ON PLANS. WHEN ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO LEAVE ALL AREAS OF PROJECT FREE OF DEBRIS AND UNUSED CONSTRUCTION MATERIAL.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, SURVEYING, TESTING, PERSONNEL, TRAFFIC SAFETY CONTROL AND AS-BUILTS FOR ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE PUBLIC IMPROVEMENTS AND INSPECTIONS WITH THE CITY OF TUALATIN.
- PROPERTY LINE BEARINGS AND DISTANCES AS WELL AS SITE AREA CALCULATIONS ARE PROVIDED FOR RECORDING AND PERMIT REVIEW ONLY. REAL PROPERTY LEGAL DESCRIPTIONS AND AREA CALCULATIONS ARE TO BE PROVIDED BY A REGISTERED PROFESSIONAL SURVEYOR.
- PROPERTY CORNER SURVEY MONUMENTS, WHICH ARE IN DANGER OF BEING DISTURBED OR DESTROYED BY THE WORK OF THIS PROJECT, SHALL BE TIED-OUT BY A REGISTERED PROFESSIONAL SURVEYOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, AND SHALL BE RE-SET IN ACCORDANCE WITH STATE LAW, IMMEDIATELY FOLLOWING THE COMPLETION OF ALL CONSTRUCTION.
- ADA REQUIREMENTS - ALL ACCESSIBLE ROUTES AND PARKING SPACES, AISLES, RAMPS, ETC. SHALL BE IN COMPLIANCE WITH THE CURRENT OREGON REQUIREMENTS AND ANSI-A117.1-2009 ADAAG. ADDITIONAL DESIGN PARAMETERS:
 - MAXIMUM RAMP SLOPE SHALL NOT EXCEED 7.5
 - MAXIMUM WALK CROSS-SLOPE SHALL NOT EXCEED 1.5
 - MAXIMUM LANDING SLOPE SHALL NOT EXCEED 1.5
 - NO PORTION OF ADA PARKING SPACES AND AISLES SHALL EXCEED 2.0

GRADING NOTES

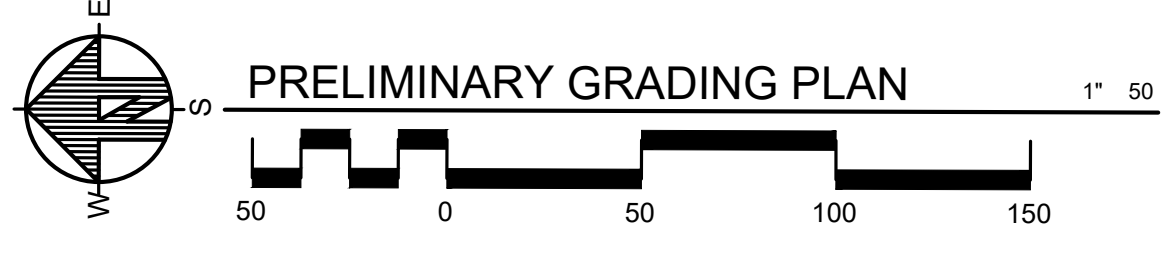
- ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 811 OR 1-800-332-2344. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 811 OR 1-800-332-2344.
- ALL NEW CONTOURS SHOWN ARE FINISH GRADES, UNLESS OTHERWISE NOTED.
- ORGANIC AND UNDESIRABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION AREA AS DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS NOT LANDSCAPED ARE TO BE HYDROSEEDED OR BEDDED IN STRAW TO PREVENT EROSION.
- ALL FILL AREAS SHALL BE STRIPPED OF ORGANIC MATERIAL. FILL WILL BE PLACED IN 6 TO 8-INCH LIFTS AND COMPACTED TO 95 PERCENT RELATIVE MAXIMUM DENSITY ACCORDING TO ASTM D-1557 STANDARDS. BASE ROCK IN THE PAVED AREAS WILL BE COMPACTED TO 95% ASTM D-1557. LANDSCAPED AREAS WILL BE COMPACTED TO 90 PERCENT. ADDITIONAL COMPACTION TESTS MAY BE REQUIRED BY THE CITY OR THE ENGINEER OF RECORD, IF POOR COMPACTION EFFORTS ARE OBSERVED DURING CONSTRUCTION. COMPACTION REPORTS FROM A REPUTABLE TESTING LAB WILL BE SUPPLIED TO THE ENGINEER.
- INTERIOR SIDE SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL IN WATER QUALITY/DETENTION POND, TYPICAL.
- TOPSOIL STRIPPINGS SHALL BE REPLACED IN LANDSCAPING AREAS AFTER SITE GRADING HAS BEEN COMPLETED.

ABBREVIATIONS

AC	ASPHALT CONCRETE
CB	CATCH BASIN
CONC	CONCRETE
EG	EXISTING GRADE
EL	ELEVATION
EXTG	EXISTING
F.F.	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
GB	GRADE BREAK
H.P.	HIGH POINT
MH	MANHOLE
TC	TOP OF CONCRETE
BW	BOTTOM OF WALL
TW	TOP OF WALL
TYP.	TYPICAL

GRADING SYMBOLS

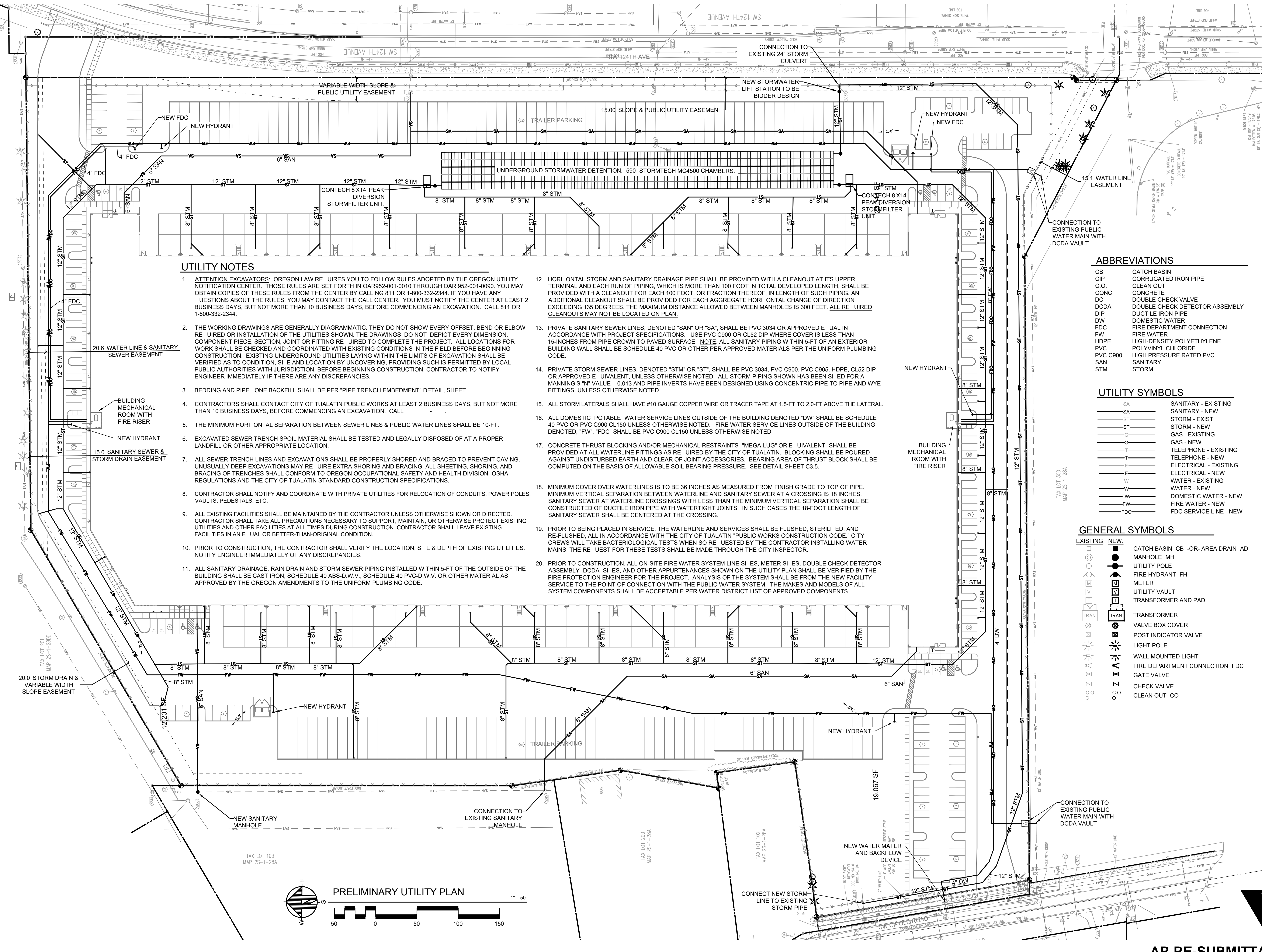
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
	EXISTING SPOT ELEVATION
	NEW SPOT ELEVATION PROVIDE STAKE



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DATE	DESCRIPTION

DATE	PROJ. NO.
APRIL 2021	20190311
SCALE AS NOTED	CHECKED HGK



UTILITY NOTES

- ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 811 OR 1-800-332-2344. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 811 OR 1-800-332-2344.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED OR INSTALLATION OF THE UTILITIES SHOWN. THE DRAWINGS DO NOT DEPICT EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.
- BEDDING AND PIPE BACKFILL SHALL BE PER "PIPE TRENCH EMBEDMENT" DETAIL, SHEET
- CONTRACTORS SHALL CONTACT CITY OF TUALATIN PUBLIC WORKS AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER LINES & PUBLIC WATER LINES SHALL BE 10-FT.
- EXCAVATED SEWER TRENCH SPOIL MATERIAL SHALL BE TESTED AND LEGALLY DISPOSED OF AT A PROPER LANDFILL OR OTHER APPROPRIATE LOCATION.
- ALL SEWER TRENCH LINES AND EXCAVATIONS SHALL BE PROPERLY SHORED AND BRACED TO PREVENT CAVING. UNUSUALLY DEEP EXCAVATIONS MAY REQUIRE EXTRA SHORING AND BRACING. ALL SHEETING, SHORING, AND BRACING OF TRENCHES SHALL CONFORM TO OREGON OCCUPATIONAL SAFETY AND HEALTH DIVISION OSHA REGULATIONS AND THE CITY OF TUALATIN STANDARD CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH PRIVATE UTILITIES FOR RELOCATION OF CONDUITS, POWER POLES, VAULTS, PEDESTALS, ETC.
- ALL EXISTING FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN, OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE & DEPTH OF EXISTING UTILITIES. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL SANITARY DRAINAGE, RAIN DRAIN AND STORM SEWER PIPING INSTALLED WITHIN 5-FT OF THE OUTSIDE OF THE BUILDING SHALL BE CAST IRON, SCHEDULE 40 ABS-D.W.V., SCHEDULE 40 PVC-D.W.V. OR OTHER MATERIAL AS APPROVED BY THE OREGON AMENDMENTS TO THE UNIFORM PLUMBING CODE.
- HORIZONTAL STORM AND SANITARY DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL AND EACH RUN OF PIPING, WHICH IS MORE THAN 100 FOOT IN TOTAL DEVELOPED LENGTH, SHALL BE PROVIDED WITH A CLEANOUT FOR EACH 100 FOOT, OR FRACTION THEREOF, IN LENGTH OF SUCH PIPING. AN ADDITIONAL CLEANOUT SHALL BE PROVIDED FOR EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135 DEGREES. THE MAXIMUM DISTANCE ALLOWED BETWEEN MANHOLES IS 300 FEET. ALL REQUIRED CLEANOUTS MAY NOT BE LOCATED ON PLAN.
- PRIVATE SANITARY SEWER LINES, DENOTED "SAN" OR "SA", SHALL BE PVC 3034 OR APPROVED EQUIVALENT IN ACCORDANCE WITH PROJECT SPECIFICATIONS. USE PVC C900 OR CL52 DIP WHERE COVER IS LESS THAN 15-INCHES FROM PIPE CROWN TO PAVED SURFACE. NOTE: ALL SANITARY PIPING WITHIN 5-FT OF AN EXTERIOR BUILDING WALL SHALL BE SCHEDULE 40 PVC OR OTHER PER APPROVED MATERIALS PER THE UNIFORM PLUMBING CODE.
- PRIVATE STORM SEWER LINES, DENOTED "STM" OR "ST", SHALL BE PVC 3034, PVC C900, PVC C905, HDPE, CL52 DIP OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED. ALL STORM PIPING SHOWN HAS BEEN DESIGNED FOR A MANNING'S "N" VALUE = 0.013 AND PIPE INVERTS HAVE BEEN DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- ALL STORM LATERALS SHALL HAVE #10 GAUGE COPPER WIRE OR TRACER TAPE AT 1.5-FT TO 2.0-FT ABOVE THE LATERAL.
- ALL DOMESTIC POTABLE WATER SERVICE LINES OUTSIDE OF THE BUILDING DENOTED "DW" SHALL BE SCHEDULE 40 PVC OR PVC C900 CL150 UNLESS OTHERWISE NOTED. FIRE WATER SERVICE LINES OUTSIDE OF THE BUILDING DENOTED, "FW", "FDC" SHALL BE PVC C900 CL150 UNLESS OTHERWISE NOTED.
- CONCRETE THRUST BLOCKING AND/OR MECHANICAL RESTRAINTS "MEGA-LUG" OR EQUIVALENT SHALL BE PROVIDED AT ALL WATERLINE FITTINGS AS REQUIRED BY THE CITY OF TUALATIN. BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH AND CLEAR OF JOINT ACCESSORIES. BEARING AREA OF THRUST BLOCK SHALL BE COMPUTED ON THE BASIS OF ALLOWABLE SOIL BEARING PRESSURE. SEE DETAIL SHEET C3.5.
- MINIMUM COVER OVER WATERLINES IS TO BE 36 INCHES AS MEASURED FROM FINISH GRADE TO TOP OF PIPE. MINIMUM VERTICAL SEPARATION BETWEEN WATERLINE AND SANITARY SEWER AT A CROSSING IS 18 INCHES. SANITARY SEWER AT WATERLINE CROSSINGS WITH LESS THAN THE MINIMUM VERTICAL SEPARATION SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATERTIGHT JOINTS. IN SUCH CASES THE 18-FOOT LENGTH OF SANITARY SEWER SHALL BE CENTERED AT THE CROSSING.
- PRIOR TO BEING PLACED IN SERVICE, THE WATERLINE AND SERVICES SHALL BE FLUSHED, STERILIZED, AND RE-FLUSHED, ALL IN ACCORDANCE WITH THE CITY OF TUALATIN "PUBLIC WORKS CONSTRUCTION CODE." CITY CREWS WILL TAKE BACTERIOLOGICAL TESTS WHEN SO REQUESTED BY THE CONTRACTOR INSTALLING WATER MAINS. THE REQUEST FOR THESE TESTS SHALL BE MADE THROUGH THE CITY INSPECTOR.
- PRIOR TO CONSTRUCTION, ALL ON-SITE FIRE WATER SYSTEM LINE SERVICES, METER SERVICES, DOUBLE CHECK DETECTOR ASSEMBLY DCDA SERVICES, AND OTHER APPURTENANCES SHOWN ON THE UTILITY PLAN SHALL BE VERIFIED BY THE FIRE PROTECTION ENGINEER FOR THE PROJECT. ANALYSIS OF THE SYSTEM SHALL BE FROM THE NEW FACILITY SERVICE TO THE POINT OF CONNECTION WITH THE PUBLIC WATER SYSTEM. THE MAKES AND MODELS OF ALL SYSTEM COMPONENTS SHALL BE ACCEPTABLE PER WATER DISTRICT LIST OF APPROVED COMPONENTS.

ABBREVIATIONS

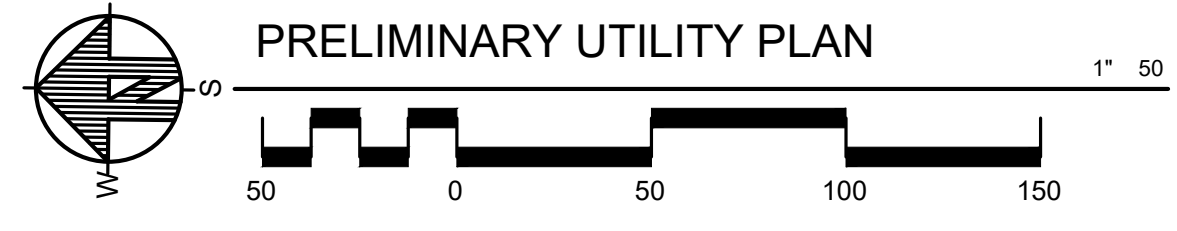
CB	CATCH BASIN
CIP	CORRUGATED IRON PIPE
C.O.	CLEAN OUT
CONC	CONCRETE
DC	DOUBLE CHECK VALVE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DIP	DUCTILE IRON PIPE
DW	DOMESTIC WATER
FDC	FIRE DEPARTMENT CONNECTION
FW	FIRE WATER
HDPE	HIGH-DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
PVC C900	HIGH PRESSURE RATED PVC
SAN	SANITARY
STM	STORM

UTILITY SYMBOLS

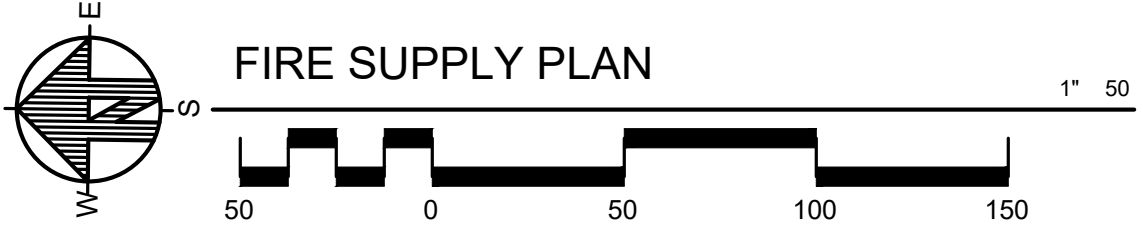
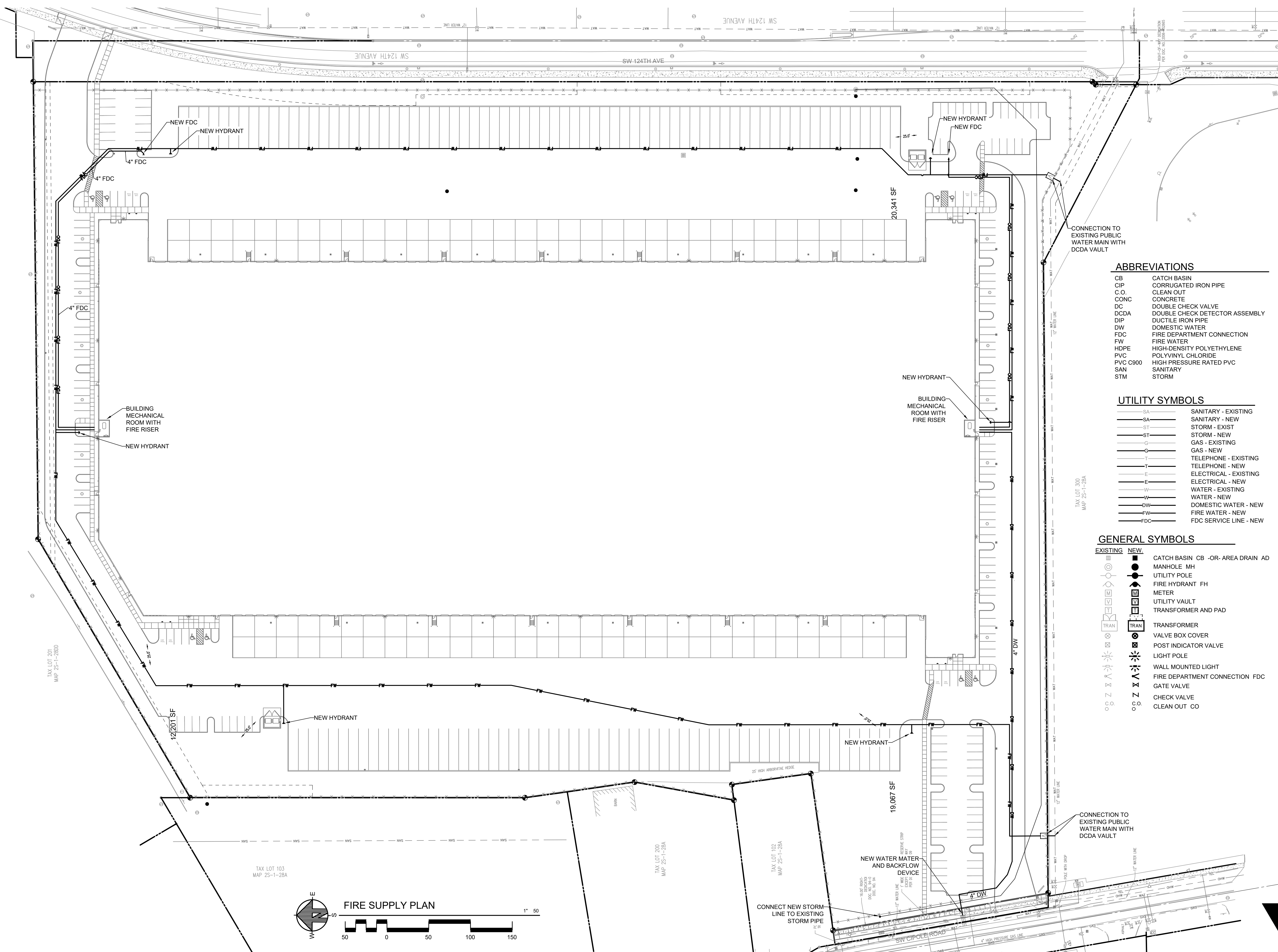
— SA —	SANITARY - EXISTING
— SA —	SANITARY - NEW
— ST —	STORM - EXIST
— ST —	STORM - NEW
— G —	GAS - EXISTING
— G —	GAS - NEW
— T —	TELEPHONE - EXISTING
— T —	TELEPHONE - NEW
— E —	ELECTRICAL - EXISTING
— E —	ELECTRICAL - NEW
— W —	WATER - EXISTING
— W —	WATER - NEW
— DW —	DOMESTIC WATER - NEW
— FW —	FIRE WATER - NEW
— FDC —	FDC SERVICE LINE - NEW

GENERAL SYMBOLS

	EXISTING
	NEW
	CATCH BASIN CB -OR- AREA DRAIN AD
	MANHOLE MH
	UTILITY POLE
	FIRE HYDRANT FH
	METER
	UTILITY VAULT
	TRANSFORMER AND PAD
	TRANSFORMER
	VALVE BOX COVER
	POST INDICATOR VALVE
	LIGHT POLE
	WALL MOUNTED LIGHT
	FIRE DEPARTMENT CONNECTION FDC
	GATE VALVE
	CHECK VALVE
	CLEAN OUT CO



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ABBREVIATIONS

- CB CATCH BASIN
- CIP CORRUGATED IRON PIPE
- C.O. CLEAN OUT
- CONC CONCRETE
- DC DOUBLE CHECK VALVE
- DCDA DOUBLE CHECK DETECTOR ASSEMBLY
- DIP DUCTILE IRON PIPE
- DW DOMESTIC WATER
- FDC FIRE DEPARTMENT CONNECTION
- FW FIRE WATER
- HDPE HIGH-DENSITY POLYETHYLENE
- PVC POLYVINYL CHLORIDE
- PVC C900 HIGH PRESSURE RATED PVC
- SAN SANITARY
- STM STORM

UTILITY SYMBOLS

- SA — SANITARY - EXISTING
- SA — SANITARY - NEW
- ST — STORM - EXIST
- ST — STORM - NEW
- G — GAS - EXISTING
- G — GAS - NEW
- T — TELEPHONE - EXISTING
- T — TELEPHONE - NEW
- E — ELECTRICAL - EXISTING
- E — ELECTRICAL - NEW
- W — WATER - EXISTING
- W — WATER - NEW
- DW — DOMESTIC WATER - NEW
- FW — FIRE WATER - NEW
- FDC — FDC SERVICE LINE - NEW

GENERAL SYMBOLS

- | EXISTING | NEW | |
|----------|-----|-----------------------------------|
| | | CATCH BASIN CB -OR- AREA DRAIN AD |
| | | MANHOLE MH |
| | | UTILITY POLE |
| | | FIRE HYDRANT FH |
| | | METER |
| | | UTILITY VAULT |
| | | TRANSFORMER AND PAD |
| | | TRANSFORMER |
| | | VALVE BOX COVER |
| | | POST INDICATOR VALVE |
| | | LIGHT POLE |
| | | WALL MOUNTED LIGHT |
| | | FIRE DEPARTMENT CONNECTION FDC |
| | | GATE VALVE |
| | | CHECK VALVE |
| | | CLEAN OUT CO |

VLMK
ENGINEERING + DESIGN
3933 S Kelly Avenue
Portland, Oregon 97239
503.222.4453
VLMK.COM

SPECHT
10260 SW Greenburg Road
Suite 170
Portland, Oregon 97223
503.646.2202
SPECHTPROP.COM

PROJECT NAME
**TUALATIN
LOGISTICS PARK**

20400 SW Ci ole Road
TUALATIN, OREGON 97062

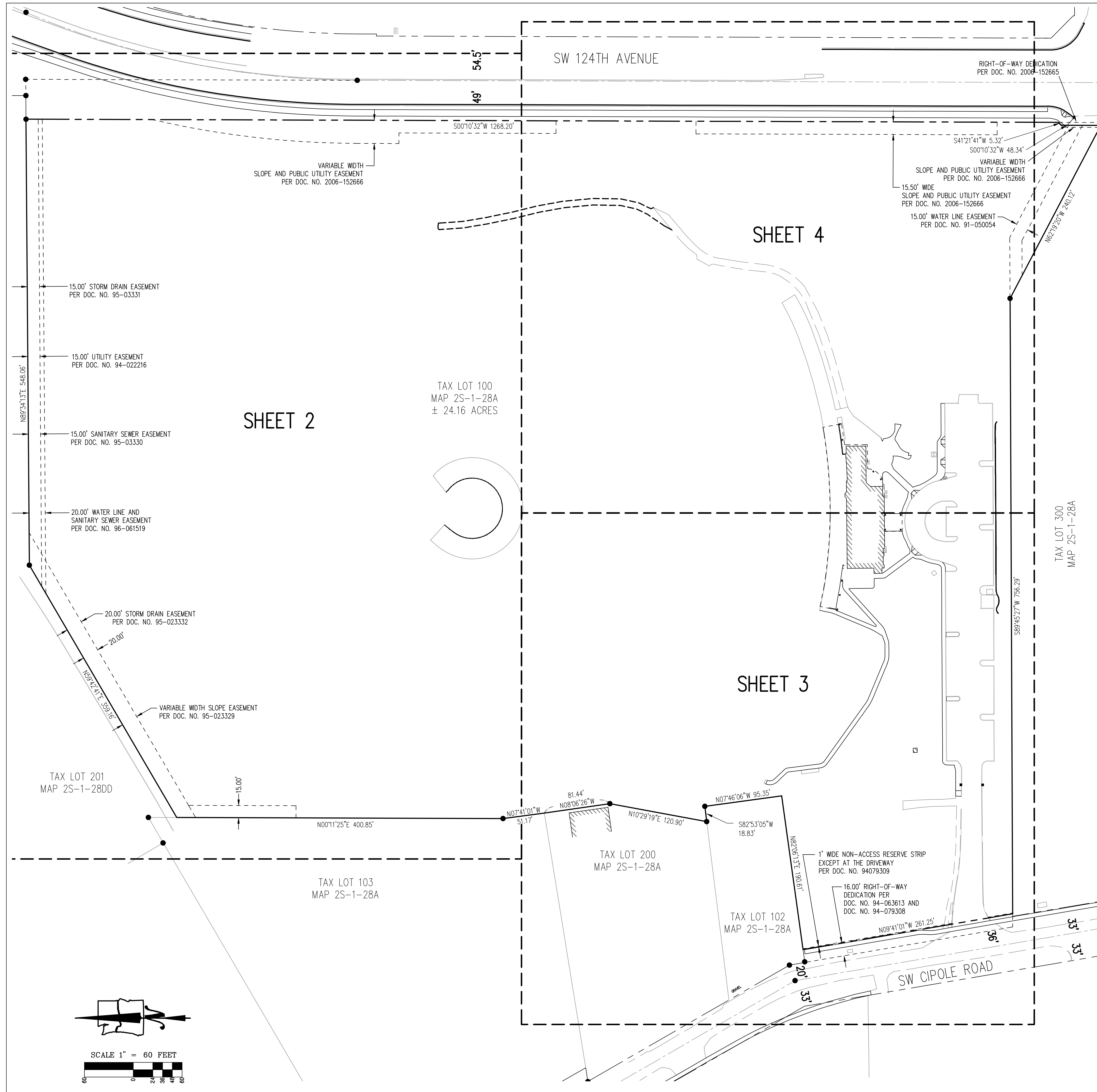
REVISIONS

DATE	DESCRIPTION

DATE APRIL 2021	
SCALE AS NOTED	PROJ. NO. 20190311
DRAWN CLT	CHECKED HGK

FIRE SUPPLY PLAN





STORM SEWER INFORMATION

- (SD24) MANHOLE
RIM = 155.71'
12" I.E. IN (E)
12" I.E. IN (W)
12" I.E. OUT (S)
- (SD25) CURB INLET
RIM = 156.20'
12" I.E. OUT (E)
- (SD26) DRY WELL MANHOLE
RIM = 146.43'
SUMP = 145.4'
- (SD27) CURB INLET
RIM = 148.87'
12" I.E. OUT (NW) = 146.3'
- (SD28) CURB BASIN
RIM = 148.99'
12" I.E. IN (SE) = 145.4'
12" I.E. OUT (NW) = 145.4'
- (SD29) MANHOLE
RIM = 148.82'
12" (SE TO N)
FLOW LINE = 143.8'
- (SD30) MANHOLE
RIM = 144.77'
8" I.E. IN (NW) = 139.6'
24" I.E. IN (SW) = 139.2'
24" I.E. OUT (N) = 137.2'
SUMP = 135.7'

SANITARY SEWER INFORMATION

- (SS5) MANHOLE
RIM = 155.38'
6" IN (W)
10" (S TO N)
FLOW LINE = 127.9'
- (SS6) MANHOLE
RIM = 156.73'
10" (SE TO W)
FLOW LINE = 138.6'
- (SS7) MANHOLE
RIM = 153.24'
10" (S TO NE)
FLOW LINE = 137.0'
- (SS8) MANHOLE
RIM = 150.78'
10" IN (SW)
10" OUT (NE)
- (SS9) MANHOLE
RIM = 148.33'
8" IN (W)
10" (SW TO NE)
FLOW LINE = 135.1'
- (SS10) MANHOLE
RIM = 149.25'
8" I.E. IN (W) = 135.6'
8" I.E. OUT (E) = 135.5'
- (SS11) MANHOLE
RIM = 148.88'
8" I.E. IN (W) = 135.9'
8" I.E. OUT (E) = 135.9'
- (SS12) MANHOLE
RIM = 143.92'
8" I.E. IN (W) = 137.1'
8" I.E. OUT (E) = 137.2'
- (SS13) MANHOLE
RIM = 143.33'
8" I.E. IN (W)
8" I.E. OUT (E)
- (SS14) MANHOLE
RIM = 144.05'
8" I.E. IN (N) = 140.1'
8" IN (S)
8" OUT (NE)
FLOW LINE = 140.0'

KEY NOTES:

- 1 ADA RAMP
- 2 3' HIGH VINYL RAIL FENCE
- 3 MASONRY GATE COLUMN
- 4 5' HIGH WROUGHT IRON FENCE
- 5 5' HIGH CHAIN LINK FENCE
- 6 6' HIGH CHAIN LINK FENCE WITH BARBED WIRE
- 7 TRASH ENCLOSURE WITH 6' HIGH WOOD FENCE & WALLS
- 8 BUILDING OVERHANG
- 9 METAL POST WITH "DISABLED PARKING ONLY" SIGN
- 10 6' HIGH CHAIN LINK FENCE
- 11 GATE MOTOR
- 12 VARIABLE HEIGHT CONCRETE BLOCK WALL
- 13 METAL POST WITH "EVACUATION AREA" SIGN
- 14 METAL POST WITH ROAD TURNS ARROW SIGN
- 15 METAL POST WITH "SPEED 35" SIGN
- 16 METAL POST WITH DIVIDED LANES SIGN
- 17 METAL POST WITH REFLECTOR
- 18 MINIATURE GOLF COURSE (SEE NOTE 7)
- 19 15' HIGH METAL POLES WITH NETTING

NOTES

- 1) THE FIELD SURVEY FOR THIS MAP WAS COMPLETED ON JUNE 10, 2021.
- 2) ELEVATIONS AND CONTOURS ARE BASED ON WASHINGTON COUNTY BENCHMARK NO. 102. THE BENCHMARK IS A BRASS DISK LOCATED NORTH OF THE RAILROAD TRACKS NEAR THE MOST NORTHERLY CORNER OF THE PROPERTY, AS SHOWN. IT HAS AN ELEVATION OF 157.30 FEET ON THE NVD 1929 VERTICAL DATUM.
- 3) THE BASIS OF BEARINGS FOR THIS SURVEY IS SURVEY NO. 32478.
- 4) THE RIGHT-OF-WAY WIDTHS WERE ESTABLISHED USING INFORMATION FROM PLATS, RECORD SURVEYS AND THE TAX ASSESSOR'S MAP.
- 5) THE EASEMENTS SHOWN ON THIS MAP ARE BASED ON THE TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH ORDER NUMBER NCS-961894-OR1 AND WITH AN EFFECTIVE DATE OF APRIL 1, 2021 AT 8:00 AM.
- 6) THE UNDERGROUND UTILITIES ARE BASED ON THE MARKINGS PER LOCATE TICKET NUMBERS 21121399 AND 2112141.
- 7) THERE IS A MINIATURE GOLF COURSE LOCATED IN THE SOUTHEASTERLY AREA OF THE PROPERTY, AS SHOWN. THE APPROXIMATE EXTENTS OF THE CONTRITE SURFACES HAVE BEEN MAPPED. HOWEVER OTHER COURSE FEATURES LIKE MAN MADE WATER WAYS HAVE NOT BEEN MAPPED.
- 8) TREES WITH NUMBER 1-447 HAVE ALUMINUM TAGS WITH CORRESPONDING NUMBERS. THE TREES WITH LARGER NUMBERS DO NOT HAVE TAGS.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LEGEND ALL SHEETS

DECIDUOUS TREE	
CONIFEROUS TREE	
FIRE HYDRANT	
FIRE DEPARTMENT CONNECTION	
WATER BLOWOFF	
WATER METER	
WATER VALVE	
DOUBLE CHECK VALVE	
WATER VAULT	
CATHODIC PROTECTION TEST STATION	
SANITARY SEWER CLEAN OUT	
SANITARY SEWER MANHOLE	
STORM SEWER CLEAN OUT	
STORM SEWER CATCH BASIN	
STORM SEWER CURB INLET	
STORM SEWER MANHOLE	
STORM SEWER AREA DRAIN	
MAILBOX	
GAS RISER BOX	
GAS METER	
GAS VALVE	
GUY WIRE ANCHOR	
UTILITY POLE	
POWER VAULT	
ELECTRICAL METER	
POWER JUNCTION BOX	
HVAC UNIT	
POWER TRANSFORMER	
STREET LIGHT	
TELEPHONE/TELEVISION VAULT	
TELEPHONE/TELEVISION JUNCTION BOX	
TELEPHONE/TELEVISION RISER	
TELEPHONE/TELEVISION MANHOLE	
BICYCLE RACK	
SIGN	
BUILDING COLUMN	
FOUND SURVEY MONUMENT	
RIGHT-OF-WAY LINE	
BOUNDARY LINE	
PROPERTY LINE	
CENTERLINE	
DITCH	
CURB	
EDGE OF PAVEMENT	
EASEMENT	
FENCE LINE	
GRAVEL EDGE	
POWER LINE	
OVERHEAD WIRE	
TELEPHONE LINE	
TELEVISION LINE	
GAS LINE	
STORM SEWER LINE	
SANITARY SEWER LINE	
WATER LINE	
WETLAND BOUNDARY	

ORTHWEST SURVEYING, INC.
1815 NW 169th PLACE, SUITE 2080
BEAVERTON, OR 97006
PH: (503) 848-2127 FAX: (503) 848-2179
EMAIL: nwsurveying@nwswi.com

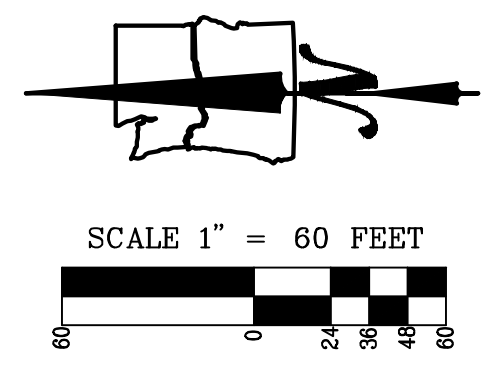
LOCATED IN THE NE 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF TUALATIN,
WASHINGTON COUNTY, OREGON

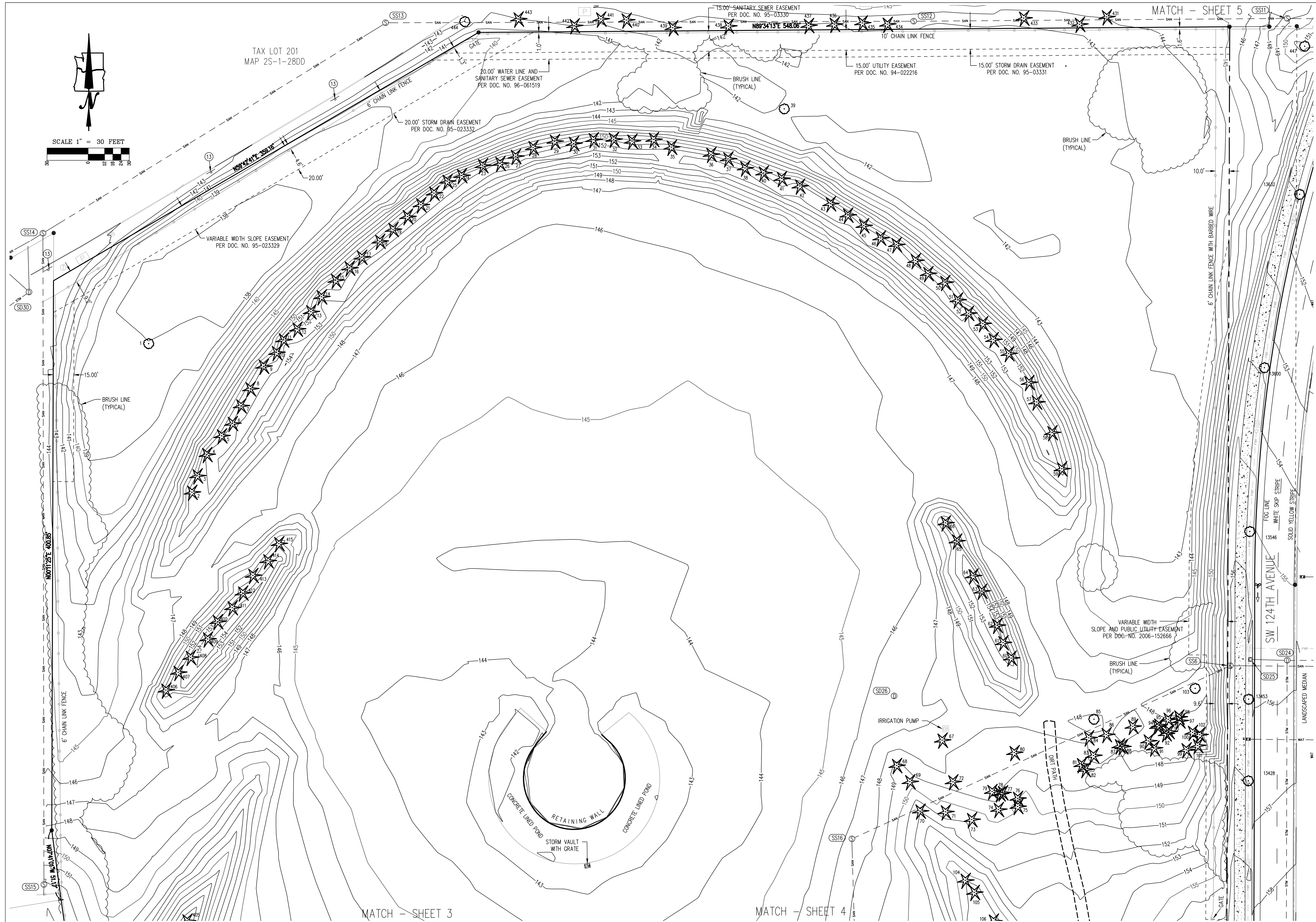
20400 SW CIPOLE ROAD TOPOGRAPHIC SURVEY
TUALATIN, OREGON
TAX LOT 100
TAX MAP 25-1-28A

DRAWING NO.:	2288 TOPO
SCALE:	AS NOTED
DRAWING GENERATED BY:	LD2004
DRAWN BY:	BJA
CHECKED BY:	CHS
PREPARED FOR:	SPECHT DEVELOPMENT, INC. 10280 SW GREENBURG ROAD SUITE 170 PORTLAND, OR 97223

REVISIONS:
PRELIM. RELEASE: JUNE 9, 2021
INITIAL RELEASE: JUNE 18, 2021
REVISED: JULY 12, 2021

JOB NUMBER	2288
SHEET	1 OF 5





TAX LOT 201
MAP 2S-1-28DD

MATCH - SHEET 5

MATCH - SHEET 3

MATCH - SHEET 4

NORTHWEST SURVEYING, INC.
 1815 NW 169th PLACE, SUITE 2090
 BEAVERTON, OR 97006
 PH: (503) 848-2127 FAX: (503) 848-2179
 EMAIL: nwsurveying@nwswy.com

LOCATED IN THE NE 1/4 OF SECTION 28,
 TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
 CITY OF TUALATIN,
 WASHINGTON COUNTY, OREGON

**20400 SW CIPOLE ROAD
 TOPOGRAPHIC SURVEY**
 TUALATIN,
 TAX LOT 100

OREGON
 TAX MAP 2S-1-28A

REVISIONS:
 PRELIM. RELEASE: JUNE 9, 2021
 INITIAL RELEASE: JUNE 18, 2021
 REVISED: JULY 12, 2021

JOB NUMBER
 2288

SHEET
 2 OF 5

TREE INFORMATION

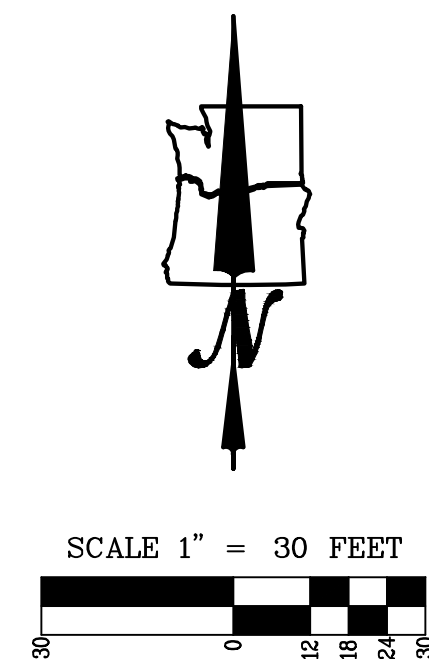
1	9" COTTONWOOD	133	17" COTTONWOOD
2	13" FIR	133	17" COTTONWOOD
3	20" FIR	134	14" COTTONWOOD
4	20" FIR	135	8" COTTONWOOD
5	16" CEDAR	136	19" FIR
6	10" CEDAR	137	18" COTTONWOOD
7	26" FIR	138	15" FIR
8	18" FIR	139	9" COTTONWOOD
9	20" FIR	140	10" COTTONWOOD
10	16" SPRUCE	141	15" COTTONWOOD
11	22" SPRUCE	142	11" COTTONWOOD
12	17" FIR	143	13" COTTONWOOD
13	20" FIR	144	10" COTTONWOOD
14	19" CEDAR	145	8" COTTONWOOD
15	20" CEDAR	146	24" COTTONWOOD
16	14" SPRUCE	147	22" COTTONWOOD
17	36" FIR	148	11" COTTONWOOD
18	17" CEDAR	149	14" COTTONWOOD
19	17" CEDAR	150	22" COTTONWOOD
20	8" CEDAR	151	20" COTTONWOOD
21	12" CEDAR	152	16" FIR
22	8" CEDAR	153	11" CEDAR
23	15" CEDAR	154	20" COTTONWOOD
24	17" CEDAR	155	20" COTTONWOOD
25	14" SPRUCE	156	17" COTTONWOOD
26	13" SPRUCE	157	18" COTTONWOOD
27	18" CEDAR	158	11" COTTONWOOD
28	12" CEDAR	159	18" COTTONWOOD
29	30" CEDAR	160	13" MAPLE
30	16" CEDAR	161	13" ALDER
31	19" CEDAR	162	17" COTTONWOOD
32	SPLIT AVG 9" CEDAR	163	12" COTTONWOOD
33	SPLIT AVG 8" CEDAR	164	10" COTTONWOOD
34	18" FIR	165	10" COTTONWOOD
35	17" FIR	166	11" COTTONWOOD
36	15" SPRUCE	167	9" COTTONWOOD
37	14" SPRUCE	168	14" COTTONWOOD
38	13" SPRUCE	169	13" COTTONWOOD
39	16" COTTONWOOD	170	8" COTTONWOOD
40	16" CEDAR	171	12" COTTONWOOD
41	14" CEDAR	172	14" COTTONWOOD
42	22" FIR	173	17" COTTONWOOD
43	21" FIR	174	10" COTTONWOOD
44	16" SPRUCE	175	16" COTTONWOOD
45	12" SPRUCE	176	8" MADRONE
46	22" FIR	177	23" COTTONWOOD
47	18" FIR	178	13" COTTONWOOD
48	14" CEDAR	179	11" COTTONWOOD
49	16" CEDAR	180	16" COTTONWOOD
50	14" CEDAR	181	8" COTTONWOOD
51	16" CEDAR	182	11" COTTONWOOD
52	11" SPRUCE	183	8" COTTONWOOD
53	13" SPRUCE	184	8" COTTONWOOD
54	9" SPRUCE	185	8" COTTONWOOD
55	16" FIR	186	13" COTTONWOOD
56	16" CEDAR	187	13" COTTONWOOD
57	SPLIT AVG 5" CEDAR	188	9" COTTONWOOD
58	10" CEDAR	189	9" COTTONWOOD
59	17" FIR	190	9" COTTONWOOD
60	21" CEDAR	191	13" COTTONWOOD
61	24" CEDAR	192	19" COTTONWOOD
62	38" FIR	193	11" COTTONWOOD
63	28" FIR	194	13" COTTONWOOD
64	9" SPRUCE	195	10" COTTONWOOD
65	21" CEDAR	196	17" COTTONWOOD
66	24" FIR	197	9" COTTONWOOD
67	26" FIR	198	10" COTTONWOOD
68	15" SPRUCE	199	8" COTTONWOOD
69	25" FIR	200	11" COTTONWOOD
70	19" FIR	201	14" COTTONWOOD
71	53" FIR	202	14" COTTONWOOD
72	33" FIR	203	35" FIR
73	16" FIR	204	16" COTTONWOOD
74	28" FIR	205	25" COTTONWOOD
75	19" FIR	206	18" COTTONWOOD
76	33" FIR	207	15" COTTONWOOD
77	11" FIR	208	10" COTTONWOOD
78	8" FIR	209	12" COTTONWOOD
79	12" FIR	210	14" COTTONWOOD
80	36" FIR	211	14" COTTONWOOD
81	29" FIR	212	12" FIR
82	30" FIR	213	17" COTTONWOOD
83	20" FIR	214	18" COTTONWOOD
84	31" FIR	215	12" MAPLE
85	13" MADRONE	216	21" FIR
86	11" FIR	217	14" MAPLE
87	12" FIR	218	10" MAPLE
88	18" FIR	219	8" MAPLE
89	37" FIR	220	12" MAPLE
90	15" FIR	221	12" COTTONWOOD
91	15" FIR	222	9" MAPLE
92	12" FIR	223	11" COTTONWOOD
93	15" FIR	224	16" COTTONWOOD
94	25" FIR	225	18" COTTONWOOD
95	16" FIR	226	25" COTTONWOOD
96	17" FIR	227	9" COTTONWOOD
97	36" FIR	228	12" COTTONWOOD
98	21" FIR	229	13" COTTONWOOD
99	19" FIR	230	12" COTTONWOOD
100	15" FIR	231	19" COTTONWOOD
101	19" FIR	232	15" FIR
102	15" FIR	233	13" WILLOW
103	18" MADRONE	234	13" WILLOW
104	16" SPRUCE	235	10" WILLOW
105	14" SPRUCE	236	27" FIR
106	20" FIR	237	24" FIR
107	24" FIR	238	26" FIR
108	25" FIR	239	24" FIR
109	25" CEDAR	240	27" FIR
110	12" SPRUCE	241	17" FIR
111	26" CEDAR	242	32" FIR
112	30" CEDAR	243	SPLIT AVG 7" WILLOW
113	19" CEDAR	244	SPLIT AVG 5" WILLOW
114	15" FIR	245	10" CEDAR
115	27" FIR	246	40" PLUME CRYPTOMERIA
116	15" CEDAR	247	40" PLUME CRYPTOMERIA
117	40" CEDAR	248	26" FIR
118	13" FIR	249	26" FIR
119	20" COTTONWOOD	249	26" FIR
120	9" FIR	250	19" FIR
121	14" FIR	250	19" FIR
122	25" COTTONWOOD	251	10" PEAR
123	14" COTTONWOOD	251	10" FIR
124	11" COTTONWOOD	252	11" MADRONE
125	10" WILLOW	253	14" FIR
126	8" COTTONWOOD	253	45" FIR
127	12" COTTONWOOD	255	34" FIR
128	14" COTTONWOOD	256	9" FIR
129	13" COTTONWOOD	257	23" FIR
130	14" FIR	258	31" FIR
131	15" FIR	259	45" FIR
132	19" COTTONWOOD	260	19" MADRONE
		261	20" MAPLE

SANITARY SEWER INFORMATION

(SS15) MAINHOLE
RIM = 152.38'
8" I.E. IN (S) = 142.2'
8" I.E. OUT (N) = 142.1'

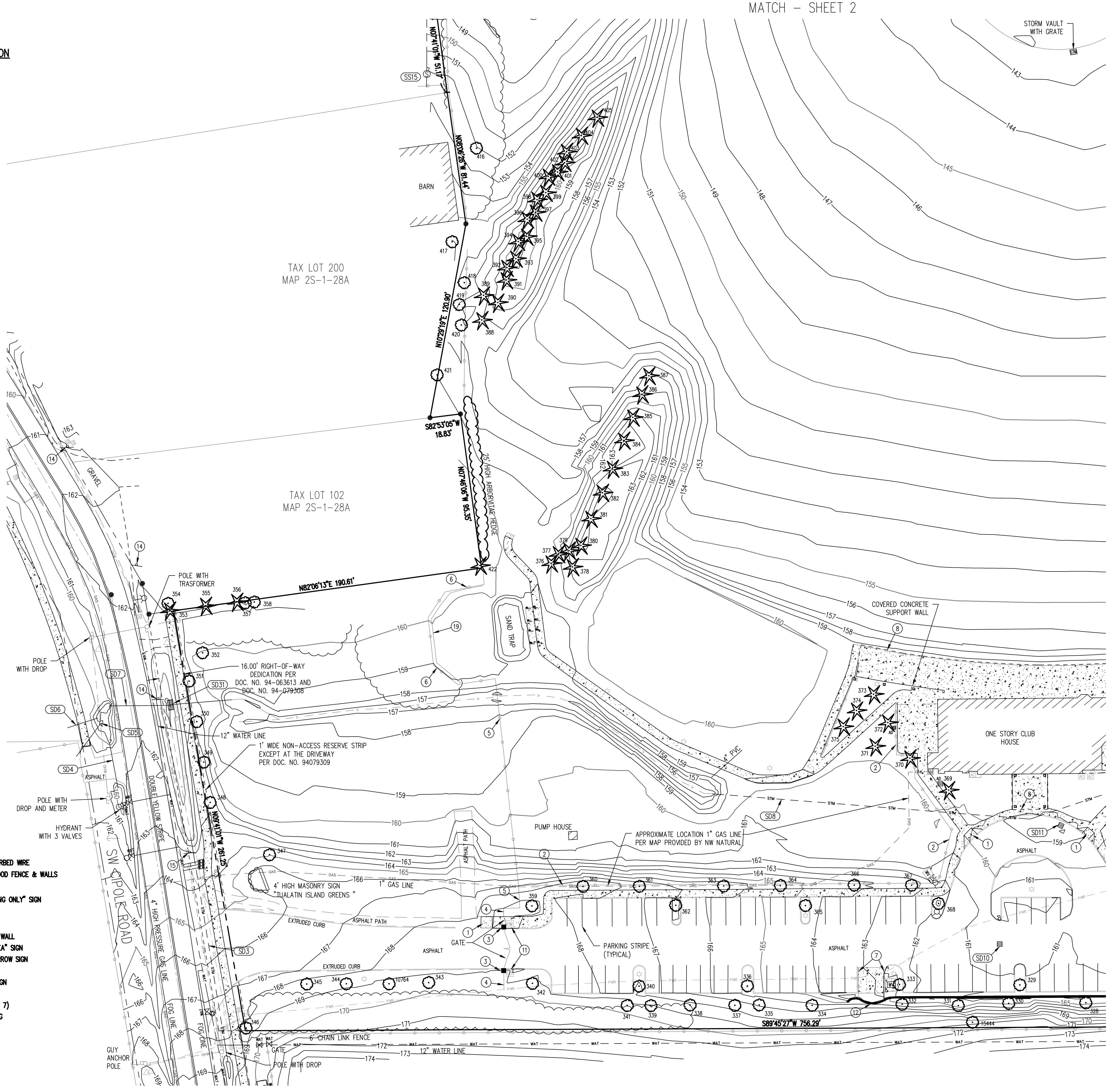
STORM SEWER INFORMATION

- (SD1) CPP CULVERT
15" I.E. OUT (SW) = 168.2'
- (SD2) CONCRETE CULVERT
10" I.E. IN (SE) = 169.2'
10" I.E. OUT (NW) = 167.0'
- (SD3) CONCRETE CULVERT
15" I.E. IN (SE) = 166.9'
15" I.E. OUT (NW) = 160.4'
- (SD4) CONCRETE CULVERT
10" I.E. IN (SE) = 459.2'
10" I.E. OUT (NW) = 159.9'
- (SD5) CONCRETE CULVERT
15" I.E. OUT (NE) = 157.2'
- (SD6) CMP CULVERT
36" I.E. IN (NE) = 157.6'
36" I.E. OUT (SW) = 157.2'
- (SD7) CMP CULVERT
18" IN (W)
18" I.E. OUT (E) = 157.1'
- (SD8) CONCRETE CULVERT
36" I.E. IN (W) = 155.1'
36" I.E. OUT (E) = 153.2'
- (SD10) LYNCH STYLE CURB INLET
RIM = 160.30'
TRAP (E)
- (SD11) LYNCH STYLE CURB INLET
RIM = 158.24'
TRAP (SE)
- (SD31) OVERSIZED DITCH INLET
RIM TOP = 160.11'
RIM BOTTOM = 158.76'
18" I.E. IN (W) = 157.8'
36" I.E. OUT (E) = 155.0'



KEY NOTES:

- 1 ADA RAMP
- 2 3' HIGH VINYL RAIL FENCE
- 3 MASONRY GATE COLUMN
- 4 5' HIGH WROUGHT IRON FENCE
- 5 5' HIGH CHAIN LINK FENCE
- 6 6' HIGH CHAIN LINK FENCE WITH BARBED WIRE
- 7 TRASH ENCLOSURE WITH 6' HIGH WOOD FENCE & WALLS
- 8 BUILDING OVERHANG
- 9 METAL POST WITH "DISABLED PARKING ONLY" SIGN
- 10 6' HIGH CHAIN LINK FENCE
- 11 GATE MOTOR
- 12 VARIABLE HEIGHT CONCRETE BLOCK WALL
- 13 METAL POST WITH "EVACUATION AREA" SIGN
- 14 METAL POST WITH ROAD TURNS ARROW SIGN
- 15 METAL POST WITH "SPEED 35" SIGN
- 16 METAL POST WITH DIVIDED LANES SIGN
- 17 METAL POST WITH REFLECTOR
- 18 MINIATURE GOLF COURSE (SEE NOTE 7)
- 19 15' HIGH METAL POLES WITH NETTING



MATCH - SHEET 2

MATCH - SHEET 4

ORTHWEST SURVEYING, INC.
1815 NW 169th PLACE, SUITE 2080
BEAVERTON, OR 97006
PH: (503) 848-2127 FAX: (503) 848-2179
EMAIL: nwsurveying@swsurvey.com

LOCATED IN THE NE 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF TUALATIN,
WASHINGTON COUNTY, OREGON

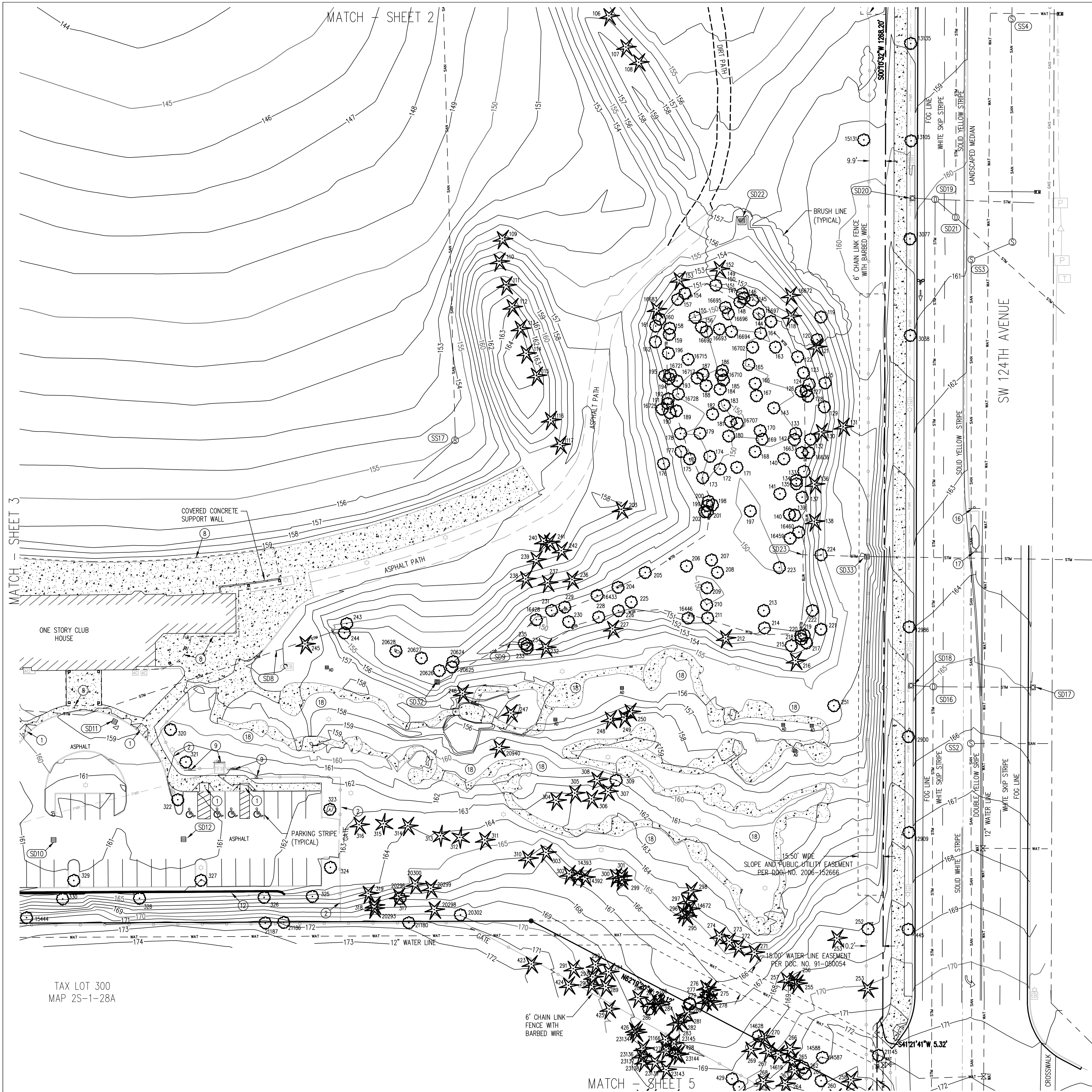
20400 SW CIPOLE ROAD TOPOGRAPHIC SURVEY
TUALATIN, OREGON
TAX LOT 100

DRAWING NO.: 2288 TOPO
SCALE: AS NOTED
DRAWING GENERATED BY: LD2004
DRAWN BY: BJA
CHECKED BY: CHS
PREPARED FOR:
SPECHT DEVELOPMENT, INC.
10280 SW GREENBURG ROAD
SUITE 170
PORTLAND, OR 97223

REVISIONS:
PRELIM. RELEASE: JUNE 9, 2021
INITIAL RELEASE: JUNE 18, 2021
REVISED: JULY 12, 2021

JOB NUMBER
2288

SHEET
3 OF 5



TREE INFORMATION

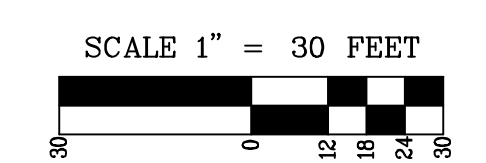
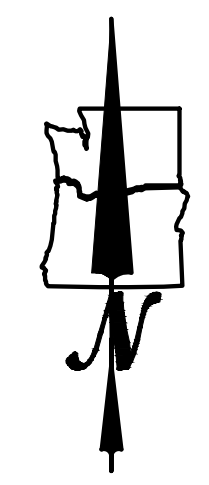
262	8" MADRONE	394	19" FIR
263	32" FIR	395	21" FIR
264	20" FIR	396	21" FIR
265	11" FIR	397	11" SPRUCE
266	20" FIR	397	11" SPRUCE
267	24" FIR	398	41" SPRUCE
268	18" FIR	399	31" CEDAR
269	18" FIR	399	31" CEDAR
270	8" FIR	400	15" CEDAR
271	11" FIR	401	16" CEDAR
272	12" FIR	401	16" CEDAR
273	11" FIR	402	23" CEDAR
274	10" FIR	403	18" CEDAR
275	23" FIR	403	18" CEDAR
276	9" FIR	404	13" SPRUCE
277	10" FIR	405	16" SPRUCE
278	12" FIR	406	16" CEDAR
279	24" FIR	407	13" CEDAR
280	14" MAPLE	408	19" CEDAR
281	21" FIR	408	19" CEDAR
282	14" FIR	410	25" FIR
283	11" FIR	411	18" CEDAR
284	8" FIR	411	18" CEDAR
285	9" MAPLE	412	15" CEDAR
286	9" MAPLE	413	14" CEDAR
287	18" FIR	414	16" SPRUCE
288	25" FIR	415	14" SPRUCE
289	15" FIR	416	9" COTTONWOOD
290	9" FIR	417	25" MAPLE
291	16" FIR	418	12" COTTONWOOD
292	25" FIR	418	20" MAPLE
293	8" FIR	420	10" MAPLE
294	30" FIR	421	32" MAPLE
295	22" FIR	421	20" CEDAR
296	24" FIR	423	34" FIR
297	12" FIR	424	16" FIR
298	28" FIR	425	14" FIR
299	29" FIR	426	14" FIR
300	26" FIR	427	10" FIR
301	8" FIR	428	18" FIR
302	8" CEDAR	429	16" MADRONE
303	27" FIR	430	12" MADRONE
304	41" FIR	431	17" FIR
305	25" FIR	432	11" FIR
306	18" FIR	433	13" FIR
307	29" FIR	434	11" FIR
308	20" FIR	435	8" CEDAR
309	9" MADRONE	436	15" FIR
310	8" CEDAR	437	16" FIR
311	9" CEDAR	438	17" FIR
312	8" CEDAR	439	15" FIR
313	9" CEDAR	440	15" FIR
314	9" CEDAR	441	12" FIR
315	9" CEDAR	442	13" FIR
316	10" CEDAR	443	11" FIR
317	8" MADRONE	444	19" OAK
318	8" FIR	445	8" OAK
319	14" FIR	446	10" OAK
320	20" MAPLE	447	11" COTTONWOOD
321	20" MAPLE	10764	7" DECIDUOUS
322	14" MAPLE	12900	6" OAK
323	23" MAPLE	12909	6" OAK
324	15" MAPLE	12986	4" OAK
325	8" PEAR	13038	6" OAK
326	12" MAPLE	13077	4" OAK
327	9" MAPLE	13105	6" OAK
328	9" MAPLE	13135	5" OAK
329	9" MAPLE	13428	4" OAK
330	8" PEAR	13433	6" OAK
331	13" MAPLE	13546	5" OAK
332	12" PEAR	13600	5" OAK
333	15" MAPLE	13632	5" OAK
334	16" MAPLE	13723	8" ALDER
335	12" PEAR	13781	10" ALDER
336	12" MAPLE	14163	7" ALDER
337	13" PEAR	14263	10" ALDER
338	9" MAPLE	14392	6" CEDAR
339	8" PEAR	14393	6" CEDAR
340	11" MAPLE	14587	6" CHERRY
341	13" PEAR	14588	6" CHERRY
342	25" MAPLE	14619	6" FIR
343	13" PEAR	14628	6" MAPLE
344	17" PEAR	14672	7" FIR
345	13" PEAR	15131	7" MAPLE
346	19" ASH	15444	LAUREL
347	22" ASH	16428	6" DECIDUOUS
348	13" ASH	16433	7" COTTONWOOD
349	18" ASH	16446	7" ALDER
350	18" ASH	16459	COTTONWOOD STUMP
351	19" ASH	16460	7" COTTONWOOD
352	8" MAPLE	16636	6" COTTONWOOD
353	10" FIR	16637	7" COTTONWOOD
354	30" MAPLE	16672	6" FIR
355	33" FIR	16683	6" CEDAR
356	11" FIR	16692	6" COTTONWOOD
357	15" MAPLE	16693	7" COTTONWOOD
358	21" MAPLE	16694	7" COTTONWOOD
359	25" MAPLE	16695	7" COTTONWOOD
360	19" MAPLE	16696	7" COTTONWOOD
361	16" MAPLE	16697	7" COTTONWOOD
362	14" MAPLE	16702	7" COTTONWOOD
363	23" MAPLE	16707	6" COTTONWOOD
364	24" MAPLE	16710	7" COTTONWOOD
365	12" MAPLE	16715	6" COTTONWOOD
366	23" MAPLE	16715	6" COTTONWOOD
367	22" MAPLE	16717	6" COTTONWOOD
368	17" MAPLE	16721	6" COTTONWOOD
369	15" PINE	16725	7" COTTONWOOD
370	10" PINE	16728	7" COTTONWOOD
371	9" PINE	20275	CEDAR
372	13" PINE	20288	CEDAR
373	12" PINE	20289	CEDAR
374	8" PINE	20290	CEDAR
375	11" PINE	20293	7" FIR
376	14" SPRUCE	20296	6" FIR
377	11" SPRUCE	20298	7" FIR
378	12" SPRUCE	20299	7" FIR
379	12" HEMLOCK	20300	7" FIR
380	26" FIR	20302	6" MADRONE
381	14" SPRUCE	20624	7" DECIDUOUS
382	16" SPRUCE	20625	7" DECIDUOUS
383	15" SPRUCE	20626	7" DECIDUOUS
384	26" FIR	20627	7" DECIDUOUS
385	28" FIR	20628	7" DECIDUOUS
386	11" SPRUCE	20940	6" HOLLY
387	16" SPRUCE	21138	5" OAK
388	15" SPRUCE	21141	6" OAK
389	9" SPRUCE	21142	4" OAK
390	13" SPRUCE	21145	6" MADRONE
391	10" SPRUCE	21166	6" FIR
392	23" CEDAR	21180	6" DECIDUOUS
393	23" FIR	21186	7" CHERRY
393	23" FIR	21187	7" CHERRY

STORM SEWER INFORMATION

- (SD9) PVC OUTFALL
12" I.E. OUT (NE) = 150.5'
- (SD12) LYNCH STYLE CURB INLET
RIM = 160.24'
TRAP (N)
- (SD16) MANHOLE
RIM = 165.16'
12" I.E. IN (E) = 161.0'
12" I.E. IN (W) = 159.7'
12" I.E. IN (S) = 159.6'
12" I.E. OUT (N) = 159.5'
- (SD17) CURB INLET
RIM = 165.30'
12" I.E. OUT (W) = 161.3'
- (SD18) CURB INLET
RIM = 165.24'
12" I.E. OUT (E) = 161.0'
- (SD19) MANHOLE
RIM = 160.18'
12" I.E. IN (E) = 156.1'
12" I.E. IN (W) = 156.4'
12" I.E. IN (S) = 156.1'
12" I.E. OUT (SE) = 153.0'
- (SD20) CURB INLET
RIM = 160.31'
12" I.E. OUT (E) = 157.0'
- (SD21) MANHOLE
RIM = 160.42'
12" I.E. IN (NW) = 151.7'
12" I.E. IN (N) = 149.8'
12" I.E. OUT (SE) = 149.8'
- (SD22) CISTERN WITH GRATE
RIM TOP = 156.23'
RIM BOTTOM = 155.77'
SUMP = 147.5'
- (SD23) CONCRETE INLET
24" OUT (E) = 150.4'
- (SD32) DITCH INLET
RIM TOP = 154.35'
RIM BOTTOM = 153.14'
12" I.E. OUT (NE) = 153.8'
- (SD33) DITCH INLET
RIM TOP = 156.39'
RIM BOTTOM = 155.73'
12" I.E. IN (W) = 149.4'
12" I.E. OUT (E) = 149.3'

SANITARY SEWER INFORMATION

- (SS1) MANHOLE
RIM = 172.46'
10" I.E. IN (W) = 164.3'
10" I.E. IN (S) = 163.7'
10" I.E. IN (E) = 163.7'
8" I.E. OUT (N) = 163.4'
- (SS2) MANHOLE
RIM = 166.21'
10" IN (E)
8" (S TO N)
FLOW LINE = 159.9'
- (SS3) MANHOLE
RIM = 161.52'
8" (S TO NE)
FLOW LINE = 154.8'
- (SS4) MANHOLE
RIM = 158.22'
8" I.E. IN (SW)
10" I.E. OUT (N)
- (SS16) MANHOLE
RIM = 146.85'
6" (S TO NE)
FLOW LINE = 142.3'
- (SS17) MANHOLE
RIM = 155.02'
6" (NE TO N)
FLOW LINE = 145.5'



ORTHWEST SURVEYING, INC.
1815 NW 169th PLACE, SUITE 2080
BEAVERTON, OR 97006
PH: (503) 848-2127 FAX: (503) 848-2179
EMAIL: nwsurveying@swsurvey.com

LOCATED IN THE NE 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF TUALATIN,
WASHINGTON COUNTY, OREGON

20400 SW CIPOLE ROAD TOPOGRAPHIC SURVEY
TUALATIN, OREGON
TAX LOT 100

DRAWING NO.: 2288 TOPO
SCALE: AS NOTED
DRAWING GENERATED BY: LD2004
DRAWN BY: BJA
CHECKED BY: CHS
PREPARED FOR:
SPECHT DEVELOPMENT, INC.
10280 SW GREENBURG ROAD
SUITE 170
PORTLAND, OR 97223

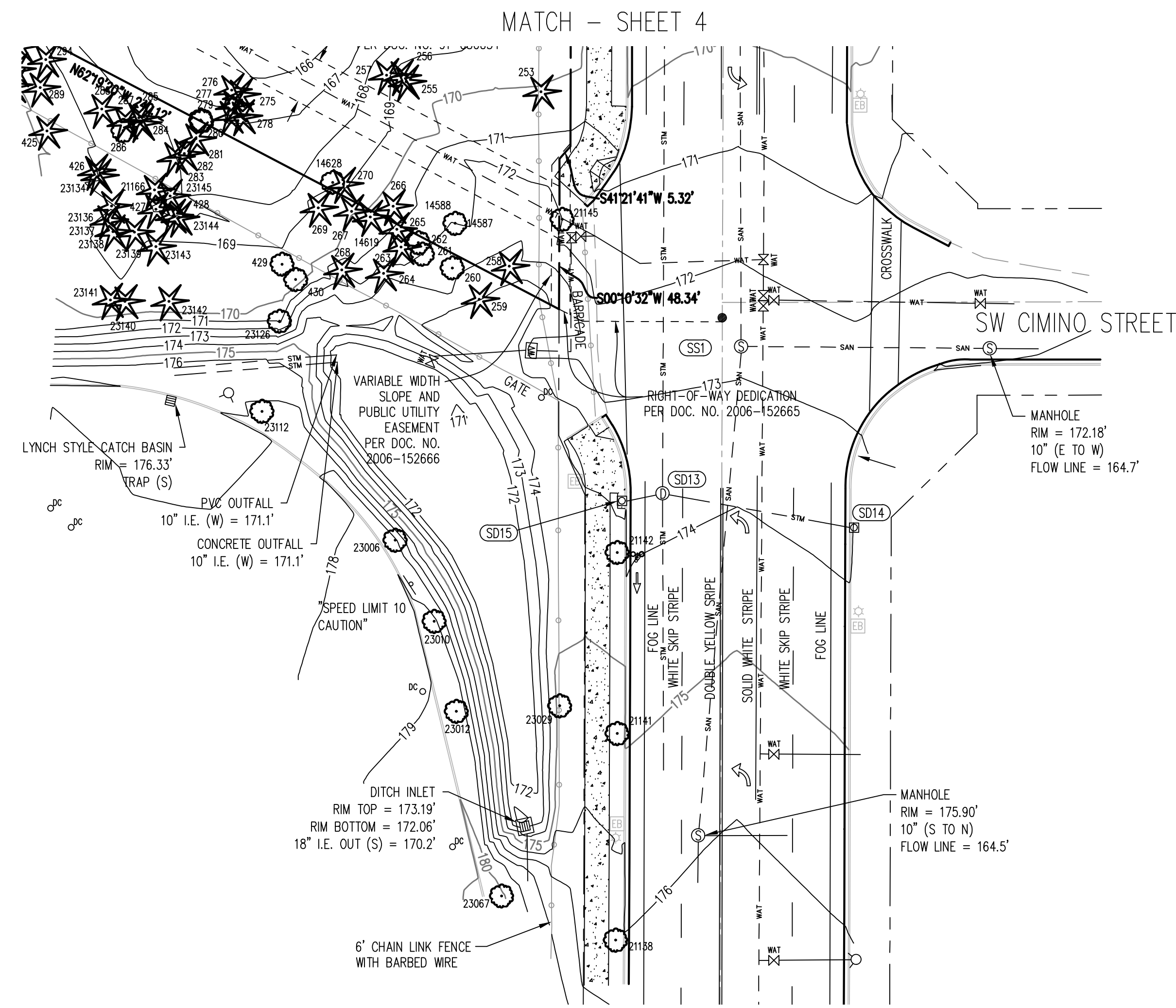
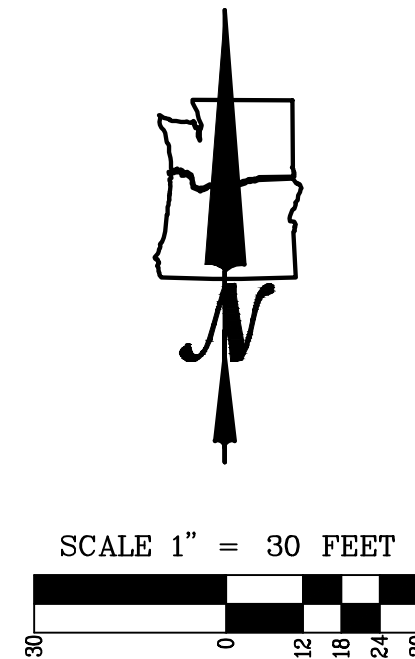
REVISIONS:
PRELIM. RELEASE: JUNE 9, 2021
INITIAL RELEASE: JUNE 18, 2021
REVISED: JULY 12, 2021

JOB NUMBER
2288

SHEET
4 OF 5

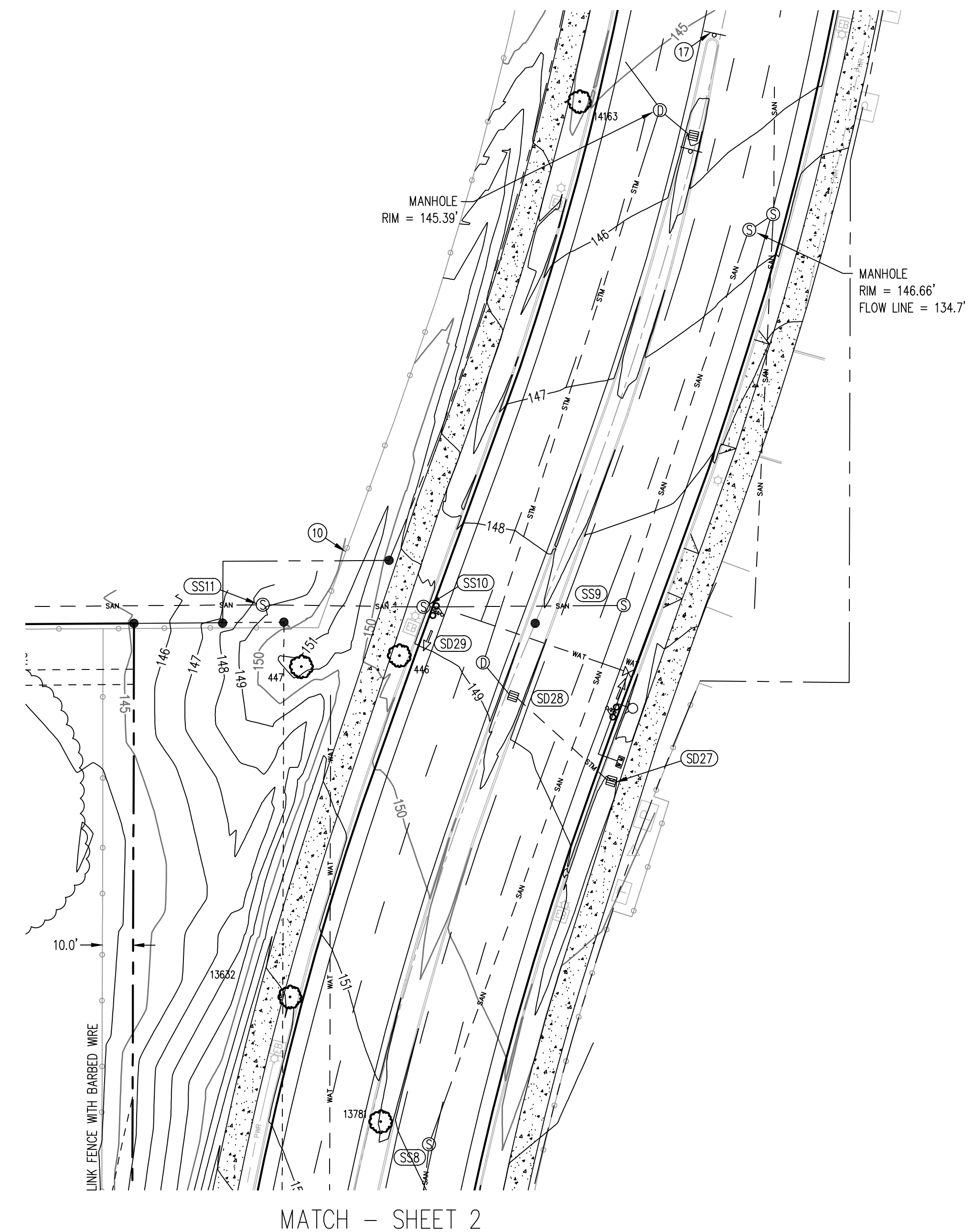
OFF-SITE TREE INFORMATION

23006	12" DECIDUOUS
23010	SPLIT 7" AVG DECIDUOUS
23012	15" DECIDUOUS
23029	6" MAPLE
23067	SPLIT 6" AVG DECIDUOUS
23112	12" DECIDUOUS
23126	SPLIT (2) 7" HAWTHORNE
23134	10" FIR
23136	12" FIR
23137	9" FIR
23138	14" FIR
23139	8" FIR
23140	28" FIR
23141	31" FIR
23142	20" FIR
23143	20" FIR
23144	22" FIR
23145	10" FIR



STORM SEWER INFORMATION

SD13	MANHOLE RIM = 173.66' 12" I.E. IN (S) = 168.2' 12" I.E. IN (E) = 168.1' 12" I.E. IN (W) = 168.1' 12" I.E. OUT (N) = 168.0'
SD14	CURB INLET RIM = 174.08' 12" I.E. OUT (W) = 168.7'
SD15	CURB INLET RIM = 173.87' 12" I.E. OUT (E) = 168.2'



NORTHWEST SURVEYING, INC.
1815 NW 169th PLACE, SUITE 2080
BEAVERTON, OR 97006
PH: (503) 848-2127 FAX: (503) 848-2179
EMAIL: nwsurveying@nwsi.com

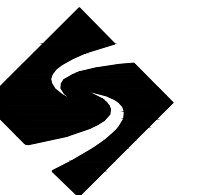
LOCATED IN THE NE 1/4 OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF TUALATIN,
WASHINGTON COUNTY, OREGON

20400 SW CIPOLE ROAD TOPOGRAPHIC SURVEY TUALATIN, OREGON
TAX LOT 100
TAX MAP 25-1-28A

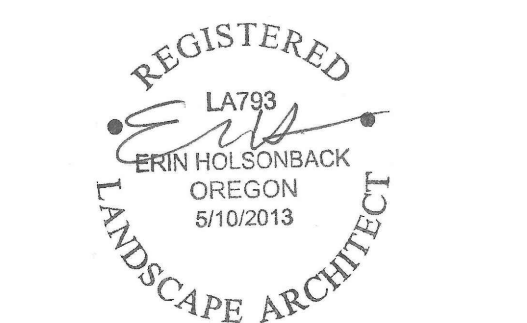
DRAWING NO.:	2288 TOPO
SCALE:	AS NOTED
DRAWING GENERATED BY:	LD2004
DRAWN BY:	BAJ
CHECKED BY:	CHS
PREPARED FOR:	SPECHT DEVELOPMENT, INC. 10280 SW GREENBURG ROAD SUITE 170 PORTLAND, OR 97223

REVISIONS:
PRELIM. RELEASE: JUNE 9, 2021
INITIAL RELEASE: JUNE 18, 2021
REVISED: JULY 12, 2021

JOB NUMBER	2288
SHEET	5 OF 5



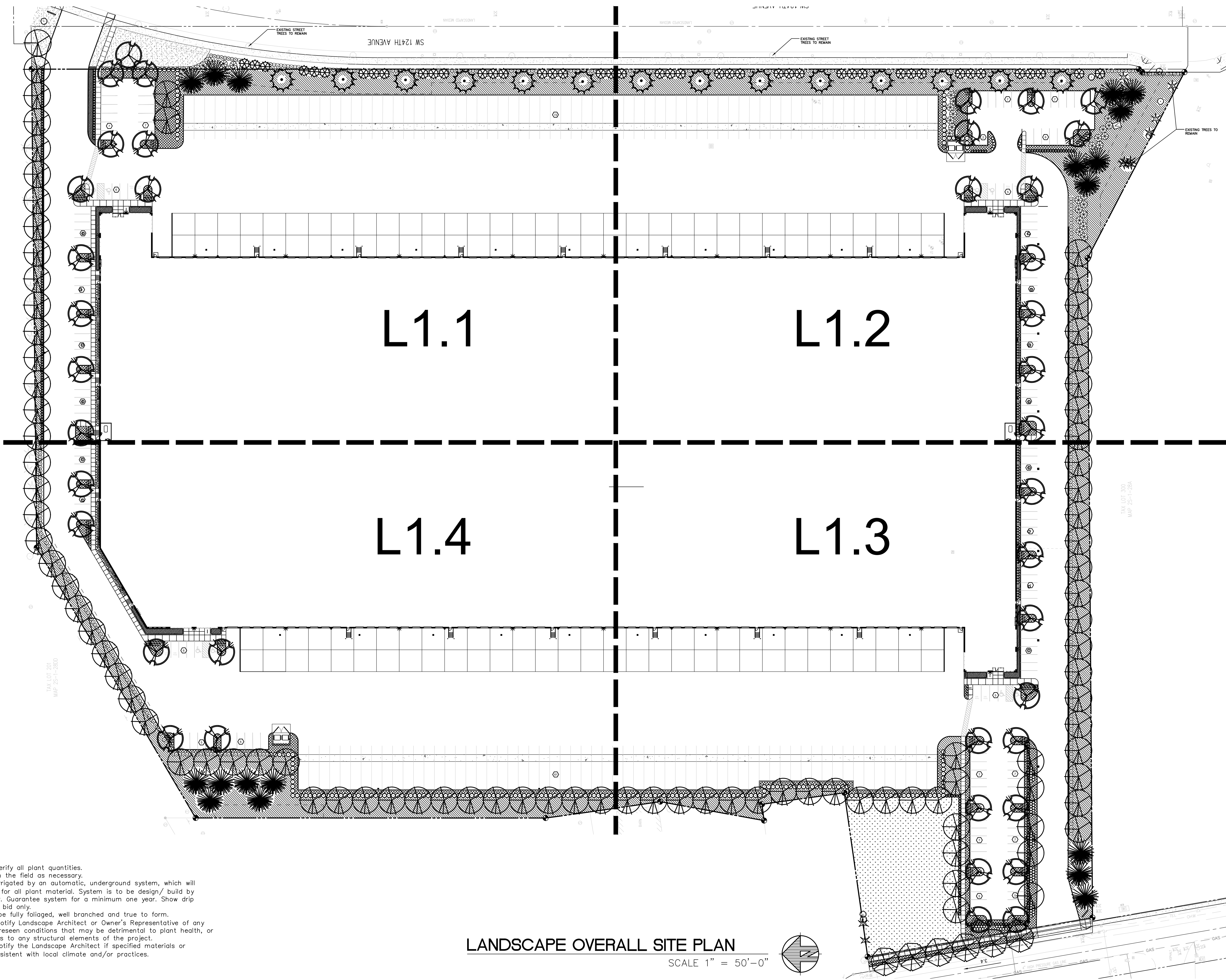
REVISIONS		
DATE	DESCRIPTION	



DATE	APRIL 2021	PROJ. NO.	20190311
SCALE	AS NOTED	CHECKED	EH
DRAWN	MPL		

**OVERALL
LANDSCAPE
SITE PLAN**

L1.0



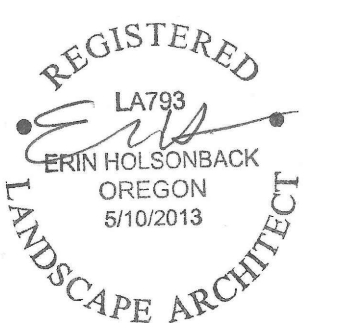
- GENERAL NOTES:**
1. Contractor is to verify all plant quantities.
 2. Adjust plantings in the field as necessary.
 3. Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/ build by Landscape Contractor. Guarantee system for a minimum one year. Show drip systems as alternate bid only.
 4. All plants are to be fully foliated, well branched and true to form.
 5. Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or cause future problems to any structural elements of the project.
 6. Contractor shall notify the Landscape Architect if specified materials or methods are not consistent with local climate and/or practices.

LANDSCAPE OVERALL SITE PLAN
SCALE 1" = 50'-0"

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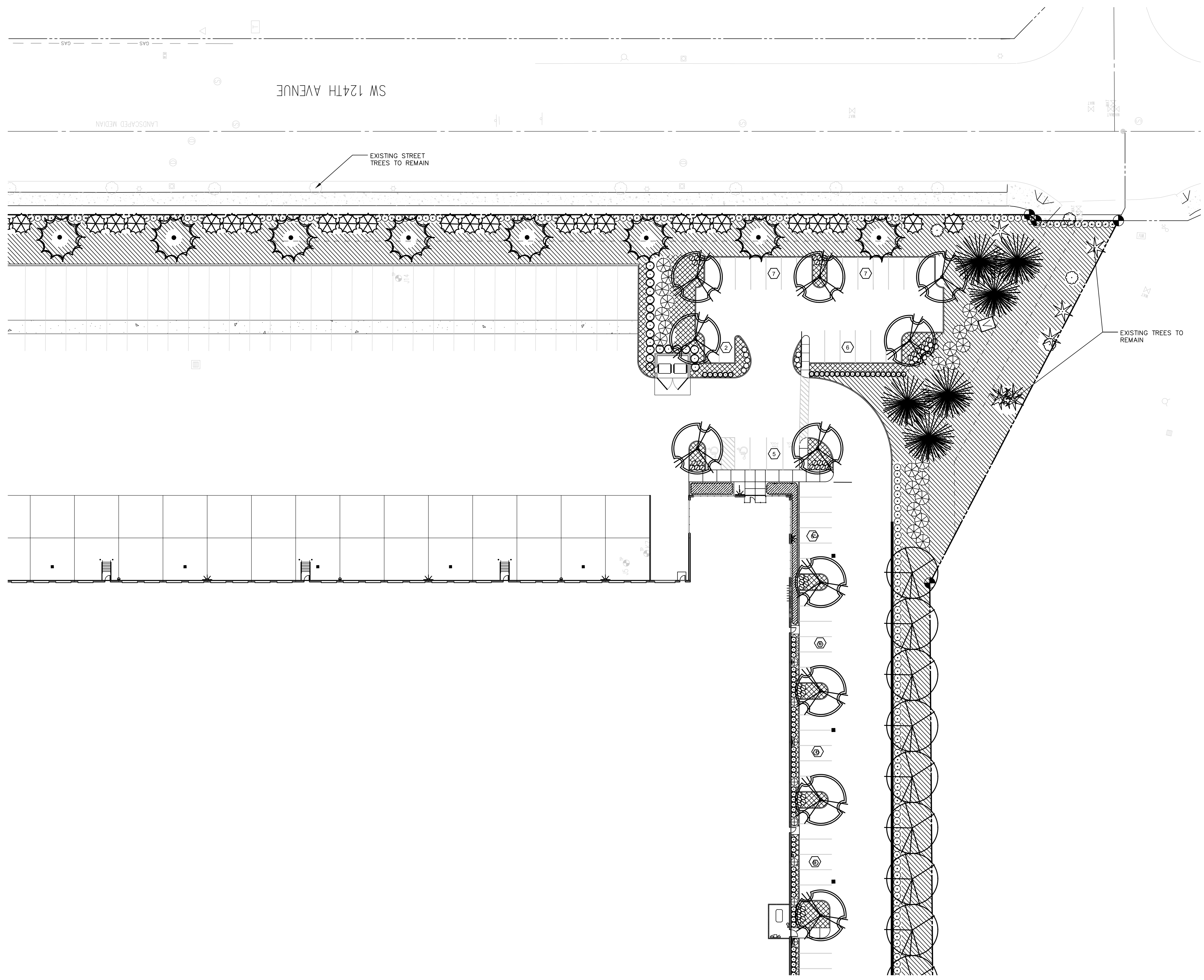


REVISIONS		
DATE	DESCRIPTION	



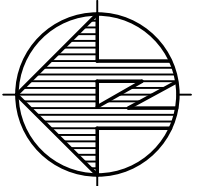
DATE	APRIL 2021	PROJ. NO.	20190311
SCALE	AS NOTED	CHECKED	EH
DRAWN	MPL	CHECKED	EH

LANDSCAPE PLAN



LANDSCAPE PLAN

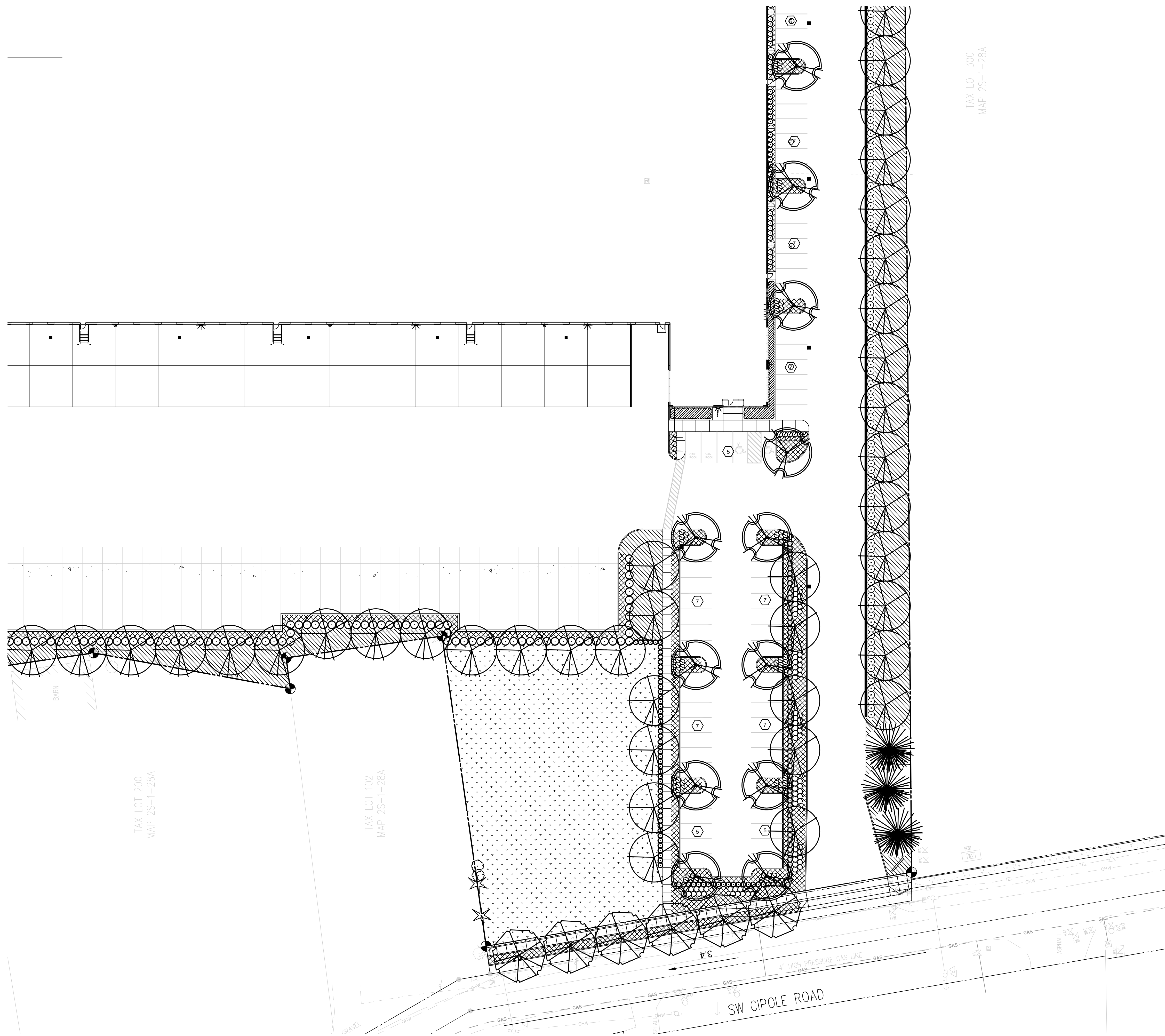
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L1.2

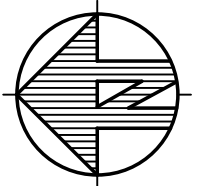
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LANDSCAPE PLAN

SCALE 1" = 30'-0"

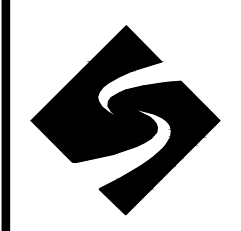


VLMK
ENGINEERING + DESIGN

3933 S Kelly Avenue
Portland, Oregon 97239
503.222.4453
VLMK.COM

OTTEN + ASSOCIATES
LANDSCAPE ARCHITECTURE

3933 South Kelly Avenue, Suite B
Portland, OR, 97239
(503) 972-0311
www.ottenia.com



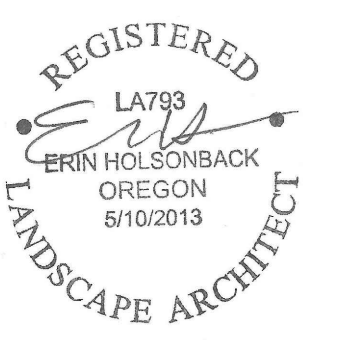
10260 SW Greenburg Road
Suite 170
Portland, Oregon 97223
503.646.2202
SPECHTPROP.COM

PROJECT NAME
TUALATIN LOGISTICS PARK

XXXX SW 124th Avenue
TUALATIN, OREGON 97062
EXP. 5/31/21

REVISIONS

DATE	DESCRIPTION

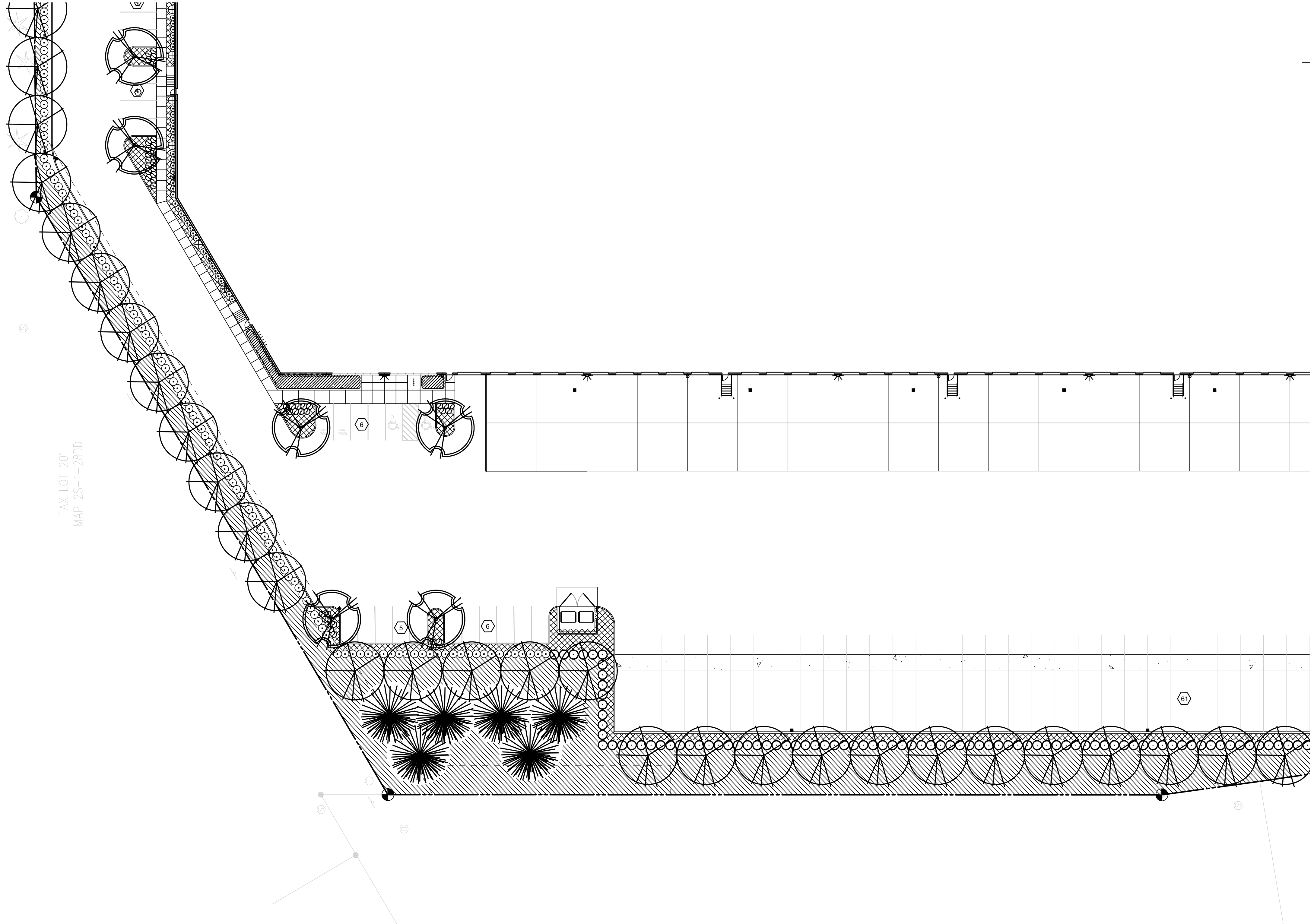


DATE	APRIL 2021
SCALE	AS NOTED
DRAWN	MPL
CHECKED	EH
PROJ. NO.	20190311

LANDSCAPE PLAN



L1.3

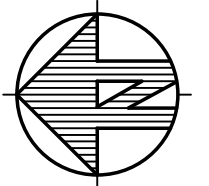


TAX LOT 201
MAP 2S-1-2800

TAX LOT 103
MAP 2S-1-28A

LANDSCAPE PLAN

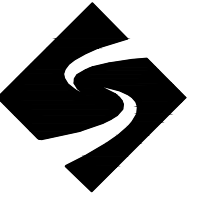
SCALE 1" = 30'-0"



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PROJECT NAME
**TUALATIN
LOGISTICS PARK**

XXXX SW 124th Avenue
TUALATIN, OREGON 97062
EXP. 5/31/21

REVISIONS

DATE	DESCRIPTION



DATE	APRIL 2021	
SCALE	AS NOTED	PROJ. NO. 20190311
DRAWN	MPL	CHECKED EH

LANDSCAPE
PLAN

L1.4

OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 – 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliated, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Baled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. Landscape Contractor is to verify with the General Contractor if the on-site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitability of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing:
2 part native topsoil (no subsoil)
1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:
Small shrubs - 1/8 lb./ plant
Shrubs - 1/3 to 1/2 lb./ plant
Trees - 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix "B" at 4.5 lbs. Per 1,000 sq.ft. and rake into soil surface. Establish an even, fine textured seedbed meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

ROUGH SEED AREA: In rough seeded area, establish an evenly graded seedbed. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

SEED: Bluetag grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis.

Fine Lawn Seed Mix: To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro-Time 303 Lawn Mix or as approved) Sow Seed at 5 lbs. / 1000 sq. ft.

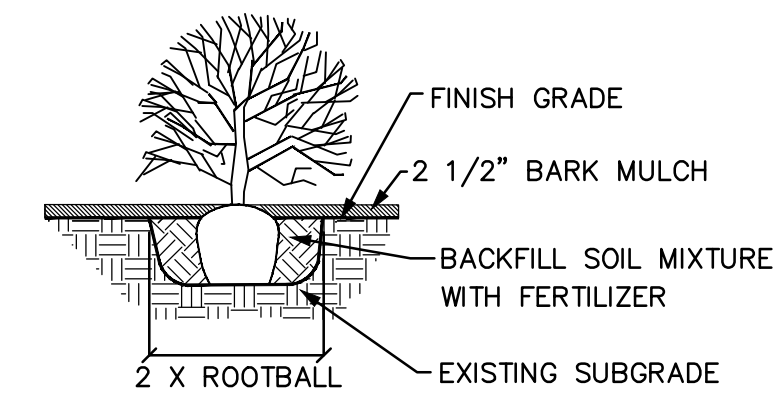
Rough Seed Mix: To Contain: 60% Perennial Ryegrass, 15% Eureka Hard Fescue, and 20% Herbaceous Plants and Clover (Hobbs and Hopkins Pro-Time 705 PDX, or approved equal). Sow at 2 lbs. Per 1,000 sq.ft.

MAINTENANCE OF SEEDED AREAS:

Fine Lawn Areas: The lawn areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1 1/2" to 2" in height. Remove clippings and dispose of off site.

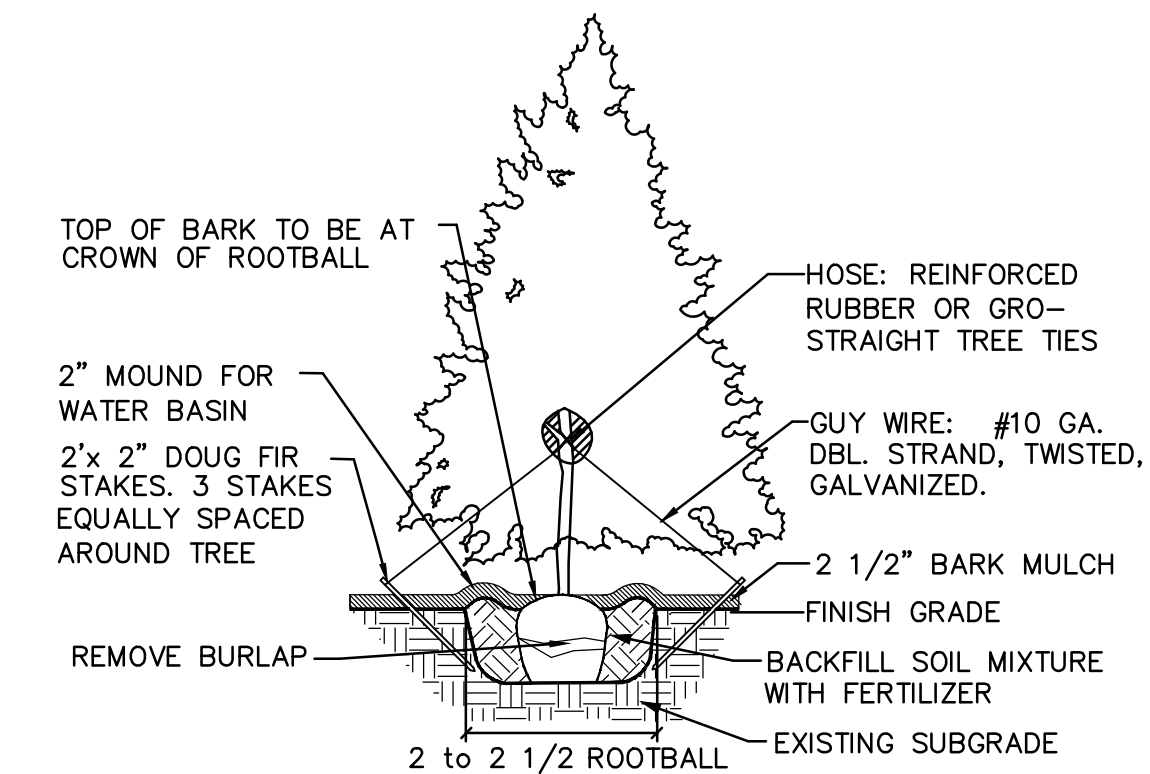
GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

CLEAN-UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.



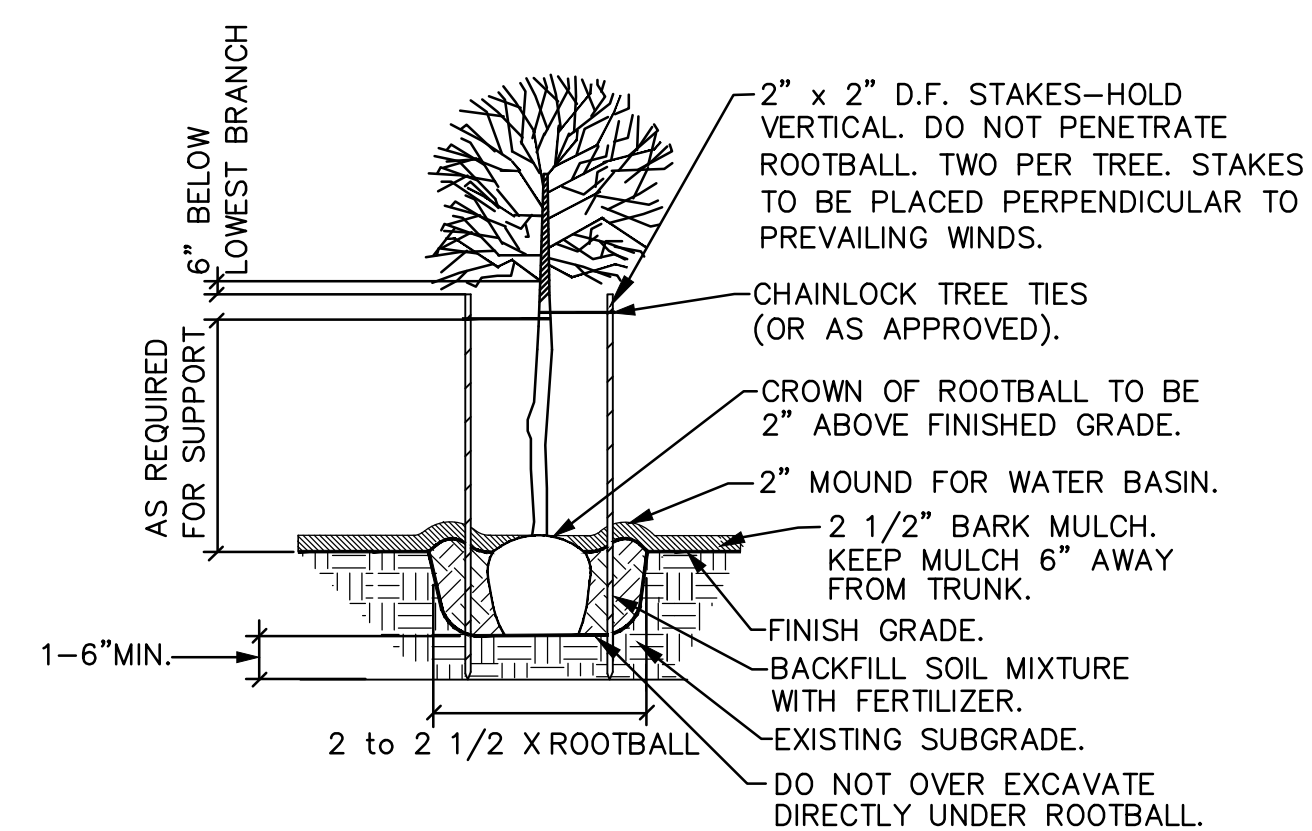
SHRUB PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE STAKING DETAIL

NOT TO SCALE

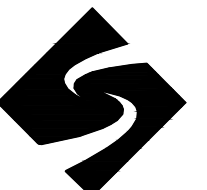


GENERAL DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

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PROJECT NAME

TUALATIN
LOGISTICS PARK

XXXX SW 124th Avenue
TUALATIN, OREGON 97062
EXP. 5/31/21

REVISIONS

△	DATE	DESCRIPTION

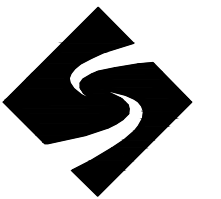


DATE	APRIL 2021
SCALE	AS NOTED
DRAWN	MPL
PROJ. NO.	20190311
CHECKED	EH

LANDSCAPE
DETAILS & SPECS



L2.0

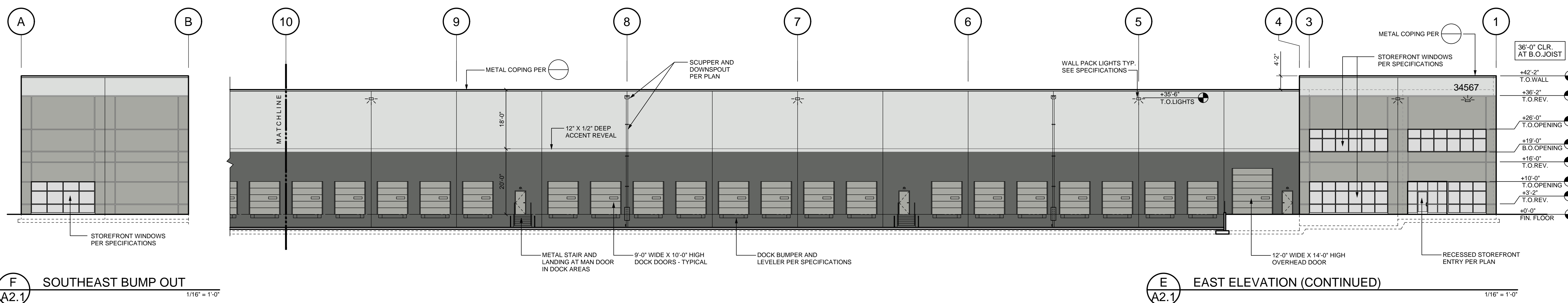
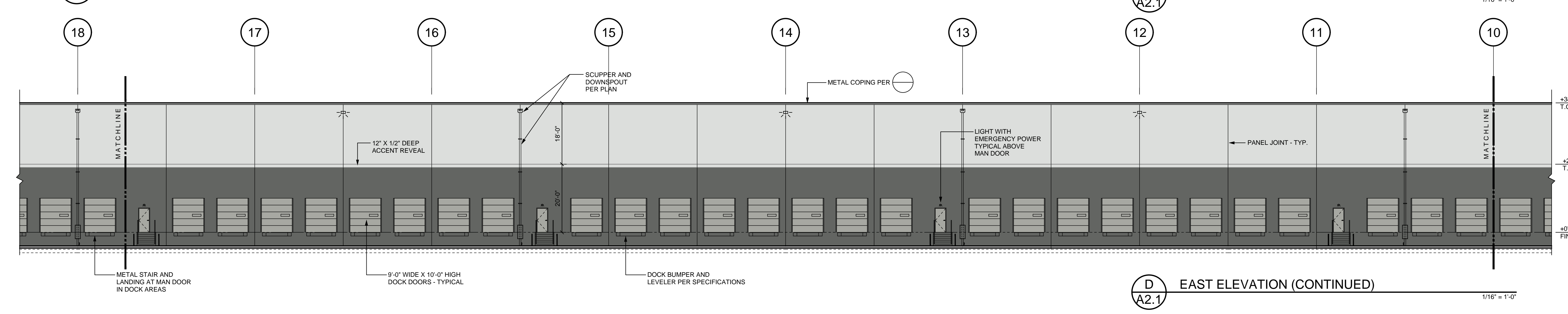
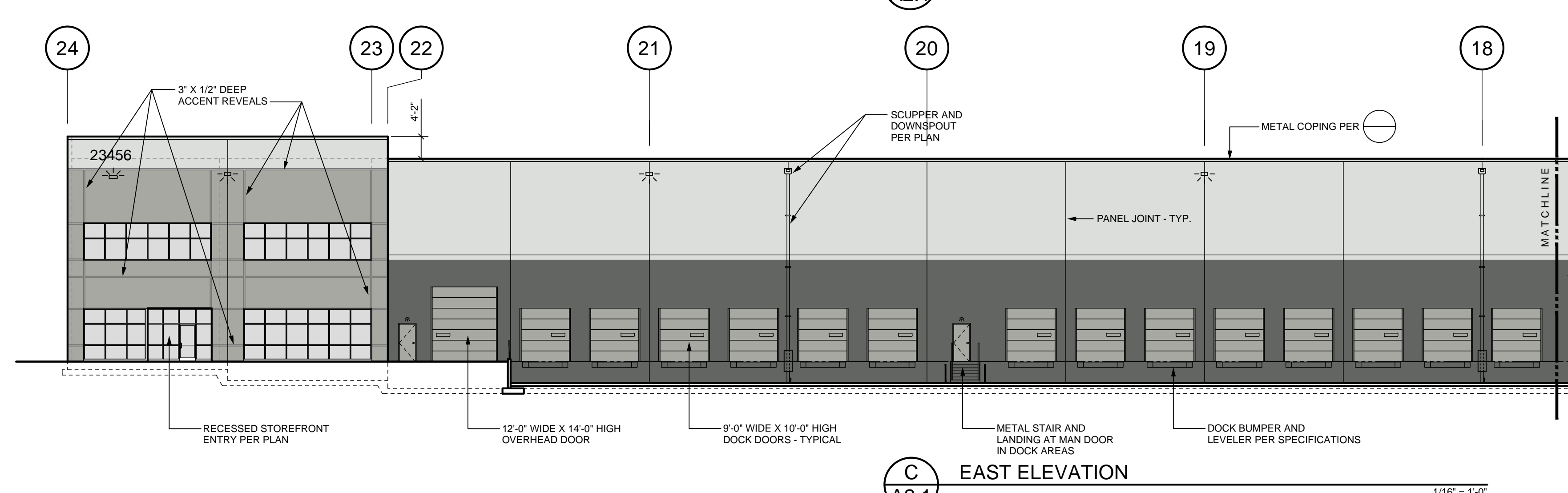
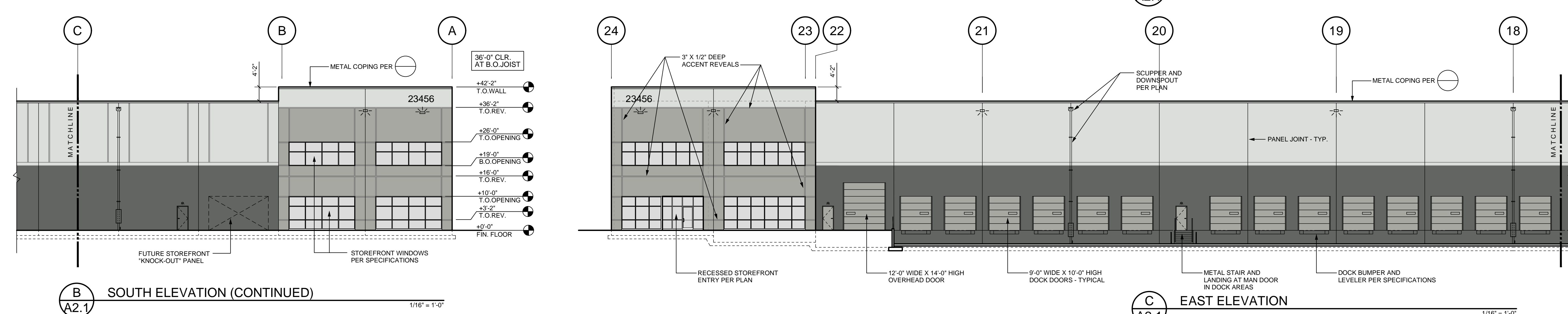
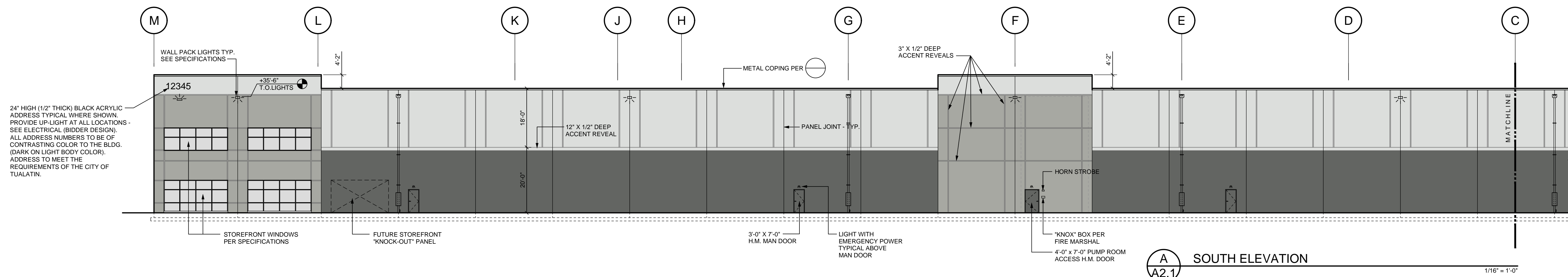


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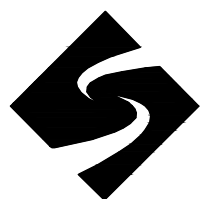
DATE	
APRIL 2021	PROJ. NO. 20190311
SCALE AS NOTED	CHECKED HGK
DRAWN KAN	

ENLARGED EXTERIOR ELEVATIONS

A2.1



G:\vland\2019\03110-Drawing\200 A2.1 Enlarged Elevations.dwg/09/24/2021 10:05 AM



REVISIONS

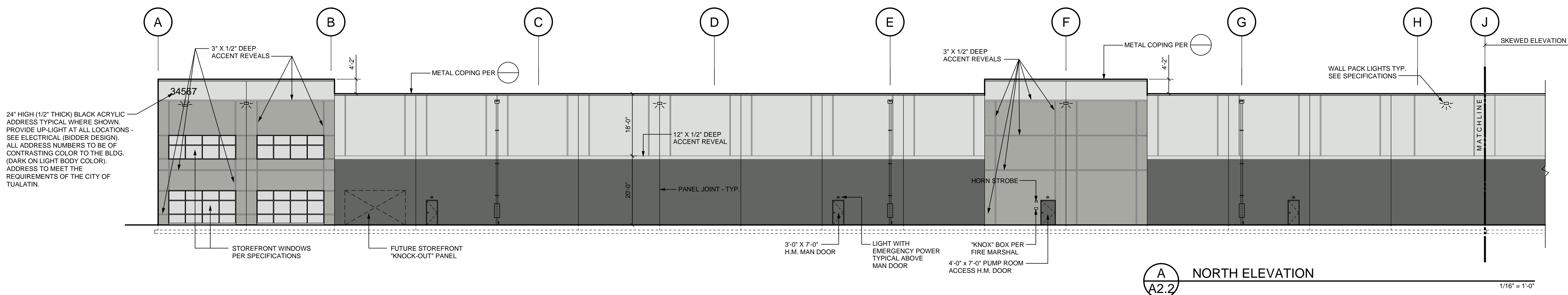
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DATE	APRIL 2021
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DRAWN	KAN
CHECKED	HGK

ENLARGED EXTERIOR ELEVATIONS

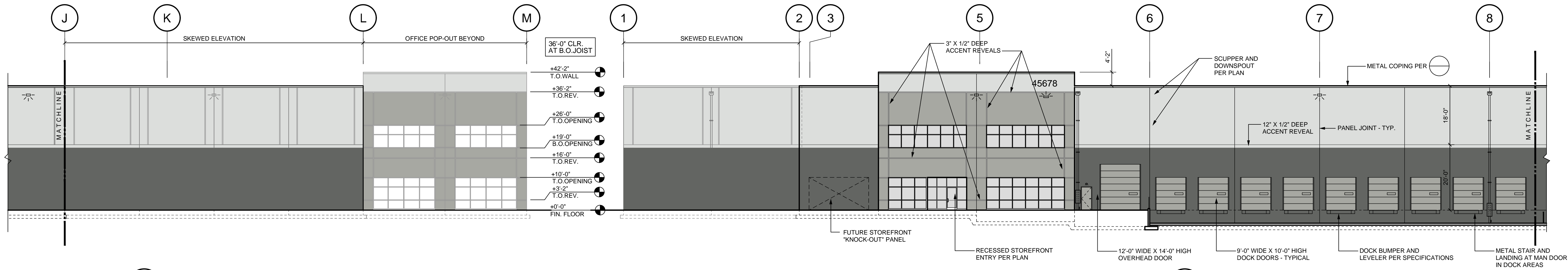


A2.2



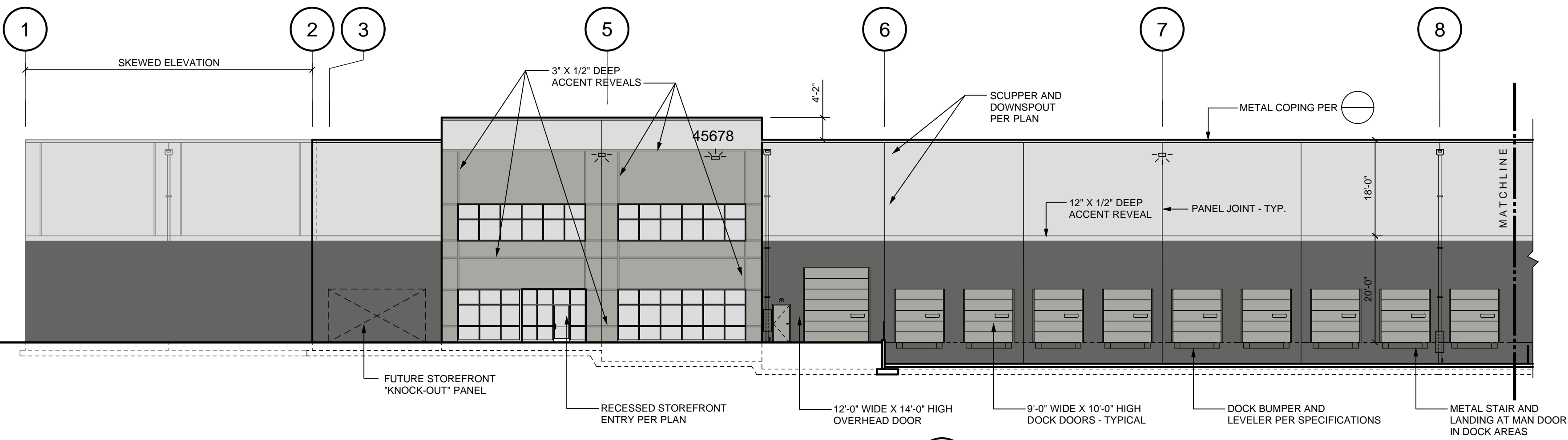
A NORTH ELEVATION

A2.2 1/16" = 1'-0"



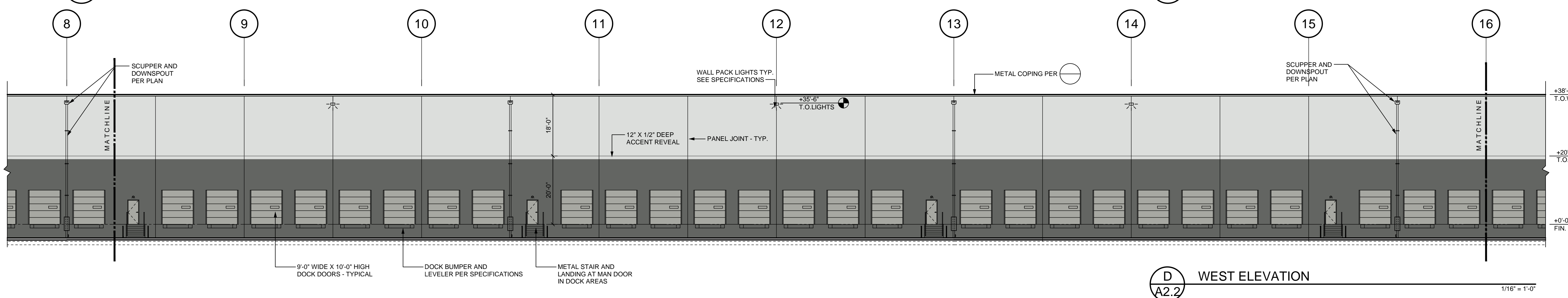
B NORTH ELEVATION (CONTINUED)

1/16" = 1'-0"



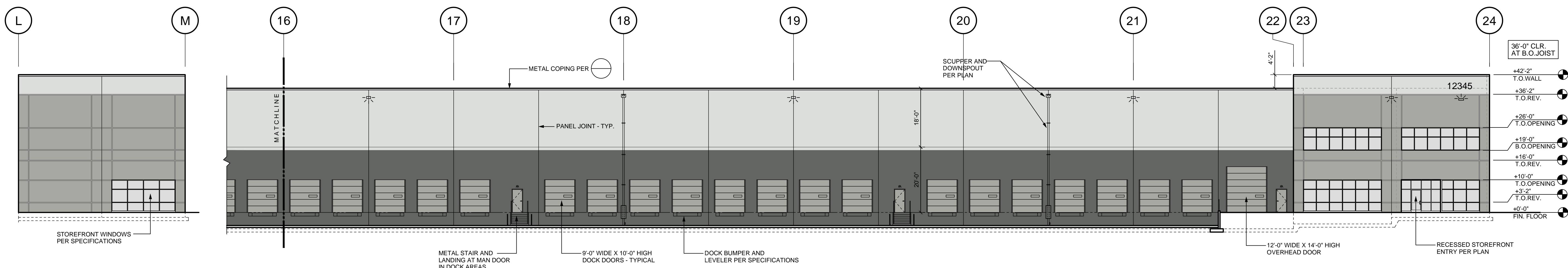
C WEST ELEVATION

A2.2 1/16" = 1'-0"



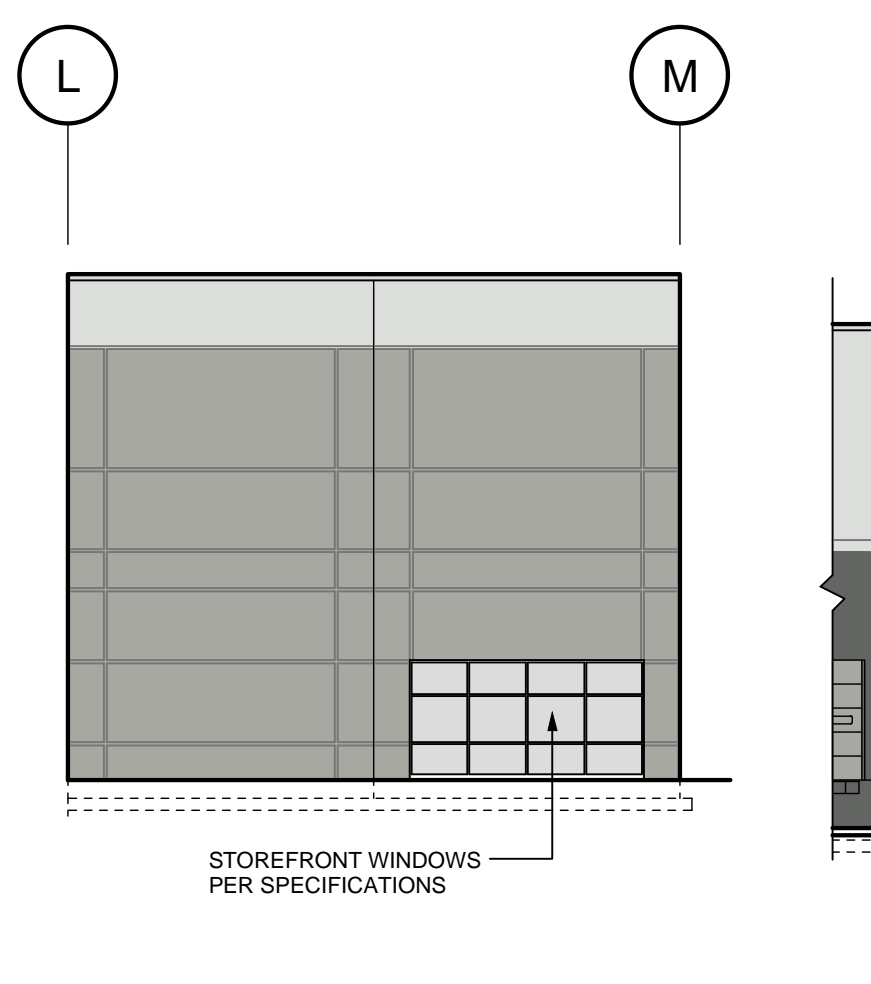
D WEST ELEVATION

A2.2 1/16" = 1'-0"



E WEST ELEVATION (CONTINUED)

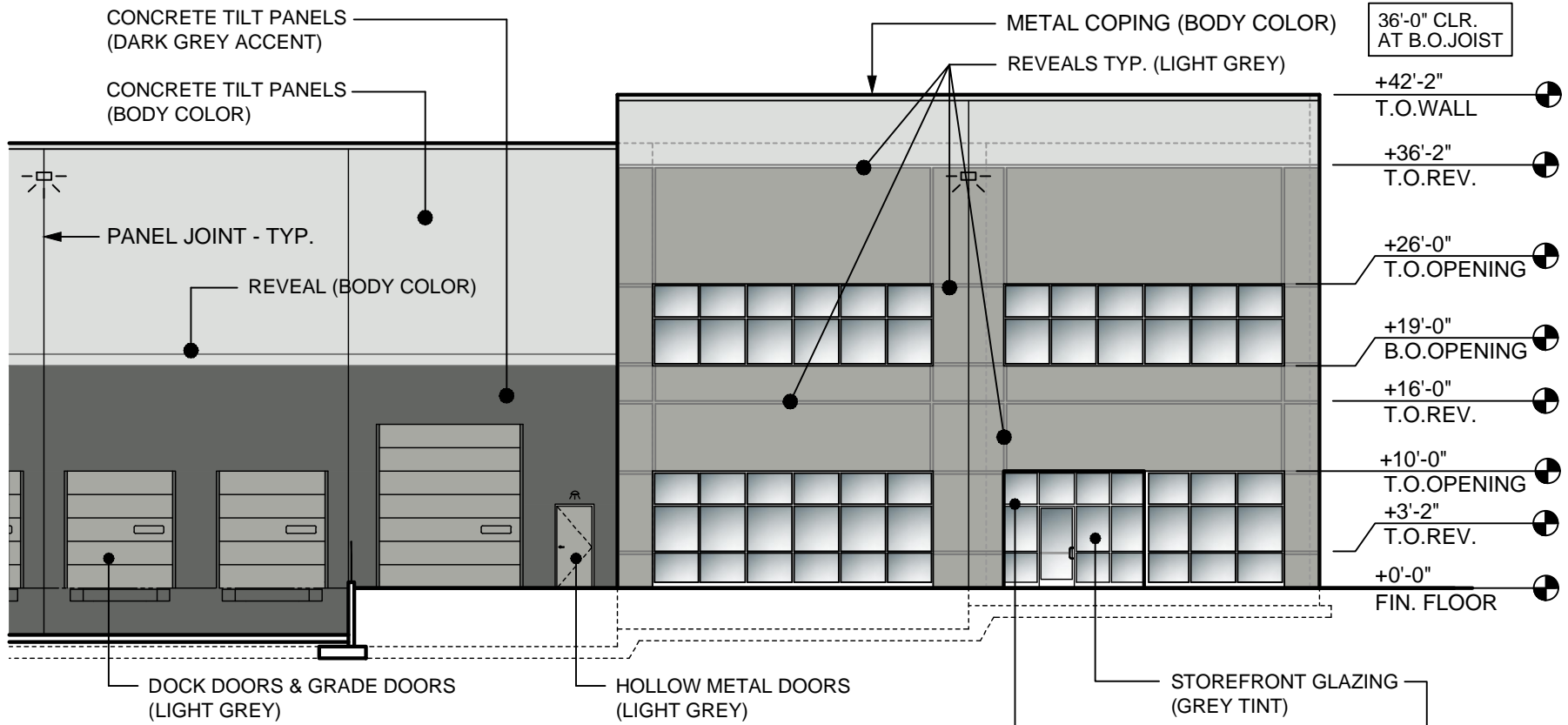
A2.2 1/16" = 1'-0"



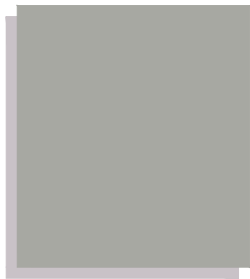
F SOUTHWEST BUMP OUT

1/16" = 1'-0"

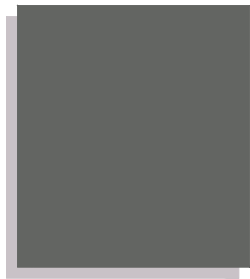
24" HIGH (1/2" THICK) BLACK ACRYLIC ADDRESS TYPICAL WHERE SHOWN. PROVIDE UP-LIGHT AT ALL LOCATIONS - SEE ELECTRICAL (BIDDER DESIGN). ALL ADDRESS NUMBERS TO BE OF CONTRASTING COLOR TO THE BLDG. (DARK ON LIGHT BODY COLOR). ADDRESS TO MEET THE REQUIREMENTS OF THE CITY OF TUALATIN.



Sherwin Williams
 "SITE WHITE"
 SW 7070
 "Body Color"



Sherwin Williams
 "GRAY MATTERS"
 SW 7066
 "Light-Grey"



Sherwin Williams
 "GRIZZLE GRAY"
 SW 7068
 "Dark Grey Accent"



Aluminum Storefront Framing
 Class II Clear Anodized



Storefront Glazing
 Solarban 60
 "Solar Gray"

Tualatin Logistics Park