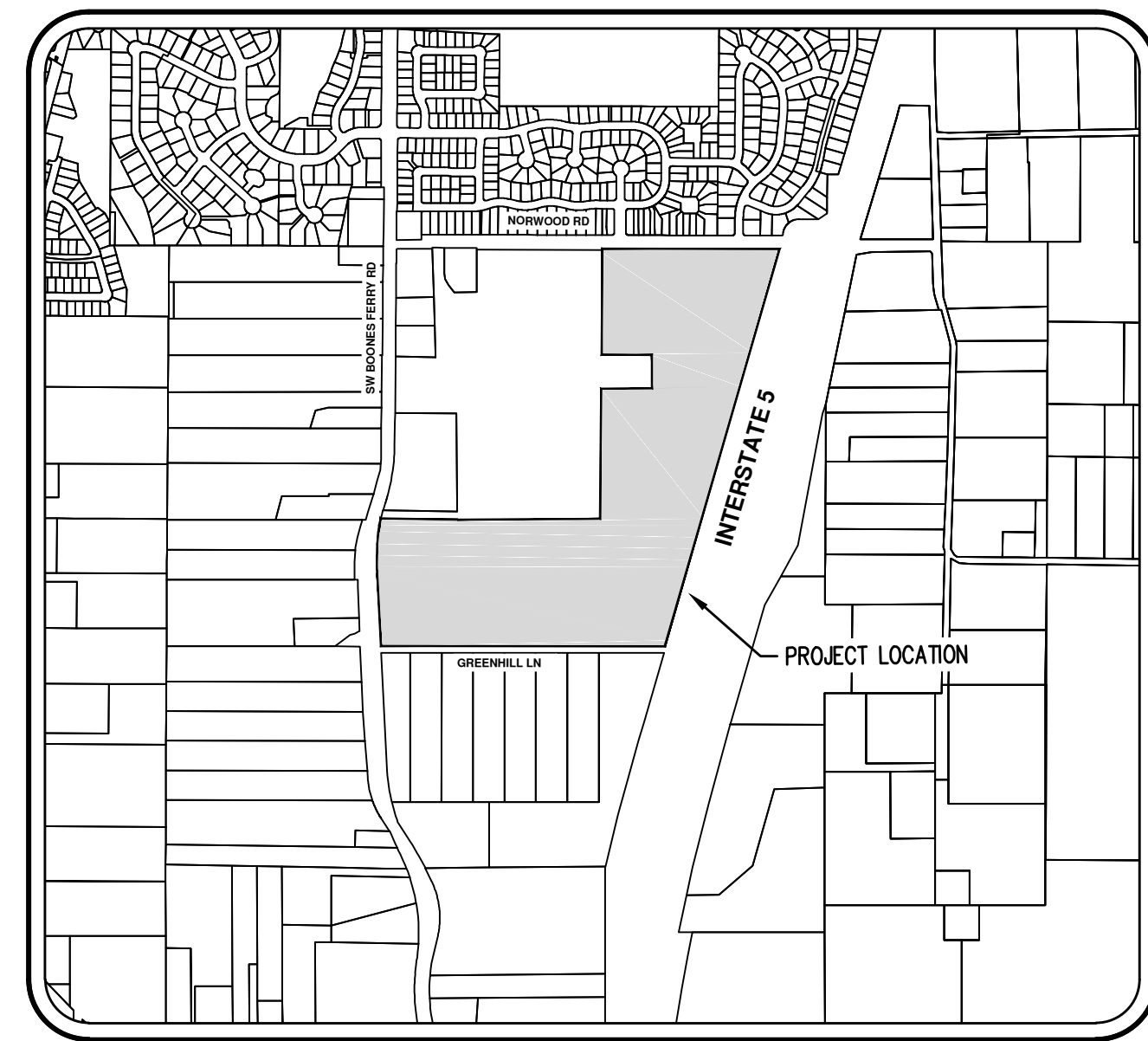
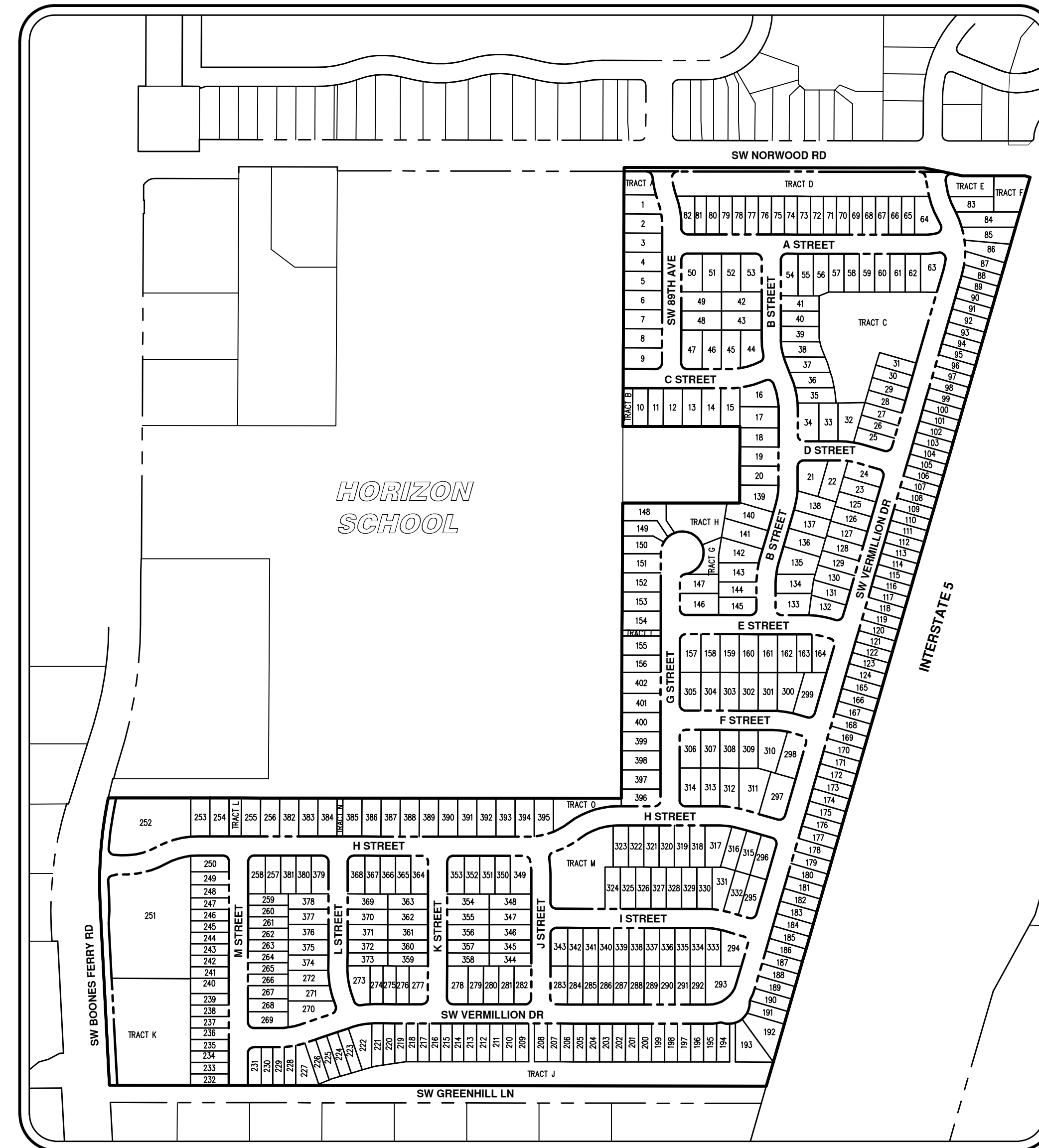
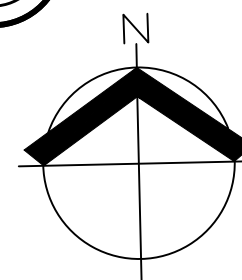


AUTUMN SUNRISE SUBDIVISION

LAND USE APPLICATION PLANS



VICINITY MAP
1" = 1000'



SITE MAP
1" = 250'

APPLICANT/DEVELOPER

LENNAR NORTHWEST, INC.
11807 NE 99TH ST., SUITE 1170
VANCOUVER, WA 98682

**PLANNING/CIVIL
ENGINEERING/SURVEYING/
NATURAL RESOURCE/
ARBORIST/LANDSCAPE
ARCHITECTURE FIRM**

AKS ENGINEERING & FORESTRY, LLC
CONTACT: MIMI DOUKAS, AICP
12965 SW HERMAN ROAD, SUITE 100
TUALATIN, OR 97062
PH: 503-563-6151
EMAIL: MIMID@AKS-ENG.COM

PROJECT LOCATION

LOCATED SOUTH OF SW NORWOOD ROAD AND EAST OF SW BOONES FERRY ROAD IN THE CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROPERTY DESCRIPTION

TAX LOTS 100, 400, 401, 500, 501, 600, 800, AND 900 (WASHINGTON COUNTY ASSESSOR'S MAP 2S 1 35D) LOCATED IN THE CENTRAL PORTION OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON

EXISTING LAND USE

SINGLE FAMILY RESIDENTIAL WITH ASSOCIATED AGRICULTURAL FIELD AND VACANT LAND

PROJECT PURPOSE

SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL, 400 LOT RESIDENTIAL SUBDIVISION WITH 2 COMMERCIAL LOTS IN THE RML ZONE DISTRICT

VERTICAL DATUM

VERTICAL DATUM: ELEVATIONS ARE BASED ON WASHINGTON COUNTY BENCHMARK NO. 452, LOCATED AT THE NORTHWEST CORNER OF THE BRIDGE ON NORWOOD ROAD OVER INTERSTATE 5 FREEWAY. ELEVATION = 342.76 FEET (NGVD 29).

SHEET INDEX

PROJECT OVERVIEW

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PO-01	SHEET INDEX AND LEGEND
PO-02	CONCEPTUAL MASTER PLAN
PO-03	AERIAL PHOTO SITE MAP
PO-04	PRODUCT DISTRIBUTION PLAN
PO-05	PRELIMINARY CIRCULATION PLAN

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EX-02	EXISTING CONDITIONS (CEN)
EX-03	EXISTING CONDITIONS (SE)
EX-04	EXISTING CONDITIONS (SW)

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SP-04	PRELIMINARY STREET PLAN (SW)
SP-06	PRELIMINARY NORWOOD RD (ULTIMATE)
SP-07	PRELIMINARY NORWOOD RD (INTERIM)
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PS-03	PRELIMINARY STREET PROFILES
PS-04	PRELIMINARY STREET PROFILES
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PG-02	PRELIMINARY GRADING AND ESC PLAN (CEN)
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ST-02	PRELIMINARY STREET TREE AND PLANTING PLAN (CEN)
ST-03	PRELIMINARY STREET TREE AND PLANTING PLAN (SE)
ST-04	PRELIMINARY STREET TREE AND PLANTING PLAN (SW)
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LP-02	PRELIMINARY LIGHTING PLAN (CEN)
LP-03	PRELIMINARY LIGHTING PLAN (SE)
LP-04	PRELIMINARY LIGHTING PLAN (SW)
LP-05	PRELIMINARY PHOTOMETRIC CALCULATIONS

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
DECIDUOUS TREE			STORM DRAIN CLEAN OUT		
CONIFEROUS TREE			STORM DRAIN CATCH BASIN		
FIRE HYDRANT			STORM DRAIN AREA DRAIN		
WATER BLOWOFF			STORM DRAIN MANHOLE		
WATER METER			GAS METER		
WATER VALVE			GAS VALVE		
DOUBLE CHECK VALVE			GUY WIRE ANCHOR		
AIR RELEASE VALVE			UTILITY POLE		
SANITARY SEWER CLEAN OUT			POWER VAULT		
SANITARY SEWER MANHOLE			POWER JUNCTION BOX		
SIGN			POWER PEDESTAL		
STREET LIGHT			COMMUNICATIONS VAULT		
MAILBOX			COMMUNICATIONS JUNCTION BOX		
			COMMUNICATIONS RISER		

	EXISTING	PROPOSED
RIGHT-OF-WAY LINE		
BOUNDARY LINE		
PROPERTY LINE		
CENTERLINE		
DITCH		
CURB		
EDGE OF PAVEMENT		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
POWER LINE		
OVERHEAD WIRE		
COMMUNICATIONS LINE		
FIBER OPTIC LINE		
GAS LINE		
STORM DRAIN LINE		
SANITARY SEWER LINE		
WATER LINE		

SHEET INDEX AND LEGEND
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

LENNAR®

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 AKS ENGINEERING & FORESTRY, LLC
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 503.563.6151
 WWW.AKS-ENG.COM
 ENGINEERING • SURVEYING • NATURAL RESOURCES
 FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE



JOB NUMBER:	7454
DATE:	7/1/2021
DESIGNED BY:	JSM
DRAWN BY:	JSM
CHECKED BY:	DS

PO-01





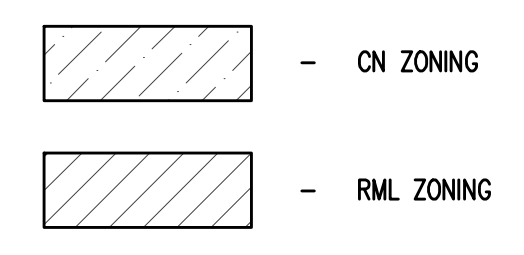
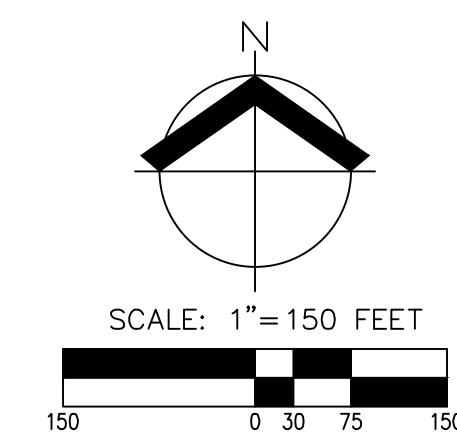
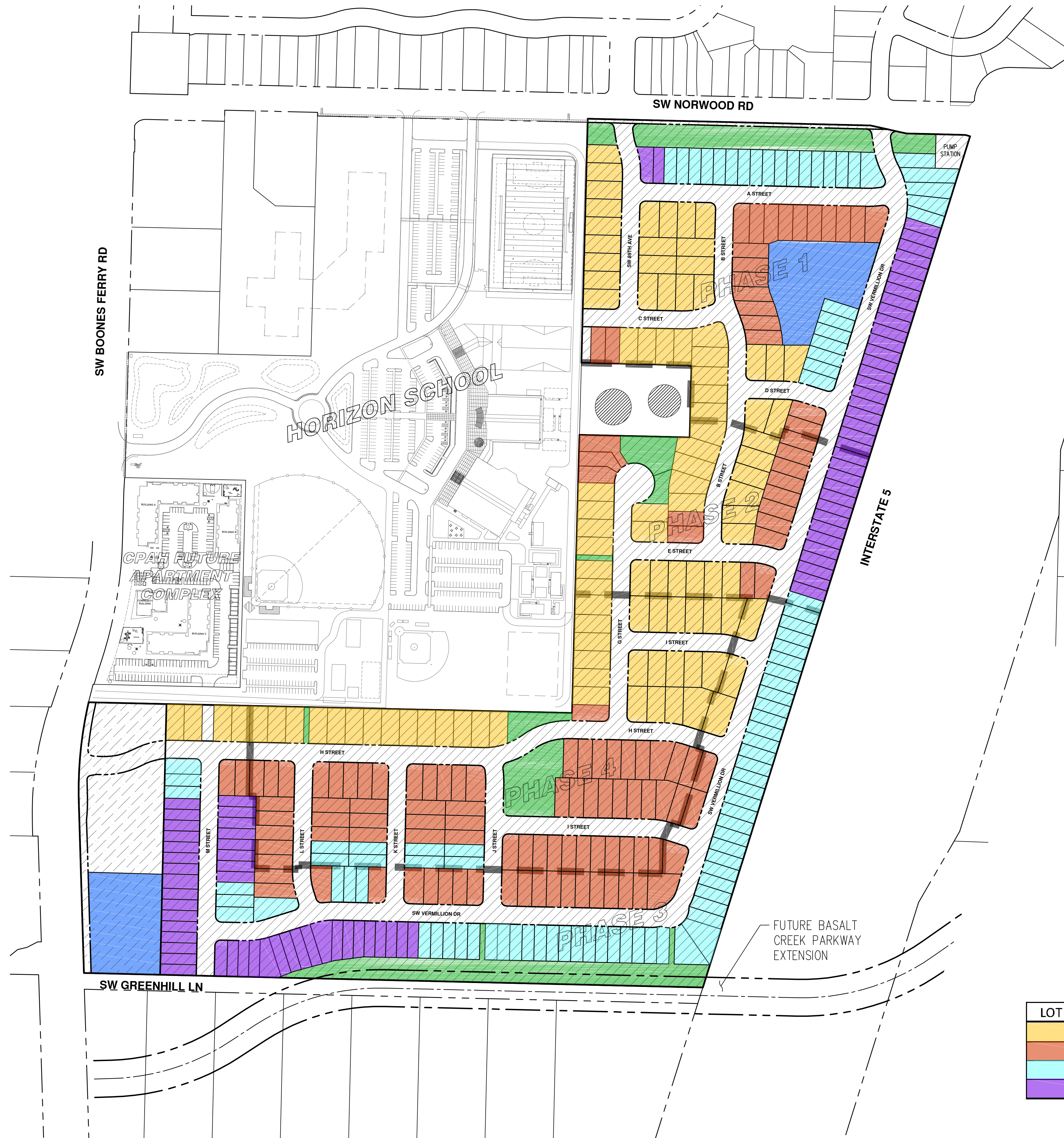
AERIAL PHOTO SITE MAP
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF OREGON
 84806
PRELIMINARY
 12, 2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

PO-03

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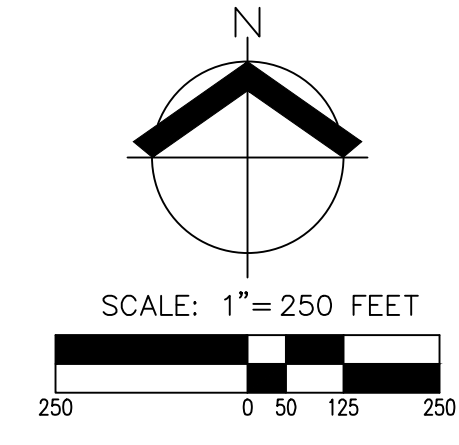
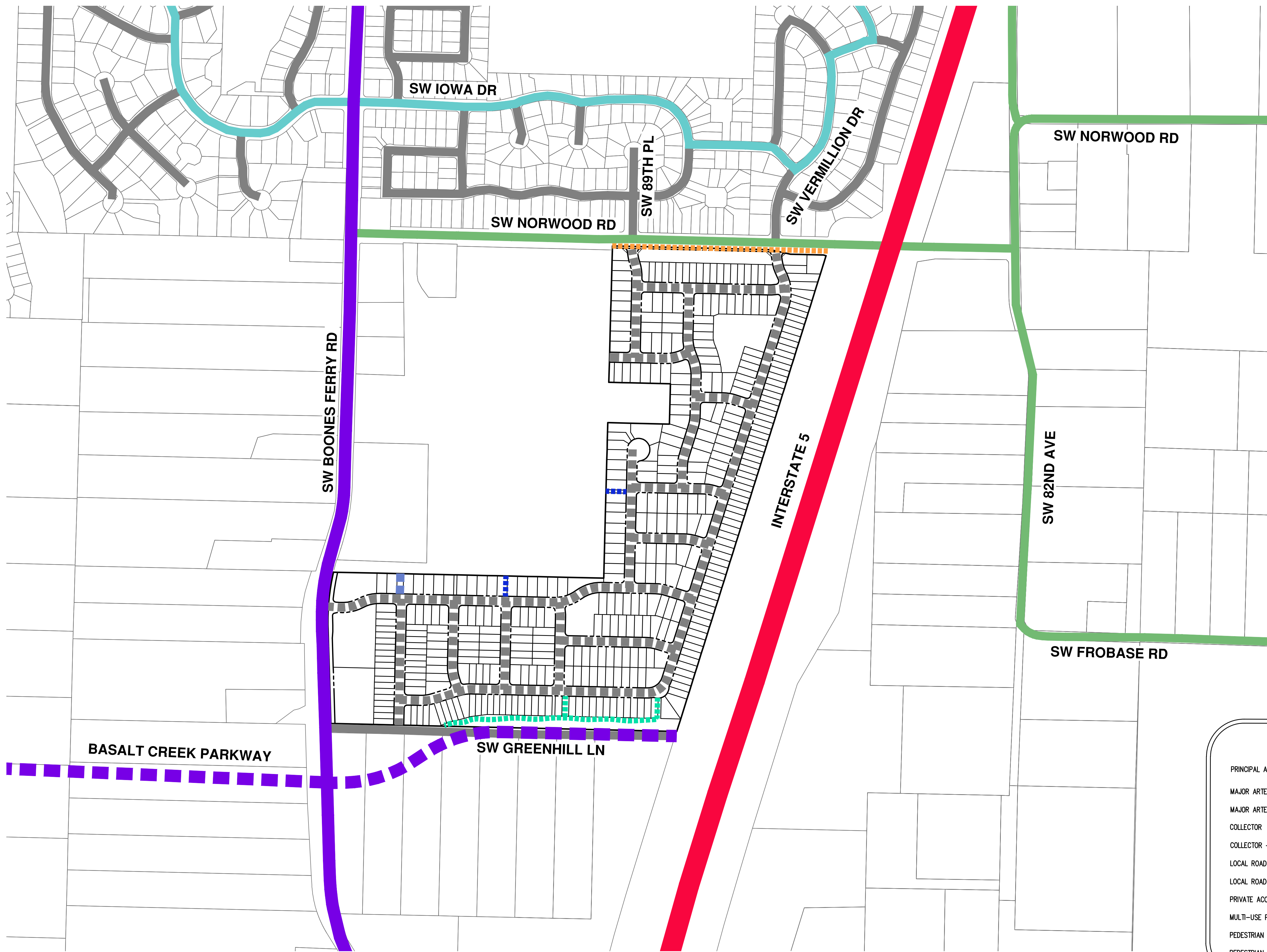
DENSITY CALCULATIONS

	SQ. FT.	ACRES
GROSS SITE AREA:	± 2,688,206	± 61.71
PUBLIC R.O.W. DEDICATION AREA:	± 629,282	± 14.45
CITY RESERVIOR DEDICATION OPEN SPACE AREA:	± 12,879	± 0.30
PRIVATE STREET/ACCESS AREA:	± 5,718	± 0.13
STORMWATER FACILITY AREA:	± 155,691	± 3.57
COMMERCIAL AREA:	± 87,960	± 2.02
PUMP STATION DEDICATION AREA:	± 7,709	± 0.18
NET DEVELOPABLE:	± 1,788,967	± 41.07

RML ZONE	
MAXIMUM DENSITY (10 DU PER ACRE):	411 LOTS
MINIMUM DENSITY (7 DU PER ACRE):	287 LOTS
PLANNED DENSITY:	400 LOTS
REQUIRED OPEN SPACE AREA (5% GROSS):	± 134,410 SQ. FT.
OPEN SPACE PROVIDED:	± 168,629 SQ. FT.

LOT AREA SUMMARY	
MAXIMUM LOT AREA:	± 7,731 SQ. FT.
MINIMUM LOT AREA:	± 2,546 SQ. FT.
AVERAGE LOT AREA (ALL DU):	± 4,151 SQ. FT.
AVERAGE LOT AREA FOR SF DETACHED DU:	± 4,411 SQ. FT.
AVERAGE LOT AREA FOR SF ATTACHED DU:	± 3,109 SQ. FT.

LOT DIMENSION	HOUSE TYPE	PH-1	PH-2	PH-3	PH-4	TOTAL UNITS
50'x100'	Detached	35	25	7	35	102
40'x100'	Detached	21	15	25	60	121
34'x100'	Detached	29	1	59	8	97
29'x100'	Attached	24	14	42	-	80



LEGEND	
PRINCIPAL ARTERIAL	
MAJOR ARTERIAL	
MAJOR ARTERIAL - FUTURE	
COLLECTOR	
COLLECTOR - MINOR	
LOCAL ROAD	
LOCAL ROAD - PLANNED	
PRIVATE ACCESS - PLANNED	
MULTI-USE PATHWAY - PLANNED	
PEDESTRIAN ACCESSWAY - PLANNED	
PEDESTRIAN ACCESSWAY - FUTURE	

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**PRELIMINARY CIRCULATION PLAN
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL
 ENGINEER
 84806
PRELIMINARY
 12. 2016
 SIMIC
 RENEWAL DATE: 6/30/22

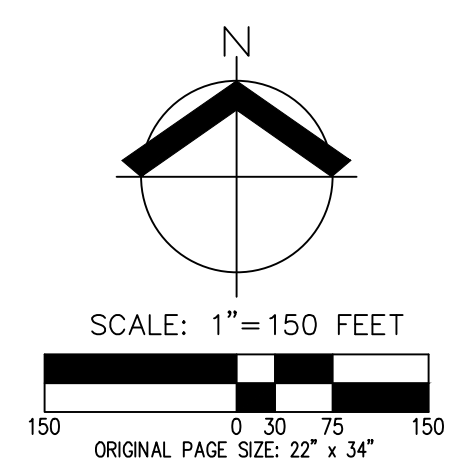
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 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

PO-05

AKS DRAWING FILE: 7454 EXCOND OVERVIEW.DWG | LAYOUT: EX-00



- NOTES:**
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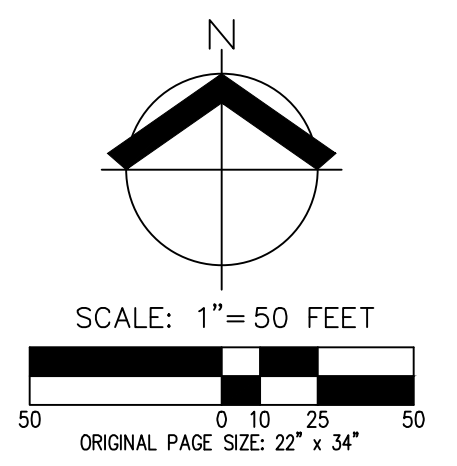
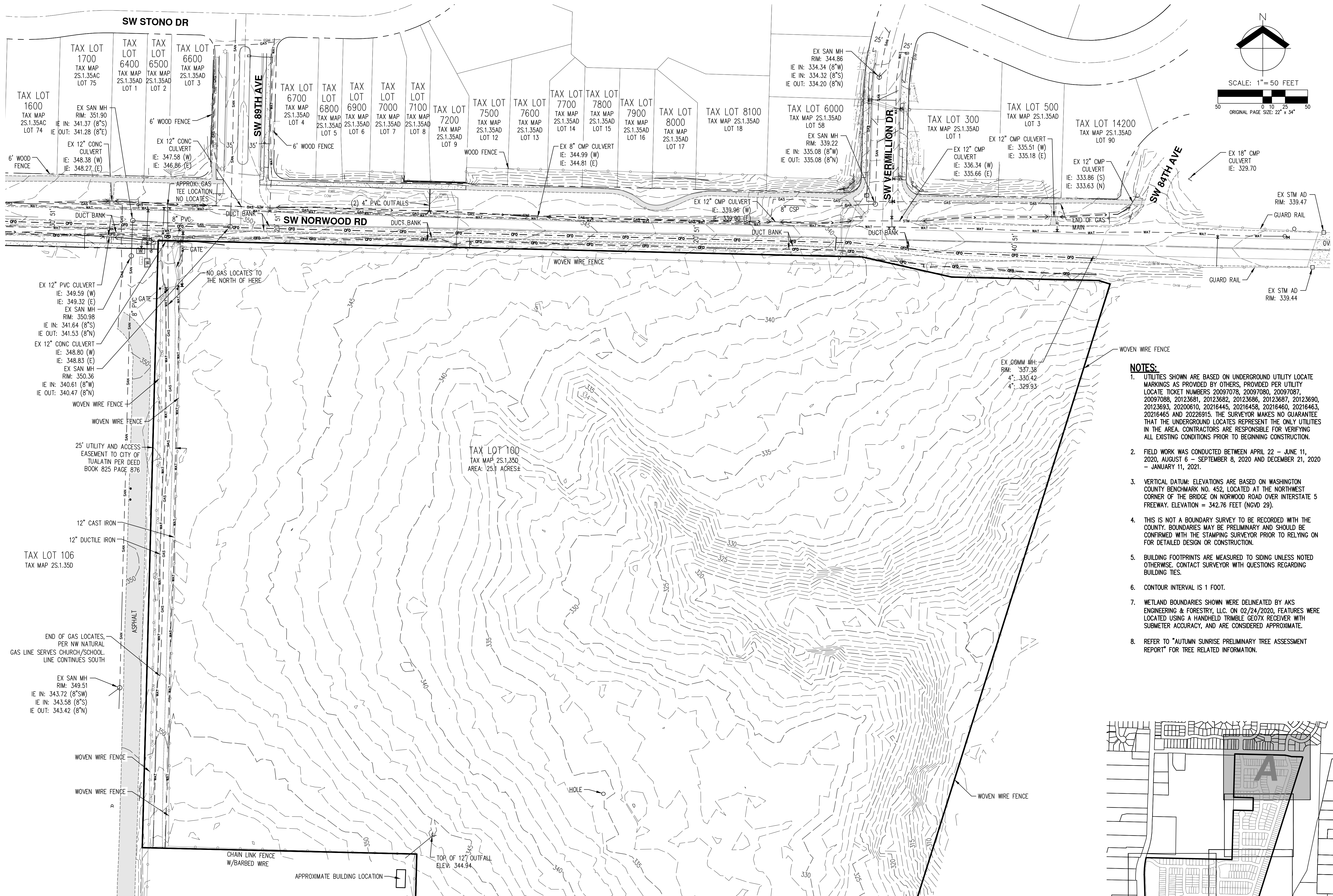
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 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL LAND SURVEYOR

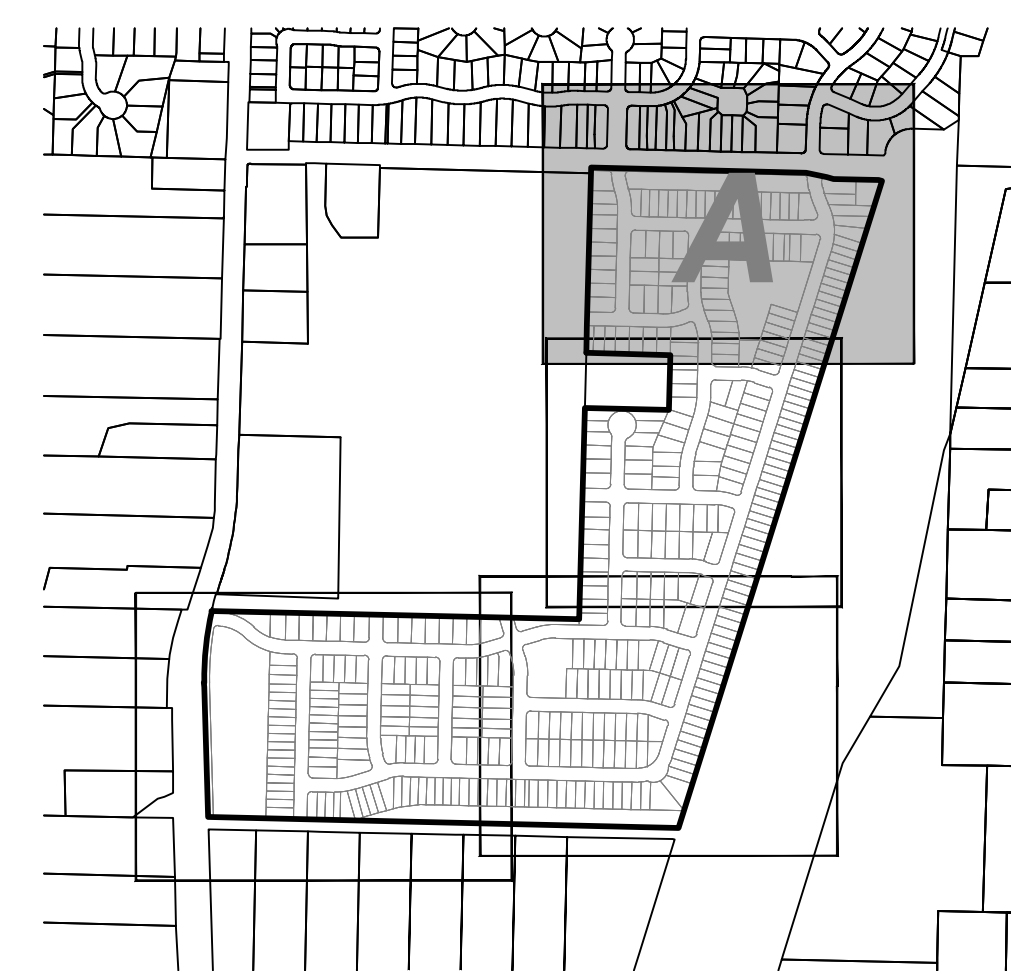
PRELIMINARY
 OREGON
 JANUARY 12, 2018
 MICHAEL S. KALINA
 89558PLS
 RENEWS: 6/30/23

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

EX-00



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 - REFER TO "AUTUMN SUNRISE PRELIMINARY TREE ASSESSMENT REPORT" FOR TREE RELATED INFORMATION.



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EXISTING CONDITIONS (N)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

REGISTERED PROFESSIONAL LAND SURVEYOR

PRELIMINARY
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 JANUARY 12, 2018
 MICHAEL S. KALINA
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 RENEWS: 6/30/23

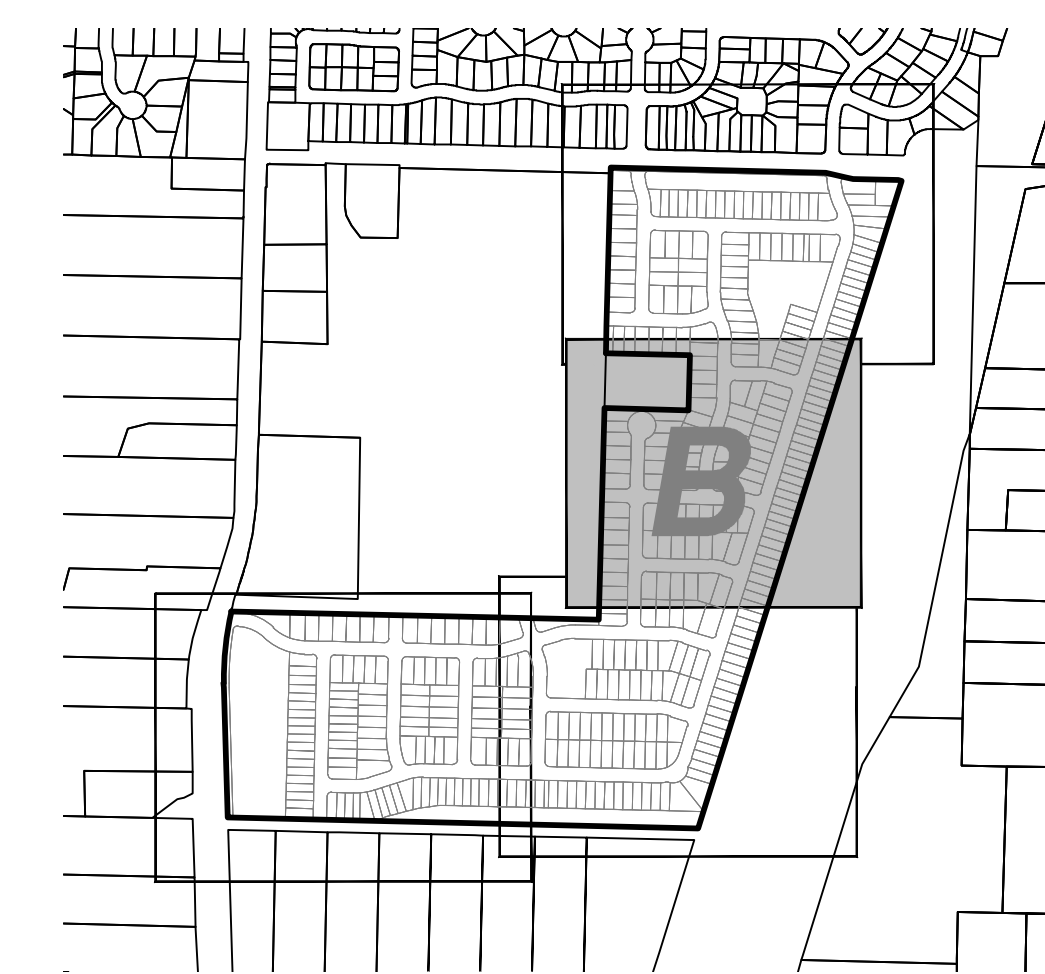
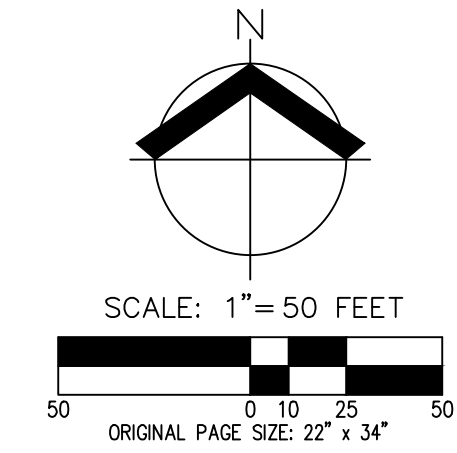
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EX-01



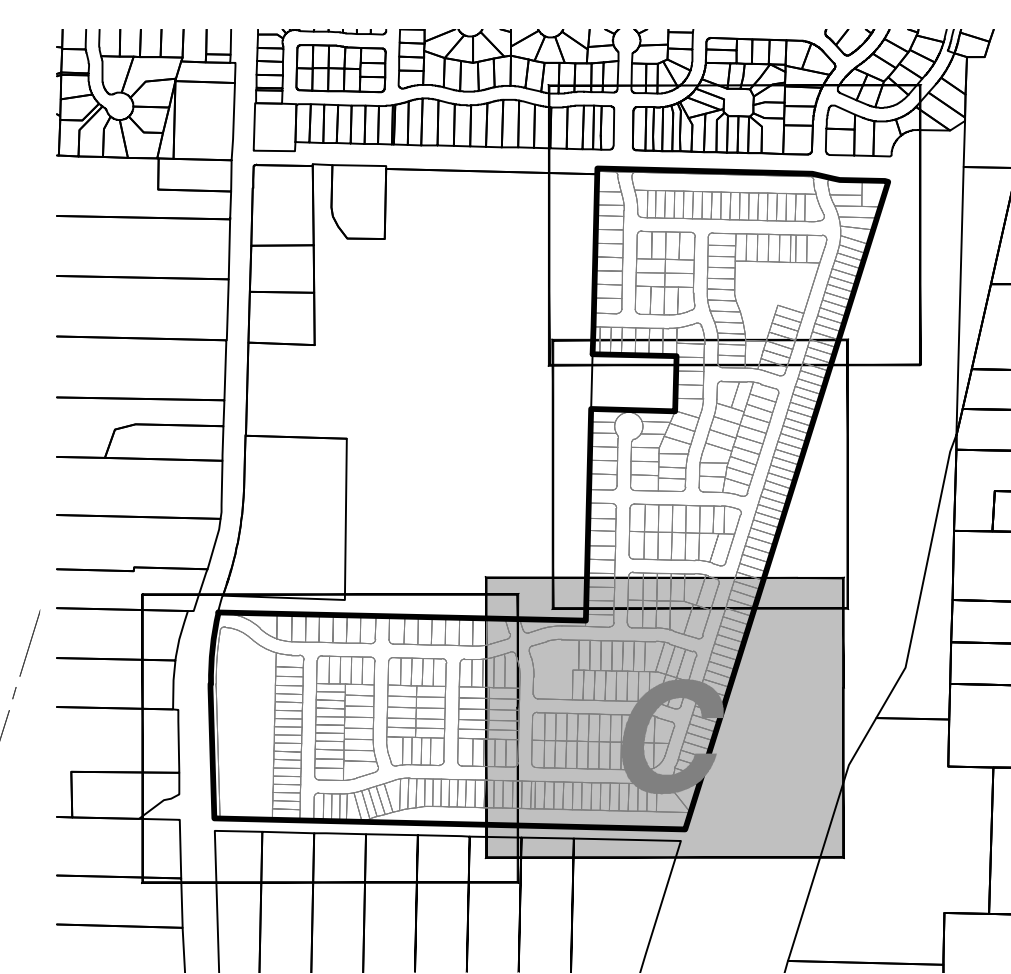
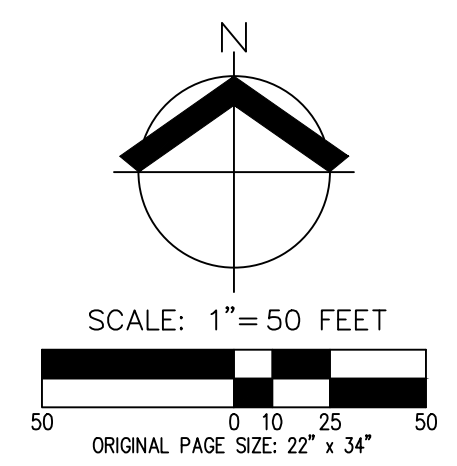
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 FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE

**EXISTING CONDITIONS (SE)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
 FEBRUARY 12, 2016
 MICHAEL S. KALINA
 89558PLS
 RENEWS: 6/30/23

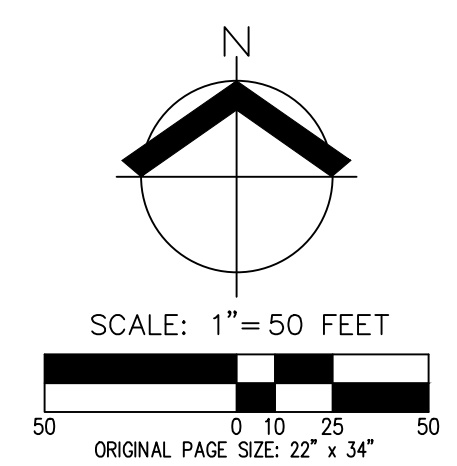
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EX-03

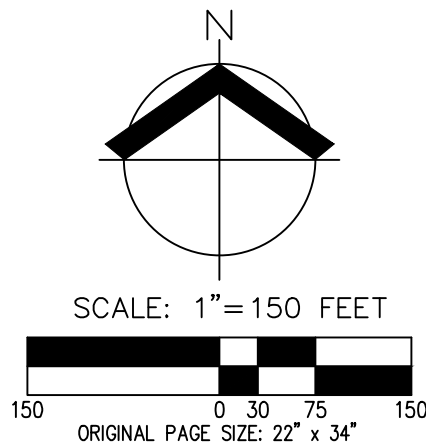
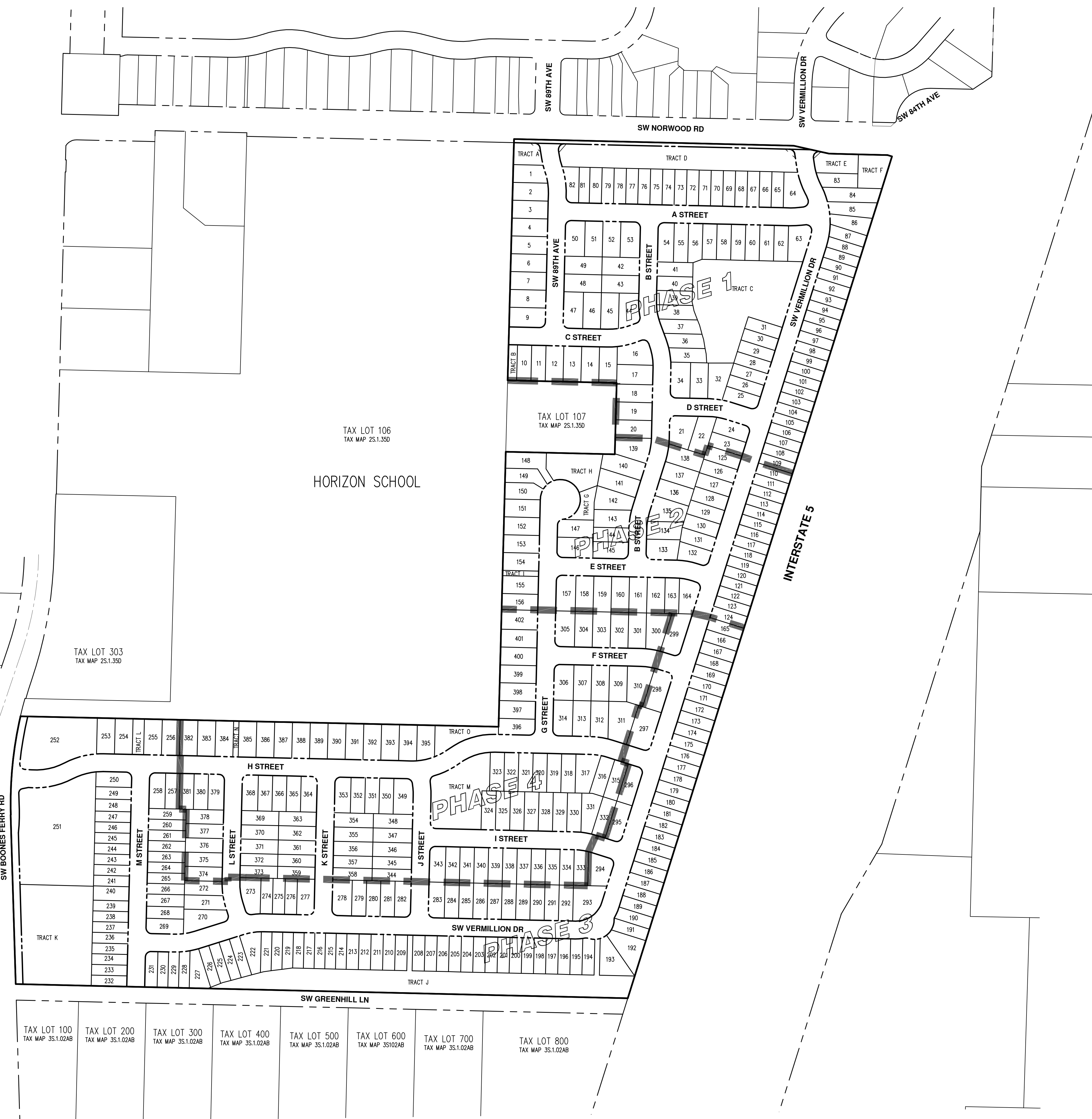
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- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBERS 20097078, 20097080, 20097087, 20097088, 20123681, 20123682, 20123686, 20123687, 20123690, 20123693, 20200610, 20216445, 20216458, 20216460, 20216463, 20216465 AND 20226915. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD WORK WAS CONDUCTED BETWEEN APRIL 22 - JUNE 11, 2020, AUGUST 6 - SEPTEMBER 8, 2020 AND DECEMBER 21, 2020 - JANUARY 11, 2021.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON WASHINGTON COUNTY BENCHMARK NO. 452, LOCATED AT THE NORTHWEST CORNER OF THE BRIDGE ON NORWOOD ROAD OVER INTERSTATE 5 FREEWAY. ELEVATION = 342.76 FEET (NGVD 29).
- THIS IS NOT A BOUNDARY SURVEY TO BE RECORDED WITH THE COUNTY. BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
- BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
- CONTOUR INTERVAL IS 1 FOOT.
- WETLAND BOUNDARIES SHOWN WERE DELINEATED BY AKS ENGINEERING & FORESTRY, LLC. ON 02/24/2020. FEATURES WERE LOCATED USING A HANDHELD TRIMBLE GEO7X RECEIVER WITH SUBMETER ACCURACY, AND ARE CONSIDERED APPROXIMATE.
- REFER TO "AUTUMN SUNRISE PRELIMINARY TREE ASSESSMENT REPORT" FOR TREE RELATED INFORMATION.



AKS DRAWING FILE: 7454 PLAT OVERVIEW.DWG | LAYOUT: PP-00



- TRACT NOTES:**
- TRACT A: OPEN SPACE AREA TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA.
 - TRACT B: PRIVATE ACCESS TO BE OWNED AND MAINTAINED BY THE CITY OF TUALATIN.
 - TRACT C: STORMWATER FACILITY TO BE OWNED AND MAINTAINED BY THE CITY OF TUALATIN WITH A STORM DRAINAGE, SURFACE DRAINAGE, AND ACCESS EASEMENT TO CLEAN WATER SERVICES.
 - TRACT D: OPEN SPACE AREA TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA. PEDESTRIAN EASEMENT TO CITY OF TUALATIN AS SHOWN.
 - TRACT E: OPEN SPACE AREA TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA.
 - TRACT F: SANITARY SEWER PUMP STATION TO BE OWNED AND MAINTAINED BY CLEAN WATER SERVICES.
 - TRACT G: OPEN SPACE AREA TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA.
 - TRACT H: OPEN SPACE TO BE OWNED AND MAINTAINED BY THE CITY OF TUALATIN. FUTURE CITY RESERVOIR AREA.
 - TRACT I: OPEN SPACE WITH FUTURE PEDESTRIAN ACCESS TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA. PEDESTRIAN EASEMENT TO CITY OF TUALATIN.
 - TRACT J: OPEN SPACE WITH PEDESTRIAN PATH TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA. PEDESTRIAN EASEMENT TO CITY OF TUALATIN AS SHOWN.
 - TRACT K: STORMWATER FACILITY TO BE OWNED AND MAINTAINED BY THE CITY OF TUALATIN WITH A STORM DRAINAGE, SURFACE DRAINAGE, AND ACCESS EASEMENT TO CLEAN WATER SERVICES.
 - TRACT L: PRIVATE ACCESS TRACT TO BE OWNED AND MAINTAINED BY TAX LOT 303.
 - TRACT M: NEIGHBORHOOD PARK TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA.
 - TRACT N: OPEN SPACE WITH FUTURE PEDESTRIAN ACCESS TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA. PEDESTRIAN EASEMENT TO CITY OF TUALATIN.
 - TRACT O: OPEN SPACE AREA TO BE OWNED AND MAINTAINED BY THE AUTUMN SUNRISE HOA.

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**PRELIMINARY PLAT OVERVIEW
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL LAND SURVEYOR

PRELIMINARY
 OREGON
 FEBRUARY 12, 2018
 MICHAEL S. KALINA
 89558PLS
 RENEWS: 6/30/23

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

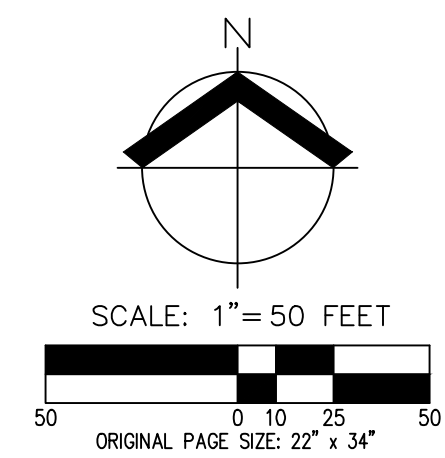
PP-00

SW 89TH AVE ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q1	10+00.00		74.92'			S08°42'20"E
Q1	10+74.92	200.00'	35.71'	101°3'45"	35.66	S13°49'12"E
Q2	11+10.63	200.00'	70.83'	201°7'25"	70.46	S08°47'22"E
Q2	11+81.46		425.90'			S01°21'21"W

A STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q13	0+75.00		679.80'			S88°38'39"E
Q3	7+54.80	200.00'	28.13'	8°03'28"	28.10	N87°19'37"E
Q4	7+82.93		82.21'			N83°17'53"E

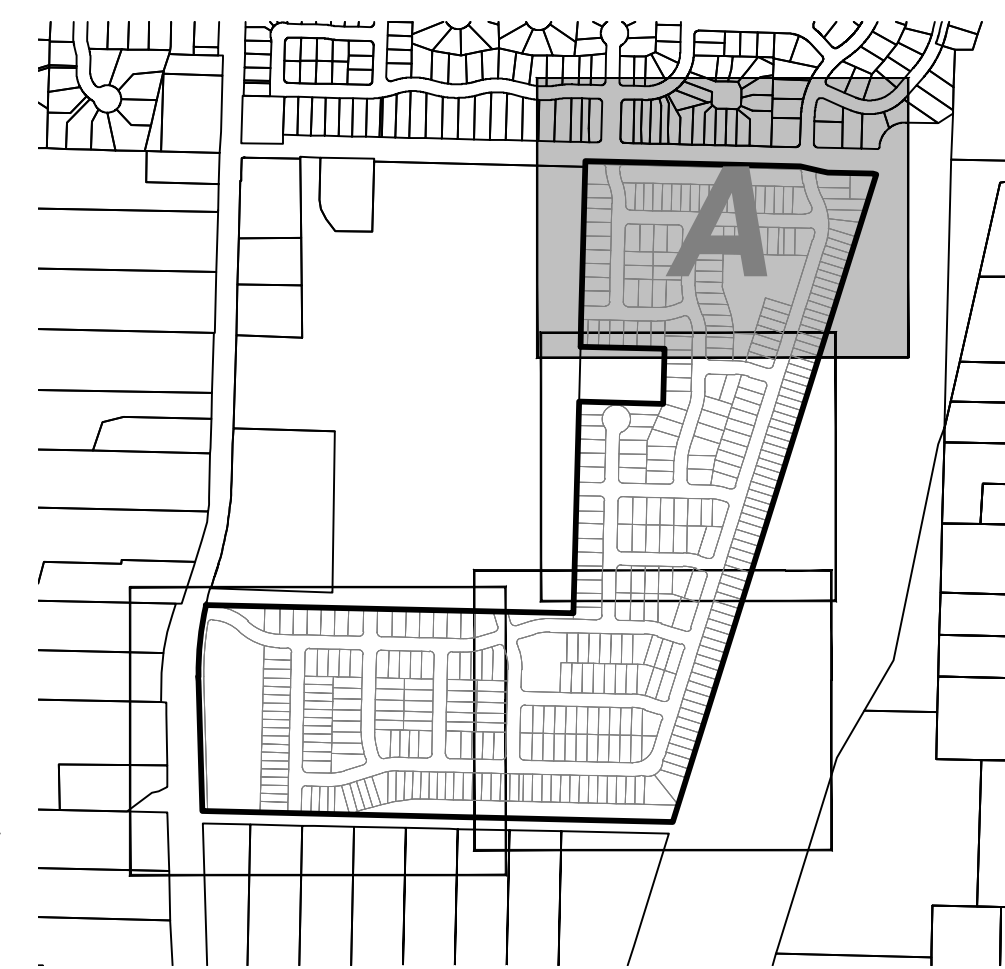
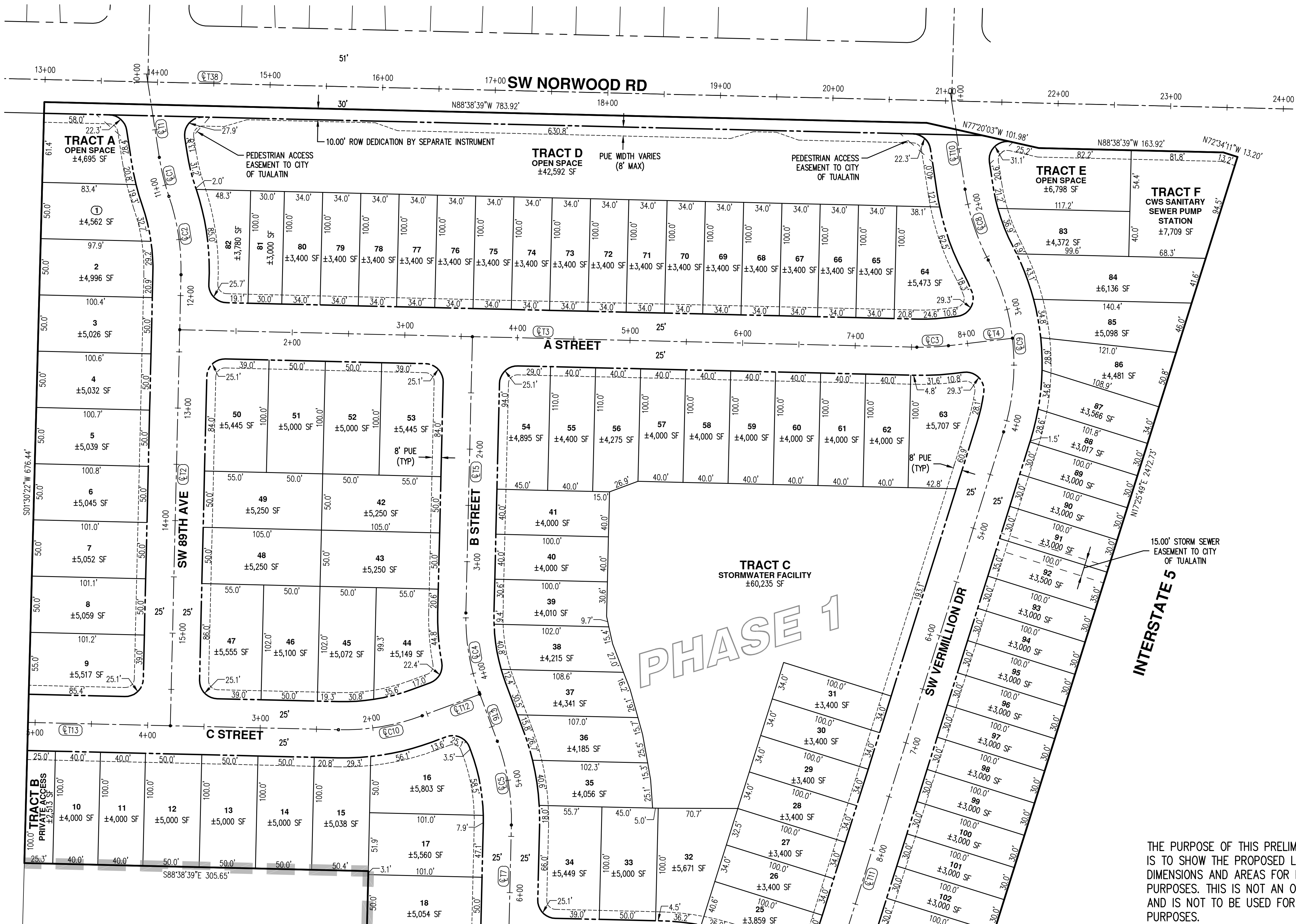
B STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q15	0+75.00		270.58'			S01°21'21"W
Q4	3+45.58	190.00'	72.10'	21°44'30"	71.67	S09°30'54"E
Q6	4+17.68		46.24'			S20°23'09"E
Q5	4+63.93	200.00'	75.89'	21°44'30"	75.44	S09°30'54"E
Q7	5+39.82		197.25'			S01°21'21"W

C STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q12	0+75.00		79.63'			S69°36'51"W
Q10	1+54.63	200.00'	75.89'	21°44'30"	75.44	S80°29'06"W
Q13	2+30.52		475.76'			N88°38'39"W



SW NORWOOD RD ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q138	0+00.00		2892.61'			S88°38'39"E

SW VERMILLION DR ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q10	1+00.00		86.47'			S08°37'17"E
Q8	1+86.47	200.00'	66.43'	19°01'50"	66.12	S18°08'13"E
Q9	2+52.90	200.00'	157.37'	45°04'57"	153.34	S05°06'39"E
Q11	4+10.27		1942.76'			S17°25'49"W



THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SHOW THE PROPOSED LOT DIMENSIONS AND AREAS FOR PLANNING PURPOSES. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY PURPOSES.

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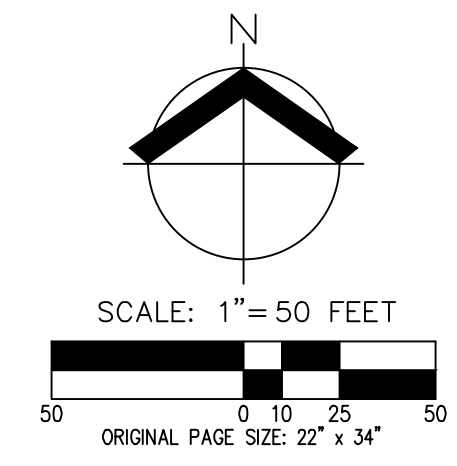
PRELIMINARY PLAT (N)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
 FEBRUARY 12, 2018
 MICHAEL S. KALINA
 89558PLS
 RENEWS: 6/30/23

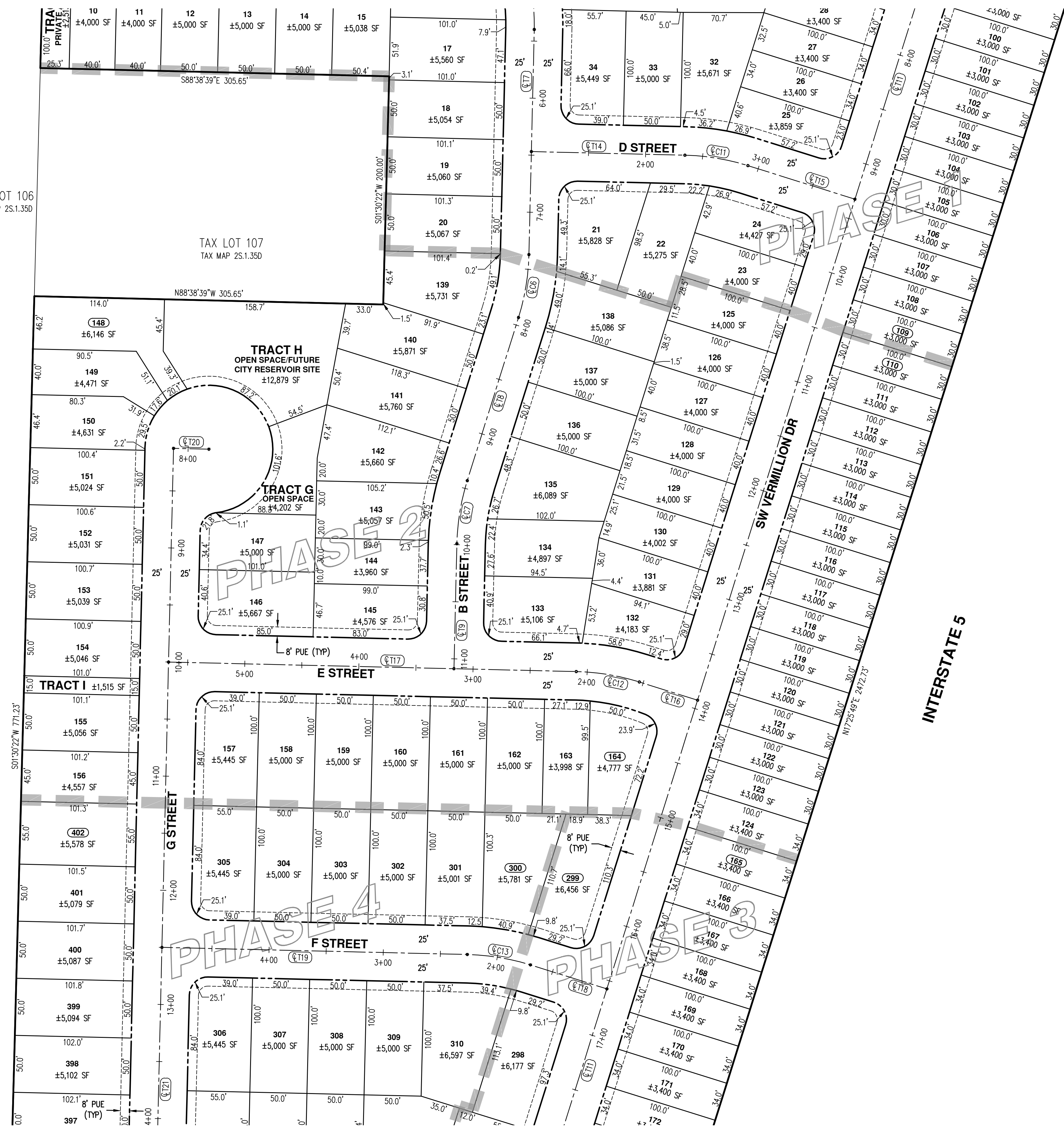
JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

PP-01



TAX LOT 106
TAX MAP 25.1.35D

TAX LOT 107
TAX MAP 25.1.35D



SW VERMILLION DR ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q11	4+10.27		1942.76'			S17°25'49"W

B STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q17	5+39.82		197.25'			S01°21'21"W
Q16	7+37.07	200.00'	56.11'	16°04'28"	55.93	S09°23'35"W
Q18	7+93.18		149.70'			S17°25'49"W
Q17	9+42.89	200.00'	56.19'	16°05'50"	56.01	S09°22'54"W
Q19	9+99.08		134.54'			S01°19'59"W

D STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q14	0+75.00		159.50'			S88°38'39"E
Q11	2+34.50	200.00'	56.11'	16°04'28"	55.93	S80°36'25"E
Q15	2+90.62		123.19'			S72°34'11"E

E STREET ALIGNMENT TABLE

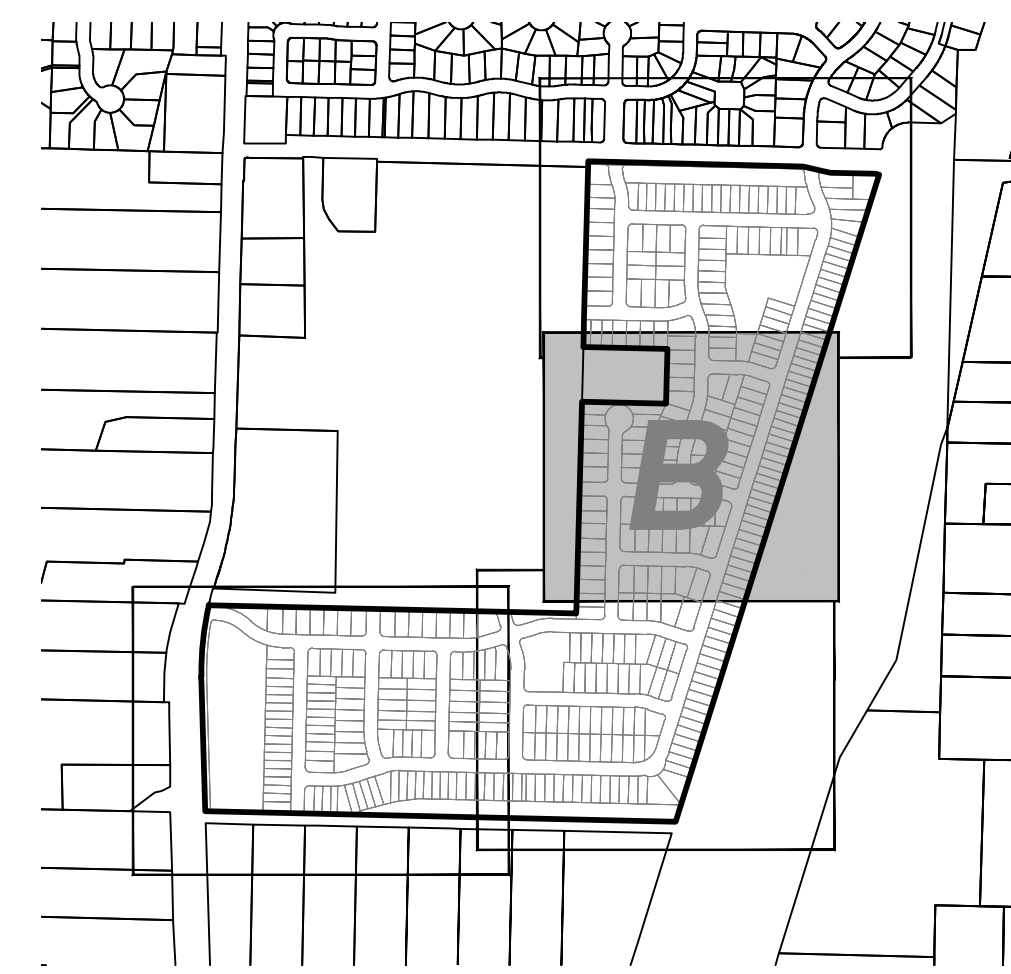
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q16	0+75.00		78.45'			N72°34'11"W
Q12	1+53.45	200.00'	56.19'	16°05'50"	56.01	N80°37'06"W
Q17	2+09.64		382.09'			N88°40'01"W

F STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q18	0+75.00		95.22'			N72°34'11"W
Q13	1+70.22	200.00'	56.19'	16°05'50"	56.01	N80°37'06"W
Q19	2+26.41		292.48'			N88°40'01"W

G STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q20	7+81.76		31.00'			N88°40'01"W
Q21	8+12.76		712.24'			S01°19'59"W



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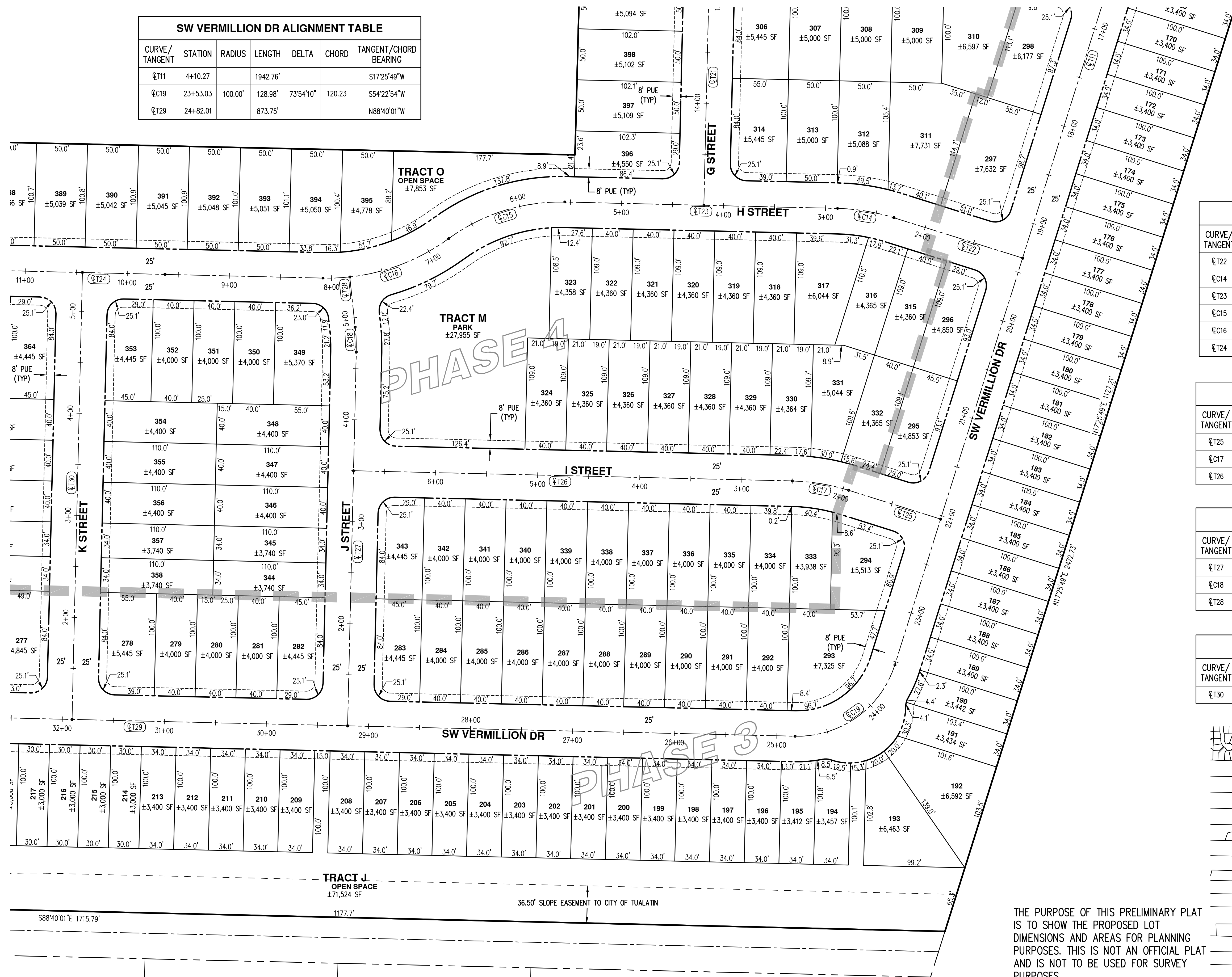
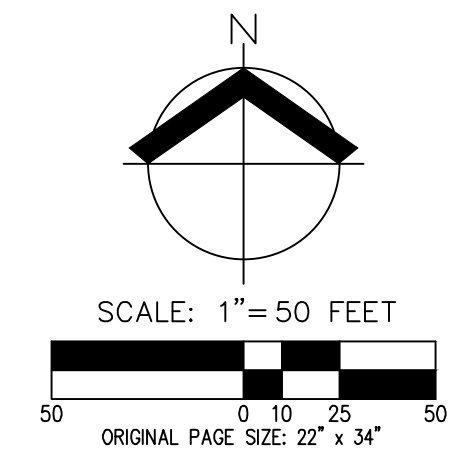
OREGON
JANUARY 12, 2018
MICHAEL S. KALINA
89558PLS
RENEWS: 6/30/23

JOB NUMBER: 7454
DATE: 7/1/2021
DESIGNED BY: JSM
DRAWN BY: JSM
CHECKED BY: DS

PP-02

G STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q121	8+12.76		712.24'			S01°19'59"W

SW VERMILION DR ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q111	4+10.27		1942.76'			S17°25'49"W
Q119	23+53.03	100.00'	128.98'	73°54'10"	120.23	S54°22'54"W
Q129	24+82.01		873.75'			N88°40'01"W

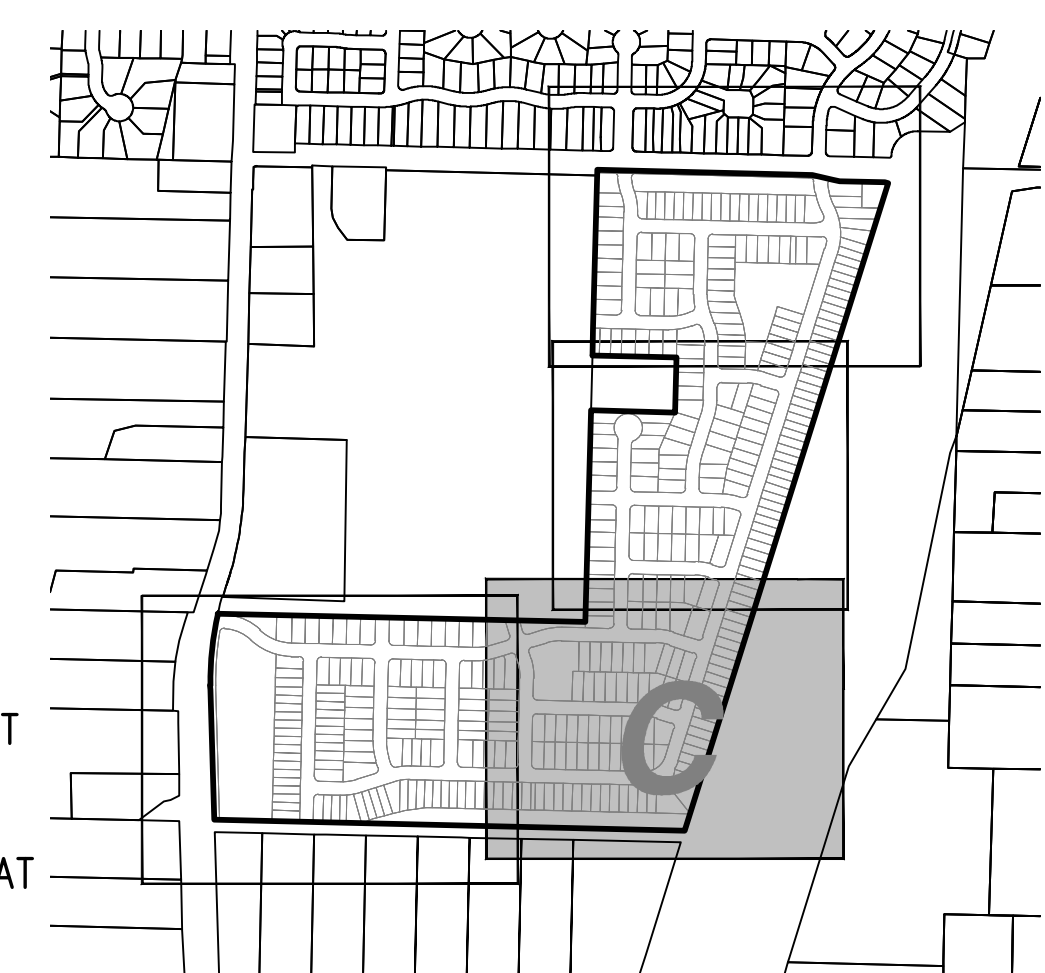


H STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q122	0+75.00		157.13'			N72°34'11"W
Q114	2+32.13	200.00'	56.19'	16°05'50"	56.01	N80°37'06"W
Q123	2+88.32		267.20'			N88°40'01"W
Q115	5+55.52	185.00'	121.43'	37°36'28"	119.26	S72°31'45"W
Q116	6+76.95	200.00'	131.28'	37°36'28"	128.93	S72°31'45"W
Q124	8+08.22		860.77'			N88°40'01"W

I STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q125	0+75.00		119.44'			N72°34'11"W
Q117	1+94.44	200.00'	56.19'	16°05'50"	56.01	N80°37'06"W
Q126	2+50.63		454.79'			N88°40'01"W

J STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q127	0+75.00		391.19'			N01°19'59"E
Q118	4+66.19	185.00'	24.51'	7°35'25"	24.49	N02°27'43"W
Q128	4+90.70		74.51'			N06°15'26"W

K STREET ALIGNMENT TABLE						
CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q130	0+75.00		488.00'			N01°19'59"E



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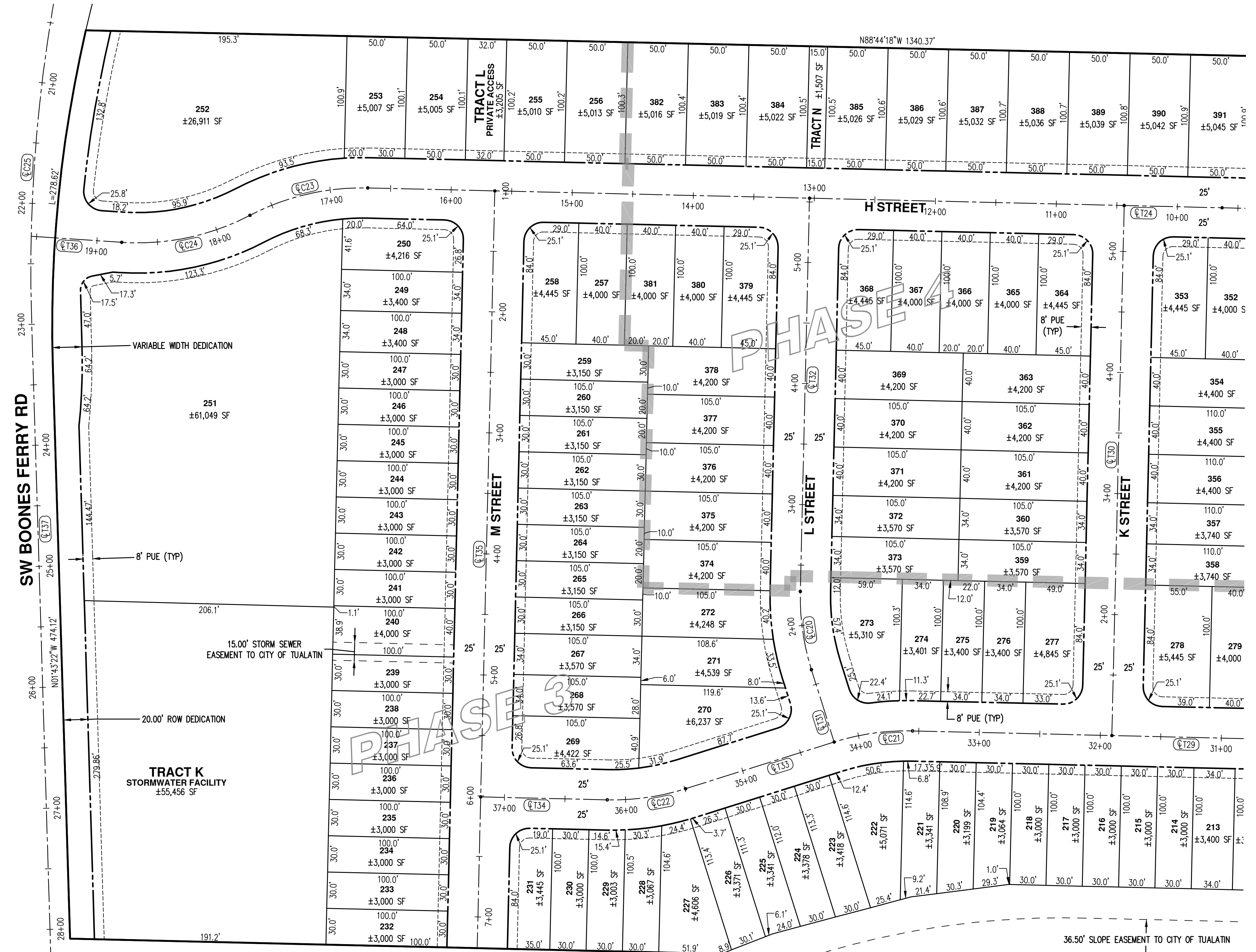
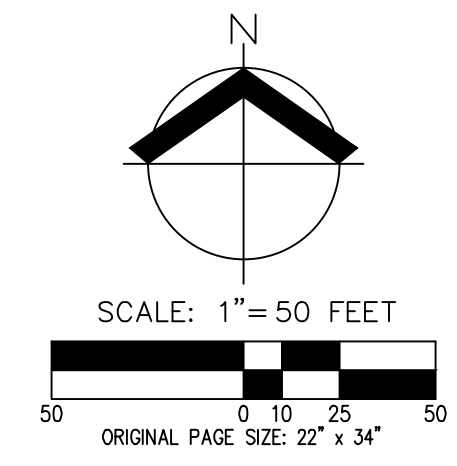
PRELIMINARY PLAT (SE)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
FEBRUARY 12, 2018
MICHAEL S. KALINA
89558PLS
RENEWS: 6/30/23

JOB NUMBER: 7454
DATE: 7/1/2021
DESIGNED BY: JSM
DRAWN BY: JSM
CHECKED BY: DS

PP-03



H STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q T24	8+08.22		860.77'			N88°40'01"W
Q C23	16+68.99	200.06'	101.85'	29°10'10"	100.76	S76°44'45"W
Q C24	17+70.84	200.00'	108.71'	31°08'39"	107.38	S78°15'08"W
Q T36	18+79.55		99.93'			N86°10'33"W

SW VERMILLION DR ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q T29	24+82.01		873.75'			N88°40'01"W
Q C21	33+55.76	196.52'	64.46'	18°47'37"	64.17	S81°56'10"W
Q T33	34+20.22		129.27'			S72°32'22"W
Q C22	35+49.49	200.00'	65.60'	18°47'37"	65.31	S81°56'10"W
Q T34	36+15.09		129.57'			N88°40'01"W

SW BOONES FERRY RD ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q T37	22+94.44		1261.46'			S01°43'34"E
Q C25	18+88.10	1300.00'	406.34'	17°54'32"	404.69	S07°13'42"W

K STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q T30	0+75.00		488.00'			N01°19'59"E

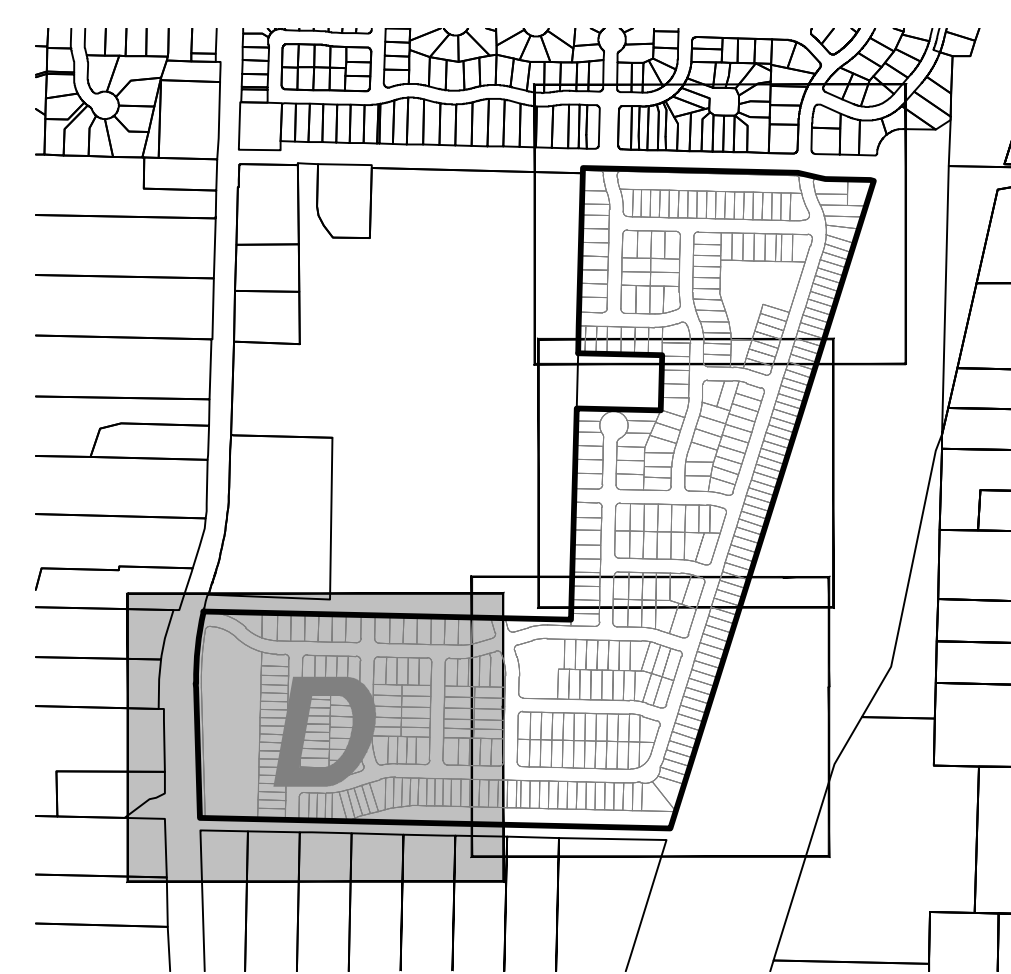
L STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q T31	0+75.00		87.61'			N17°27'39"W
Q C20	1+62.61	200.00'	65.60'	18°47'38"	65.31	N08°03'50"W
Q T32	2+28.22		349.95'			N01°19'59"E

M STREET ALIGNMENT TABLE

CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q T35	0+75.00		650.79'			S01°19'59"W

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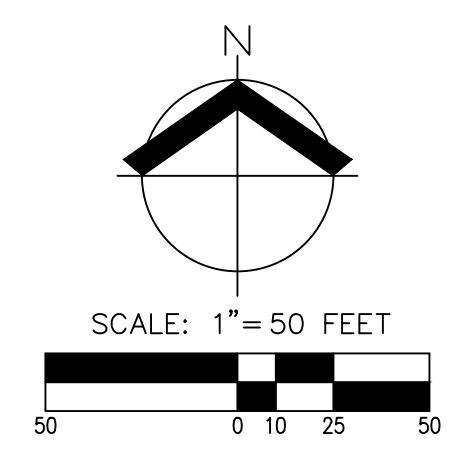
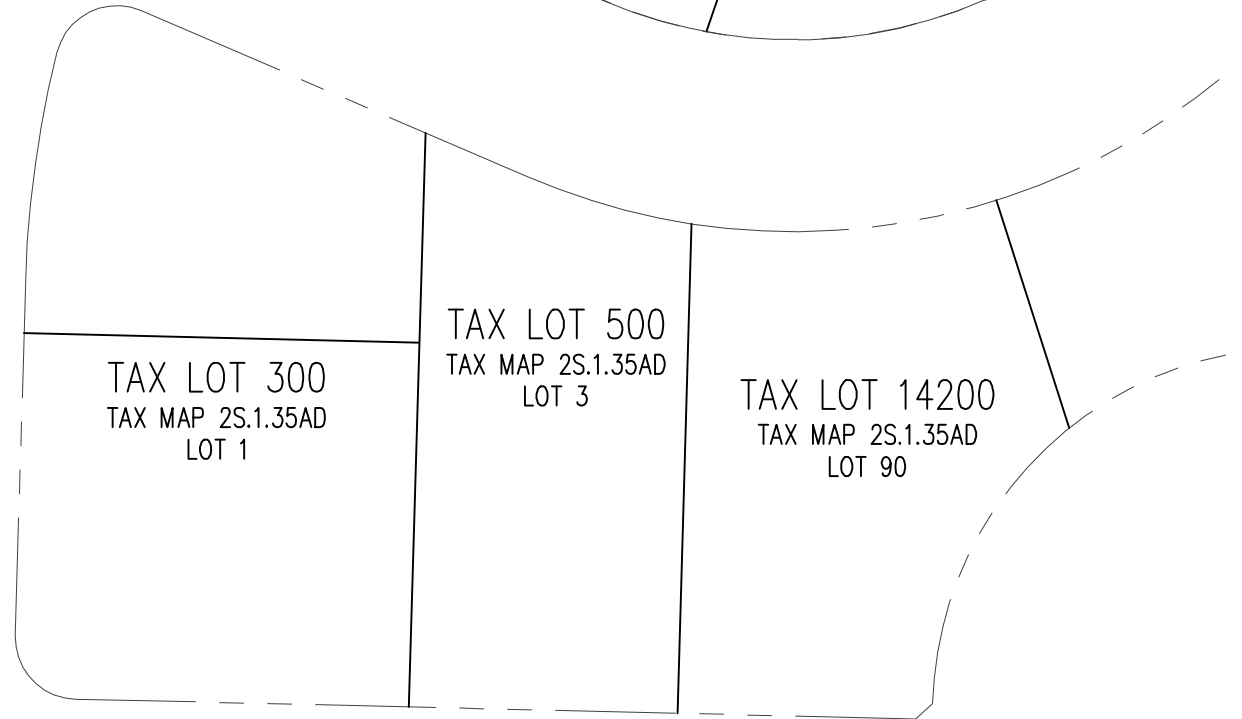
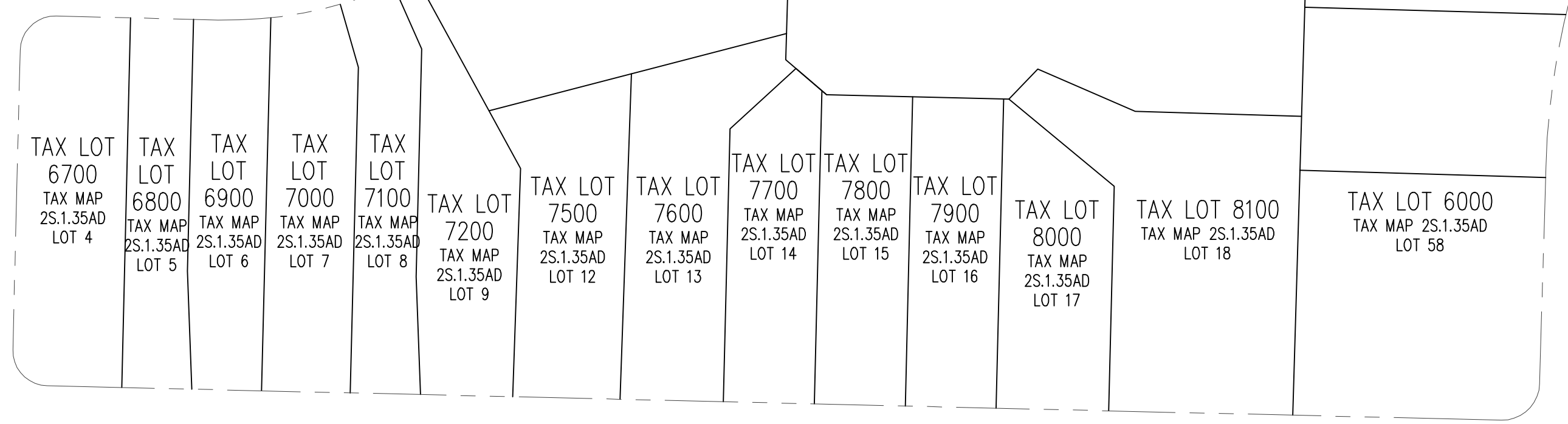
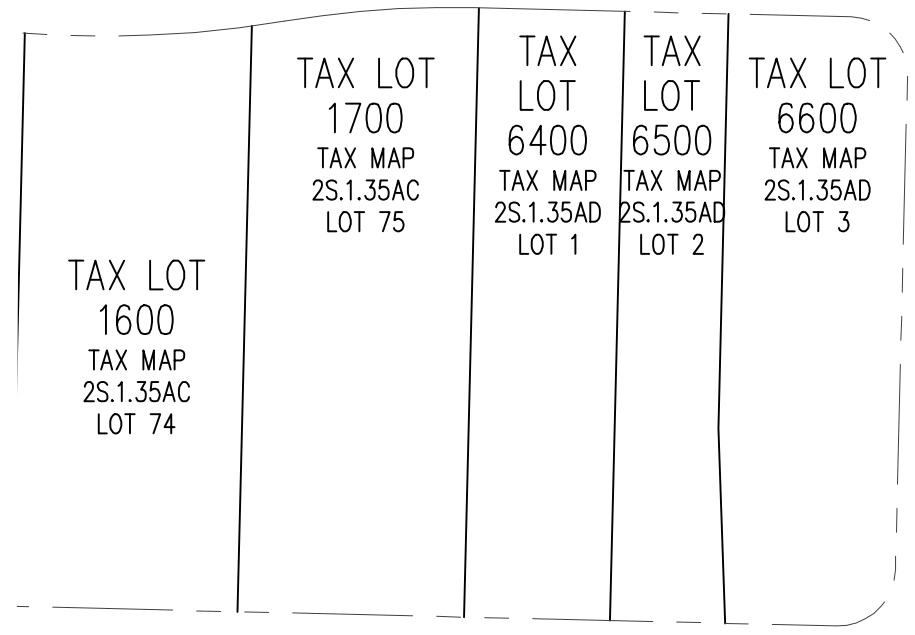
**PRELIMINARY PLAT (SW)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
 FEBRUARY 12, 2018
 MICHAEL S. KALINA
 89558PLS
 RENEWS: 6/30/23

JOB NUMBER: 7454
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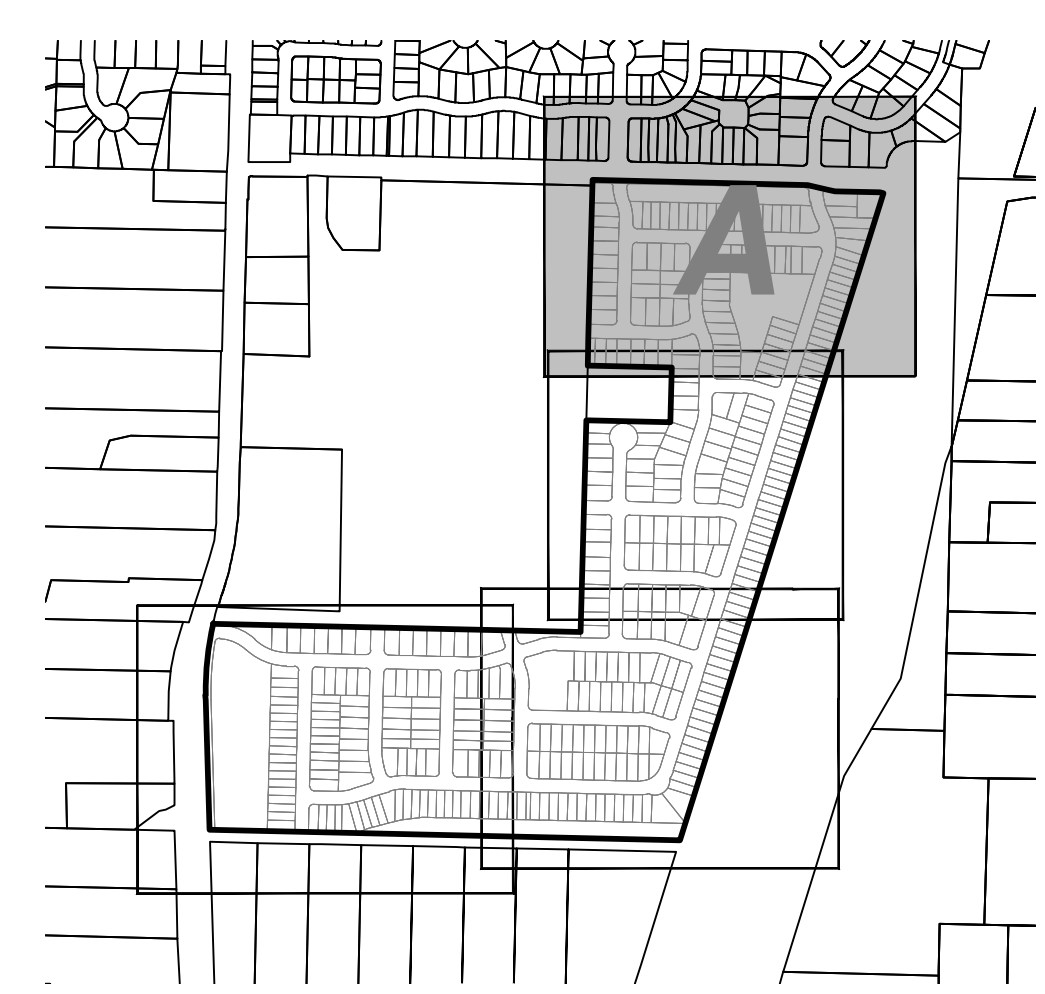
SINGLE FAMILY DETACHED SETBACKS

- FRONT YARD: 10 FT
- GARAGE: 20 FT
- SIDE YARD: 5 FT
- STREET SIDE YARD: 10 FT
- REAR YARD: 10 FT

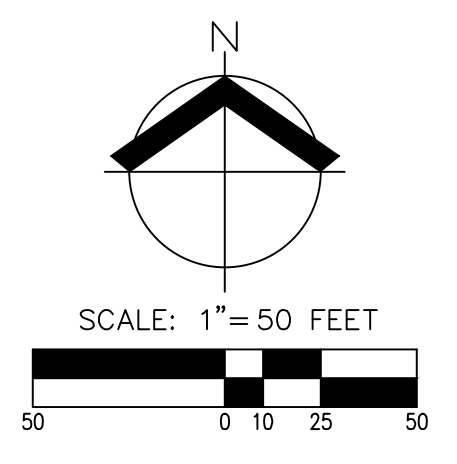
ATTACHED TOWNHOME SETBACKS

- FRONT YARD: 10 FT
- GARAGE: 20 FT
- SIDE YARD: 5 FT
- STREET SIDE YARD: 10 FT
- REAR YARD: 10 FT

ATTACHED UNIT SETBACKS TO BE DETERMINED THROUGH SUBSEQUENT ARCHITECTURAL REVIEW APPLICATION.



PRELIMINARY SETBACK PLAN (CEN)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON



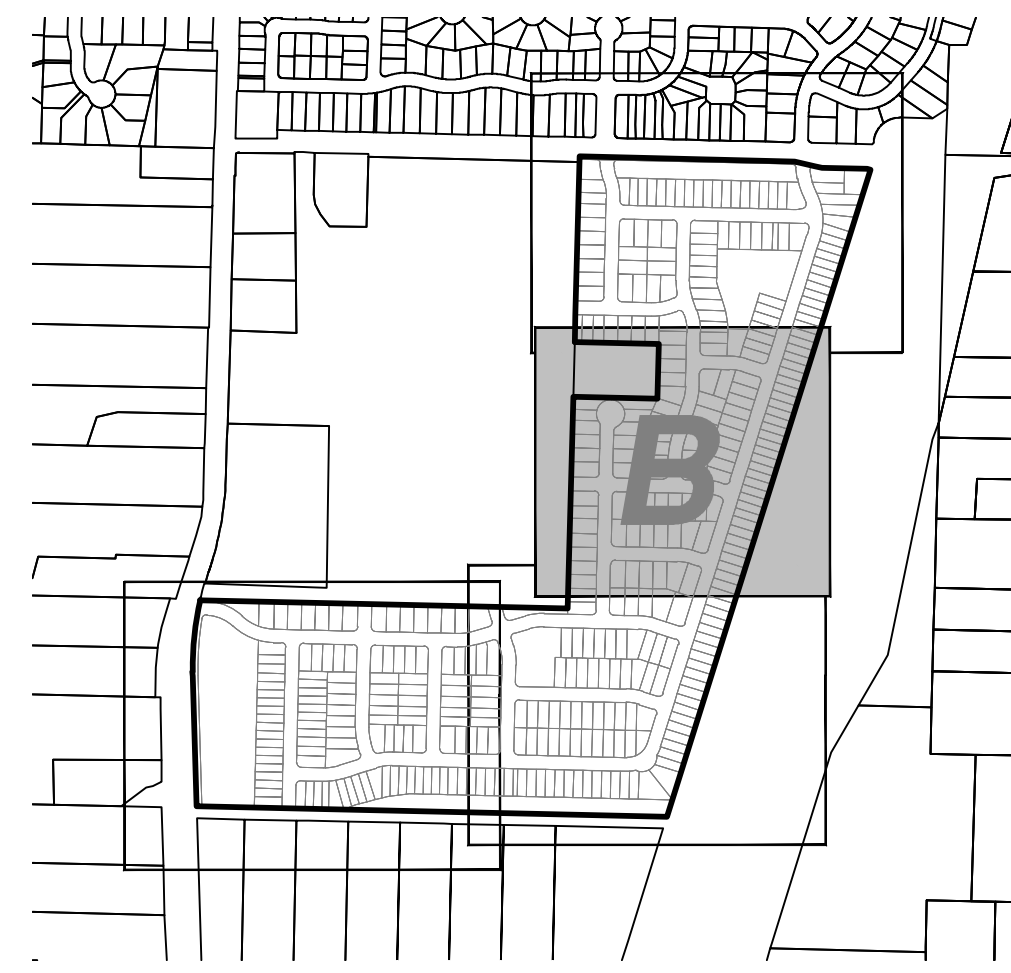
SINGLE FAMILY DETACHED SETBACKS

FRONT YARD:	10 FT
GARAGE:	20 FT
SIDE YARD:	5 FT
STREET SIDE YARD:	10 FT
REAR YARD:	10 FT

ATTACHED TOWNHOME SETBACKS

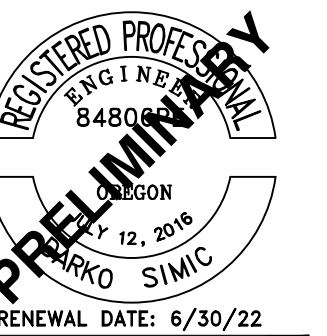
FRONT YARD:	10 FT
GARAGE:	20 FT
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STREET SIDE YARD:	10 FT
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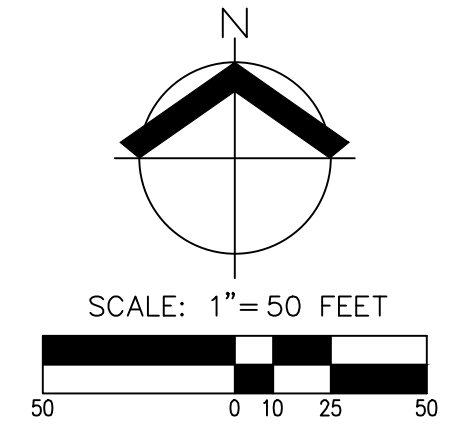
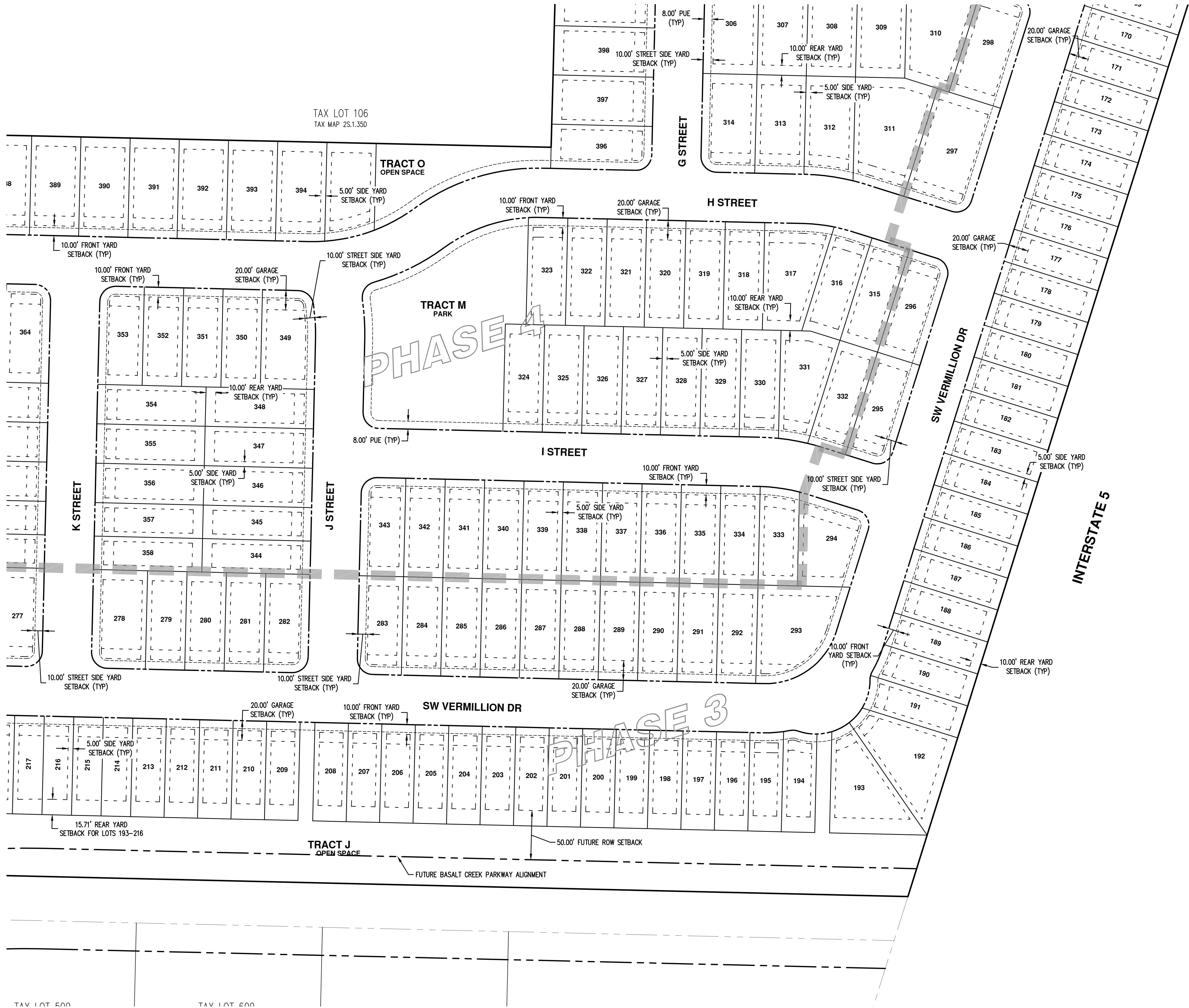
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 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

PRELIMINARY SETBACK PLAN (SE)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON



RENEWAL DATE: 6/30/22

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
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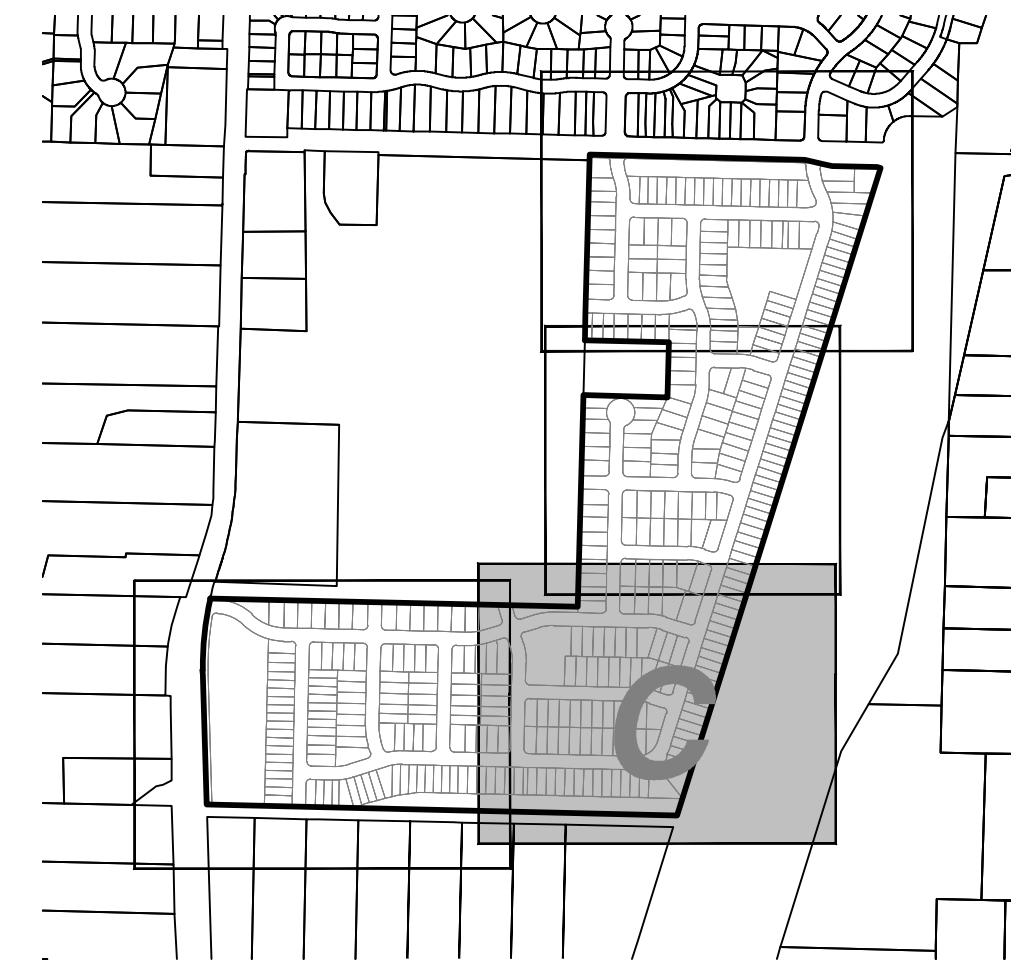
SINGLE FAMILY DETACHED SETBACKS

FRONT YARD:	10 FT
GARAGE:	20 FT
SIDE YARD:	5 FT
STREET SIDE YARD:	10 FT
REAR YARD:	10 FT

ATTACHED TOWNHOME SETBACKS

FRONT YARD:	10 FT
GARAGE:	20 FT
SIDE YARD:	5 FT
STREET SIDE YARD:	10 FT
REAR YARD:	10 FT

ATTACHED UNIT SETBACKS TO BE DETERMINED THROUGH SUBSEQUENT ARCHITECTURAL REVIEW APPLICATION.

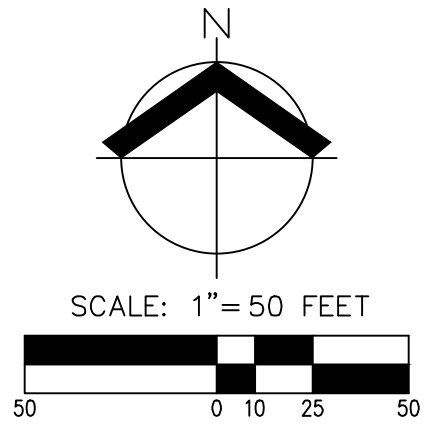
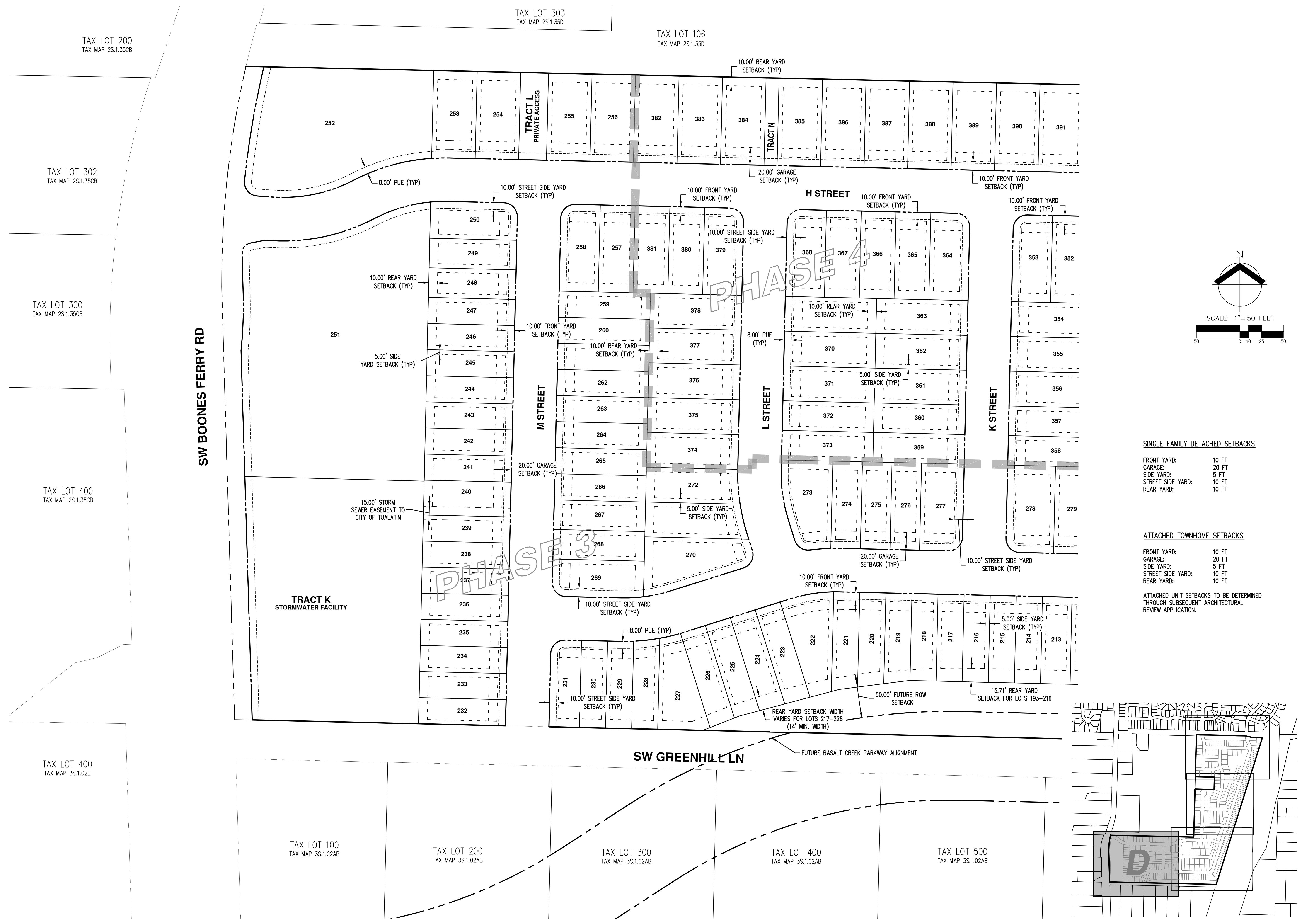


PRELIMINARY SETBACK PLAN (SW)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON



RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

AKS DRAWING FILE: 7454_SETBACKS.DWG | LAYOUT: SB-04



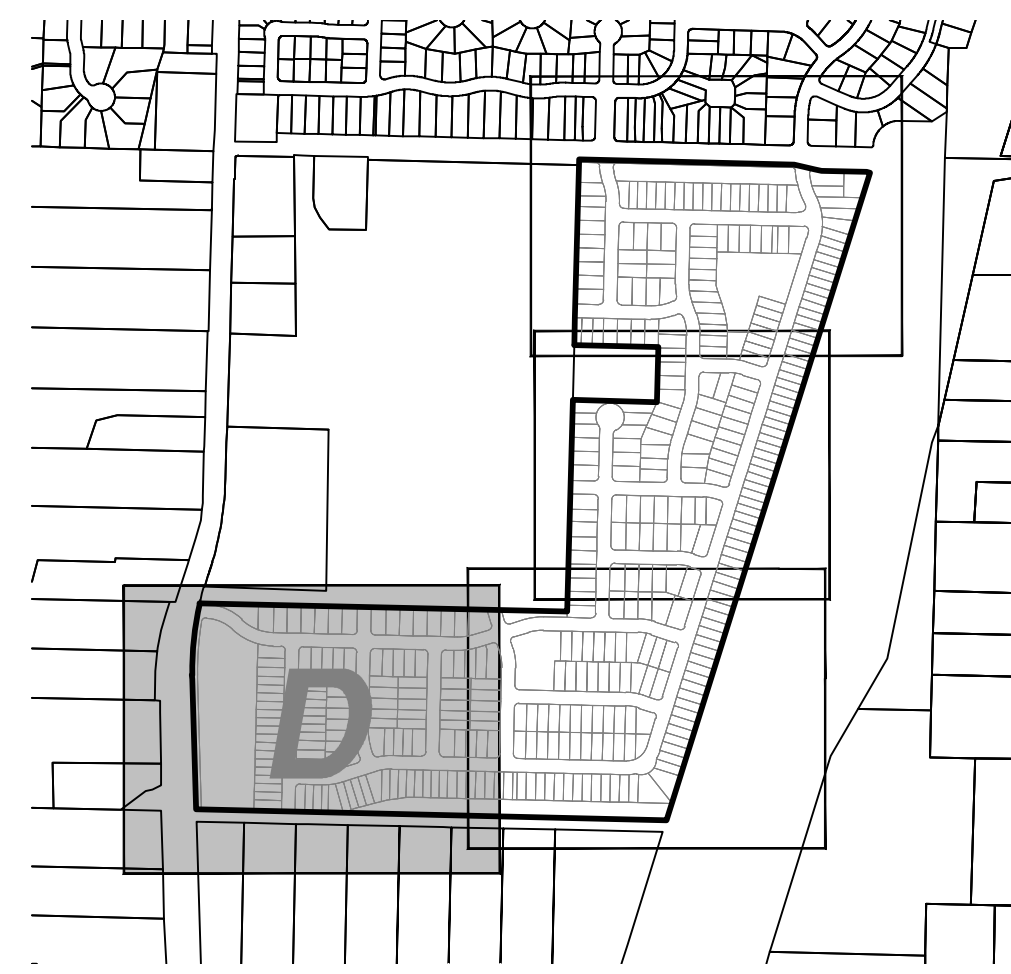
SINGLE FAMILY DETACHED SETBACKS

- FRONT YARD: 10 FT
- GARAGE: 20 FT
- SIDE YARD: 5 FT
- STREET SIDE YARD: 10 FT
- REAR YARD: 10 FT

ATTACHED TOWNHOME SETBACKS

- FRONT YARD: 10 FT
- GARAGE: 20 FT
- SIDE YARD: 5 FT
- STREET SIDE YARD: 10 FT
- REAR YARD: 10 FT

ATTACHED UNIT SETBACKS TO BE DETERMINED THROUGH SUBSEQUENT ARCHITECTURAL REVIEW APPLICATION.



TAX LOT 200
 TAX MAP 2S.1.35CB

TAX LOT 302
 TAX MAP 2S.1.35CB

TAX LOT 300
 TAX MAP 2S.1.35CB

TAX LOT 400
 TAX MAP 2S.1.35CB

TAX LOT 400
 TAX MAP 3S.1.02B

TAX LOT 100
 TAX MAP 3S.1.02AB

TAX LOT 200
 TAX MAP 3S.1.02AB

TAX LOT 300
 TAX MAP 3S.1.02AB

TAX LOT 400
 TAX MAP 3S.1.02AB

TAX LOT 500
 TAX MAP 3S.1.02AB

TAX LOT 303
 TAX MAP 2S.1.35D

TAX LOT 106
 TAX MAP 2S.1.35D

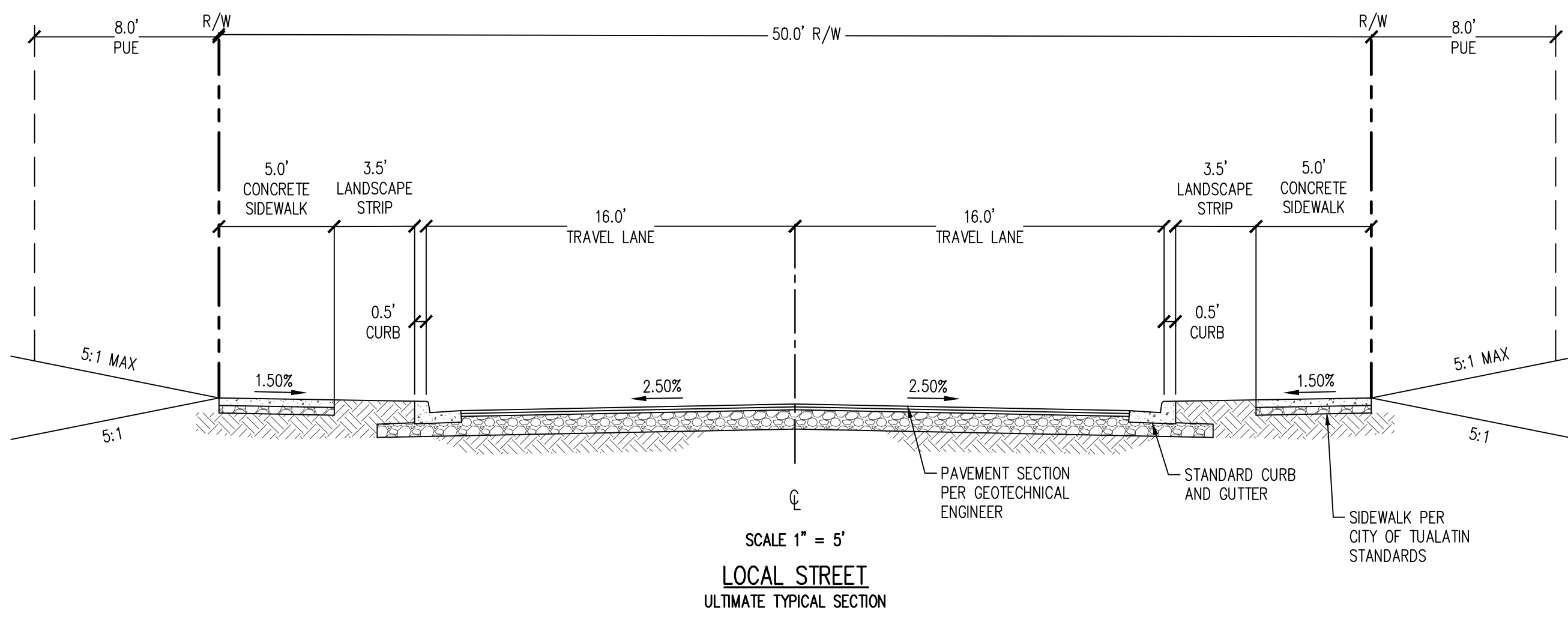
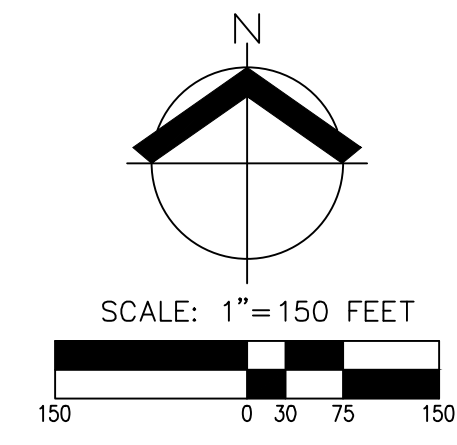
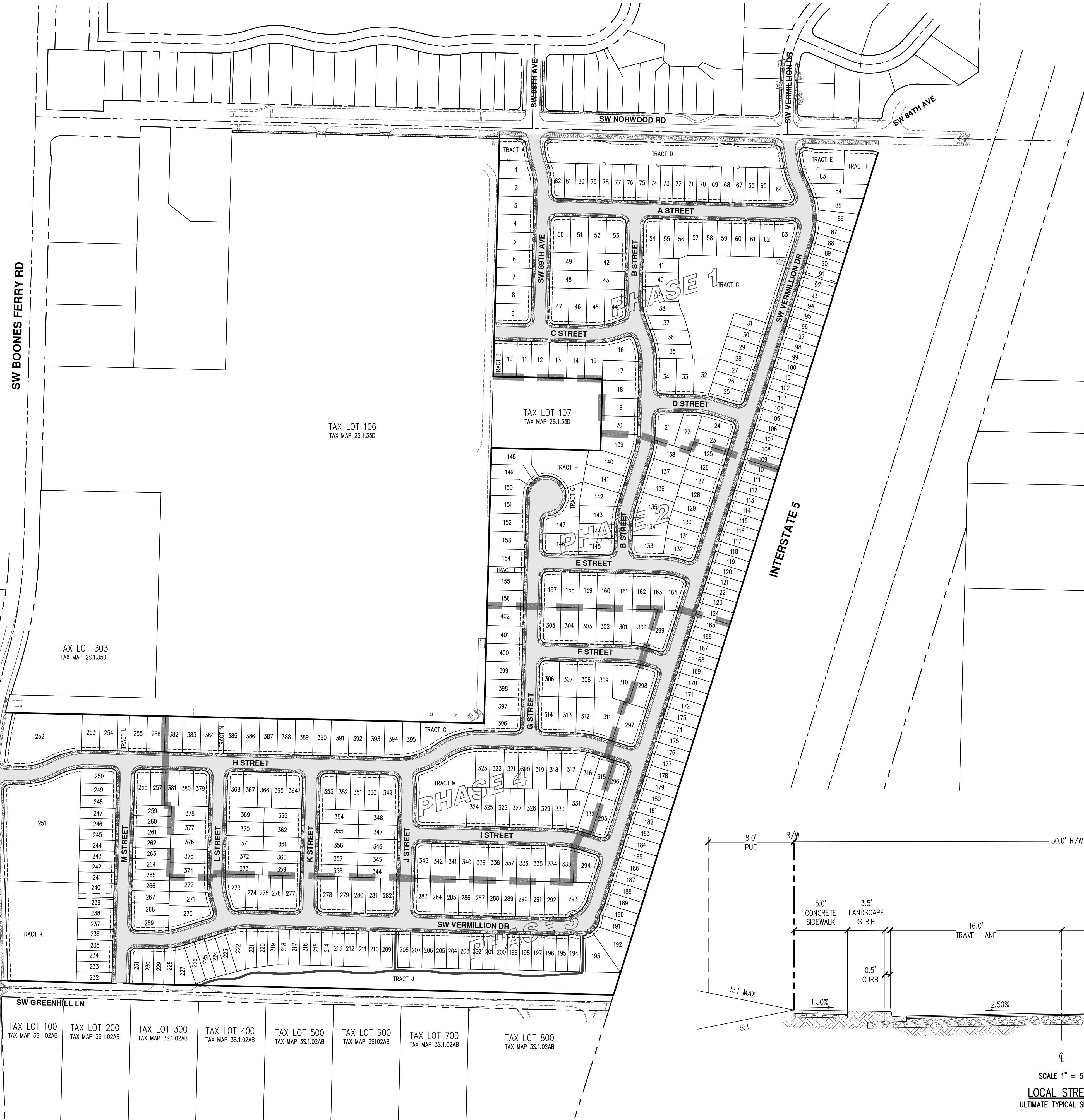
**PRELIMINARY STREETS OVERVIEW
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

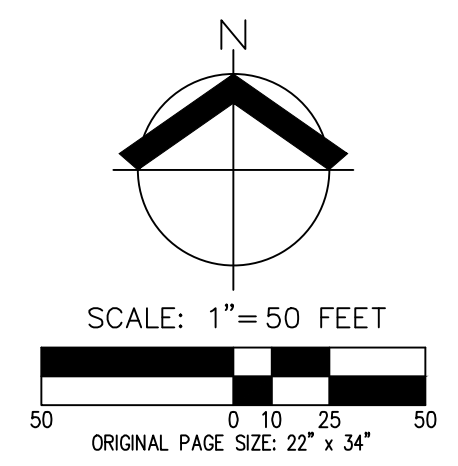
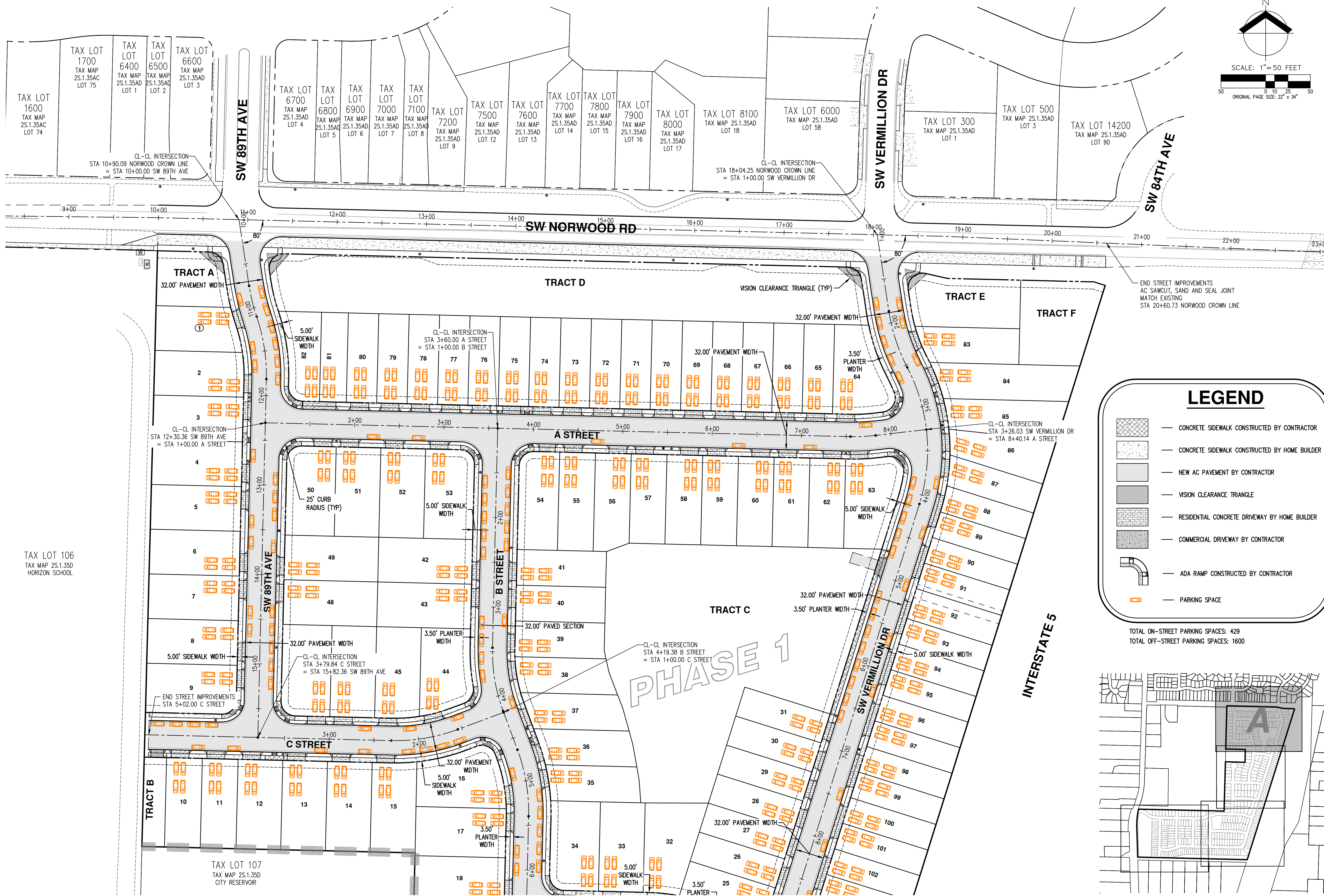
REGISTERED PROFESSIONAL ENGINEER
 84806
 PRELIMINARY
 12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

SP-00

AKS DRAWING FILE: 7454 STREETS OVERVIEW.DWG | LAYOUT: SP-00

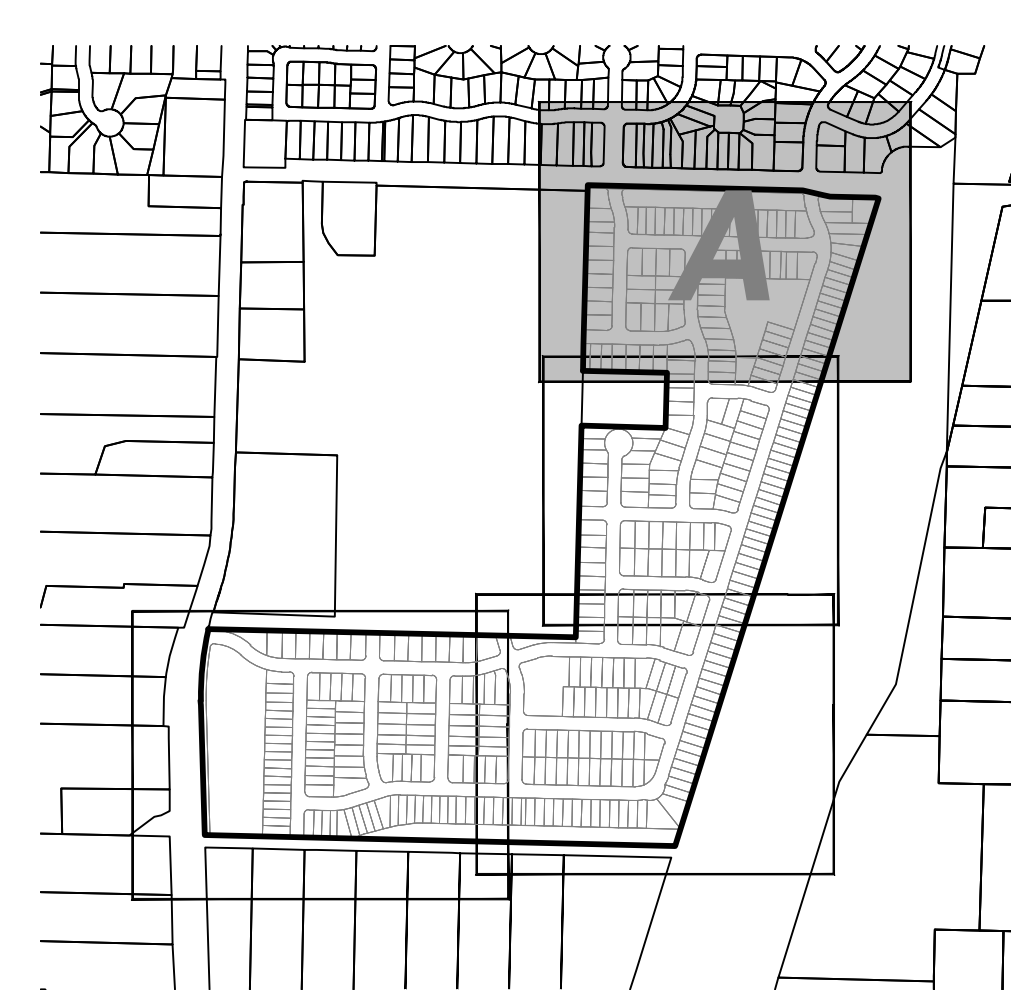




LEGEND

- CONCRETE SIDEWALK CONSTRUCTED BY CONTRACTOR
- CONCRETE SIDEWALK CONSTRUCTED BY HOME BUILDER
- NEW AC PAVEMENT BY CONTRACTOR
- VISION CLEARANCE TRIANGLE
- RESIDENTIAL CONCRETE DRIVEWAY BY HOME BUILDER
- COMMERCIAL DRIVEWAY BY CONTRACTOR
- ADA RAMP CONSTRUCTED BY CONTRACTOR
- PARKING SPACE

TOTAL ON-STREET PARKING SPACES: 429
 TOTAL OFF-STREET PARKING SPACES: 1600



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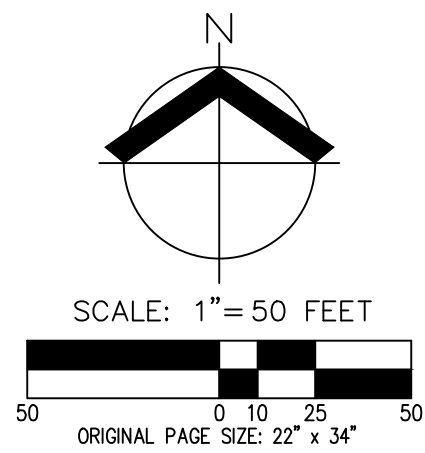
**PRELIMINARY STREET PLAN (N)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL ENGINEER
 84806
PRELIMINARY
 12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
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 CHECKED BY: DS

SP-01

AKS DRAWING FILE: 7454_STREETS.DWG | LAYOUT: SP-01



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**PRELIMINARY STREET PLAN (CEN)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL
 ENGINEER
 84806
PRELIMINARY
 12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22

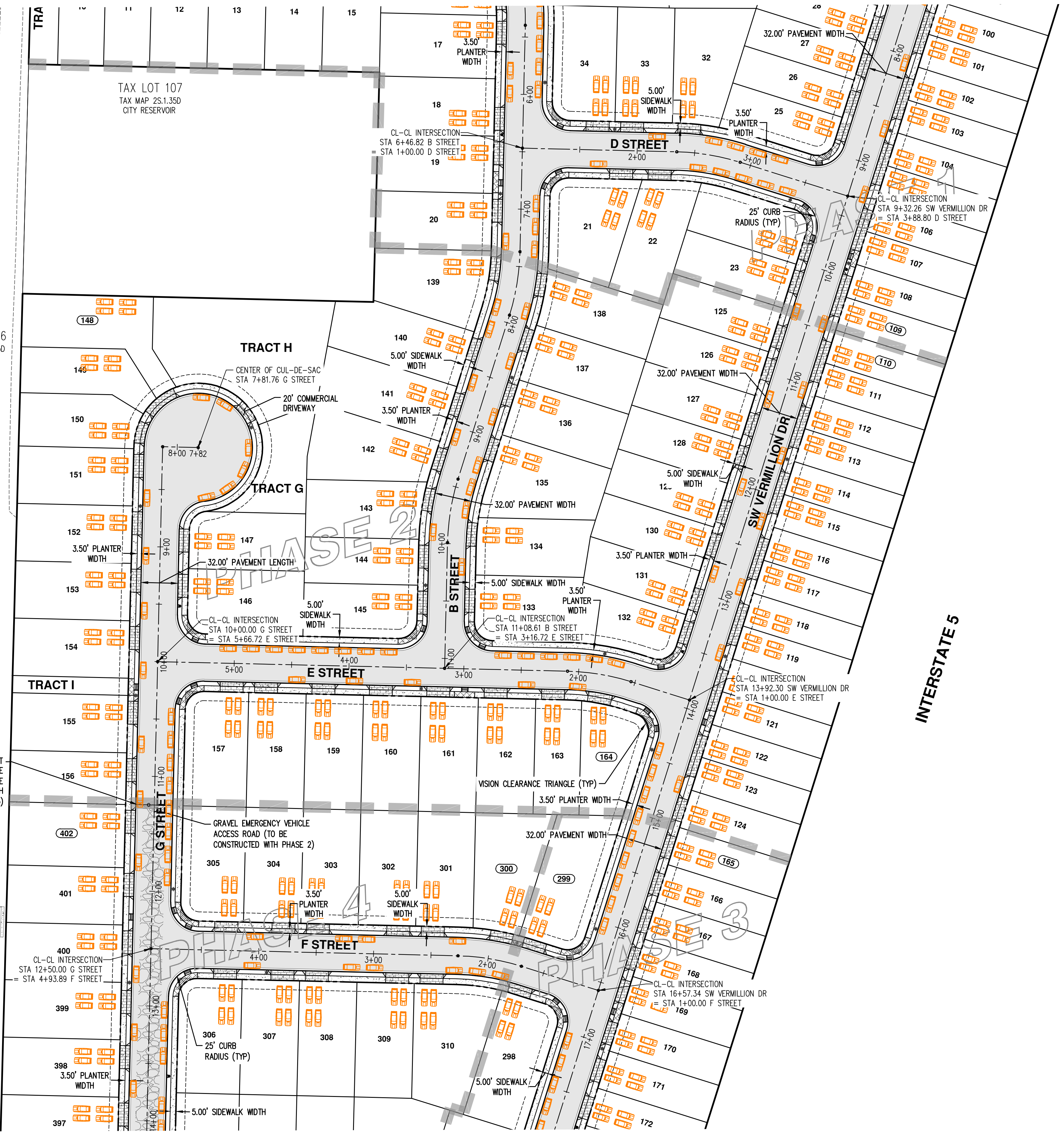
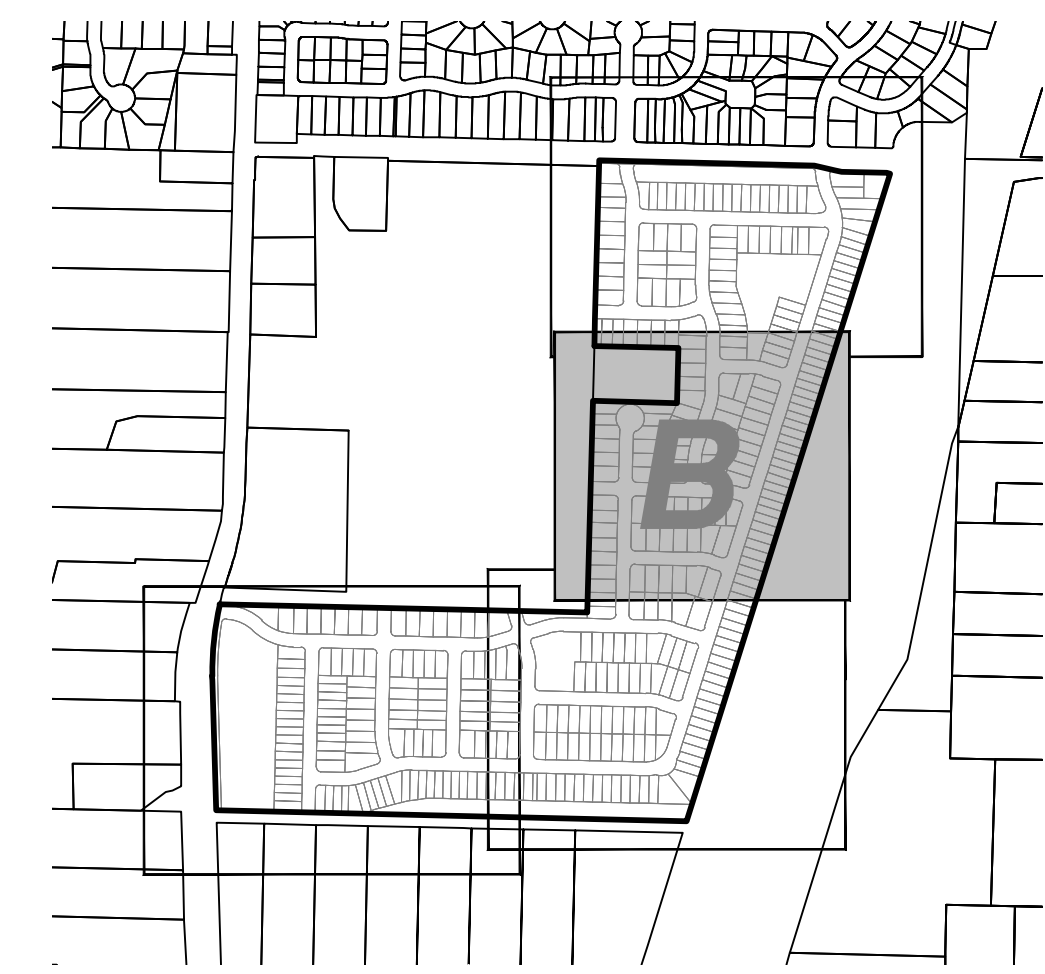
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 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

SP-02

LEGEND

- CONCRETE SIDEWALK CONSTRUCTED BY CONTRACTOR
- CONCRETE SIDEWALK CONSTRUCTED BY HOME BUILDER
- NEW AC PAVEMENT BY CONTRACTOR
- VISION CLEARANCE TRIANGLE
- RESIDENTIAL CONCRETE DRIVEWAY BY HOME BUILDER
- COMMERCIAL DRIVEWAY BY CONTRACTOR
- ADA RAMP CONSTRUCTED BY CONTRACTOR
- PARKING SPACE

TOTAL ON-STREET PARKING SPACES: 429
 TOTAL OFF-STREET PARKING SPACES: 1600

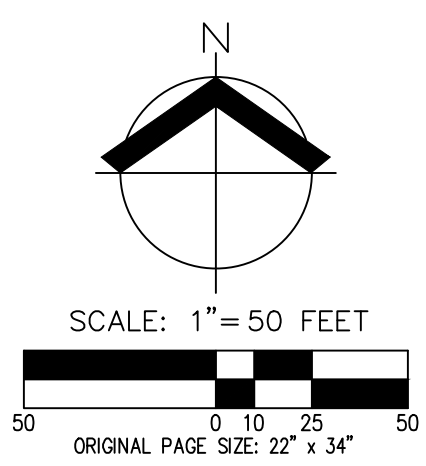
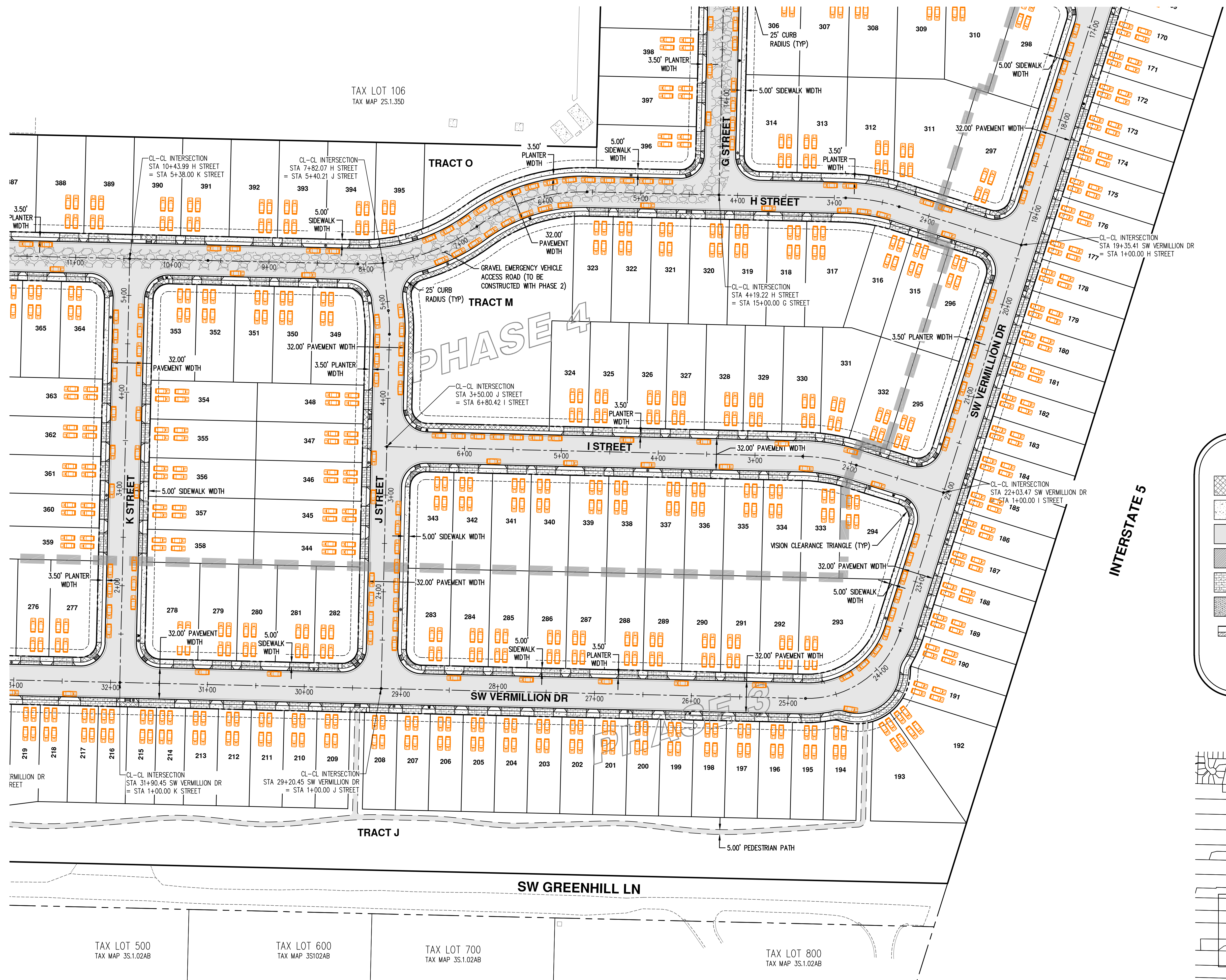


AKS DRAWING FILE: 7454 STREETS.DWG | LAYOUT: SP-02

PRELIMINARY STREET PLAN (SE)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON



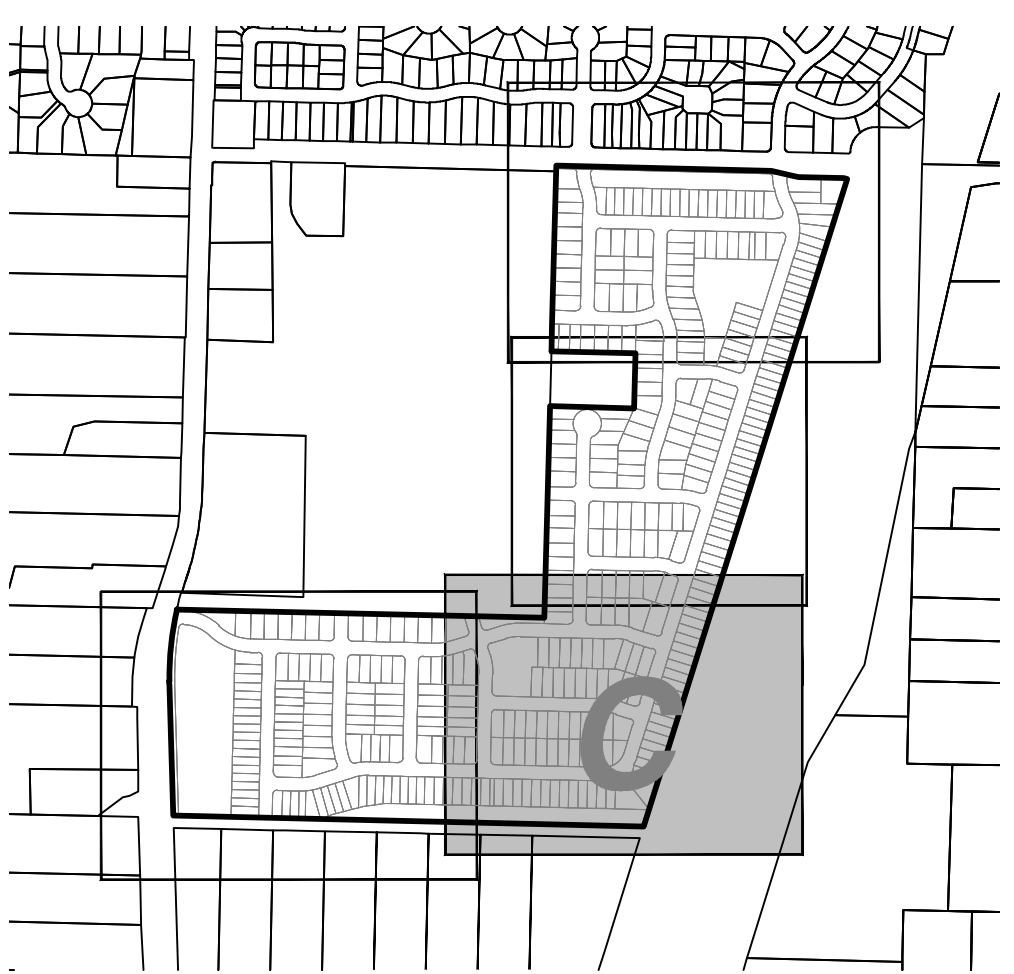
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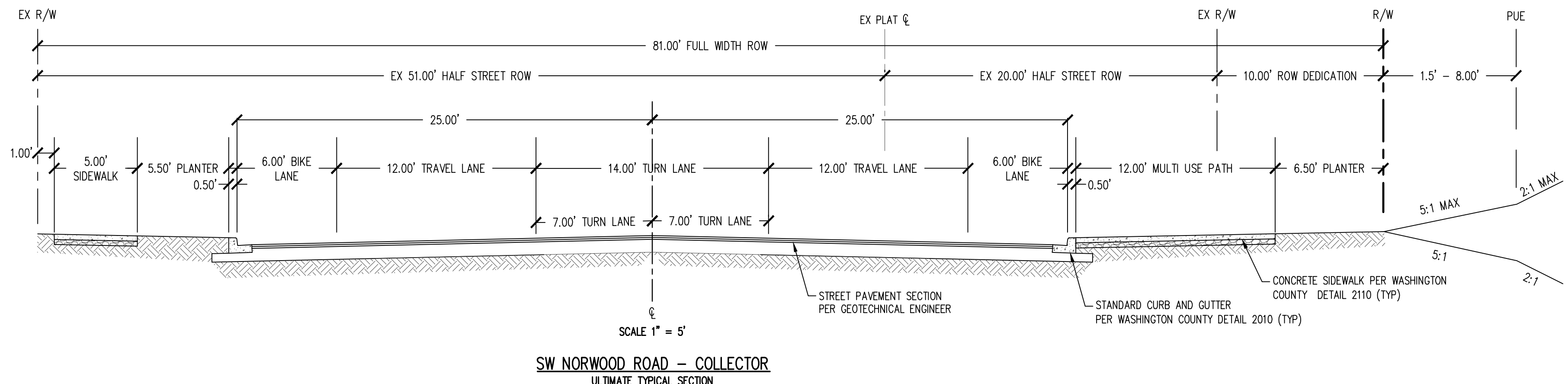
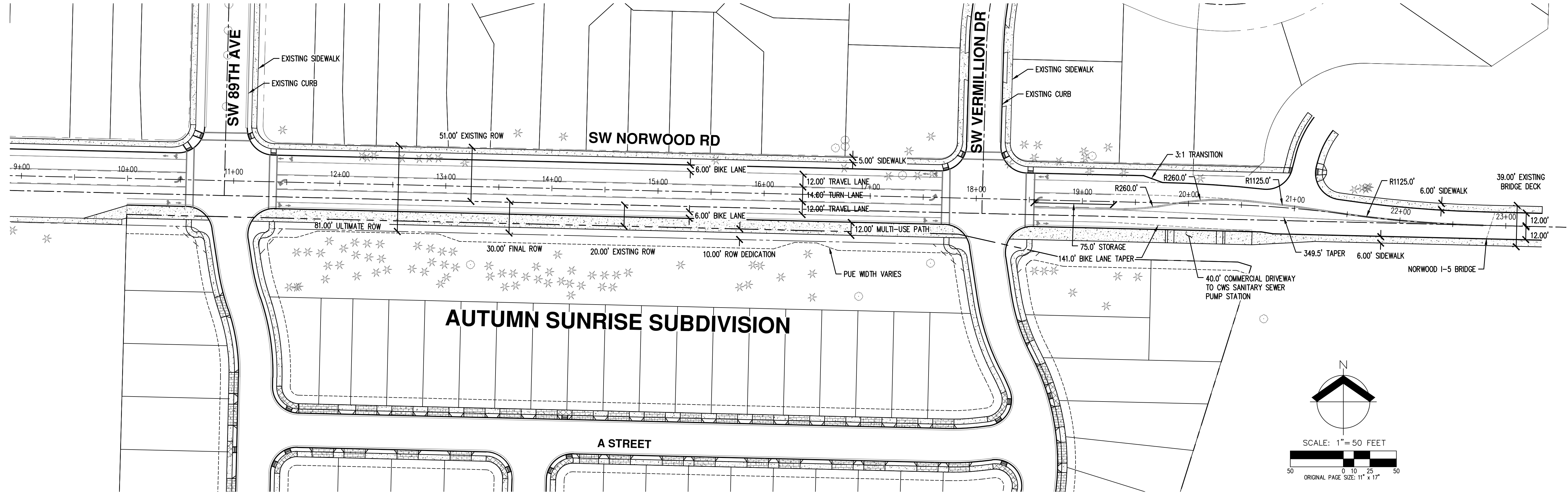


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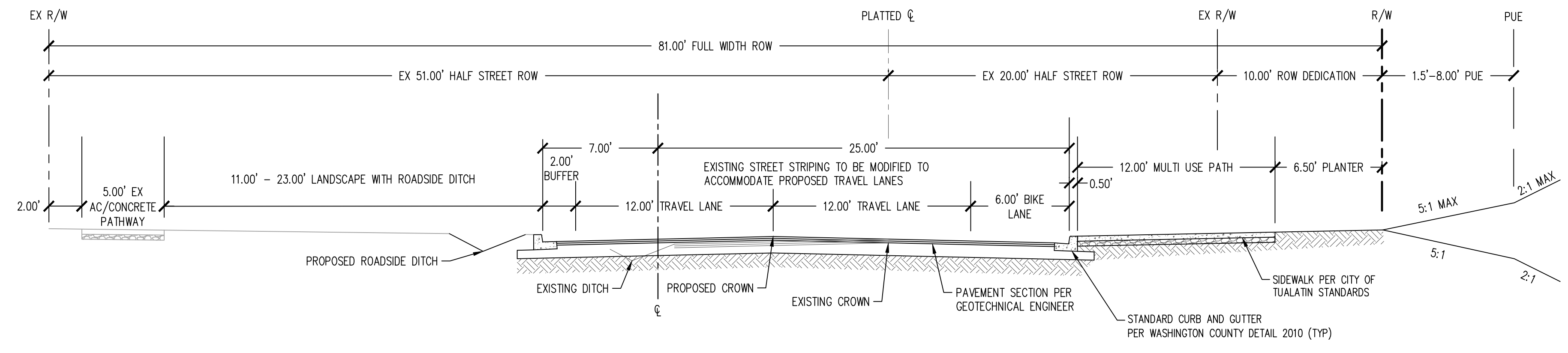
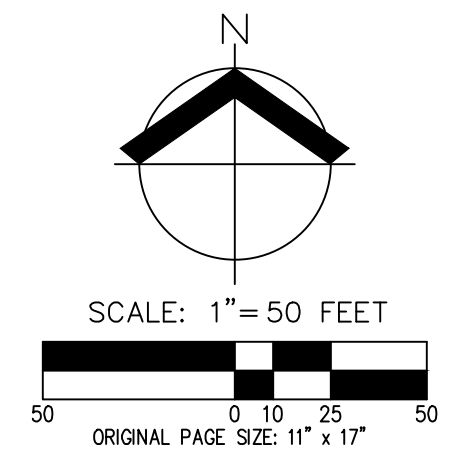
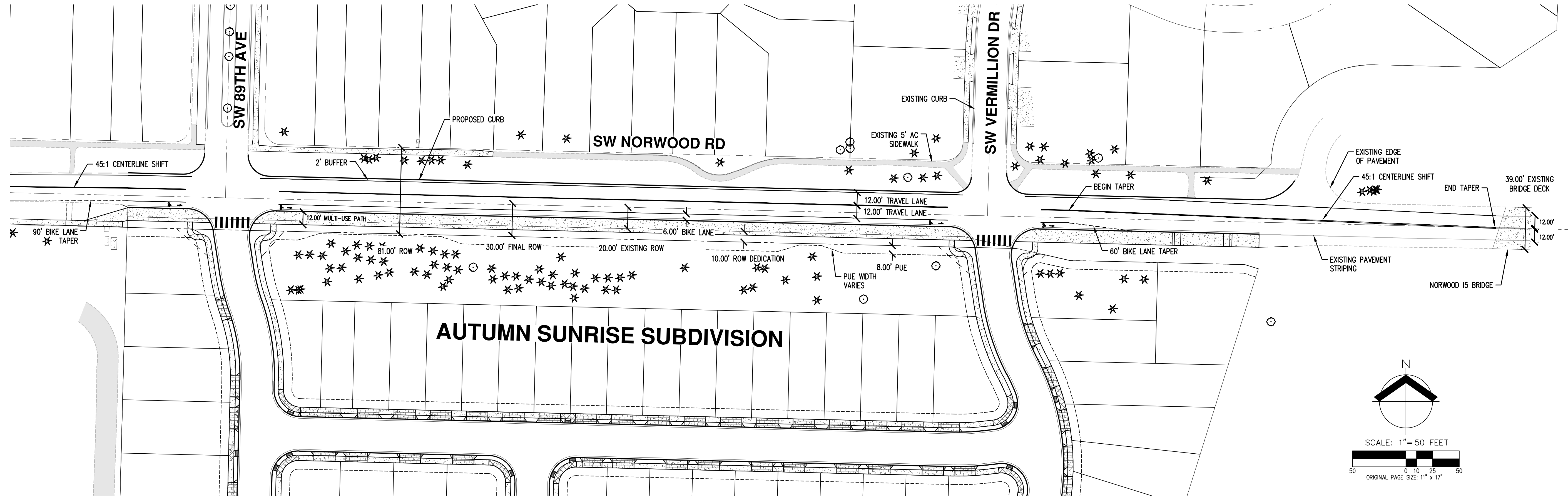
- CONCRETE SIDEWALK CONSTRUCTED BY CONTRACTOR
- CONCRETE SIDEWALK CONSTRUCTED BY HOME BUILDER
- NEW AC PAVEMENT BY CONTRACTOR
- VISION CLEARANCE TRIANGLE
- RESIDENTIAL CONCRETE DRIVEWAY BY HOME BUILDER
- COMMERCIAL DRIVEWAY BY CONTRACTOR
- ADA RAMP CONSTRUCTED BY CONTRACTOR
- PARKING SPACE

TOTAL ON-STREET PARKING SPACES: 429
 TOTAL OFF-STREET PARKING SPACES: 1600





THE PURPOSE OF THIS PRELIMINARY PLAN IS TO SHOW THE POTENTIAL FUTURE NORWOOD ROAD ULTIMATE ALIGNMENT FOR PLANNING PURPOSES.

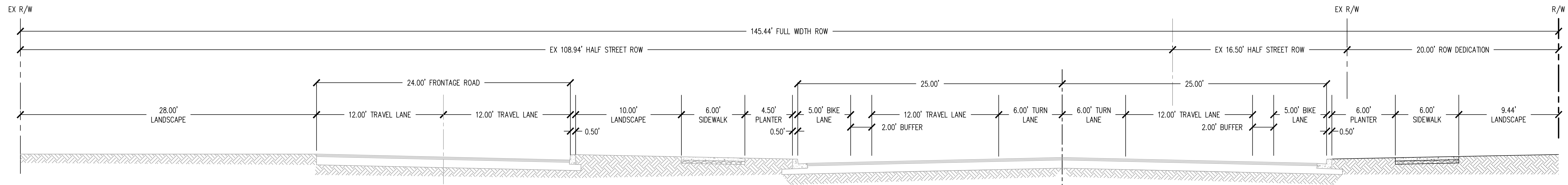
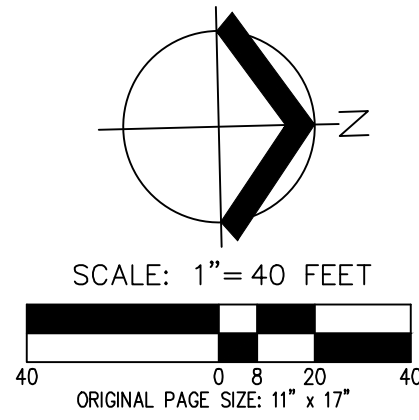
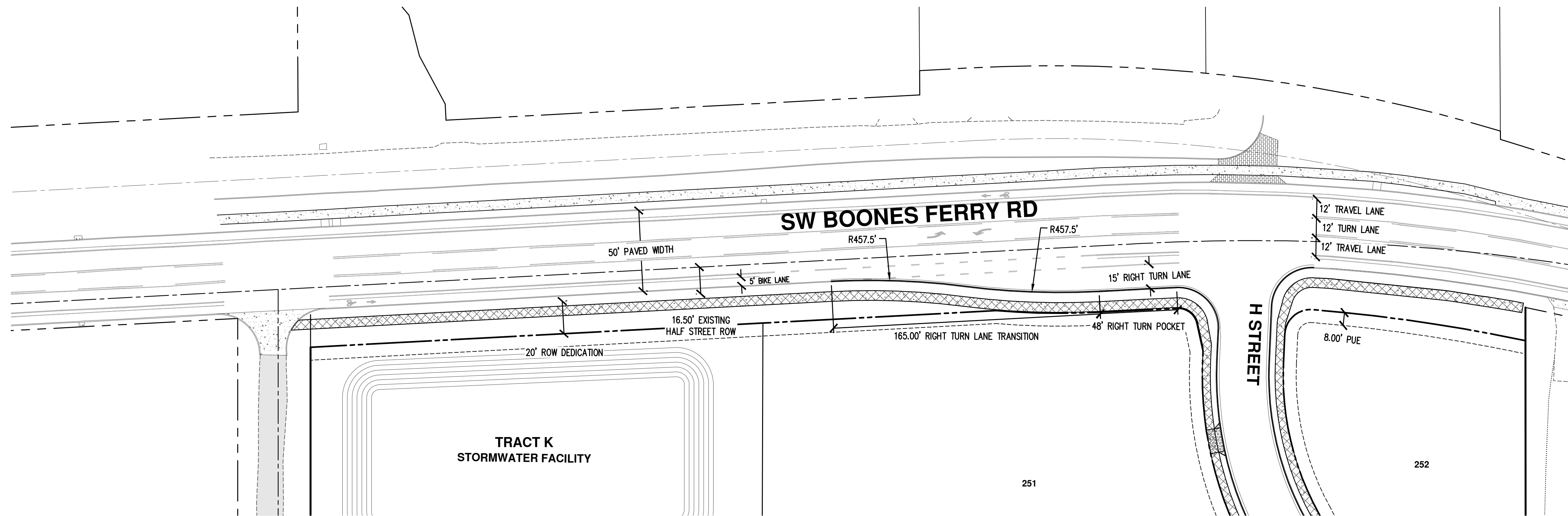


SCALE 1" = 5'

SW NORWOOD ROAD - COLLECTOR

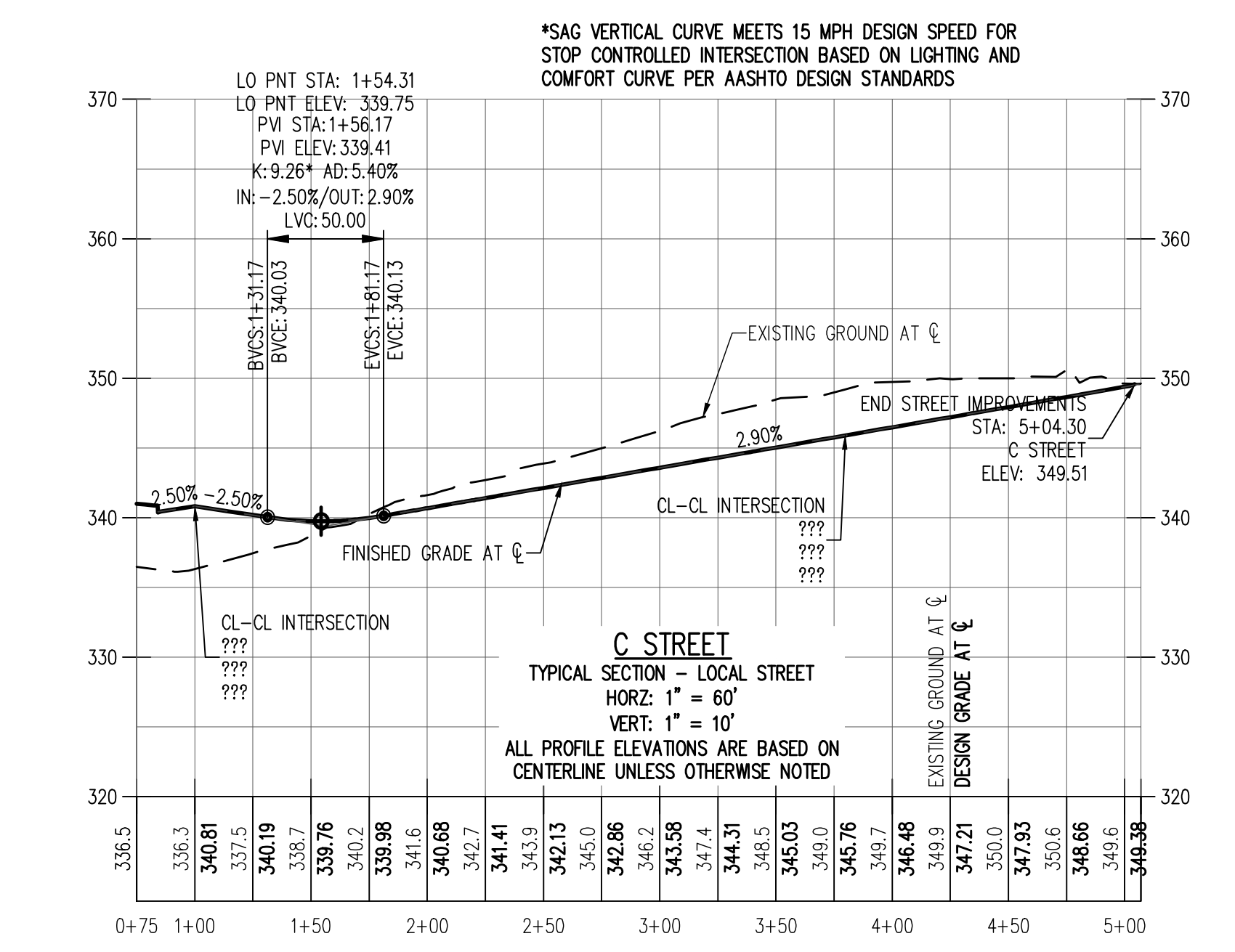
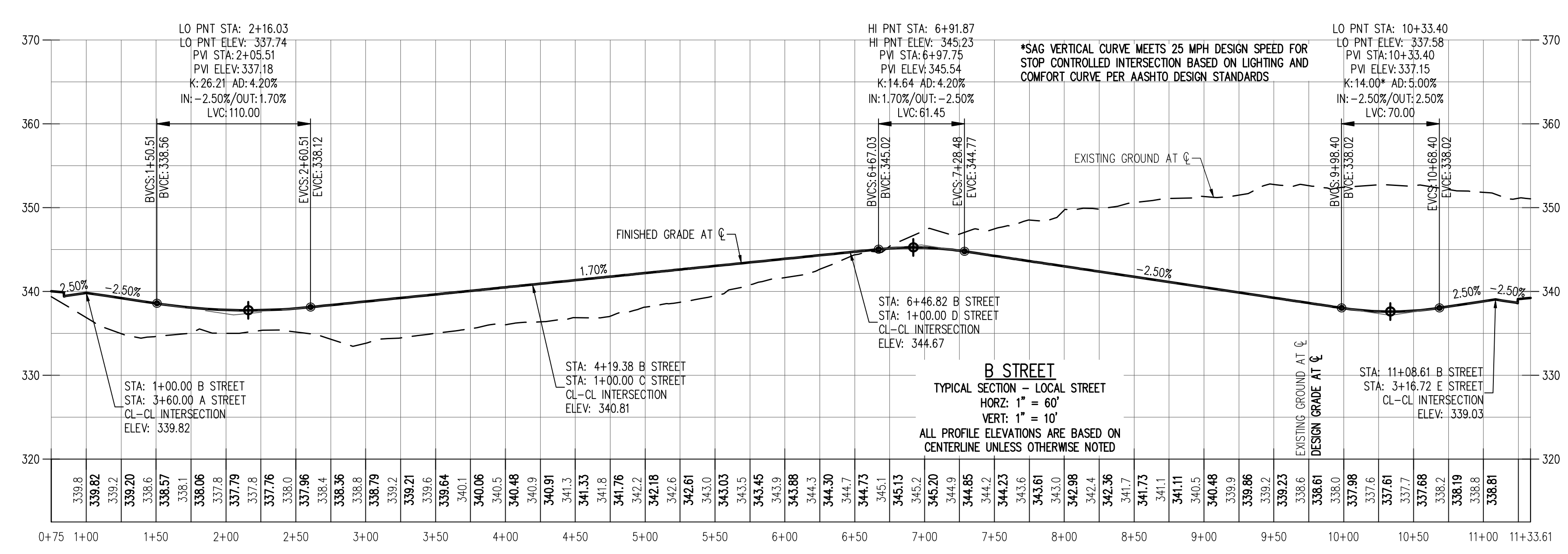
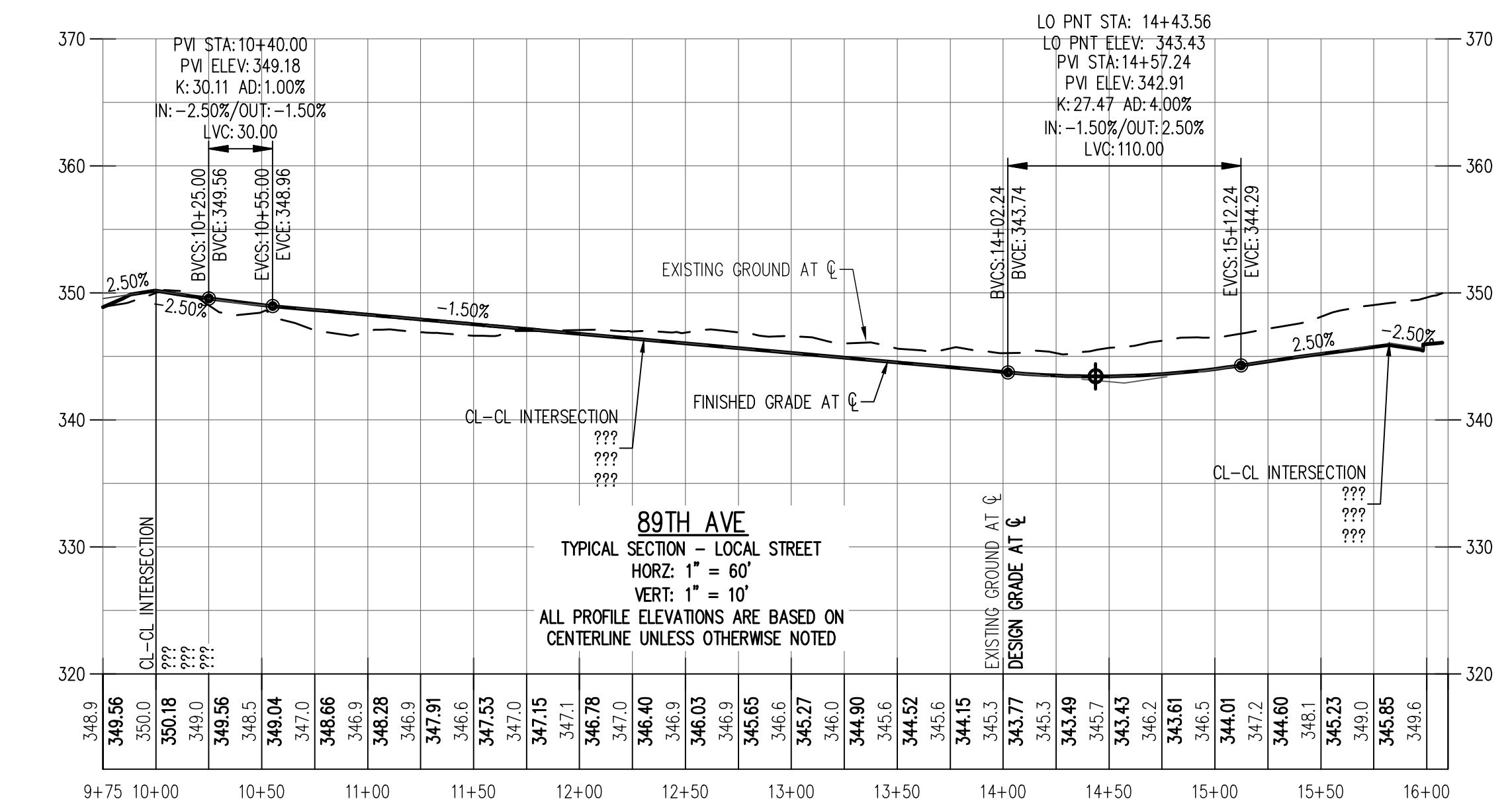
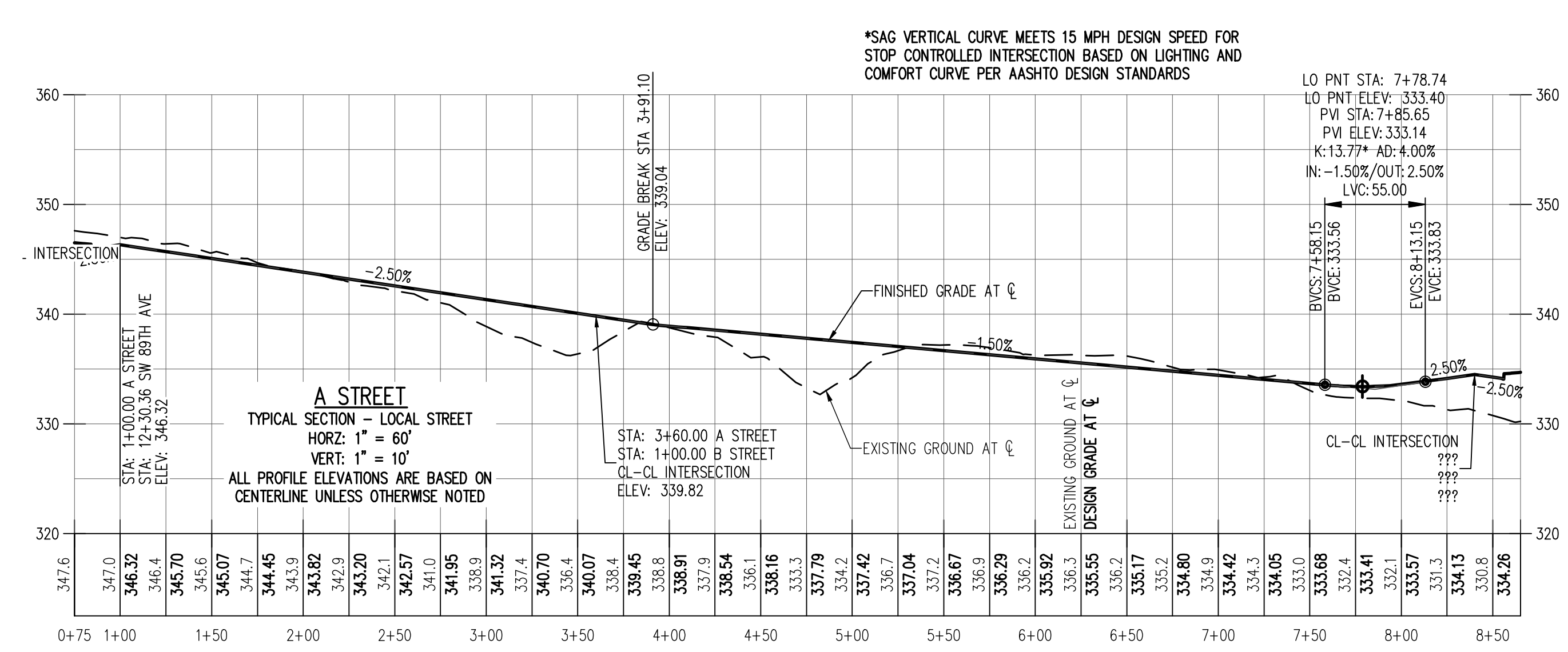
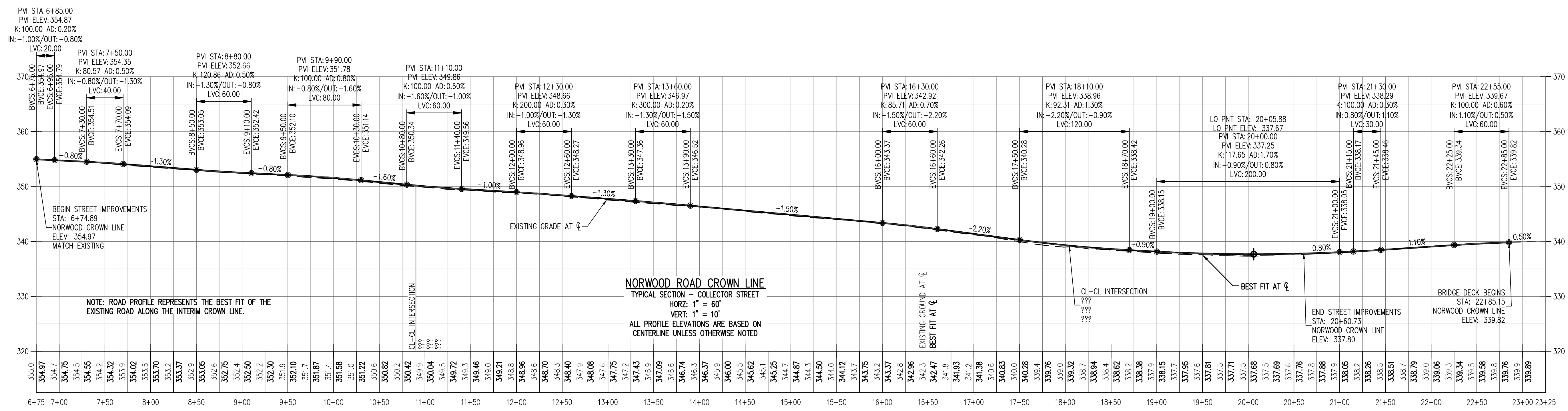
INTERIM TYPICAL SECTION

THE PURPOSE OF THIS PRELIMINARY PLAN IS TO SHOW THE INTERIM NORWOOD ROAD ALIGNMENT FOR PLANNING PURPOSES.



SCALE 1" = 5'

SW BOONES FERRY ROAD - ARTERIAL
TYPICAL SECTION



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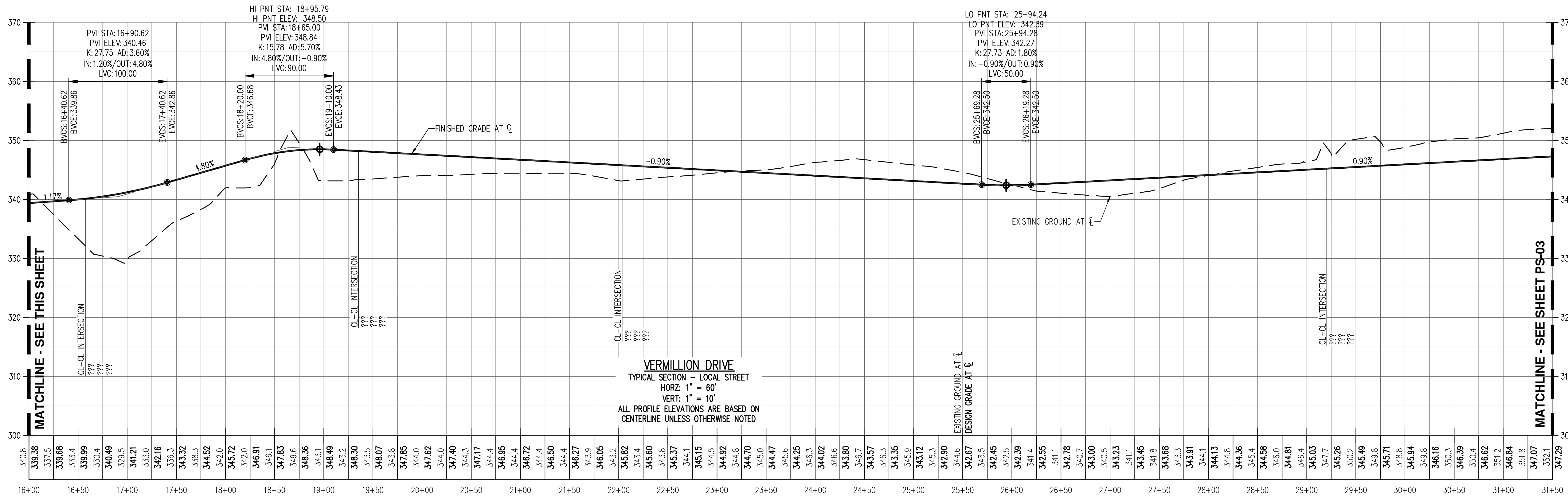
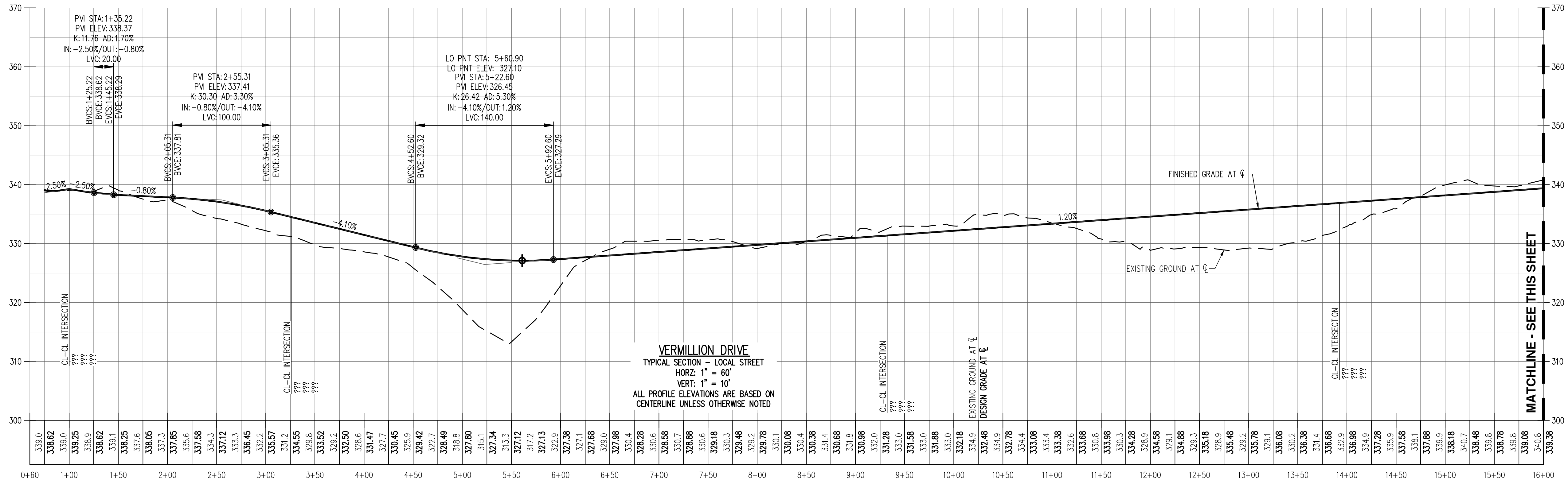
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AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

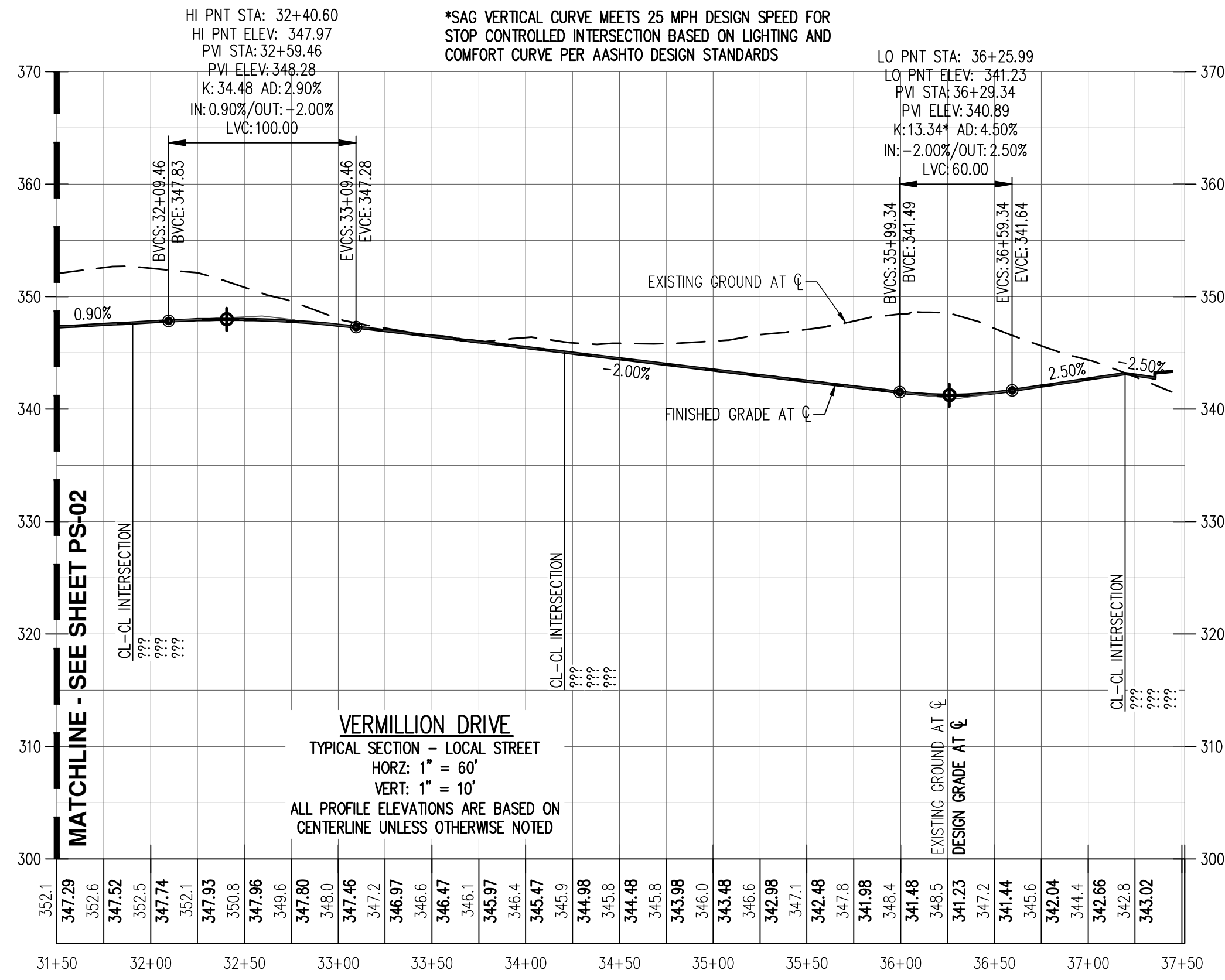
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NO. 12, 2016
PRELIMINARY
RENEWAL DATE: 6/30/22

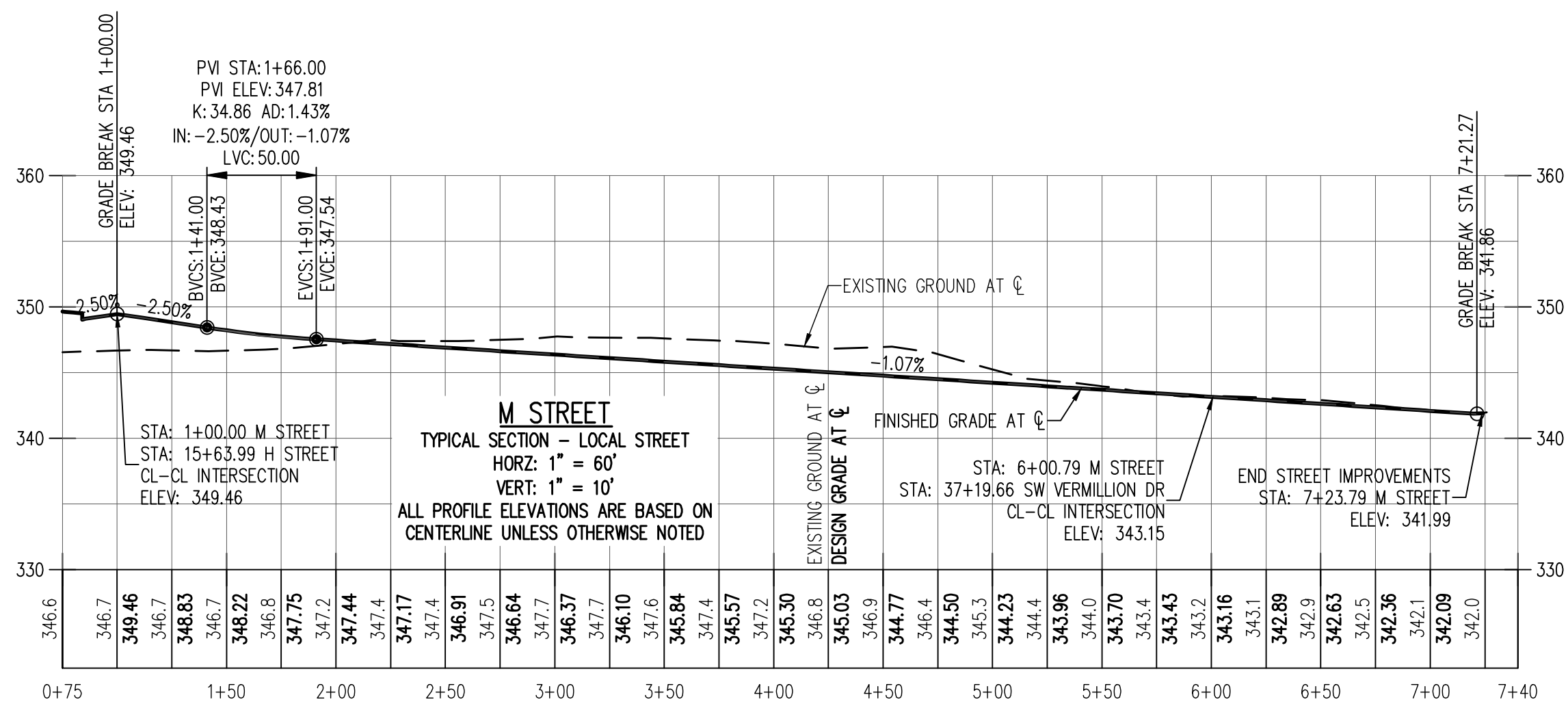
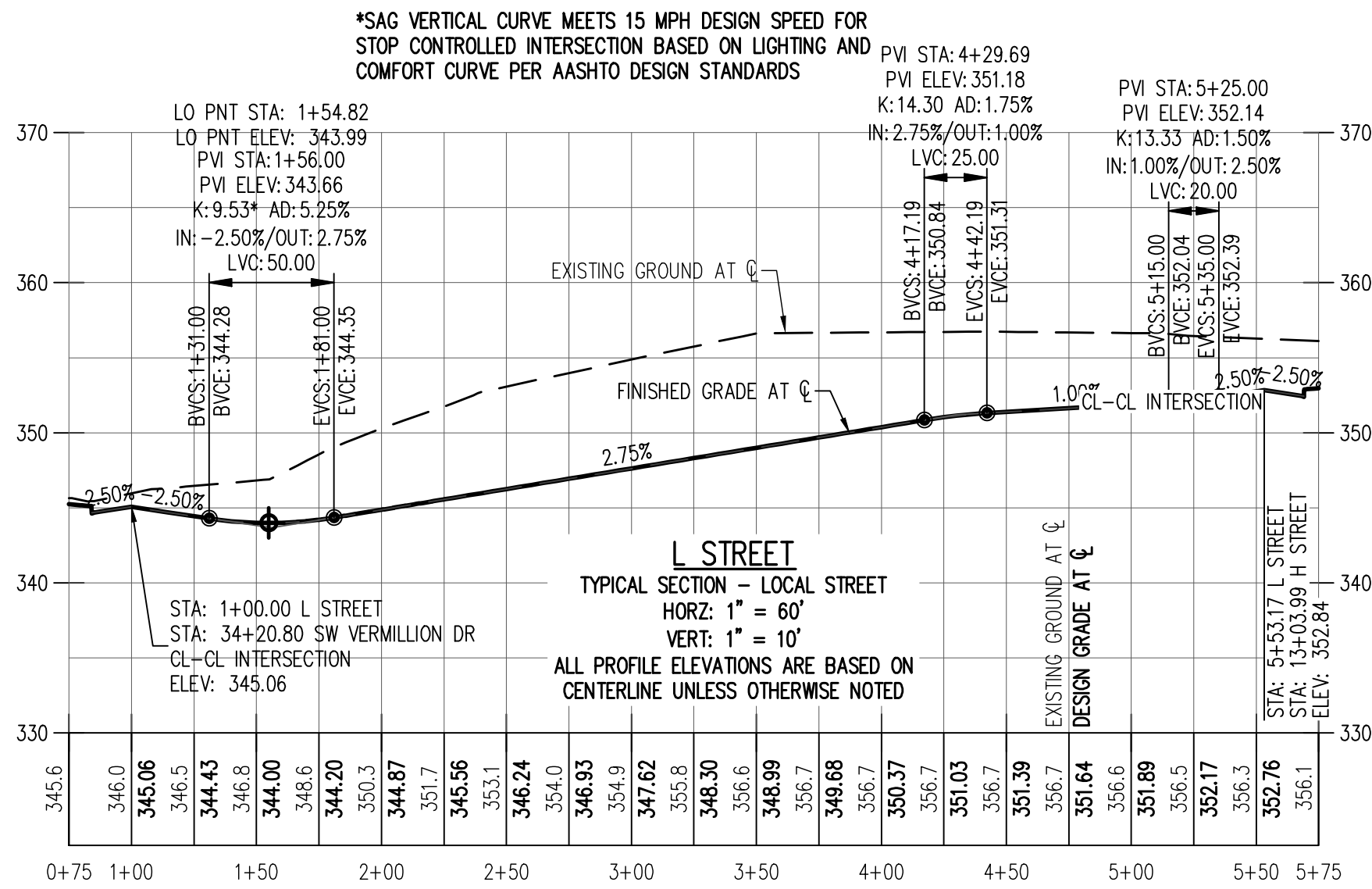
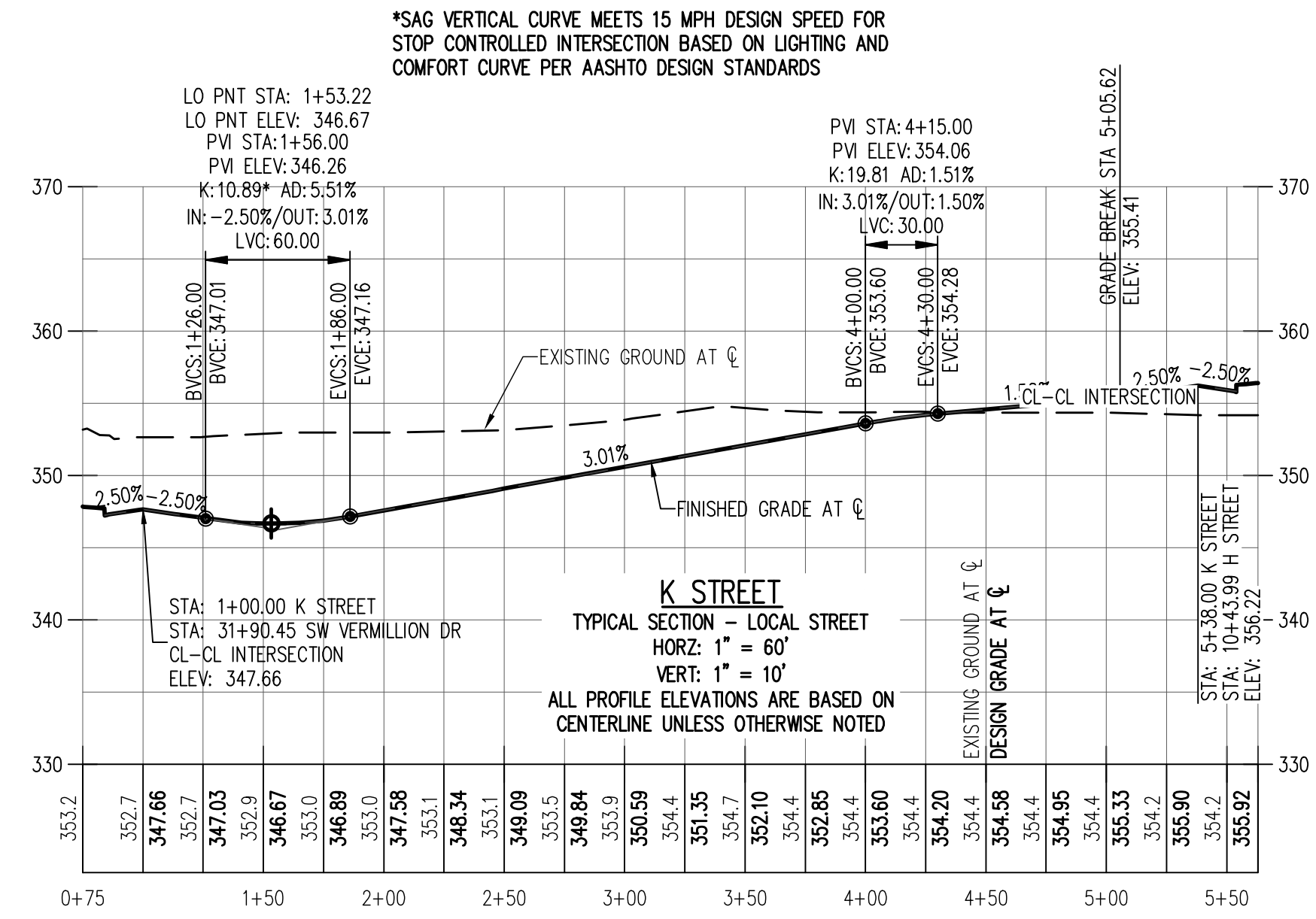
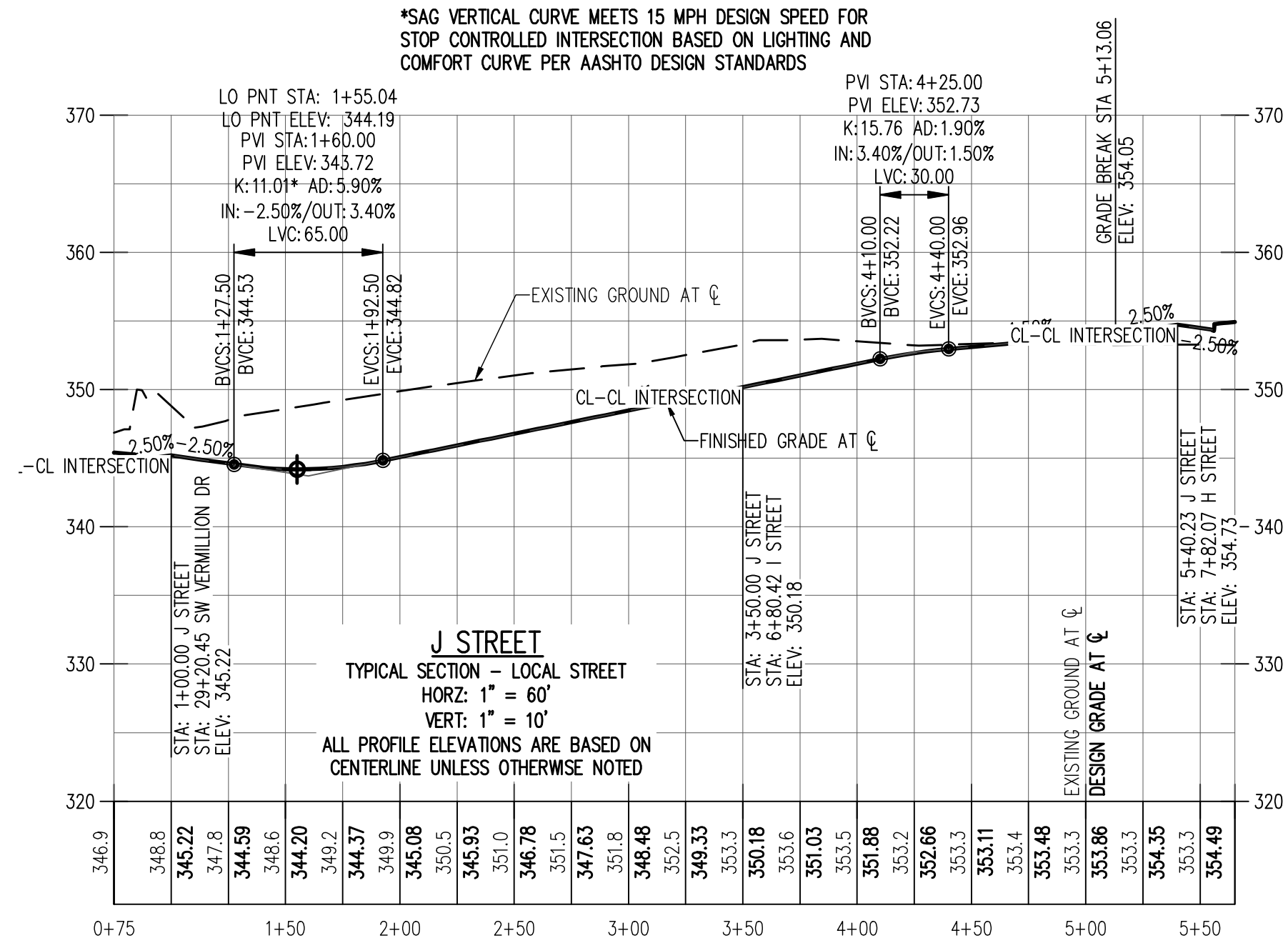
JOB NUMBER: 7454
DATE: 7/1/2021
DESIGNED BY: JSM
DRAWN BY: JSM
CHECKED BY: DS

PS-01

AKS DRAWING FILE: 7454 STREETS PROFILES.DWG | LAYOUT: PS-01







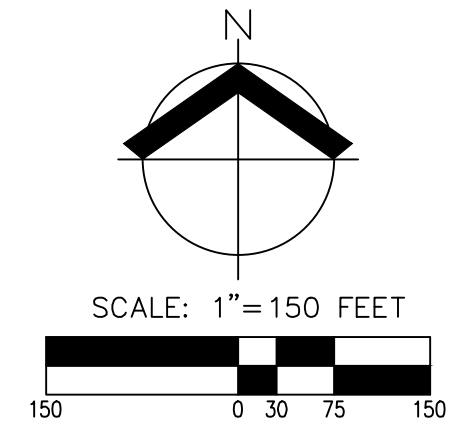
RENEWAL DATE: 6/30/22

JOB NUMBER:	7454
DATE:	7/1/2021
DESIGNED BY:	JSM
DRAWN BY:	JSM
CHECKED BY:	DS

PRELIMINARY COMPOSITE UTILITY OVERVIEW
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON



RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS





TAX LOT 106
TAX MAP 2S.1.35D

TAX LOT 107
TAX MAP 2S.1.35D
CITY RESERVOIR

PRELIMINARY COMPOSITE UTILITY PLAN (N)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

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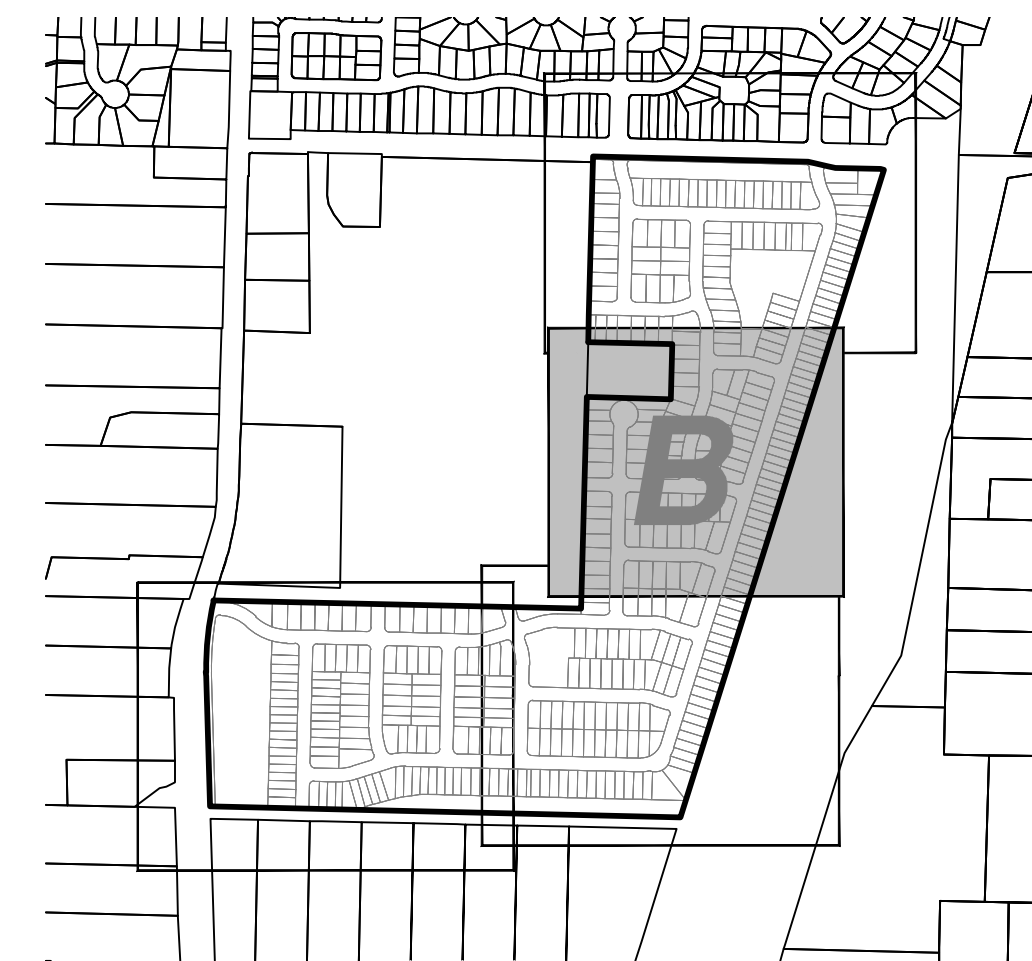
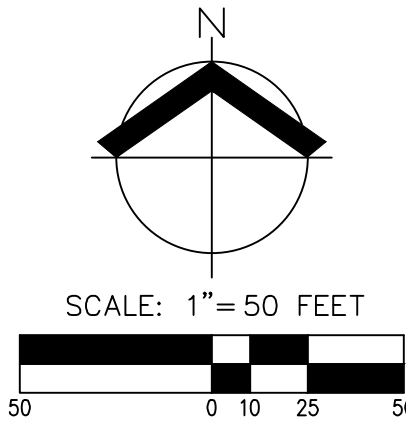
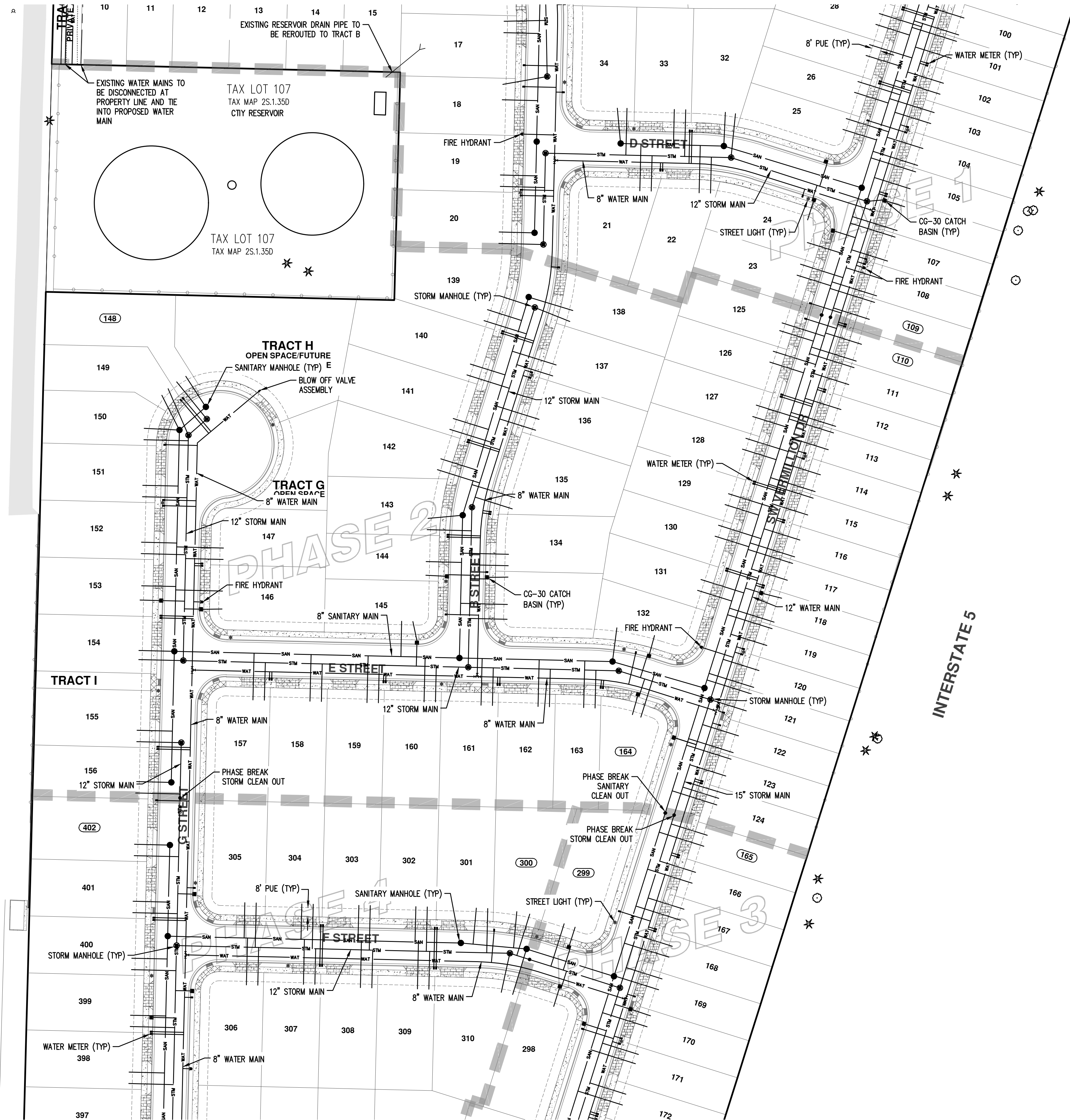
LENNAR

REGISTERED PROFESSIONAL
 ENGINEER
 84806
PRELIMINARY
 12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

CU-01

AKS DRAWING FILE: 7454_COMP_UTILITY.DWG | LAYOUT: CU-01

TAX LOT 106
TAX MAP 25.1.35D



106
S.1.35D

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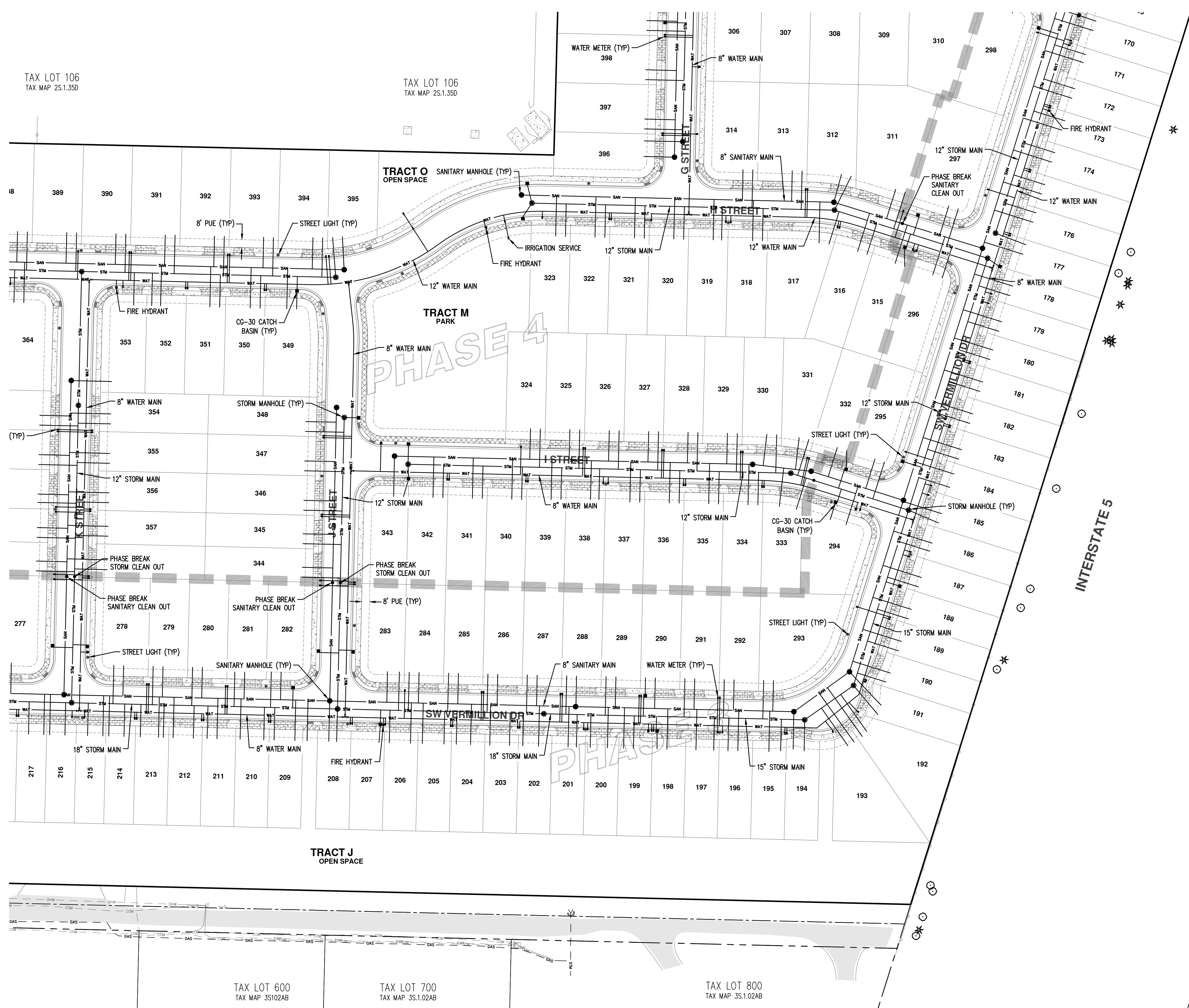
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PRELIMINARY COMPOSITE UTILITY PLAN (CEN)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

REGISTERED PROFESSIONAL ENGINEER
84806
PRELIMINARY
NOV 12, 2016
MIKO SIMIC

RENEWAL DATE: 6/30/22
JOB NUMBER: 7454
DATE: 7/1/2021
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DRAWN BY: JSM
CHECKED BY: DS

CU-02

AKS DRAWING FILE: 7454_COMP_UTILITY.DWG | LAYOUT: CU-02



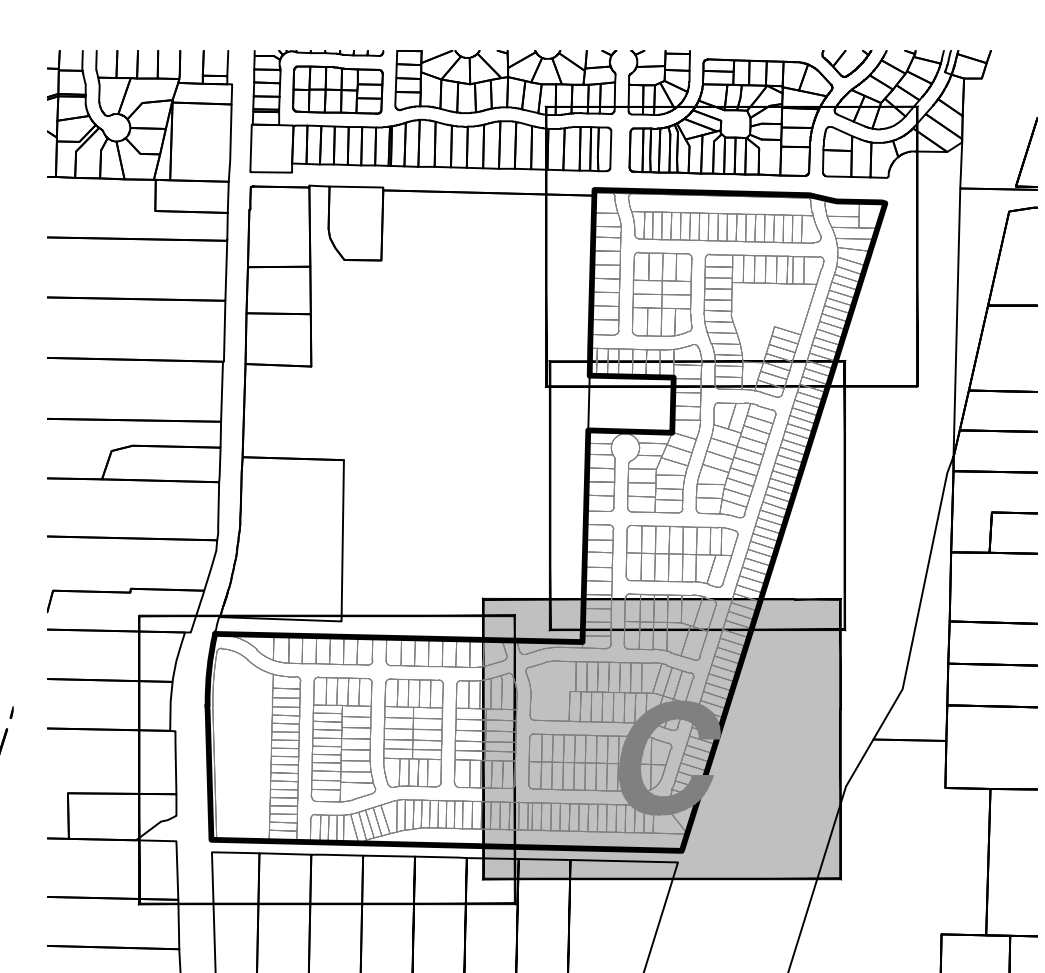
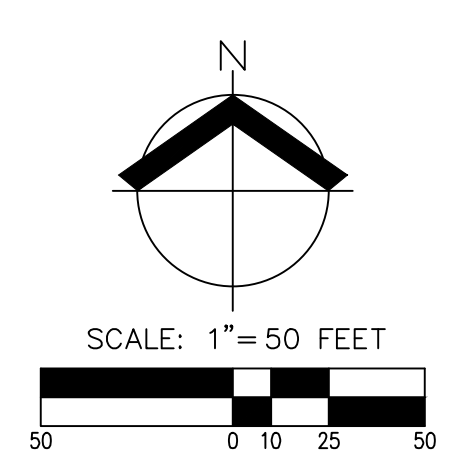
TAX LOT 106
TAX MAP 2S.1.35D

TAX LOT 106
TAX MAP 2S.1.35D

TAX LOT 600
TAX MAP 3S102AB

TAX LOT 700
TAX MAP 3S.1.02AB

TAX LOT 800
TAX MAP 3S.1.02AB



PRELIMINARY COMPOSITE UTILITY PLAN (SE)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

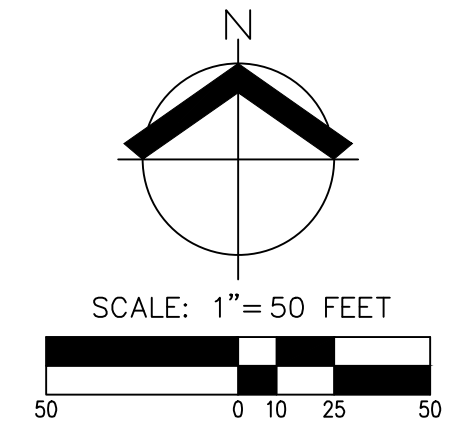
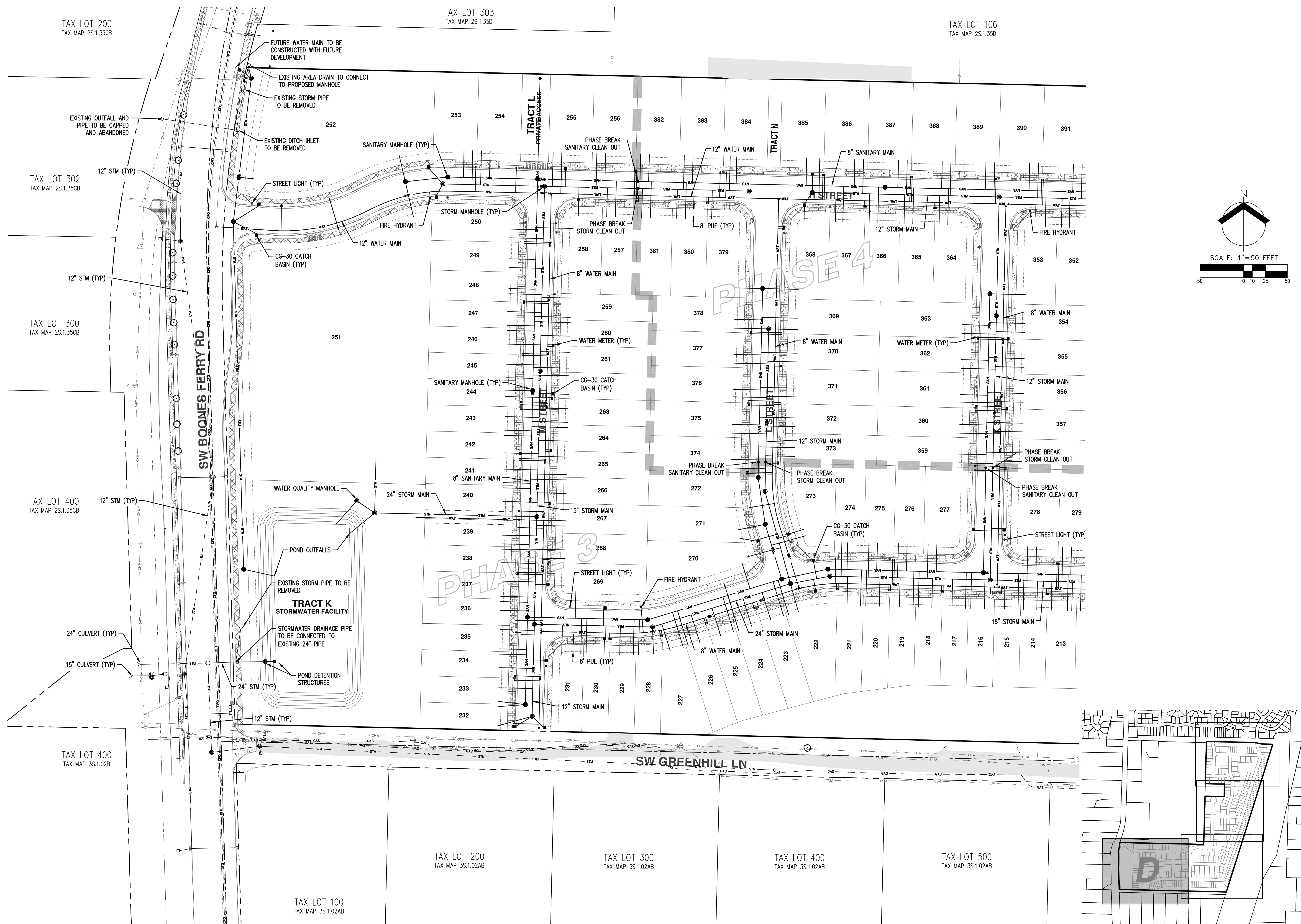
REGISTERED PROFESSIONAL ENGINEER
 84806
PRELIMINARY
 OREGON
 12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

CU-03

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AKS DRAWING FILE: 7454_COMP_UTILITY.DWG | LAYOUT: CU-03



AKS DRAWING FILE: 7454_COMP_UTILITY.DWG | LAYOUT: CU-04

TAX LOT 200
TAX MAP 2S.1.35CB

TAX LOT 303
TAX MAP 2S.1.35D

TAX LOT 106
TAX MAP 2S.1.35D

TAX LOT 302
TAX MAP 2S.1.35CB

TAX LOT 300
TAX MAP 2S.1.35CB

TAX LOT 400
TAX MAP 2S.1.35CB

TAX LOT 400
TAX MAP 3S.1.02B

TAX LOT 200
TAX MAP 3S.1.02AB

TAX LOT 300
TAX MAP 3S.1.02AB

TAX LOT 400
TAX MAP 3S.1.02AB

TAX LOT 500
TAX MAP 3S.1.02AB

TAX LOT 100
TAX MAP 3S.1.02AB

PRELIMINARY COMPOSITE UTILITY PLAN (SW)

AUTUMN SUNRISE SUBDIVISION

LENNAR NORTHWEST, INC.

TUALATIN, OREGON

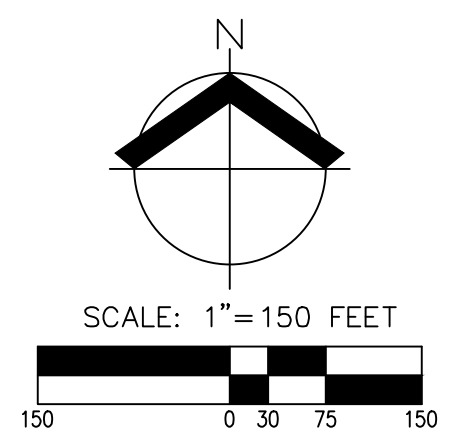
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RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

CU-04



PRELIMINARY GRADING AND ESC OVERVIEW
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

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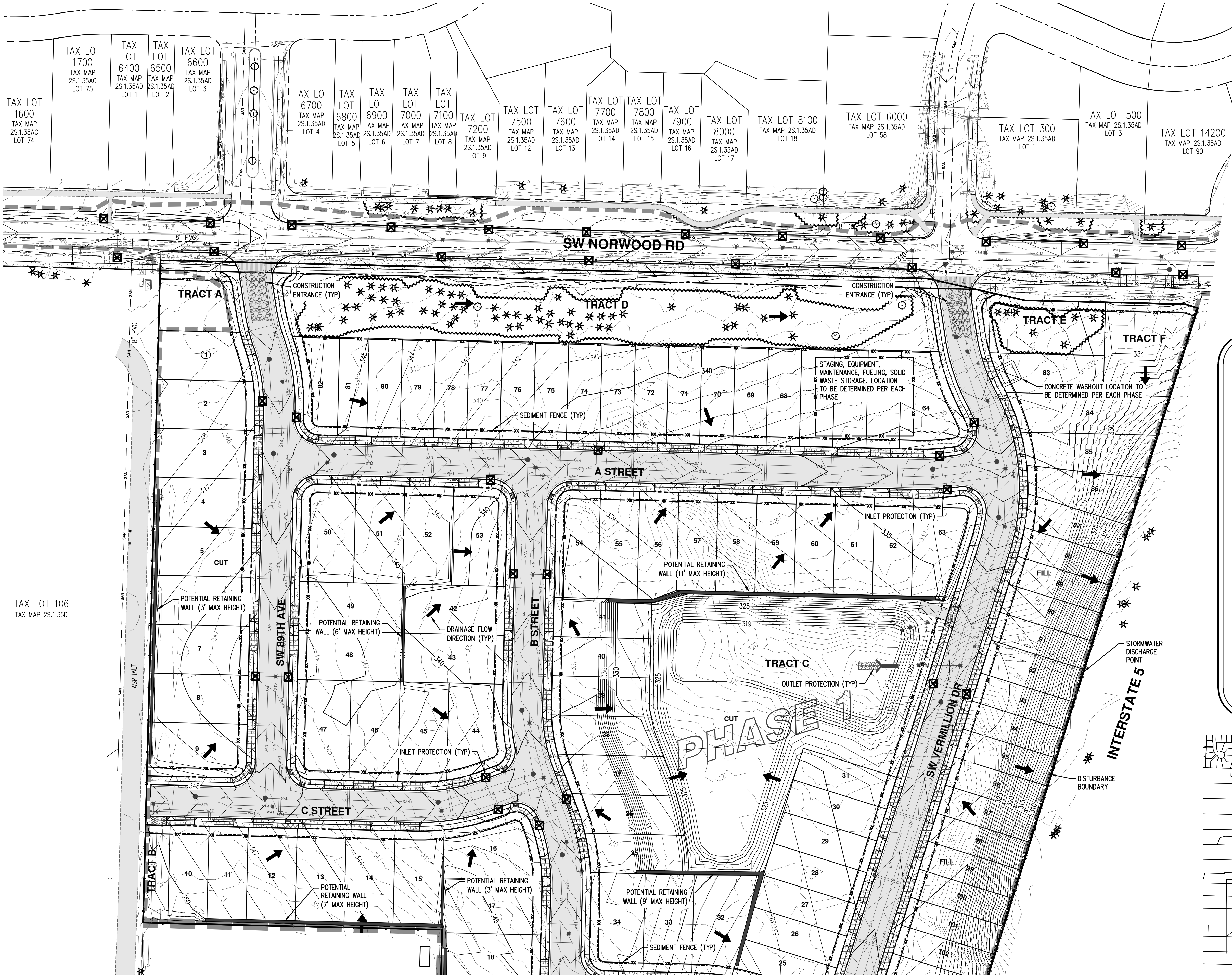
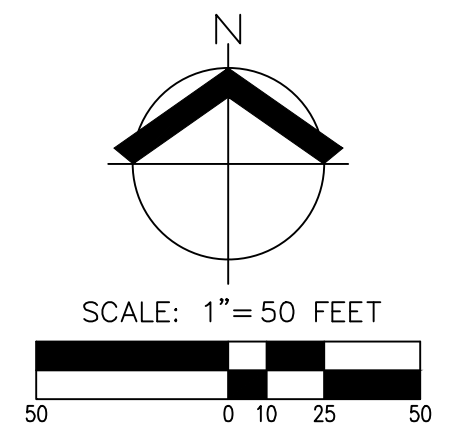
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REGISTERED PROFESSIONAL
 ENGINEER
 84806
 PRELIMINARY
 12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS

PRELIMINARY GRADING AND ESC PLAN (N)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON

REGISTERED PROFESSIONAL ENGINEER
 84806
 PRELIMINARY
 OREGON
 12.12.2016
 MIKO SIMIC
 RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
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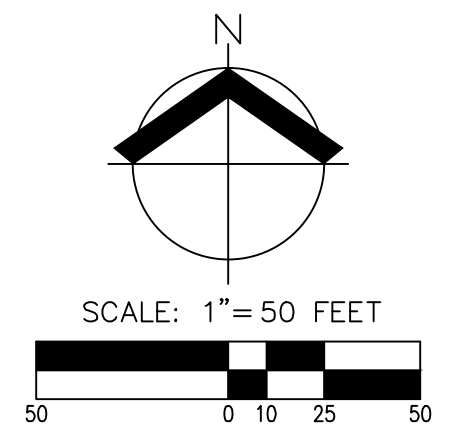


- EROSION AND SEDIMENT CONTROL NOTES:**
1. ALL PERVIOUS SURFACES SHALL RECEIVE TEMPORARY SEEDING.
 2. ALL SLOPES GREATER THAN 25% SHALL RECEIVE SLOPE MATTING.

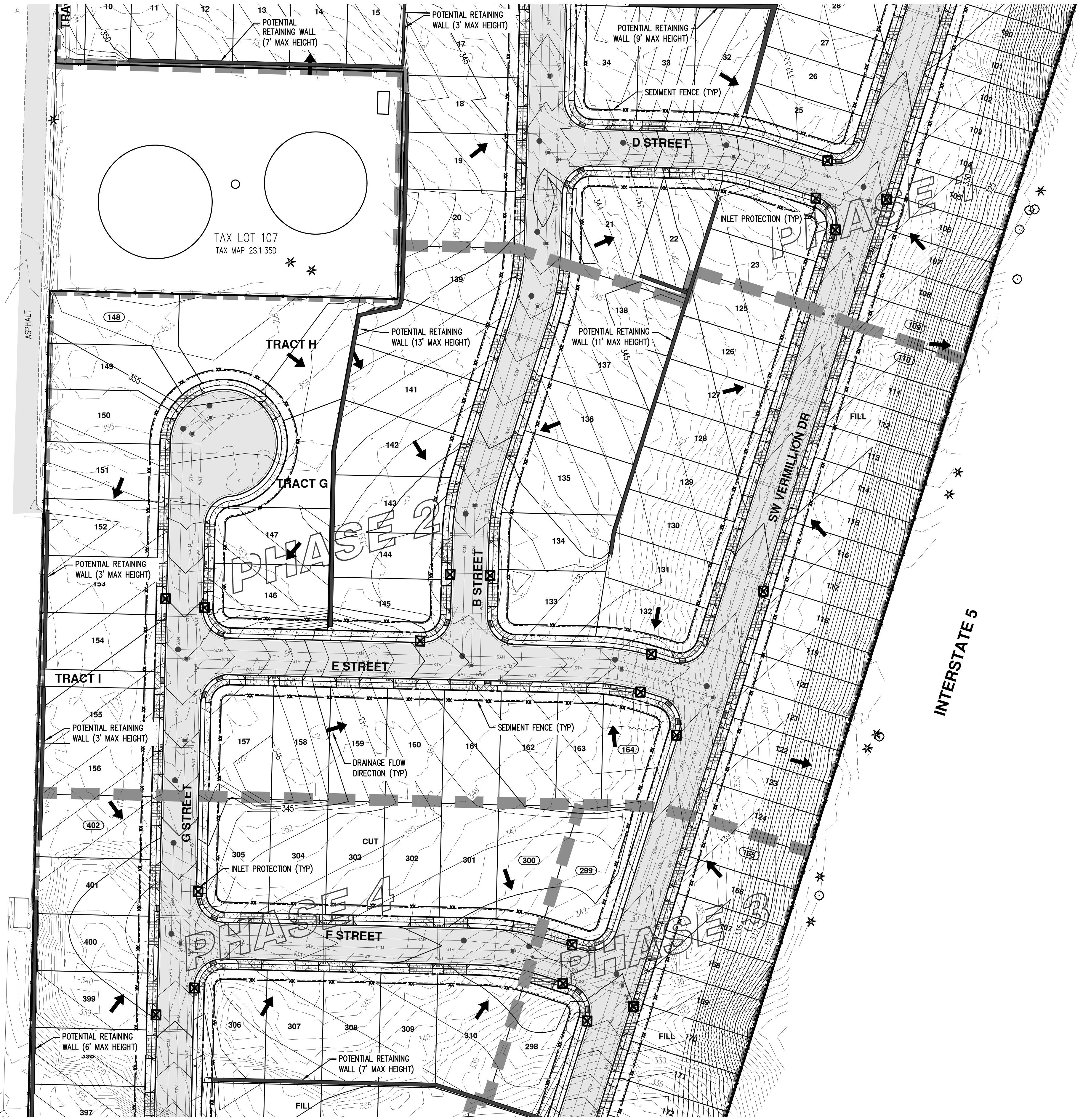
LEGEND

EXISTING GROUND CONTOUR (1 FT)	---
EXISTING GROUND CONTOUR (5 FT)	---
FINISHED GRADE CONTOUR (1 FT)	---
FINISHED GRADE CONTOUR (5 FT)	---
SEDIMENT FENCE (INSTALLED PRIOR TO GRADING)	x x x
SEDIMENT FENCE AND SECONDARY BMP (INSTALLED AFTER TO GRADING)	x x x
CURB INLET PROTECTION (TYP)	☒
CONCRETE WASHOUT AREA	▣
DRAINAGE FLOW DIRECTION	➔
GRAVEL CONSTRUCTION ENTRANCE	▨
HARDSCAPE (AC/CONCRETE)	▨
DISTURBANCE BOUNDARY	- - -
OUTLET PROTECTION	➔
EXISTING TREE TO REMAIN	* ○
TREE PROTECTION FENCE	~ ~ ~





TAX LOT 106
TAX MAP 2S.1.35D

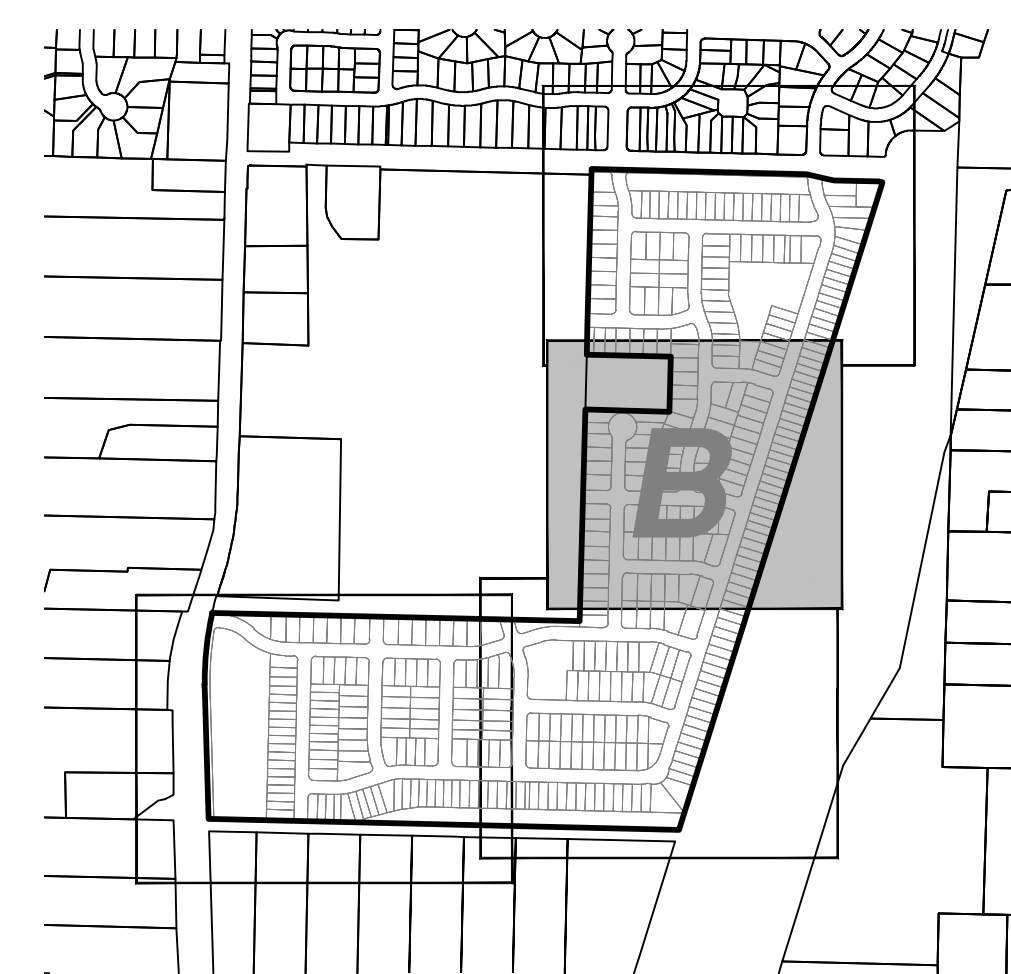


EROSION AND SEDIMENT CONTROL NOTES:

1. ALL PERVIOUS SURFACES SHALL RECEIVE TEMPORARY SEEDING.
2. ALL SLOPES GREATER THAN 25% SHALL RECEIVE SLOPE MATTING.

LEGEND

EXISTING GROUND CONTOUR (1 FT)	
EXISTING GROUND CONTOUR (5 FT)	
FINISHED GRADE CONTOUR (1 FT)	
FINISHED GRADE CONTOUR (5 FT)	
SEDIMENT FENCE (INSTALLED PRIOR TO GRADING)	
SEDIMENT FENCE AND SECONDARY BMP (INSTALLED AFTER TO GRADING)	
CURB INLET PROTECTION (TYP)	
CONCRETE WASHOUT AREA	
DRAINAGE FLOW DIRECTION	
GRAVEL CONSTRUCTION ENTRANCE	
HARDSCAPE (AC/CONCRETE)	
DISTURBANCE BOUNDARY	
OUTLET PROTECTION	
EXISTING TREE TO REMAIN	
TREE PROTECTION FENCE	



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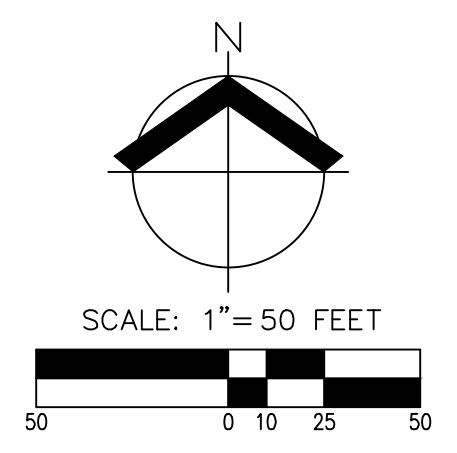
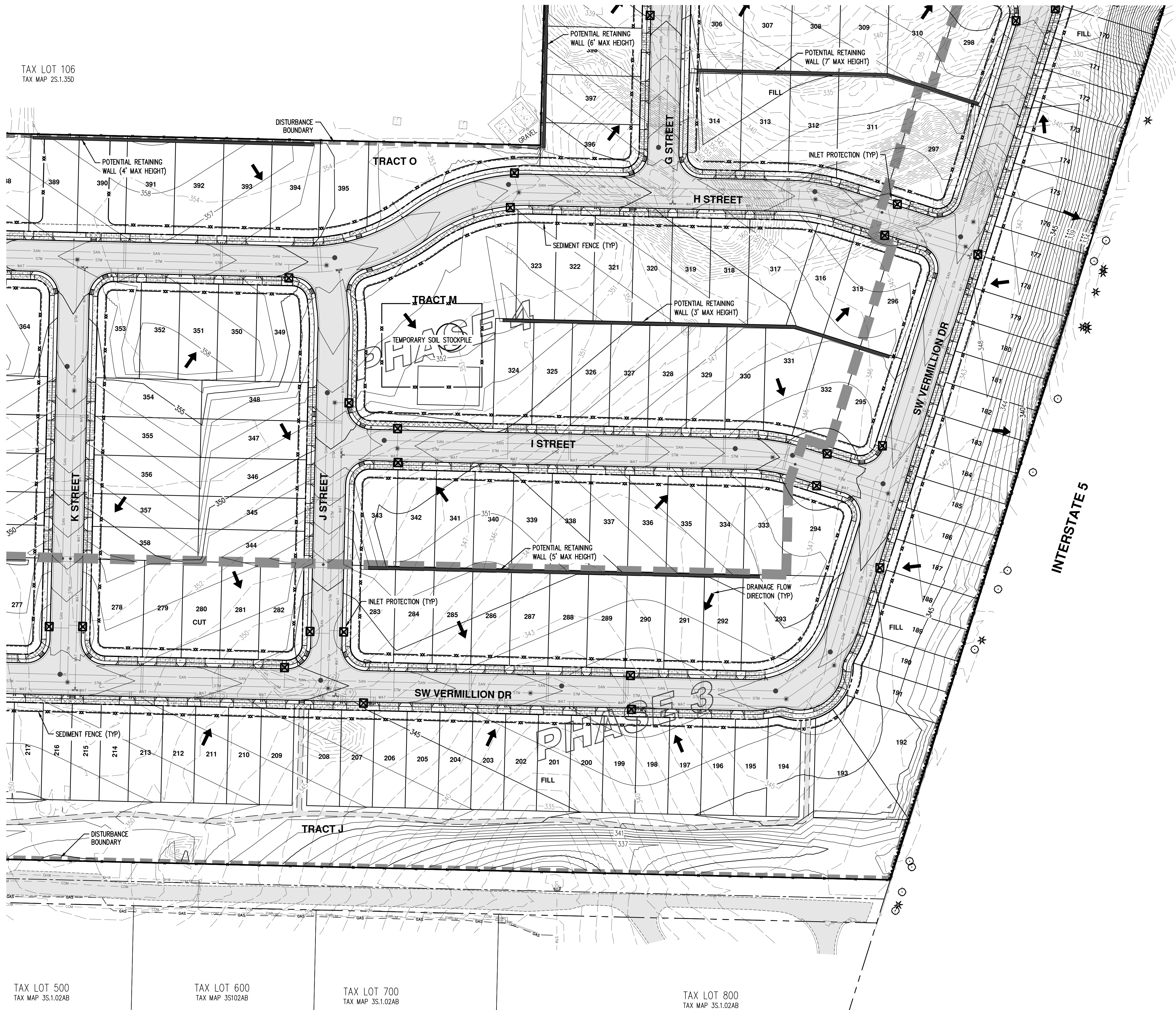
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AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON**

REGISTERED PROFESSIONAL ENGINEER
84806
PRELIMINARY
12.2016
MIKO SIMIC
RENEWAL DATE: 6/30/22

JOB NUMBER: 7454
DATE: 7/1/2021
DESIGNED BY: JSM
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PG-02

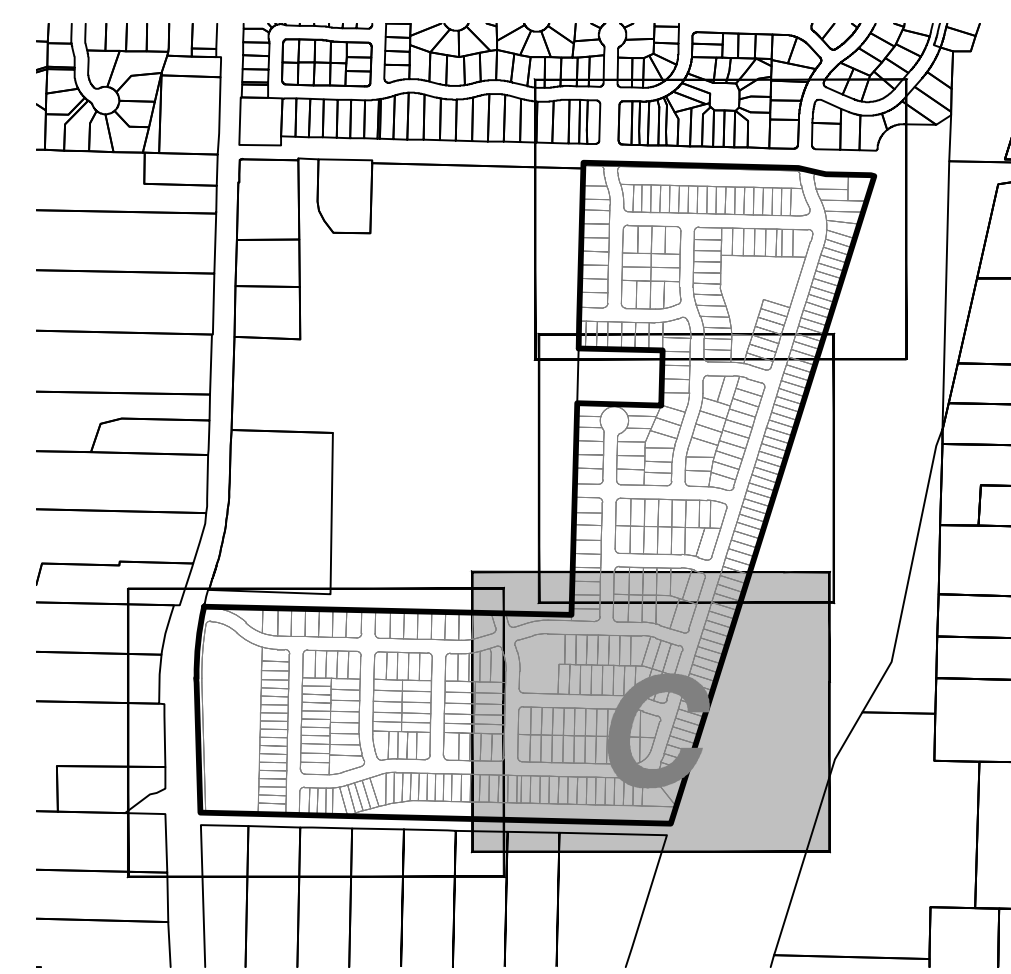
TAX LOT 106
TAX MAP 2S.1.35D



- EROSION AND SEDIMENT CONTROL NOTES:**
1. ALL PERVIOUS SURFACES SHALL RECEIVE TEMPORARY SEEDING.
 2. ALL SLOPES GREATER THAN 25% SHALL RECEIVE SLOPE MATTING.

LEGEND

EXISTING GROUND CONTOUR (1 FT)	
EXISTING GROUND CONTOUR (5 FT)	
FINISHED GRADE CONTOUR (1 FT)	
FINISHED GRADE CONTOUR (5 FT)	
SEDIMENT FENCE (INSTALLED PRIOR TO GRADING)	
SEDIMENT FENCE AND SECONDARY BMP (INSTALLED AFTER TO GRADING)	
CURB INLET PROTECTION (TYP)	
CONCRETE WASHOUT AREA	
DRAINAGE FLOW DIRECTION	
GRAVEL CONSTRUCTION ENTRANCE	
HARDSCAPE (AC/CONCRETE)	
DISTURBANCE BOUNDARY	
OUTLET PROTECTION	
EXISTING TREE TO REMAIN	
TREE PROTECTION FENCE	



TAX LOT 500
TAX MAP 3S.1.02AB

TAX LOT 600
TAX MAP 3S1.02AB

TAX LOT 700
TAX MAP 3S.1.02AB

TAX LOT 800
TAX MAP 3S.1.02AB

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**PRELIMINARY GRADING AND ESC PLAN (SE)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON**

REGISTERED PROFESSIONAL
ENGINEER
84806
PRELIMINARY
12.2016
MIKO SIMIC

RENEWAL DATE: 6/30/22
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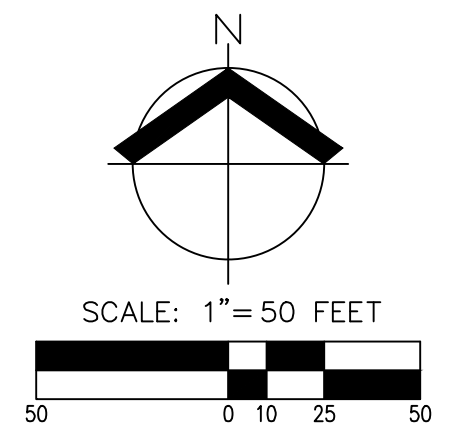
PG-03

AKS DRAWING FILE: 7454 GRADING ESC.DWG | LAYOUT: PG-03

LOT 200
P 2S.1.35CB

TAX LOT 303
TAX MAP 2S.1.35D

TAX LOT 106
TAX MAP 2S.1.35D

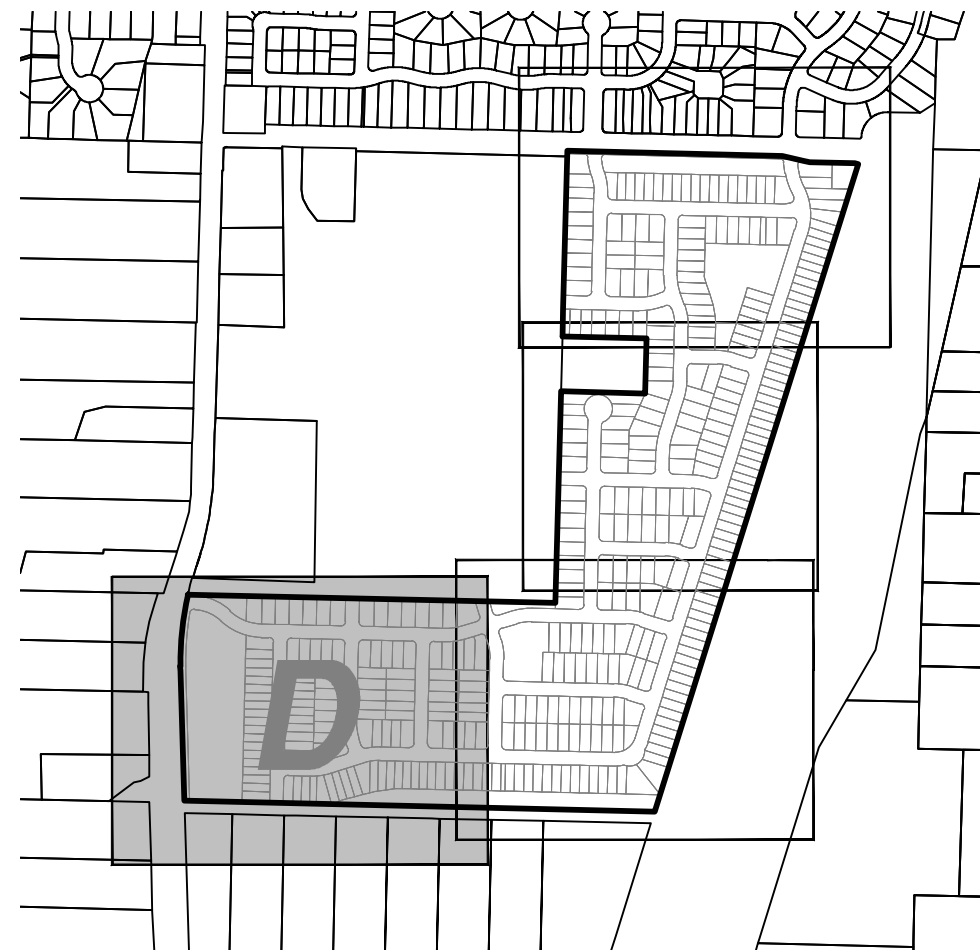


EROSION AND SEDIMENT CONTROL NOTES:

1. ALL PERVIOUS SURFACES SHALL RECEIVE TEMPORARY SEEDING.
2. ALL SLOPES GREATER THAN 25% SHALL RECEIVE SLOPE MATTING.

LEGEND

EXISTING GROUND CONTOUR (1 FT)	
EXISTING GROUND CONTOUR (5 FT)	
FINISHED GRADE CONTOUR (1 FT)	
FINISHED GRADE CONTOUR (5 FT)	
SEDIMENT FENCE (INSTALLED PRIOR TO GRADING)	
SEDIMENT FENCE AND SECONDARY BMP (INSTALLED AFTER TO GRADING)	
CURB INLET PROTECTION (TYP)	
CONCRETE WASHOUT AREA	
DRAINAGE FLOW DIRECTION	
GRAVEL CONSTRUCTION ENTRANCE	
HARDSCAPE (AC/CONCRETE)	
DISTURBANCE BOUNDARY	
OUTLET PROTECTION	
EXISTING TREE TO REMAIN	
TREE PROTECTION FENCE	



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**PRELIMINARY GRADING AND ESC PLAN (SW)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON**

REGISTERED PROFESSIONAL
ENGINEER
84806
PRELIMINARY
MAY 12, 2016
MIKO SIMIC

RENEWAL DATE: 6/30/22
JOB NUMBER: 7454
DATE: 7/1/2021
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PG-04

AKS DRAWING FILE: 7454 GRADING ESC.DWG | LAYOUT: PG-04

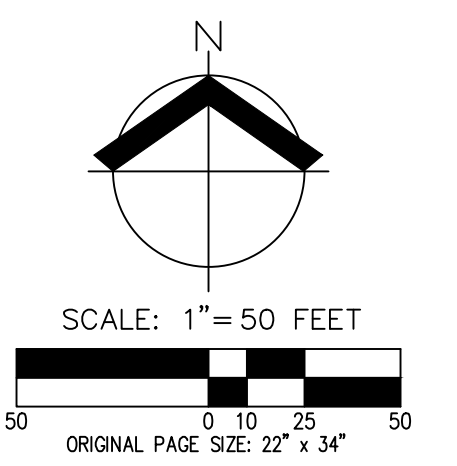
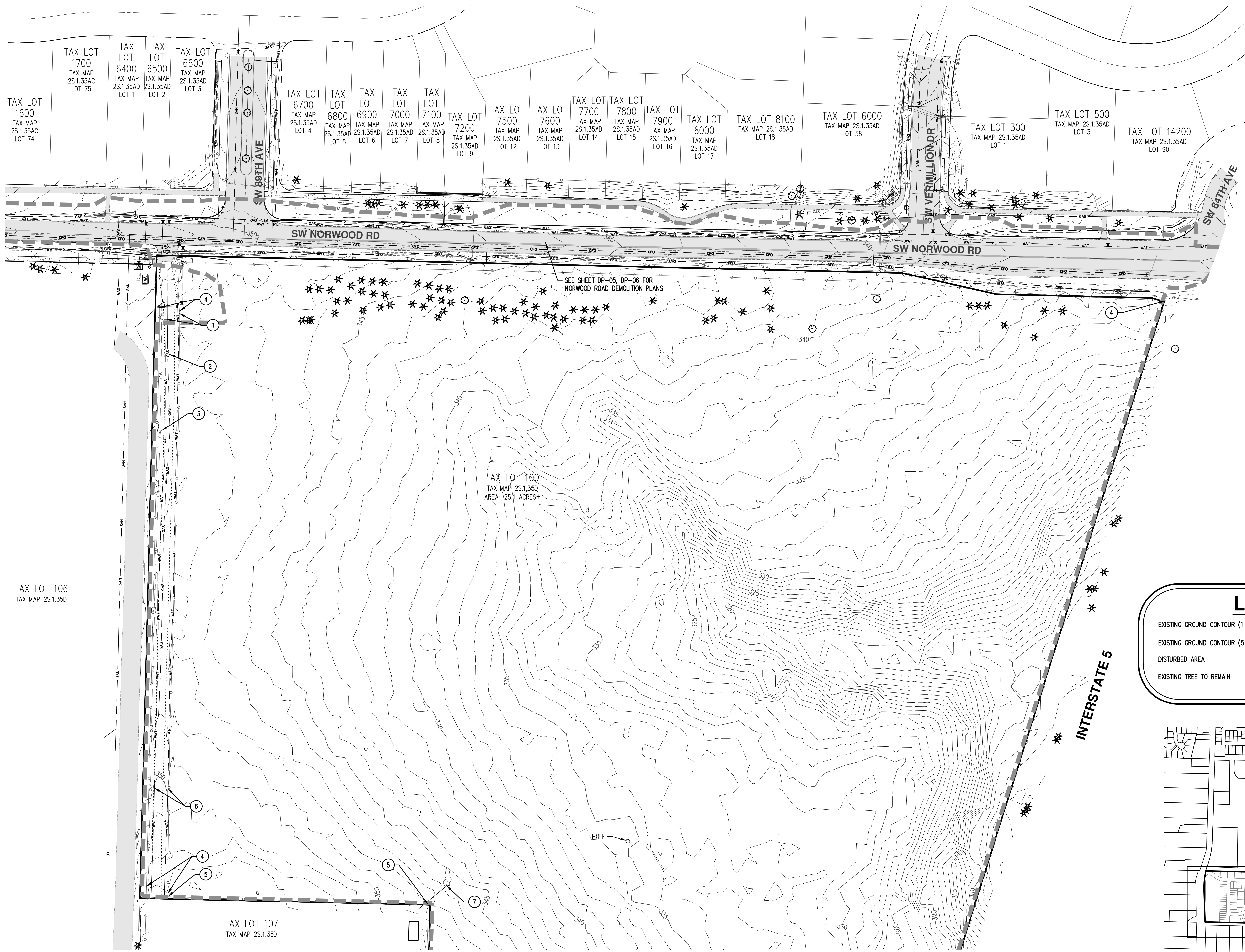
TAX LOT 100
TAX MAP 3S.1.02AB

TAX LOT 200
TAX MAP 3S.1.02AB

TAX LOT 300
TAX MAP 3S.1.02AB

TAX LOT 400
TAX MAP 3S.1.02AB

TAX LOT 500
TAX MAP 3S.1.02AB



DEMOLITION KEYED NOTES:

1. EXISTING WATER MAINS TO BE RELOCATED PER PROPOSED PLANS. CONTRACTOR TO COORDINATE WITH CITY OF TUALATIN WATER DEPARTMENT PRIOR TO BEGINNING WORK.
2. EXISTING GAS MAIN SERVING TAX LOT 106 TO BE RELOCATED - CONTRACTOR TO COORDINATE RELOCATION WITH NW NATURAL.
3. EXISTING COMMUNICATION LINE SERVING TAX LOT 107 TO BE RELOCATED - CONTRACTOR TO COORDINATE RELOCATION WITH FRANCHISE UTILITY.
4. EXISTING FENCE/GATES TO BE REMOVED AND HAULED OFF SITE.
5. EXISTING FENCE/GATES AROUND TAX LOT 107 TO BE REMOVED AND HAULED OFF SITE. CONTRACTOR TO INSTALL REPLACEMENT FENCING SAME DAY AS REMOVAL AND COORDINATE WITH THE CITY OF TUALATIN.
6. EXISTING WATER MAINS TO TIE INTO PROPOSED WATER MAIN.
7. EXISTING CULVERT TO BE REMOVED AND HAULED OFF SITE AND STORMWATER REROUTED. CONTRACTOR TO COORDINATE WITH CITY OF TUALATIN WATER DEPARTMENT.

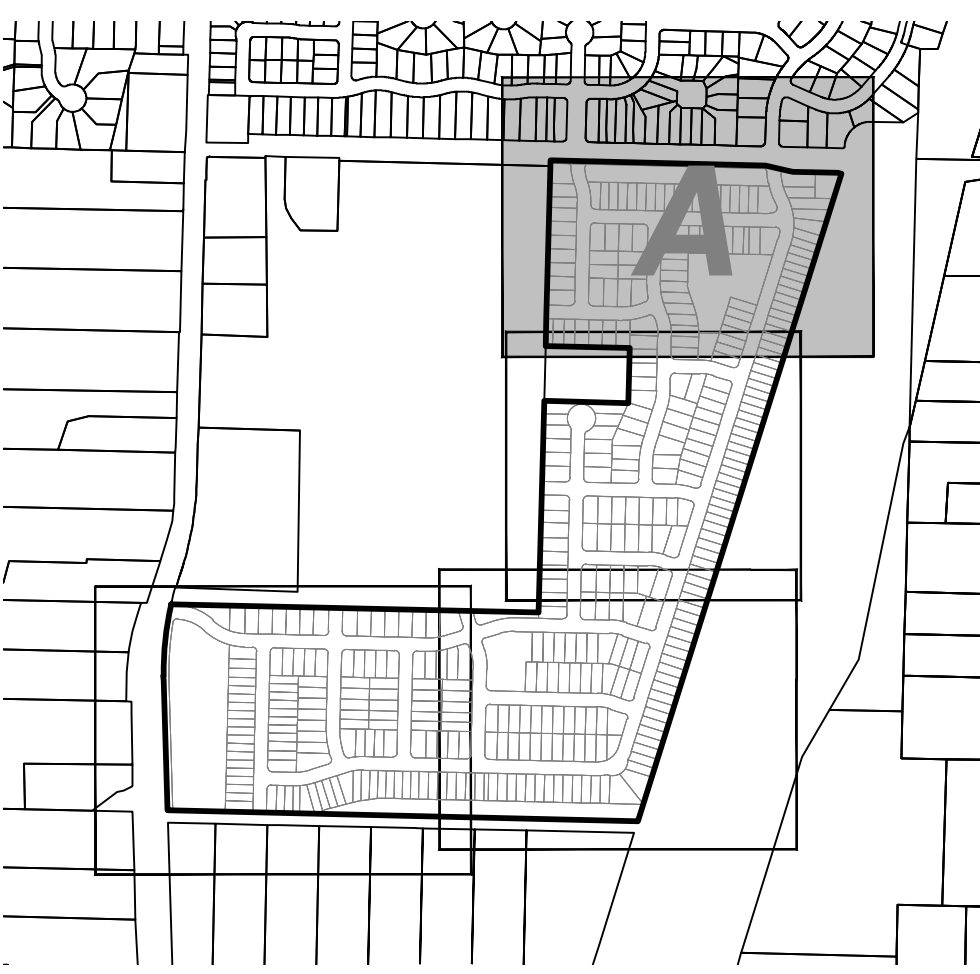
SEE SHEETS TP-00 TO TP-04 FOR TREE PRESERVATION AND REMOVAL

TAX LOT 160
TAX MAP 25.1.35D
AREA: 25.1 ACRES±

SEE SHEET DP-05, DP-06 FOR NORWOOD ROAD DEMOLITION PLANS

LEGEND

EXISTING GROUND CONTOUR (1 FT)	- - - - - 199
EXISTING GROUND CONTOUR (5 FT)	- - - - - 200
DISTURBED AREA	- - - - -
EXISTING TREE TO REMAIN	* ○



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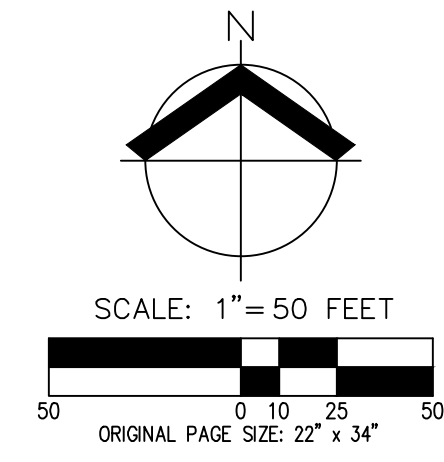
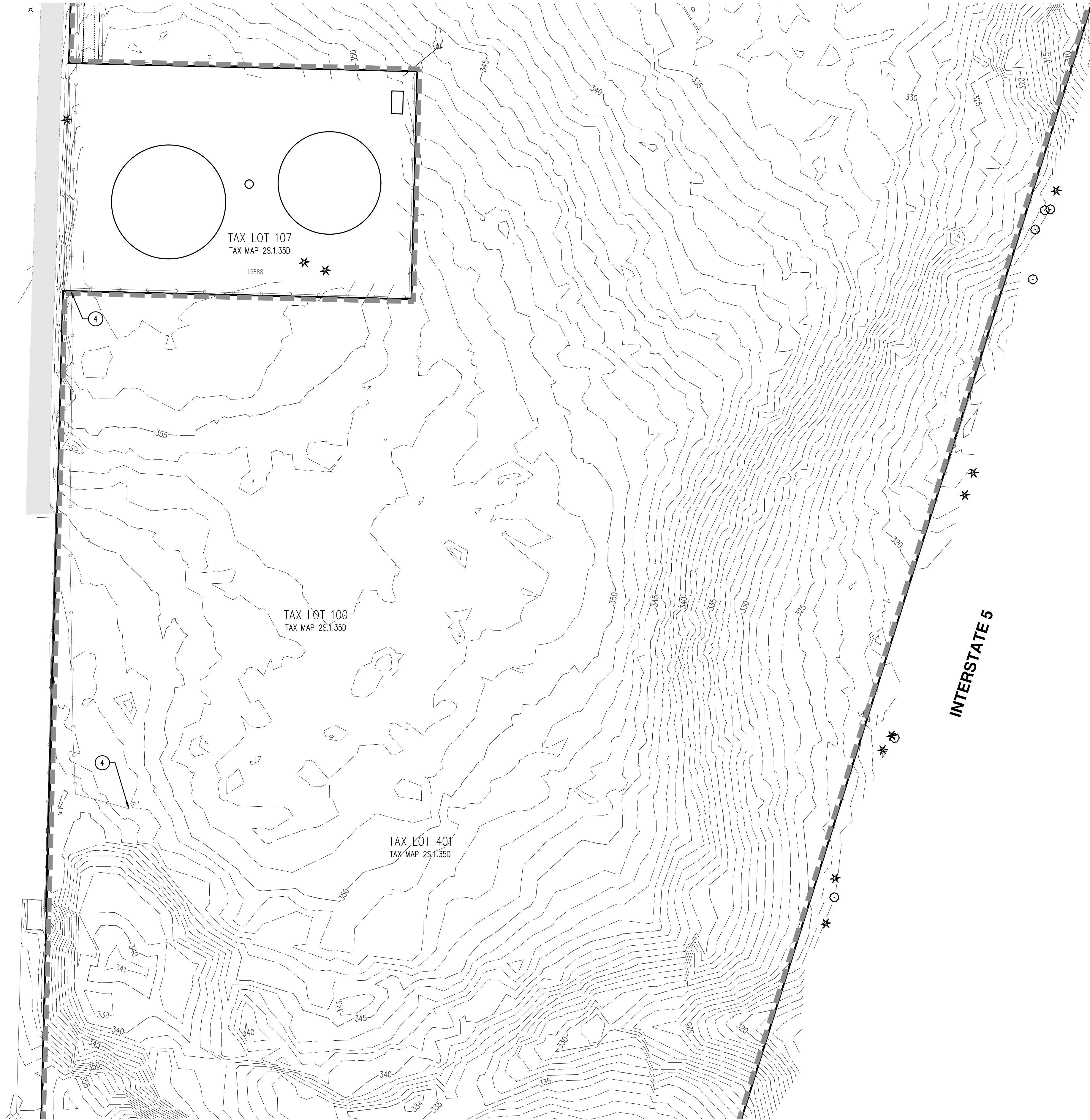
**PRELIMINARY DEMOLITION PLAN (N)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL
 ENGINEER
 8480
 OREGON
 12, 2016
 PRELIMINARY
 MARKO SIMIC
 RENEWAL DATE: 6/30/22

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
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DP-01

TAX LOT 106
TAX MAP 2S.1.35D



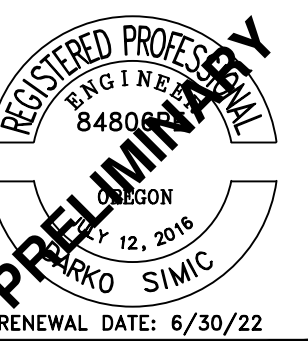
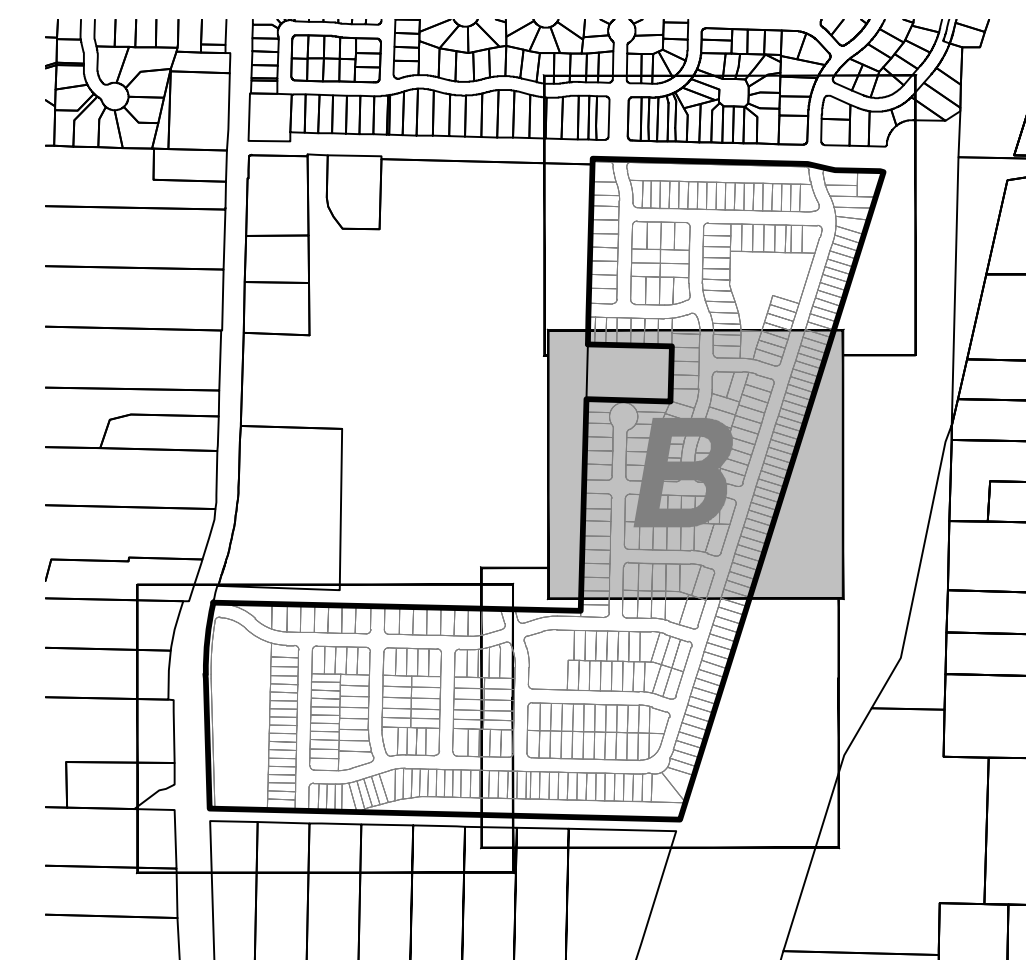
DEMOLITION KEYED NOTES:

4. EXISTING FENCE/GATES TO BE REMOVED AND HAULED OFF SITE
5. EXISTING FENCE/GATES AROUND TAX LOT 107 TO BE REMOVED AND HAULED OFF SITE. CONTRACTOR TO INSTALL REPLACEMENT FENCING SAME DAY AS REMOVAL AND COORDINATE WITH THE CITY OF TUALATIN.
7. EXISTING CULVERT TO BE REMOVED AND HAULED OFF SITE AND STORMWATER REROUTED. CONTRACTOR TO COORDINATE WITH CITY OF TUALATIN WATER DEPARTMENT.

SEE SHEETS TP-00 TO TP-04 FOR TREE PRESERVATION AND REMOVAL

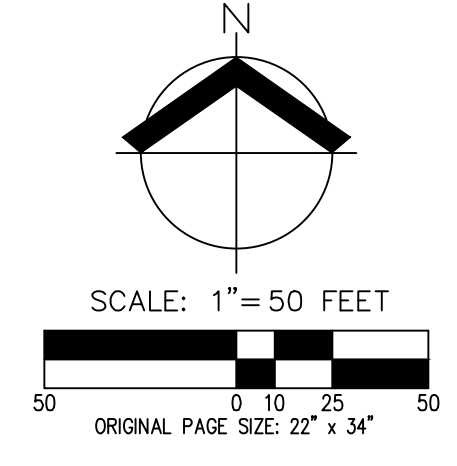
LEGEND

EXISTING GROUND CONTOUR (1 FT)	-----199-----
EXISTING GROUND CONTOUR (5 FT)	-----200-----
DISTURBED AREA	-----
EXISTING TREE TO REMAIN	* ○



PRELIMINARY

JOB NUMBER: 7454
 DATE: 7/1/2021
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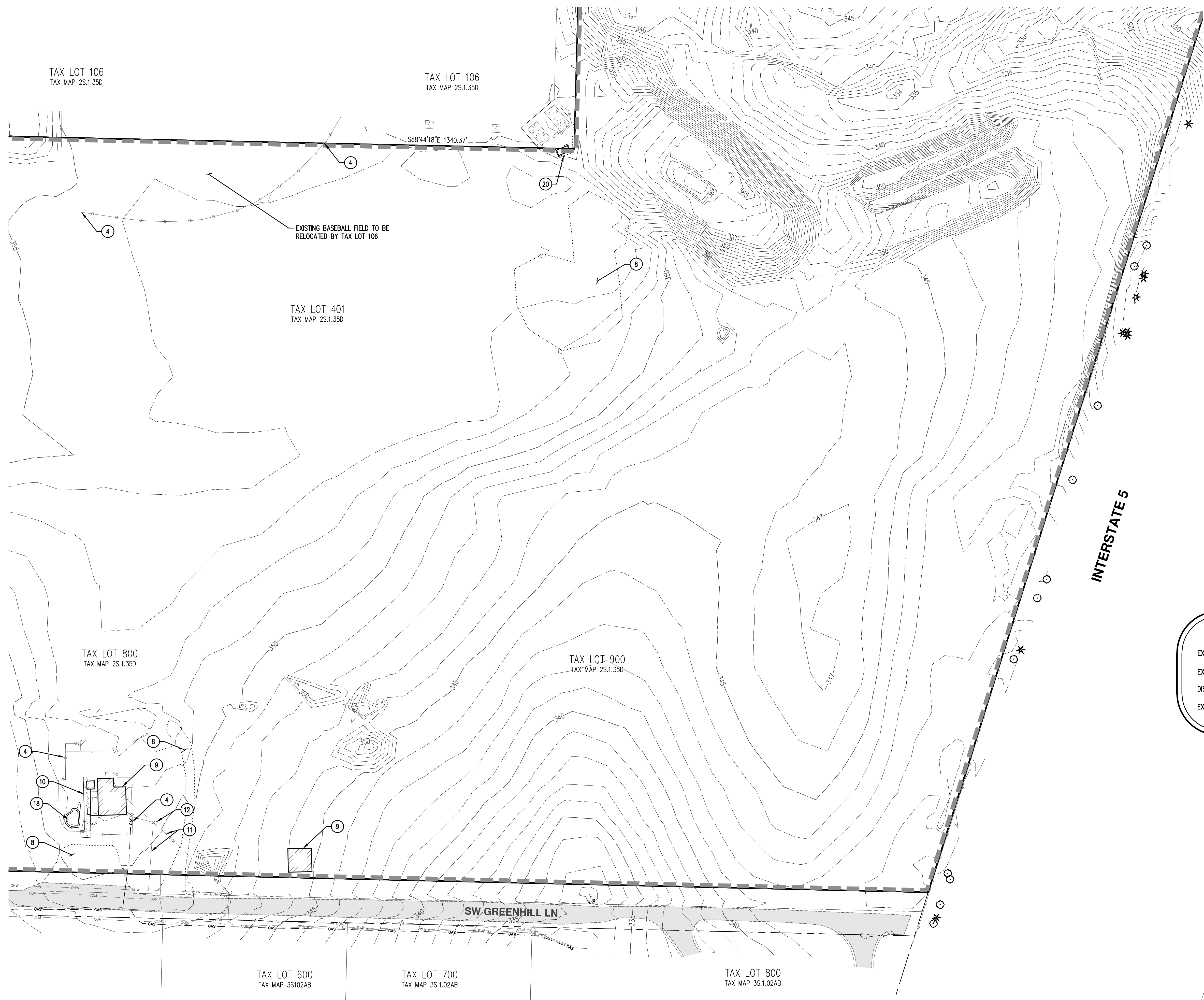
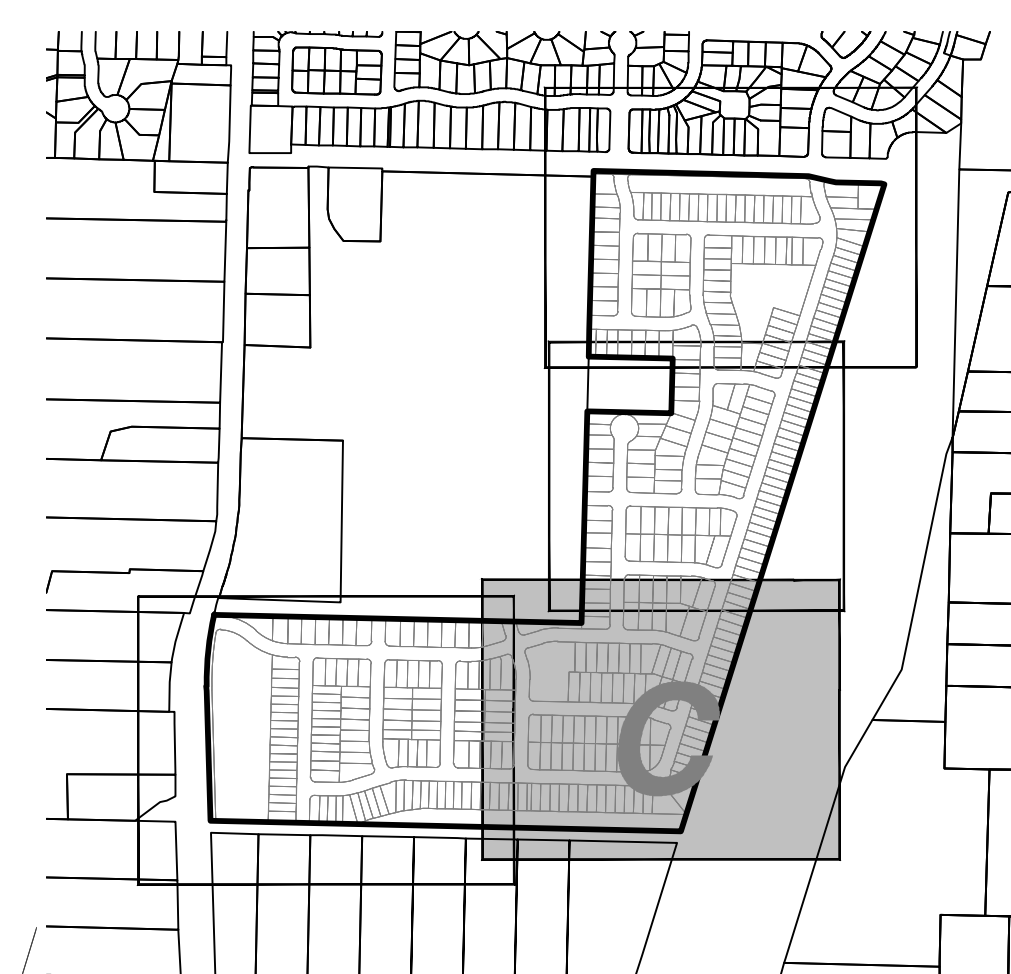
DEMOLITION KEYED NOTES:

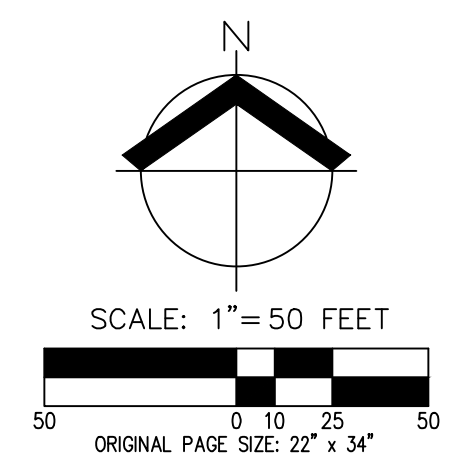
4. EXISTING FENCE/GATES TO BE REMOVED AND HAULED OFF SITE.
8. EXISTING GRAVEL TO BE RELOCATED TO AN ON-SITE STOCKPILE LOCATION
9. EXISTING BUILDING TO BE DEMOLISHED AND HAULED OFF SITE
10. EXISTING CONCRETE TO BE REMOVED AND HAULED OFF SITE
11. EXISTING OVERHEAD WIRE TO BE REMOVED - COORDINATE REMOVAL WITH UTILITY COMPANY
12. EXISTING POWER POLE AND WIRE TO BE REMOVED - COORDINATE REMOVAL WITH UTILITY COMPANY
18. EXISTING POOL TO BE REMOVED AND BACKFILLED
20. EXISTING STRUCTURE TO BE RELOCATED - CONTRACTOR TO COORDINATE WITH PROPERTY OWNER

SEE SHEETS TP-00 TO TP-04 FOR TREE PRESERVATION AND REMOVAL

LEGEND

EXISTING GROUND CONTOUR (1 FT)	-----199-----
EXISTING GROUND CONTOUR (5 FT)	-----200-----
DISTURBED AREA	-----
EXISTING TREE TO REMAIN	* ○



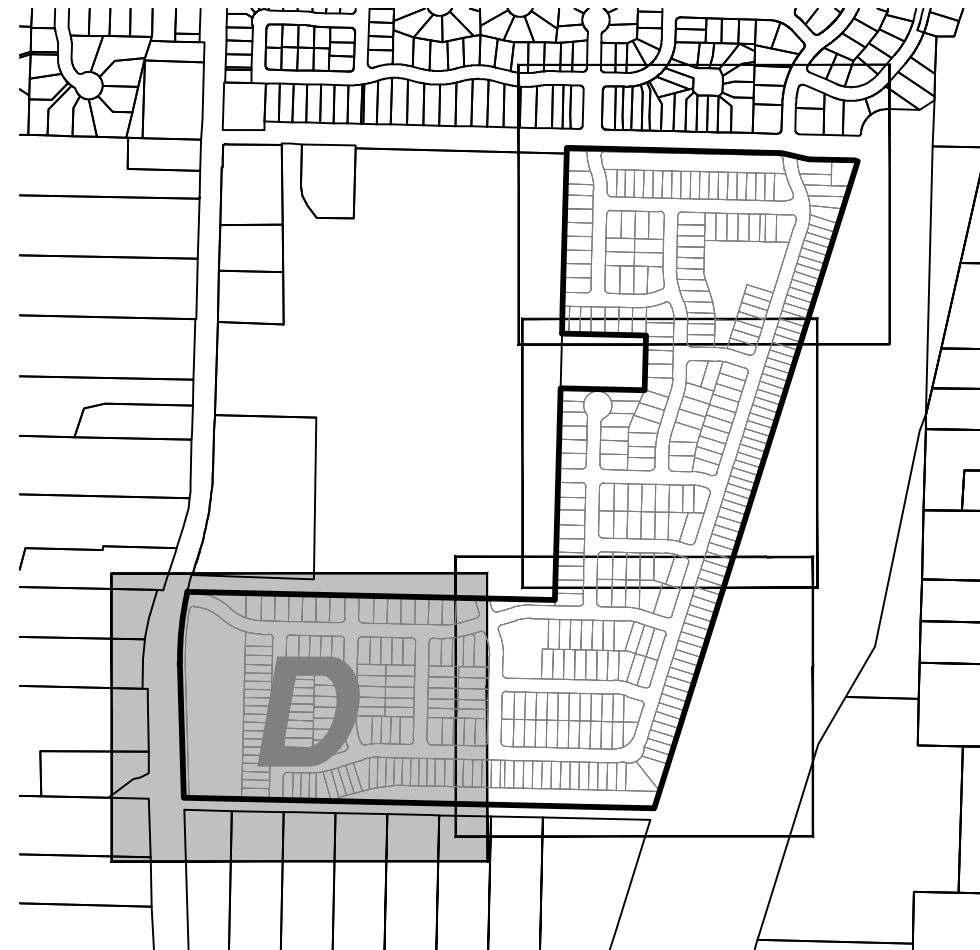


DEMOLITION KEYED NOTES:

4. EXISTING FENCE/GATES TO BE REMOVED AND HAULED OFF SITE.
 8. EXISTING GRAVEL TO BE RELOCATED TO AN ON-SITE STOCKPILE LOCATION.
 9. EXISTING BUILDING TO BE DEMOLISHED AND HAULED OFF SITE.
 10. EXISTING CONCRETE TO BE REMOVED AND HAULED OFF SITE.
 11. EXISTING OVERHEAD WIRE TO BE REMOVED - COORDINATE REMOVAL WITH UTILITY COMPANY.
 12. EXISTING POWER POLE AND WIRE TO BE REMOVED - COORDINATE REMOVAL WITH UTILITY COMPANY.
 13. EXISTING SEPTIC HOLES TO BE FILLED DURING GRADING.
 14. EXISTING COMMUNICATION LINE TO BE REMOVED - CONTRACTOR TO COORDINATE REMOVAL WITH FRANCHISE UTILITY.
 15. EXISTING POWER STRUCTURE TO BE REMOVED AND HAULED OFF SITE.
 16. EXISTING DITCH INLET TO BE REMOVED - CONTRACTOR TO COORDINATE WITH CWS.
 17. EXISTING CATCH BASIN TO BE RELOCATED - CONTRACTOR TO COORDINATE WITH CWS.
 18. EXISTING POOL TO BE REMOVED AND BACKFILLED.
 19. EXISTING STORM PIPE TO BE ABANDONED AND CAPPED.
 21. EXISTING CURB AND STRIPING TO BE REMOVED
 22. EXISTING AC PAVEMENT TO BE REMOVED AND HAULED OFF SITE.
- SEE SHEETS TP-00 TO TP-04 FOR TREE PRESERVATION AND REMOVAL

LEGEND

EXISTING GROUND CONTOUR (1 FT)	---	199
EXISTING GROUND CONTOUR (5 FT)	---	200
AC SAWCUT	---	
AC GRIND AND OVERLAY		
DISTURBED AREA	---	
EXISTING TREE TO REMAIN		



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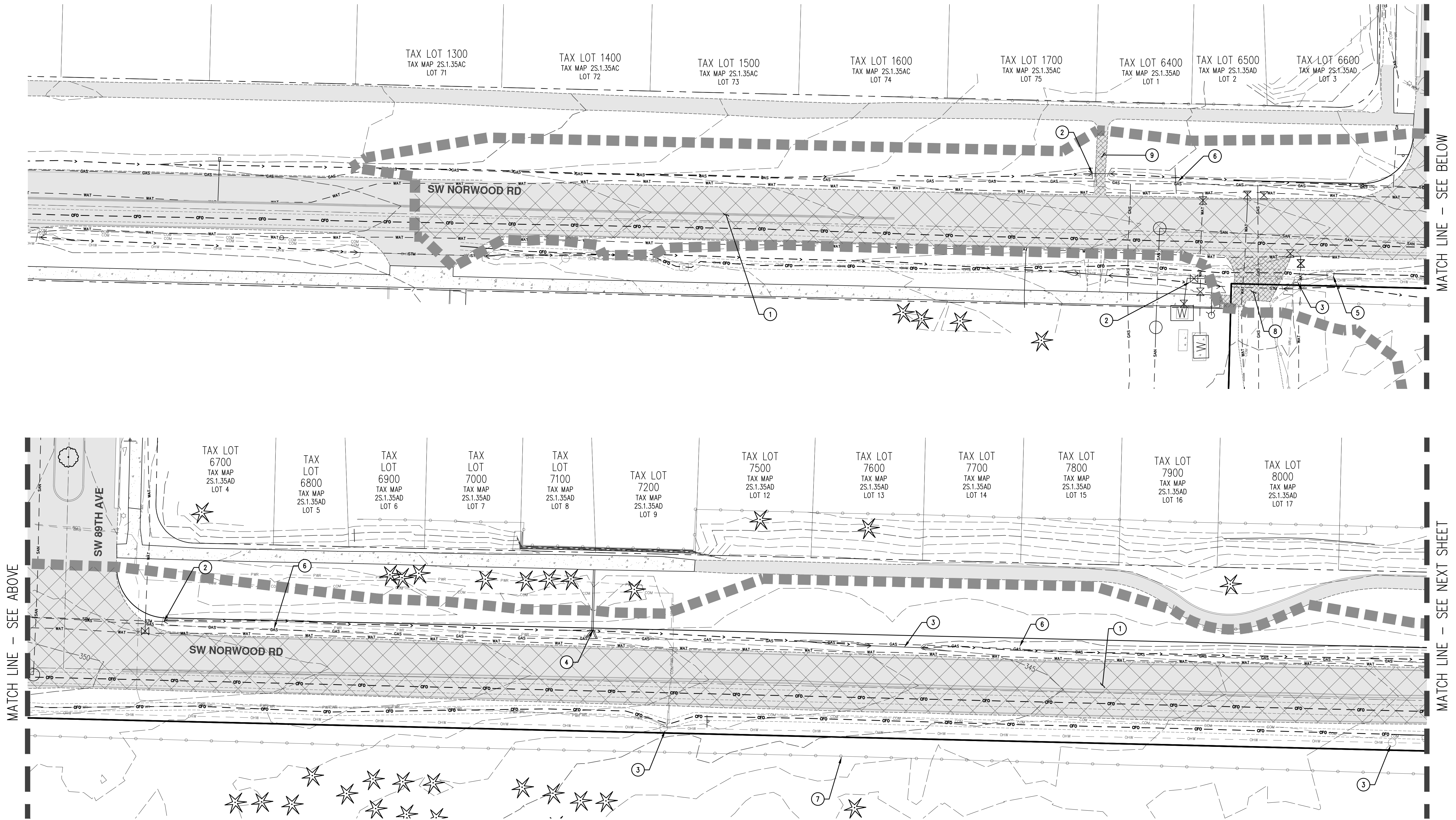
**PRELIMINARY DEMOLITION PLAN (SW)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**

REGISTERED PROFESSIONAL ENGINEER
 84806
 PRELIMINARY
 RENEWAL DATE: 6/30/22

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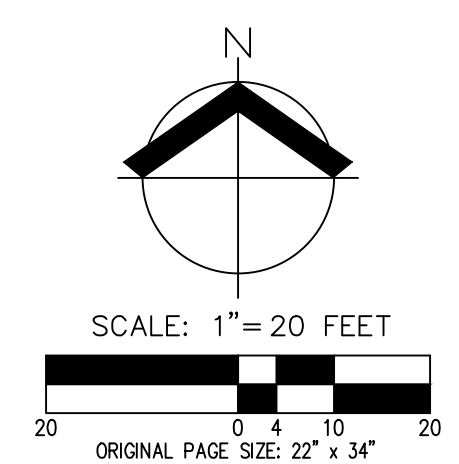
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**PRELIMINARY DEMOLITION PLAN (NORWOOD RD)
 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON**



DEMOLITION KEYED NOTES: ④

1. EXISTING PAVEMENT TO BE GROUND AND OVERLAID. SEE PROPOSED IMPROVEMENTS FOR FURTHER DETAILS
2. EXISTING CULVERT TO BE REMOVED
3. EXISTING POWER POLE TO BE RELOCATED - REMOVAL AND RELOCATION TO BE COORDINATED WITH UTILITY COMPANY
4. EXISTING STORM PIPES TO BE MODIFIED FOR PROPOSED IMPROVEMENTS. CONTRACTOR TO ENSURE PIPES ARE FREE FLOWING DURING CONSTRUCTION AND TAX LOT 7100 AND 7200 SERVICE IS NOT INTERRUPTED
5. EXISTING COMMUNICATION BOX TO BE RELOCATED - CONTRACTOR TO COORDINATE WITH FRANCHISE UTILITY
6. EXISTING GAS LINE TO BE RELOCATED - CONTRACTOR TO COORDINATE WITH NW NATURAL
7. EXISTING FENCE/GATES TO BE REMOVED AND HAULED OFF SITE
8. SAWCUT AND REMOVE EXISTING AC PAVEMENT
9. SAWCUT AND REPLACE WITH NEW AC PAVEMENT
10. EXISTING WATER STRUCTURES TO BE PROTECTED BY THE CONTRACTOR DURING DEMOLITION AND CONSTRUCTION



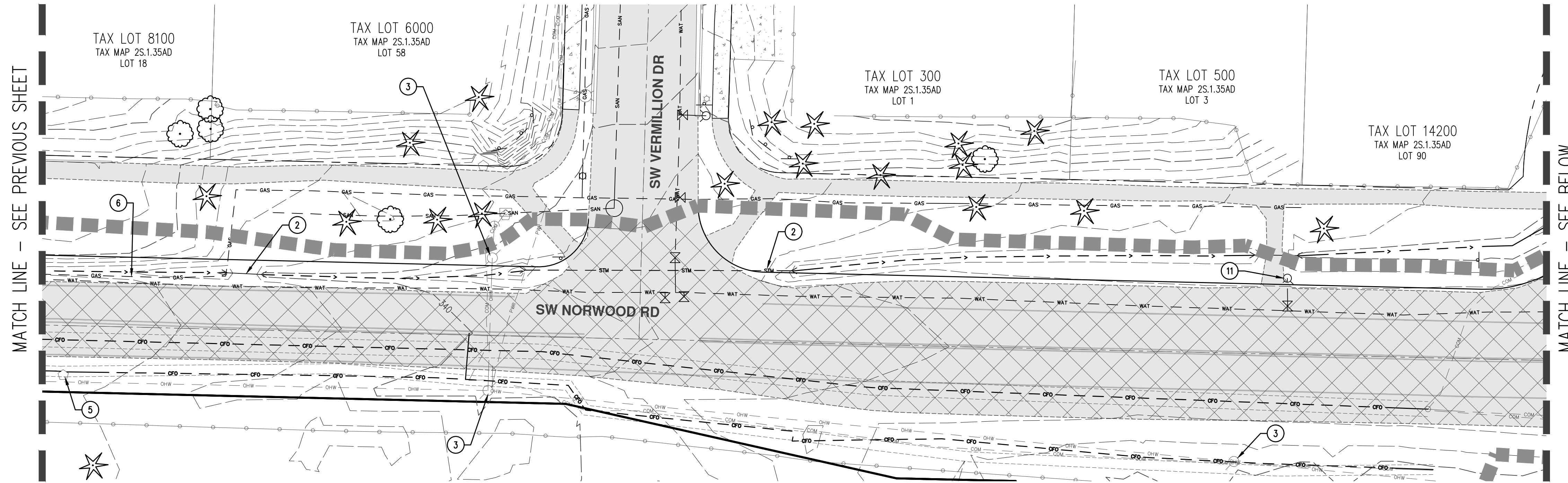
LEGEND

EXISTING GROUND CONTOUR (1 FT)	---	199
EXISTING GROUND CONTOUR (5 FT)	---	200
AC SAWCUT	---	
AC GRIND AND OVERLAY		
AC REMOVAL		
DISTURBED AREA		
EXISTING TREE TO REMAIN		

MATCH LINE - SEE ABOVE

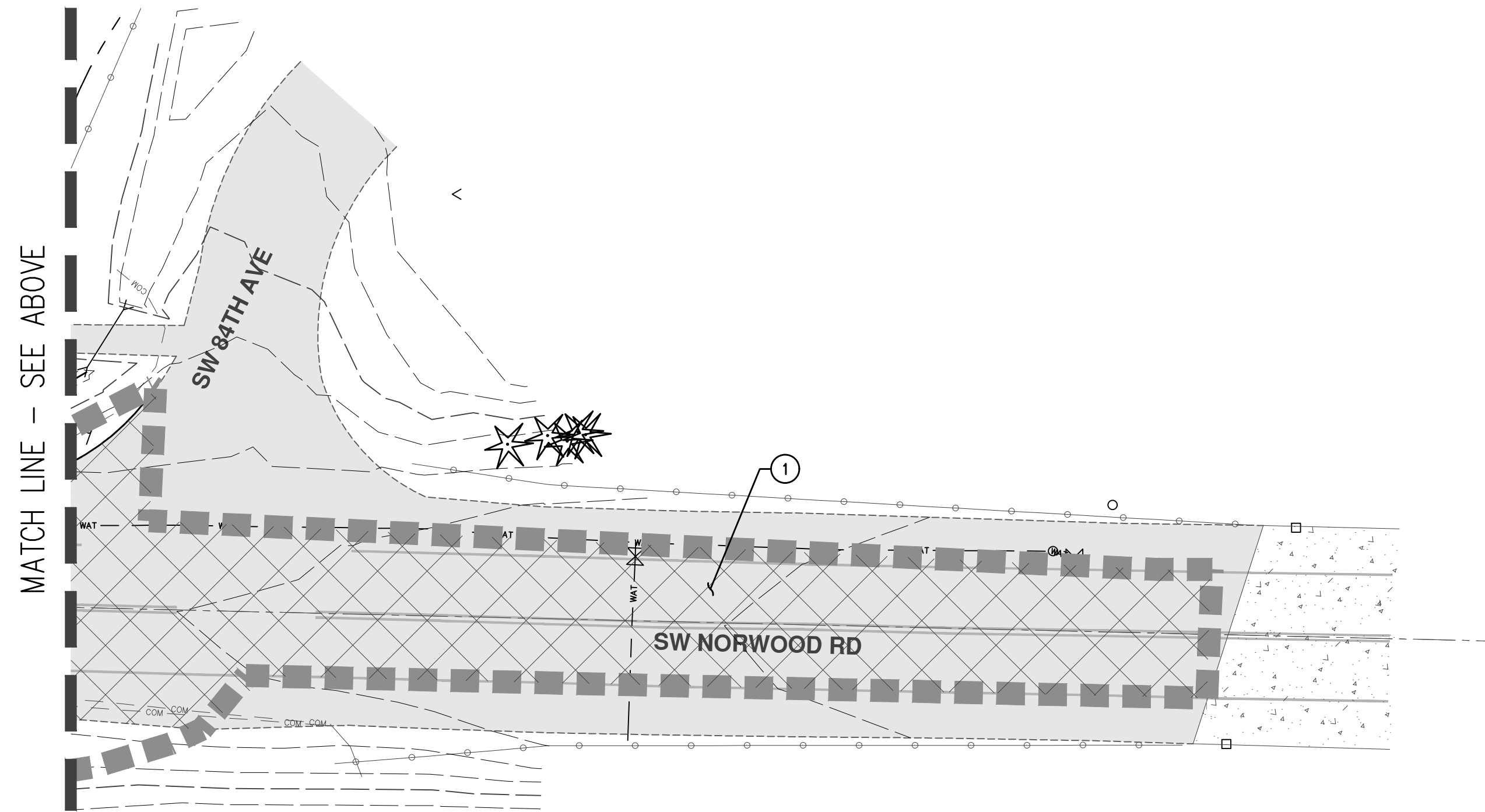
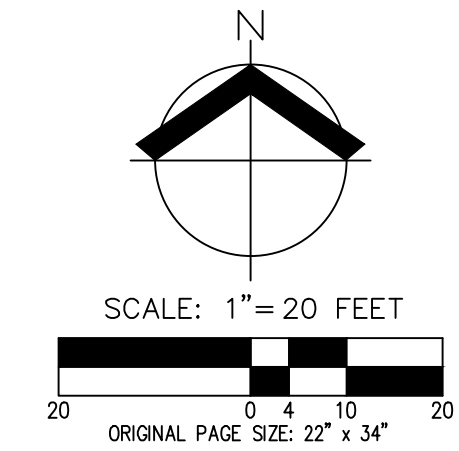
MATCH LINE - SEE NEXT SHEET

MATCH LINE - SEE BELOW



MATCH LINE - SEE PREVIOUS SHEET

MATCH LINE - SEE BELOW



MATCH LINE - SEE ABOVE

DEMOLITION KEYED NOTES:

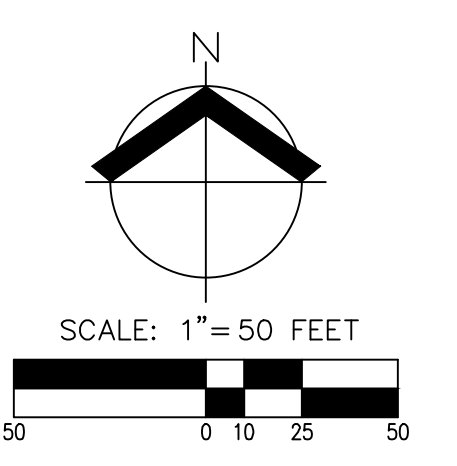
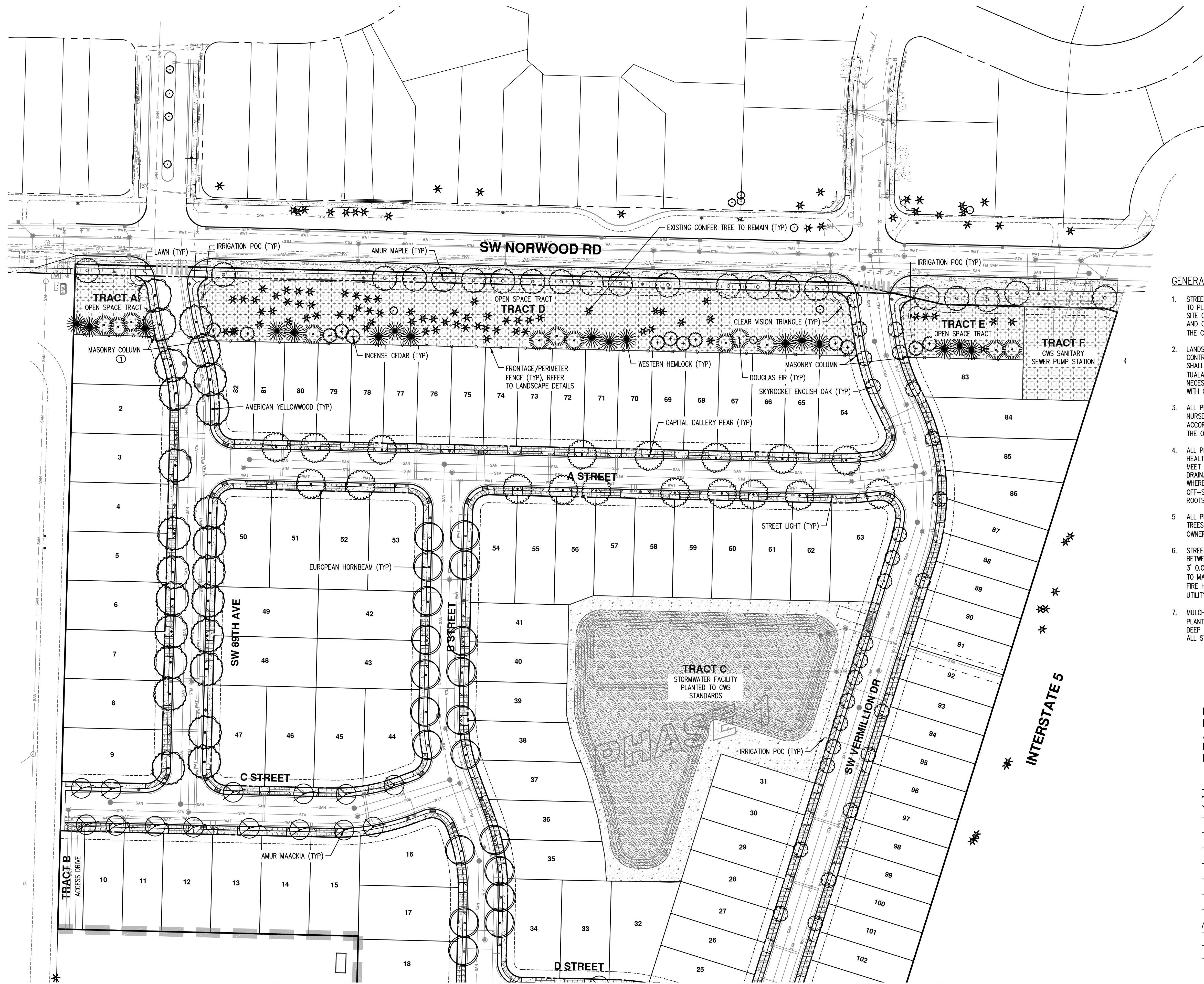
1. EXISTING PAVEMENT TO BE GROUND AND OVERLAID. SEE PROPOSED IMPROVEMENTS FOR FURTHER DETAILS
2. EXISTING CULVERT TO BE REMOVED
3. EXISTING POWER POLE TO BE RELOCATED - REMOVAL AND RELOCATION TO BE COORDINATED WITH UTILITY COMPANY
4. EXISTING STORM PIPES TO BE MODIFIED FOR PROPOSED IMPROVEMENTS. CONTRACTOR TO ENSURE PIPES ARE FREE FLOWING DURING CONSTRUCTION AND TAX LOT 7100 AND 7200 SERVICE IS NOT INTERRUPTED
6. EXISTING GAS LINE TO BE RELOCATED - CONTRACTOR TO COORDINATE WITH NW NATURAL
7. EXISTING FENCE/GATES TO BE REMOVED AND HAULED OFF SITE
11. HYDRANT TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH TVFR AND CITY OF TUALATIN WATER DEPARTMENT

LEGEND	
EXISTING GROUND CONTOUR (1 FT)	--- 199 ---
EXISTING GROUND CONTOUR (5 FT)	--- 200 ---
AC SAWCUT	-----
AC GRIND AND OVERLAY	
DISTURBED AREA	
EXISTING TREE TO REMAIN	

PRELIMINARY DEMOLITION PLAN (NORWOOD RD)
AUTUMN SUNRISE SUBDIVISION
LENNAR NORTHWEST, INC.
TUALATIN, OREGON

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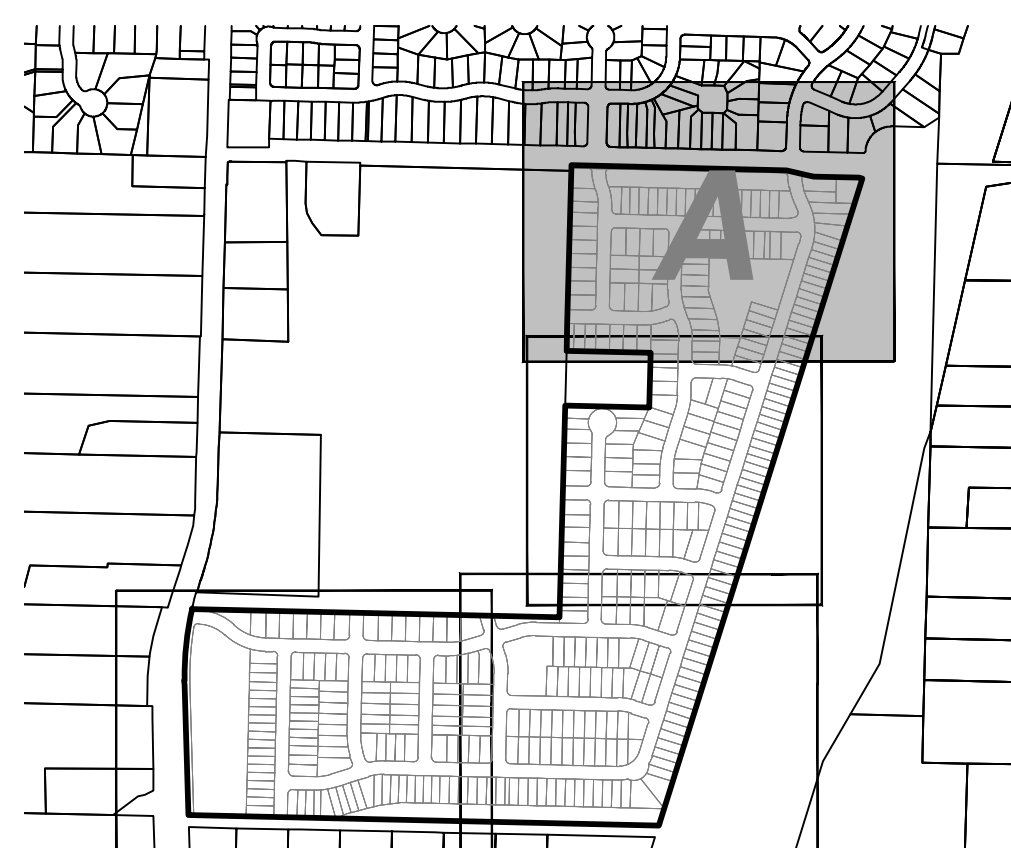
REGISTERED PROFESSIONAL ENGINEER
 8480
PRELIMINARY
 OREGON
 12, 2016
 MARKO SIMIC
 RENEWAL DATE: 6/30/22
 JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: JSM
 DRAWN BY: JSM
 CHECKED BY: DS



GENERAL LANDSCAPING NOTES:

1. STREET TREES AND OTHER PLANTINGS ARE PRELIMINARY. REVISIONS OR SUBSTITUTIONS TO PLANT SPECIES, SIZES, SPACING, QUANTITIES, CONDITION, ETC. DUE TO UNFORESEEN SITE CONDITIONS, UTILITY INSTALLATION, FINAL DRIVEWAY LOCATION, PLANT AVAILABILITY AND COST, ETC. PRIOR TO FINAL INSTALLATION, MAY BE PERMITTED WHERE ALLOWED BY THE CITY OF TUALATIN'S DESIGN STANDARDS.
2. LANDSCAPING AND IRRIGATION WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR LICENSED AND BONDED IN THE STATE OF OREGON. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH CURRENT CITY OF TUALATIN'S MUNICIPAL CODE REQUIREMENTS, AND ALL ASPECTS OF SITE WORK NECESSARY FOR THE FULL COMPLETION OF THE PROJECT. COORDINATE LANDSCAPE WORK WITH GENERAL CONTRACTOR AND OWNER.
3. ALL PLANTINGS SHALL CONFORM TO TUALATIN DESIGN STANDARDS AND TO THE AMERICAN NURSERY STANDARDS FOR NURSERY STOCK (ANSI Z60.1, CURRENT EDITION). PLANT IN ACCORDANCE WITH BEST-PRACTICE INDUSTRY STANDARDS, SUCH AS THOSE ADOPTED BY THE OREGON LANDSCAPE CONTRACTORS BOARD (OLCB).
4. ALL PLANTING AREAS SHALL HAVE SUFFICIENT SOIL DEPTH AND FERTILITY TO SUPPORT HEALTHY PLANT GROWTH. FINISH GRADE OF NEW PLANTING AREAS SHALL SEAMLESSLY MEET EXISTING GRADE OF SURROUNDING PLANTING AREAS AND PROVIDE POSITIVE DRAINAGE. GRADE SHALL BE SMOOTH, AND FREE FROM DEBRIS AND LOW OR HIGH SPOTS WHERE WATER MAY COLLECT. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF OFF-SITE ALL ORGANIC AND/OR UNSUITABLE MATERIALS INCLUDING TREES, STUMPS, ROOTS, BRUSH AND GRASS IN SUCH A MANNER TO MEET ALL APPLICABLE REGULATIONS.
5. ALL PLANTER STRIPS TO HAVE LAWN OR OTHER VEGETATIVE GROUNDCOVER. STREET TREES AND LAWNS SHALL BE PLANTED AND MAINTAINED BY INDIVIDUAL HOME OWNERS/HOME BUILDERS AT TIME OF HOME CONSTRUCTION.
6. STREET TREES SHALL, WHERE APPLICABLE, BE CENTERED IN THE PLANTING STRIP BETWEEN CURB AND SIDEWALK. OTHER STREET TREES SHALL BE PLANTED A MINIMUM OF 3' O.C. FROM BACK OF SIDEWALK OR OTHER HARDSCAPING. FIELD ADJUST IF NECESSARY TO MAINTAIN MINIMUM 3' FROM SIDEWALKS, 5' FROM DRIVEWAY INTERSECTIONS, 5' FROM FIRE HYDRANTS, 10' FROM MANHOLES AND CATCH BASINS, 5' FROM WATER METERS AND UTILITY BOXES, 20' FROM STREET LIGHTS.
7. MULCH: APPLY MULCH AROUND STREET TREES A MINIMUM OF 3' LONG BY THE WIDTH OF PLANTER STRIP TO PROTECT TREES AND RETAIN SOIL MOISTURE. MULCH SHALL BE 3" DEEP AND CONSIST OF WELL-AGED DARK HEMLOCK, MEDIUM GRIND, UNDER AND AROUND ALL STREET TREES IN PARKING STRIPS.

REFER TO SHEET ST-02 FOR PRELIMINARY PLANT SCHEDULE. QUANTITIES SHOWN INCLUDE ALL STREET TREES FOR THE ENTIRE PROJECT. REFER TO SHEETS PO-01 THROUGH PO-04 FOR PLANTING LOCATIONS.



MATCH LINE SEE SHEET ST-02 FOR CONTINUATION

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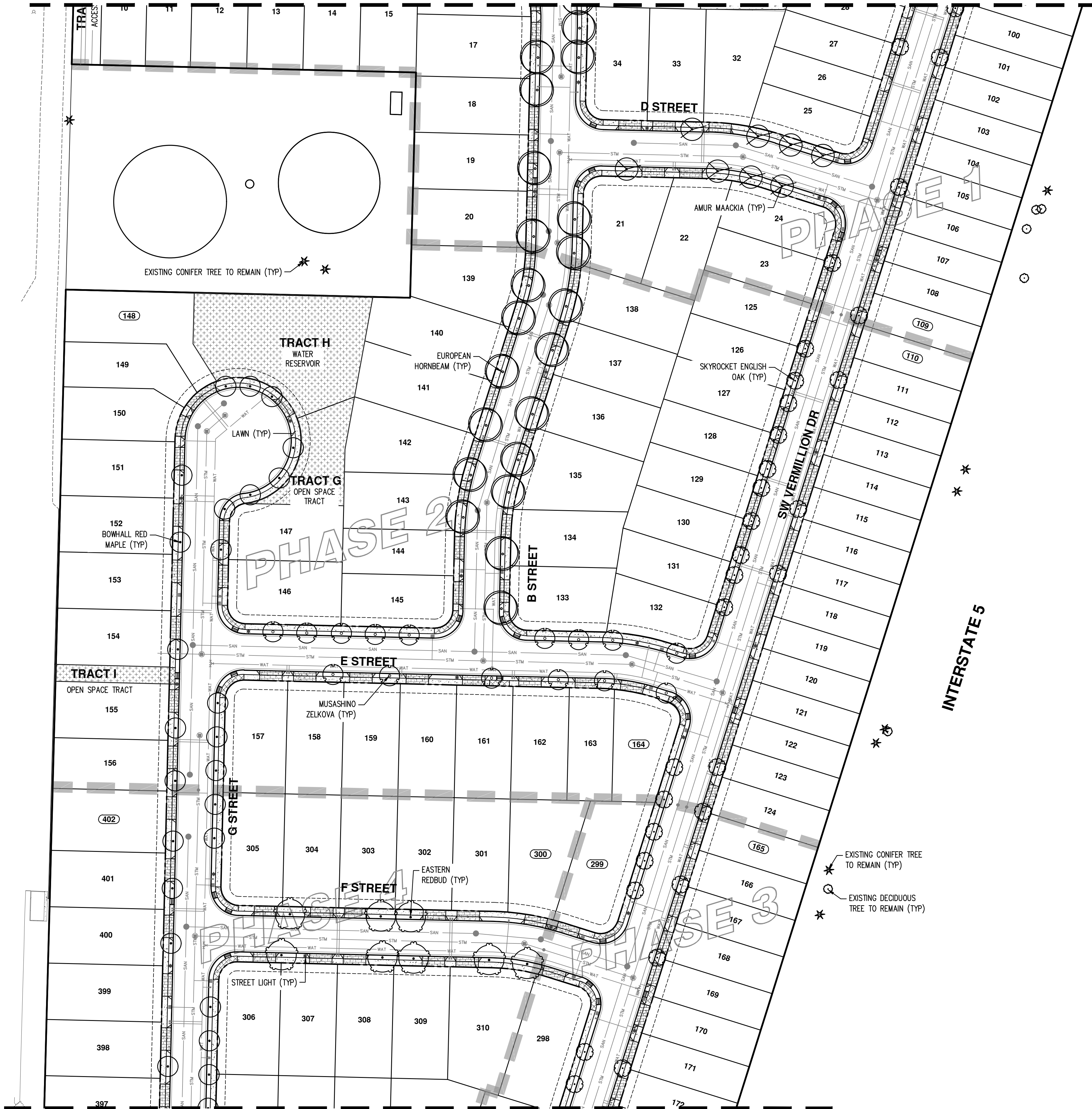
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 AUTUMN SUNRISE SUBDIVISION
 LENNAR NORTHWEST, INC.
 TUALATIN, OREGON

REGISTERED
 LANDSCAPE ARCHITECT
 KIRSTI M. SWALD
 OREGON
 6/06/13

JOB NUMBER: 7454
 DATE: 7/1/2021
 DESIGNED BY: NKP
 DRAWN BY: NKP
 CHECKED BY: KAH

ST-01

MATCH LINE SEE SHEET ST-01 FOR CONTINUATION

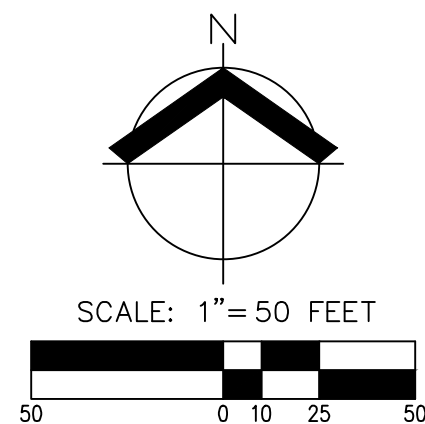
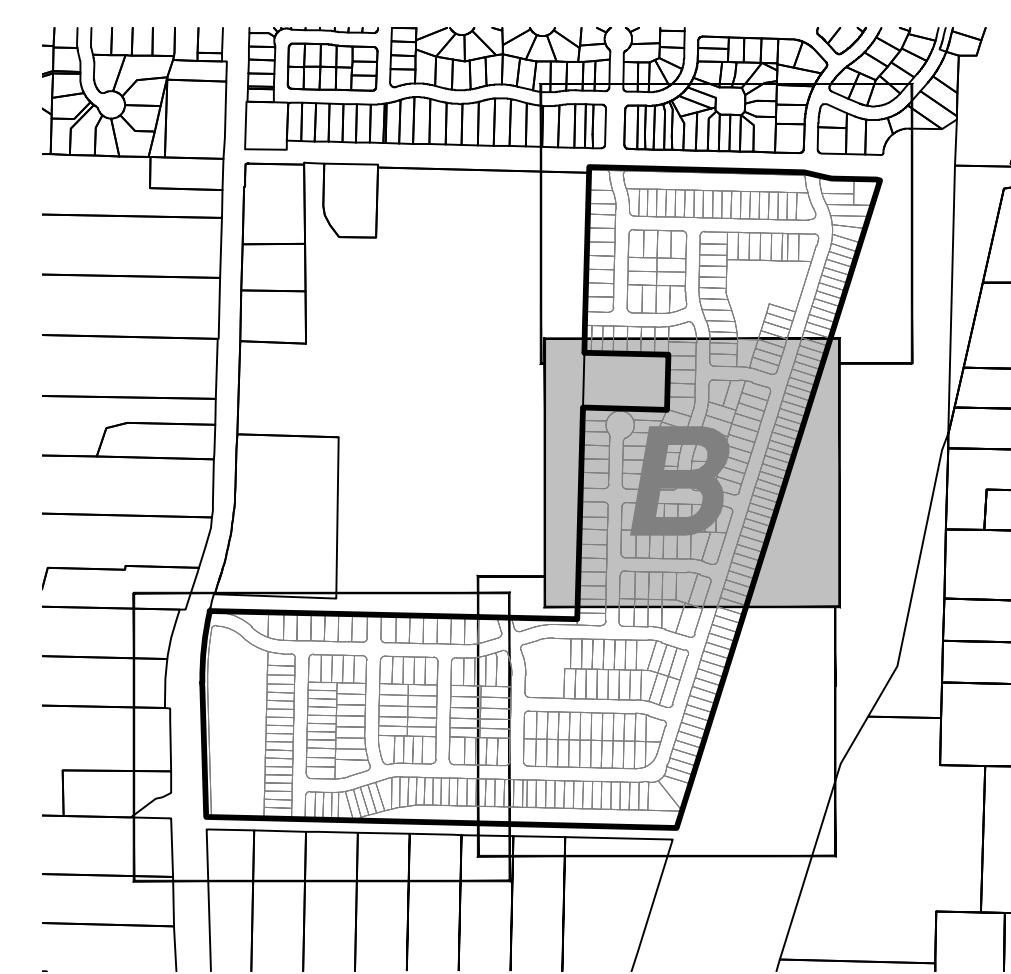


MATCH LINE SEE SHEET ST-03 FOR CONTINUATION

PRELIMINARY PLANT SCHEDULE

BUFFER TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	13	CALOCEDRUS DECURRENS	INCENSE CEDAR	6'-7' HT. B&B	AS SHOWN
	12	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6'-7' HT. B&B	AS SHOWN
	17	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	6'-7' HT. B&B	AS SHOWN
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	41	ACER GINNALA	AMUR MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	46	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	51	CARPINUS BETULUS	EUROPEAN HORNBEAM	1.5" MIN. CAL. B&B	AS SHOWN
	29	CERCIS CANADENSIS	EASTERN REDBUD	1.5" MIN. CAL. B&B	AS SHOWN
	24	CLADRASTIS KENTUCKEA	AMERICAN YELLOWWOOD	1.5" MIN. CAL. B&B	AS SHOWN
	39	MAACKIA AMURENSIS	AMUR MAACKIA	1.5" MIN. CAL. B&B	AS SHOWN
	75	PARROTTIA PERSICA	PERSIAN PARROTTIA	1.5" MIN. CAL. B&B	AS SHOWN
	35	PYRUS CALLERYANA 'CAPITAL'	CAPITAL CALLERY PEAR	1.5" MIN. CAL. B&B	AS SHOWN
	119	QUERCUS ROBUR 'FASTIGIATA' TM	SKYROCKET ENGLISH OAK	1.5" MIN. CAL. B&B	AS SHOWN
	15	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO ZELKOVA	1.5" MIN. CAL. B&B	AS SHOWN
GROUND COVERS	DESCRIPTION				
	FREEBOARD AREA SEED MIX				
	LAWN: SEED OR SOD				
	OPEN SPACE TRACT - COMBINATION OF LAWN, SHRUBS AND TREES				
	STORMWATER FACILITY PLANTED TO CWS STANDARDS				

PRELIMINARY PLANT SCHEDULE. QUANTITIES SHOWN INCLUDE ALL STREET TREES FOR THE ENTIRE PROJECT. REFER TO SHEETS PO-01 THROUGH PO-04 FOR PLANTING LOCATIONS.



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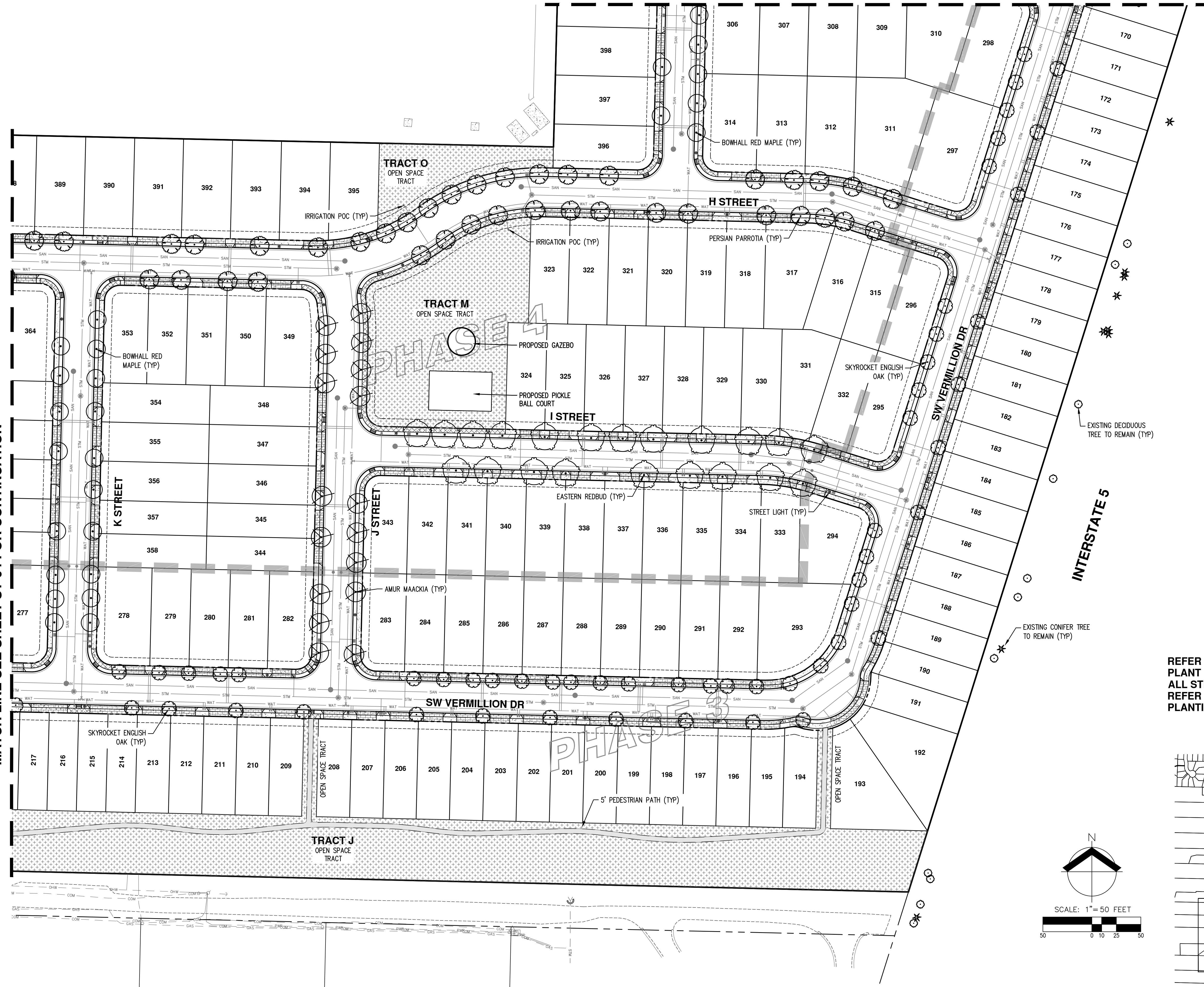
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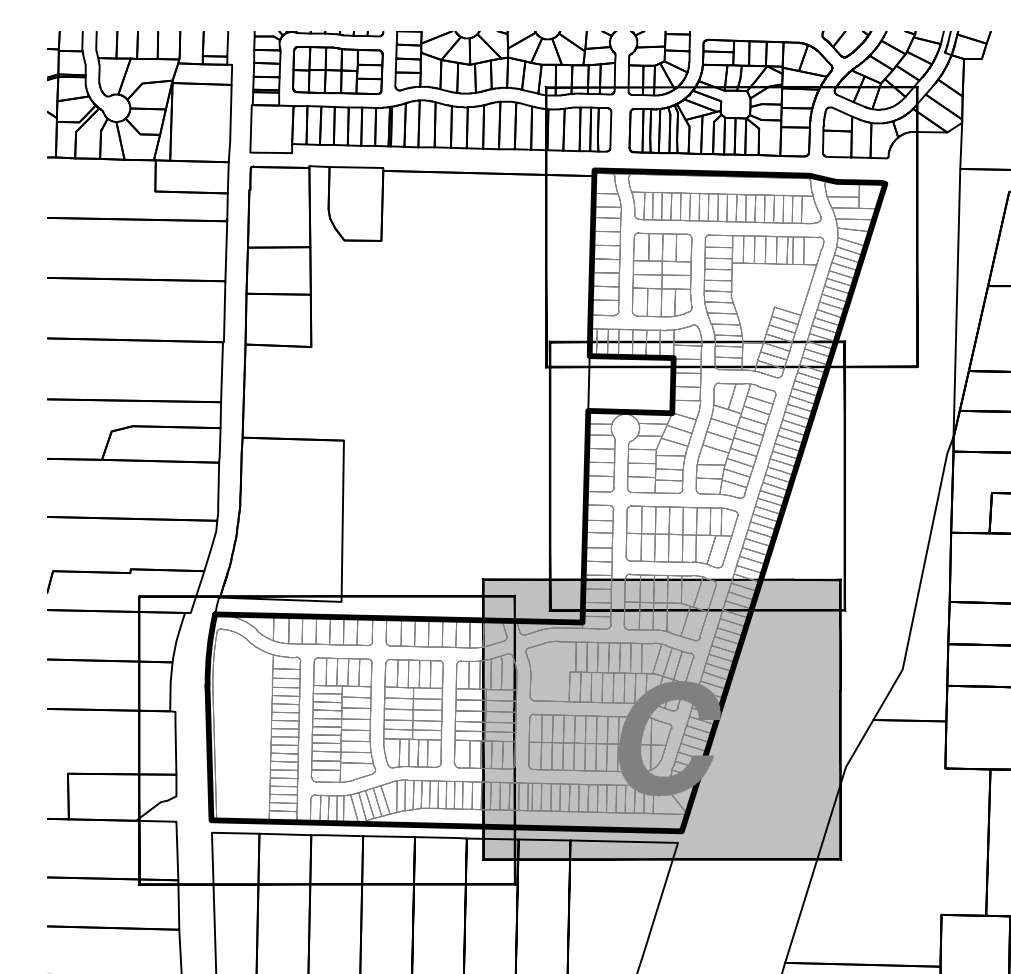
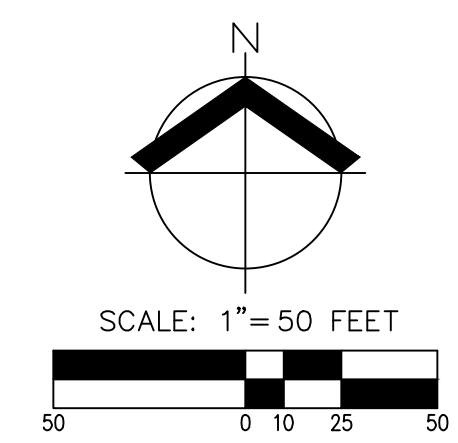
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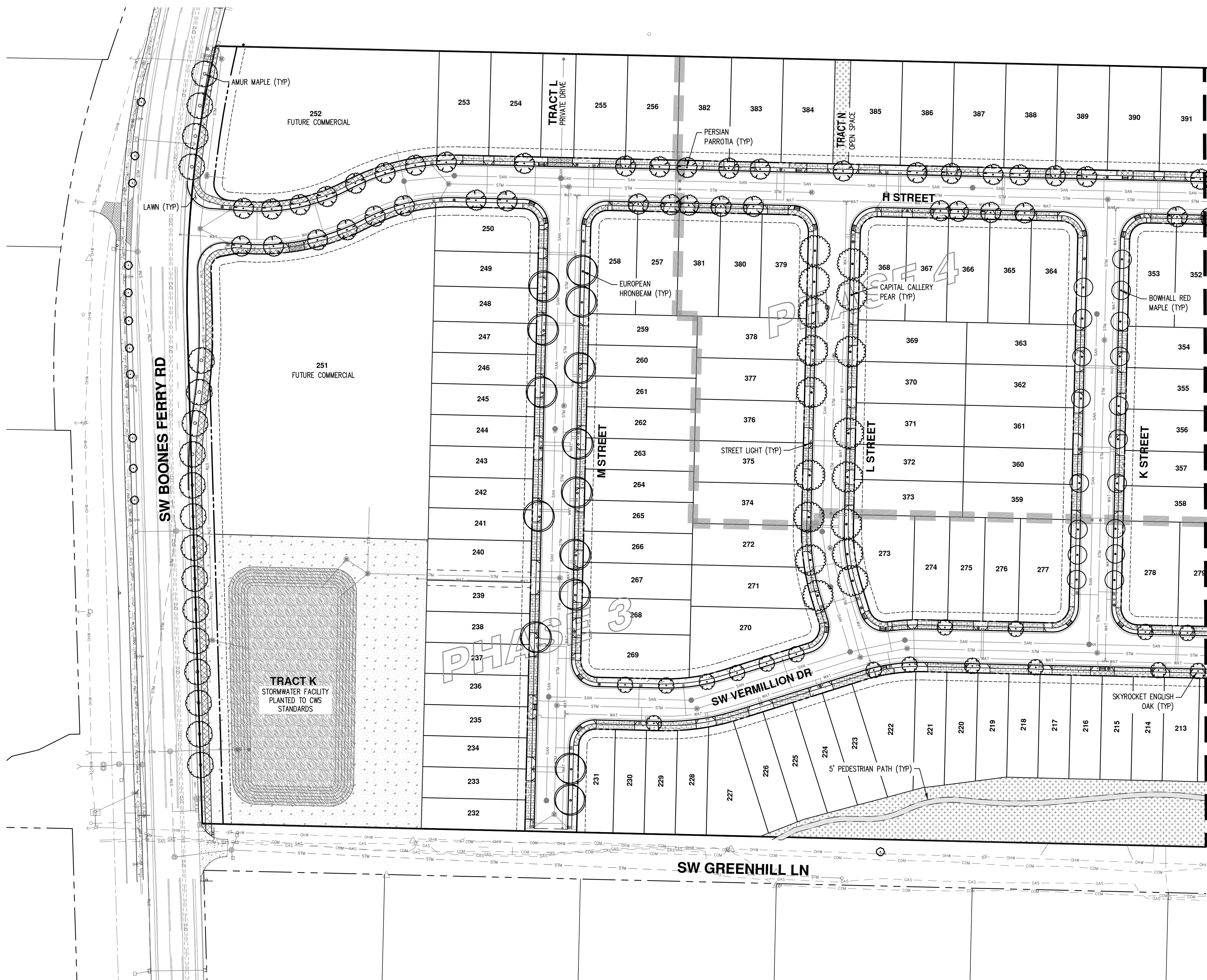
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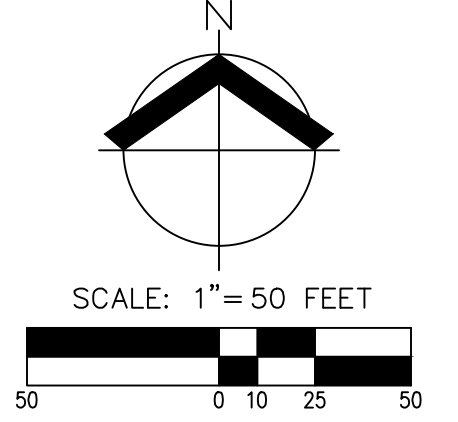
INTERSTATE 5

REFER TO SHEET ST-02 FOR PRELIMINARY
 PLANT SCHEDULE. QUANTITIES SHOWN INCLUDE
 ALL STREET TREES FOR THE ENTIRE PROJECT.
 REFER TO SHEETS PO-01 THROUGH PO-04 FOR
 PLANTING LOCATIONS.

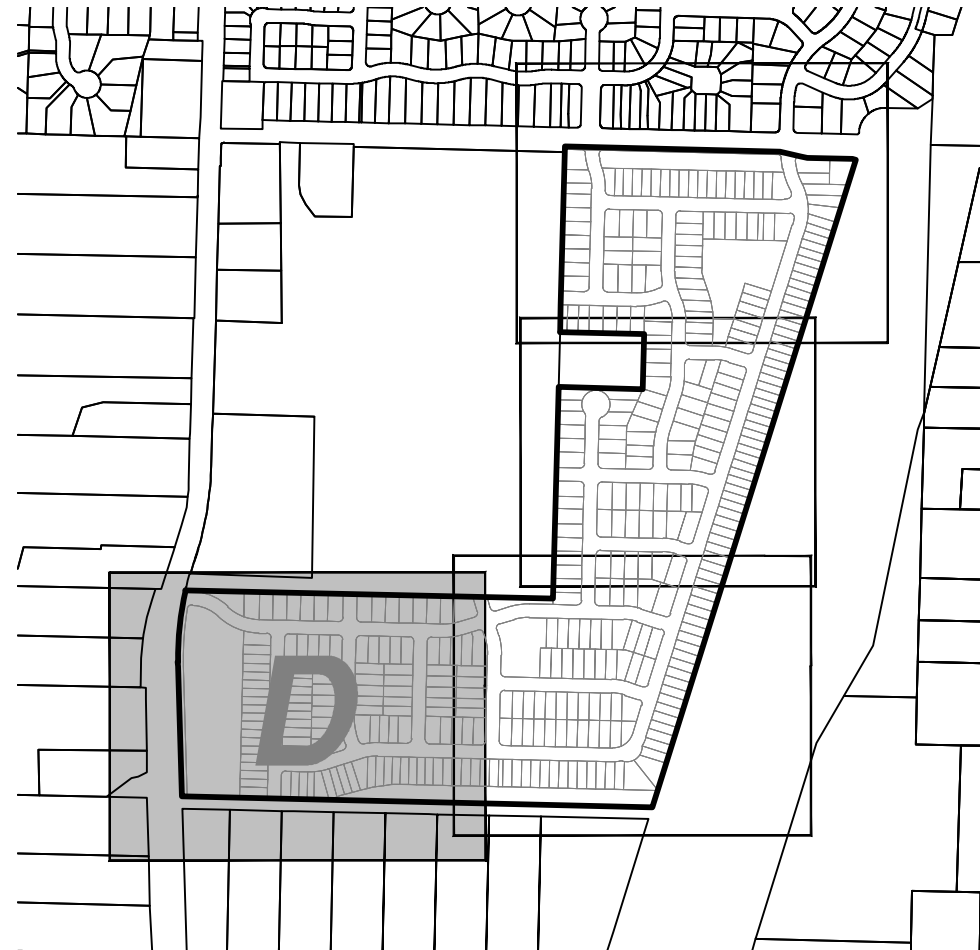




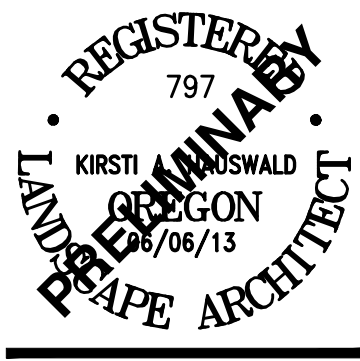
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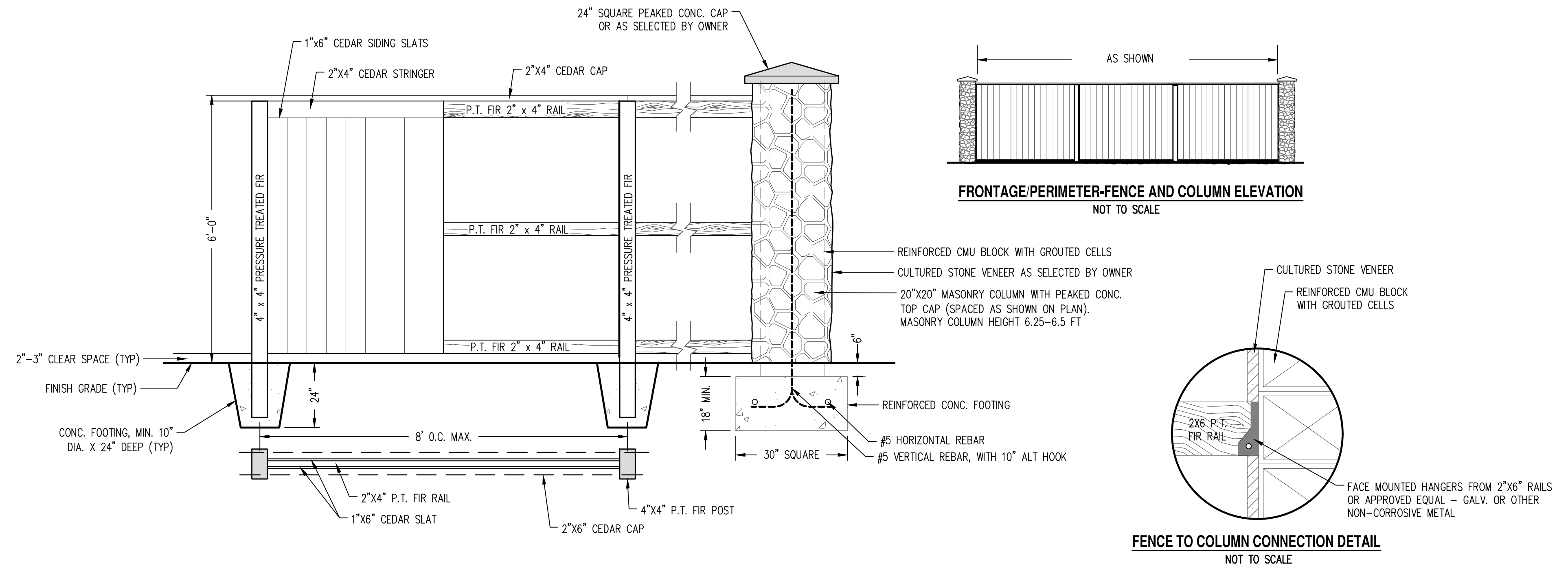
REFER TO SHEET ST-02 FOR PRELIMINARY PLANT SCHEDULE. QUANTITIES SHOWN INCLUDE ALL STREET TREES FOR THE ENTIRE PROJECT. REFER TO SHEETS PO-01 THROUGH PO-04 FOR PLANTING LOCATIONS.



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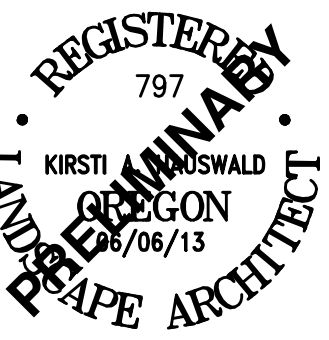
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1 FRONTAGE/PERIMETER FENCE AND COLUMN DETAIL (TO BE CONSTRUCTED ALONG SOUTH PROPERTY LINE OF TRACTS A, D, AND E)

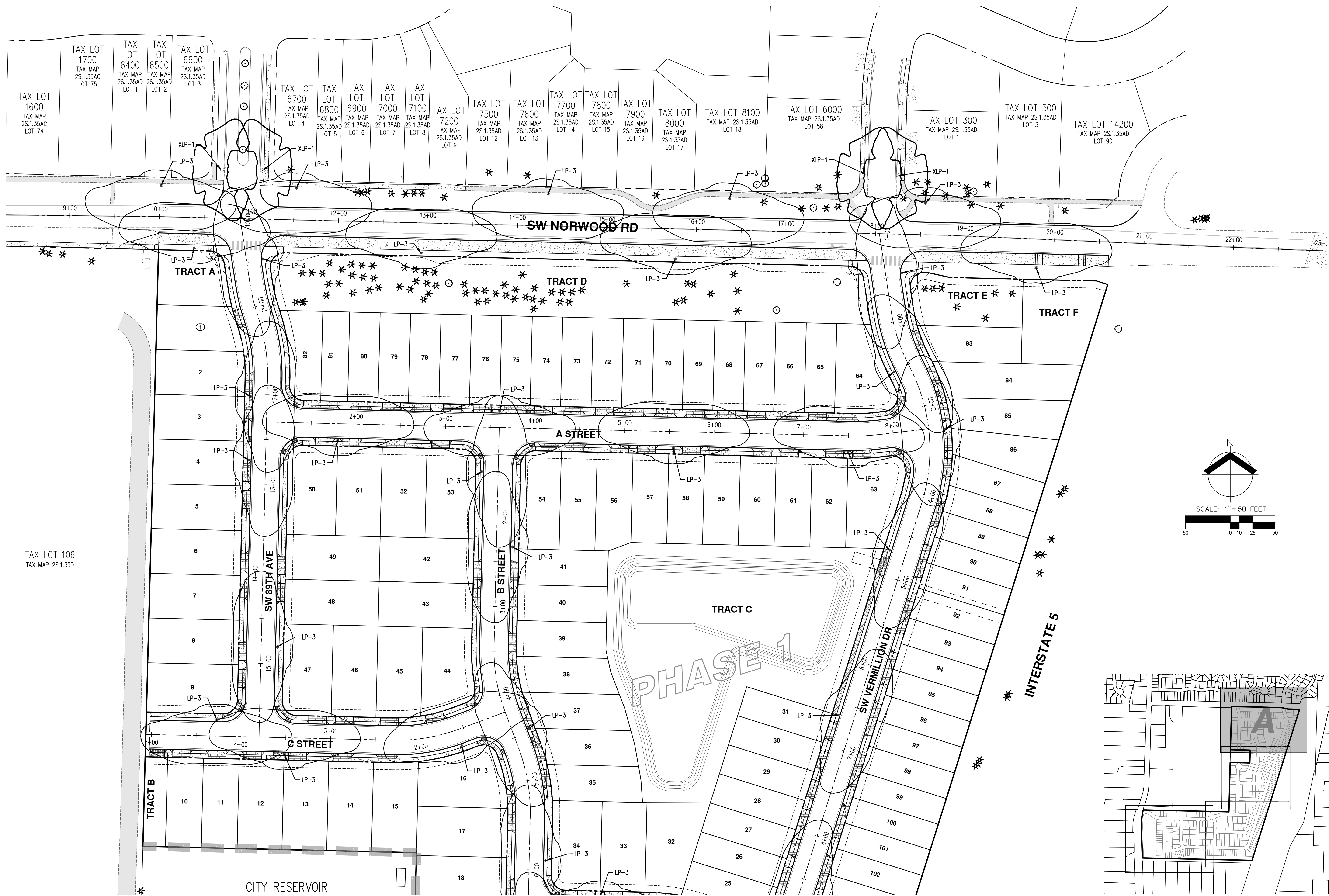
NTS

- NOTES:
1. DETAIL IS FOR REFERENCE ONLY, COLUMNS AND FOOTINGS HAVE NOT BEEN STRUCTURALLY ENGINEERED. FINAL LOCATION TO BE DETERMINE WITH CONSTRUCTION PLANS.
 2. ALL POSTS, RAILINGS, AND CAPS TO BE PRESSURE TREATED (P.T.) FIR.
 3. PERIMETER FENCE WITH COLUMNS SHALL BE INSTALLED WHERE SHOWN ON SW NORWOOD RD BUFFER. MINIMUM HEIGHT OF FENCE TO BE 6'.
 4. FENCE STAIN, STONE VENEER, AND COLUMN CAP PER OWNER.
 5. ALL METAL HANGERS, FASTENERS, SCREWS, NAILS, ETC. TO BE GALVANIZED OR OTHER NON-CORROSIVE METAL.

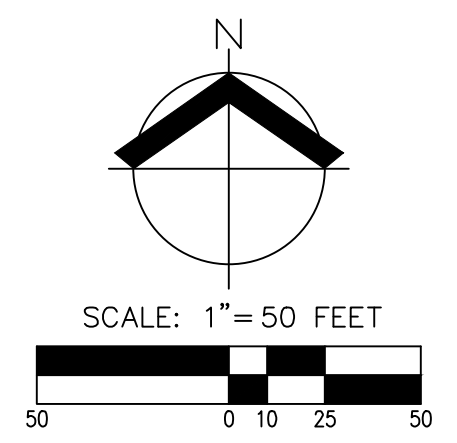


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ST-05



TAX LOT 106
TAX MAP 2S.1.35D



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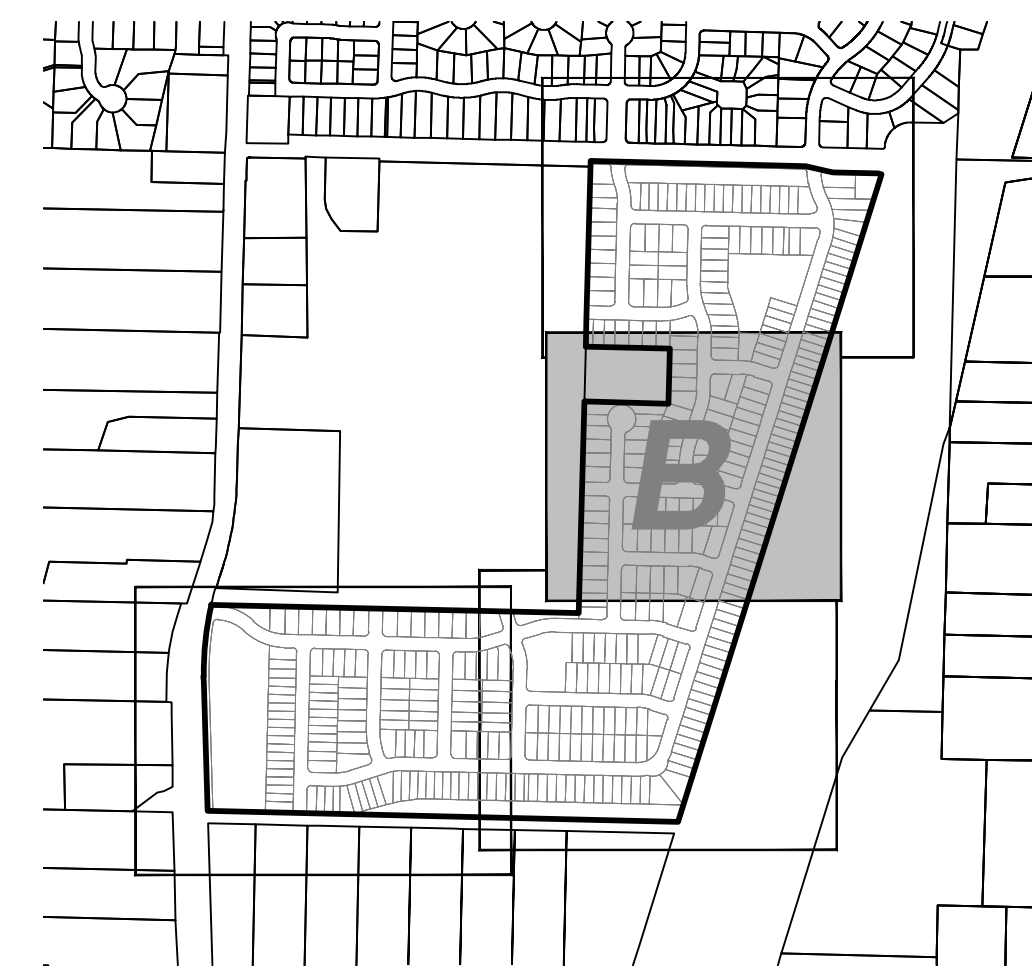
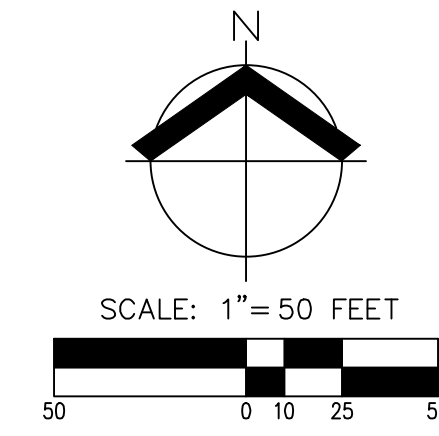
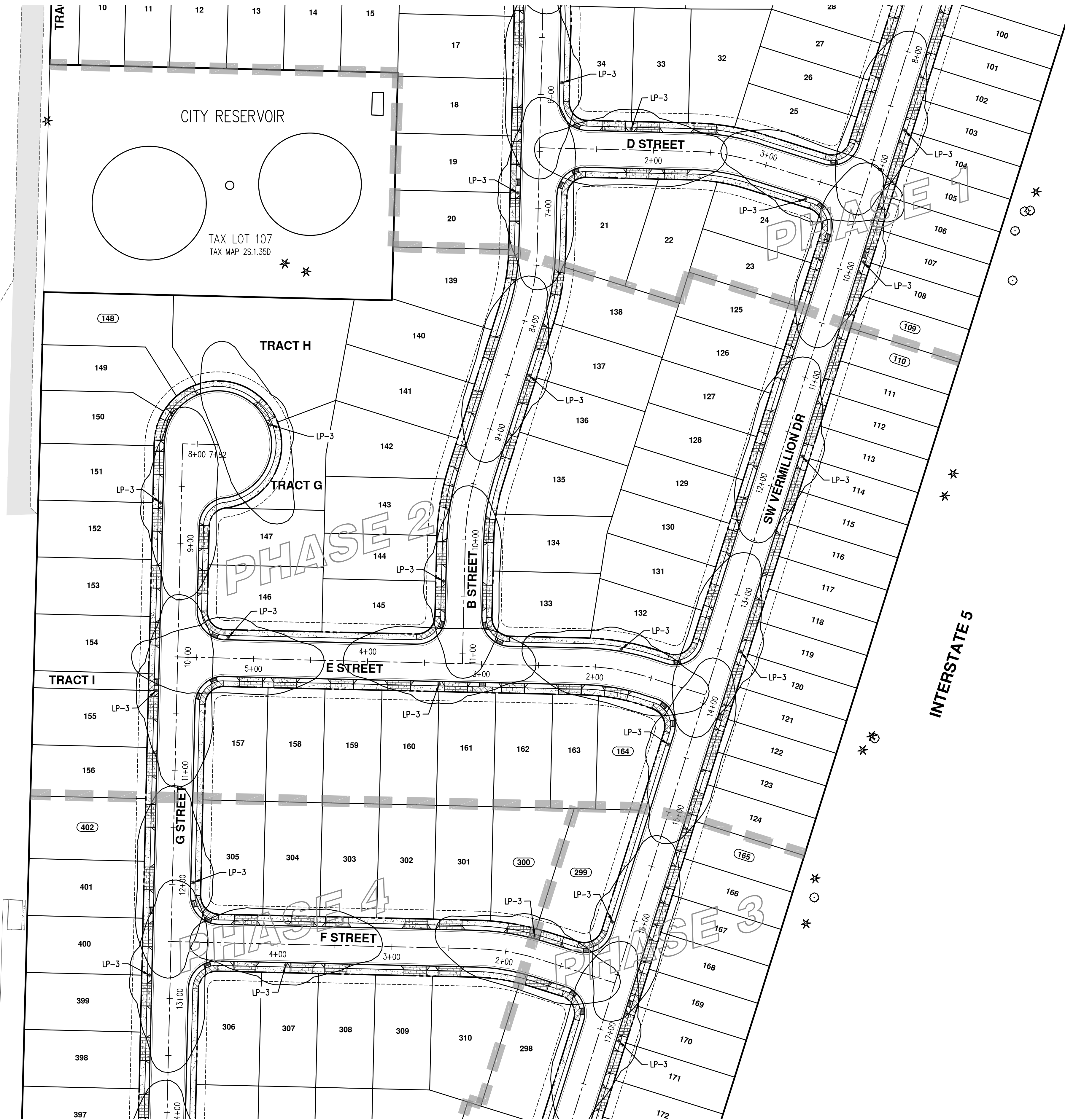
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ENGINEER
84800
PRELIMINARY
JUL 12, 2016
MIKO SIMIC
RENEWAL DATE: 6/30/22

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DATE: 7/1/2021
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DRAWN BY: JSM
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LP-01

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TAX LOT 106
TAX MAP 25.1.35D



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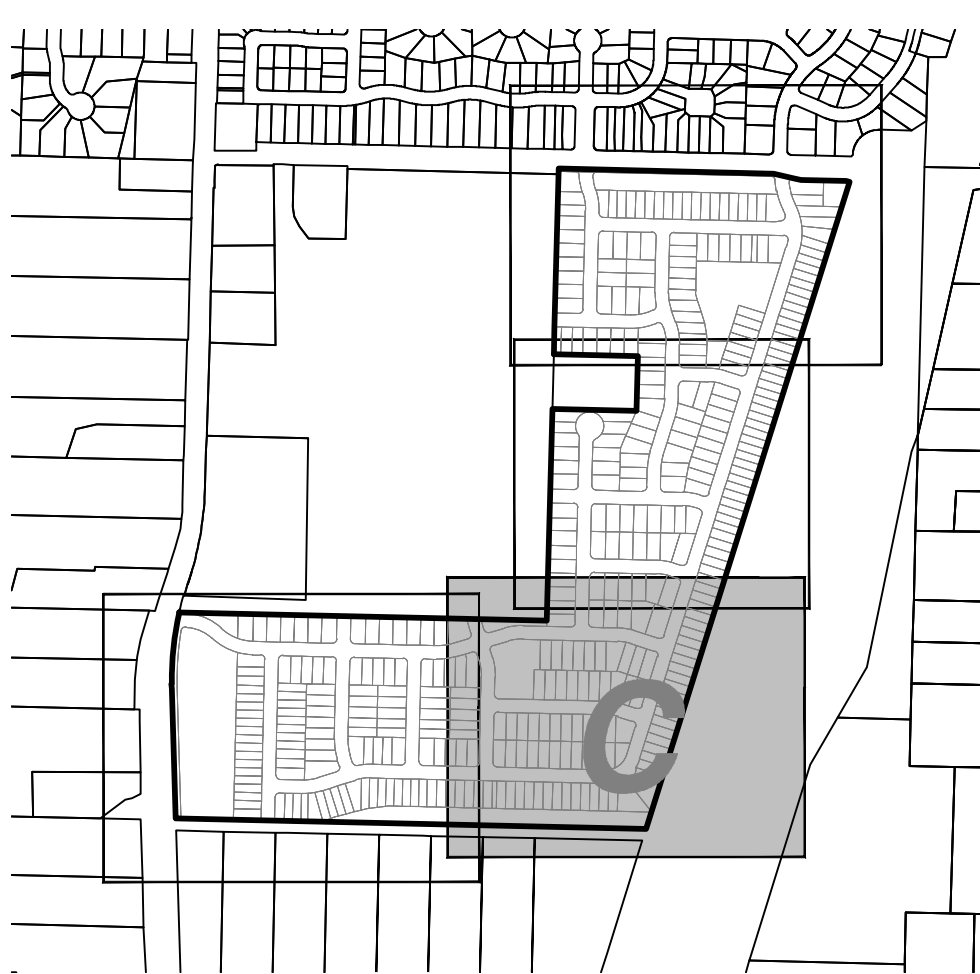
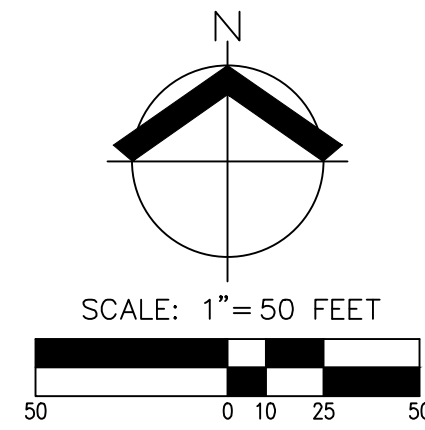
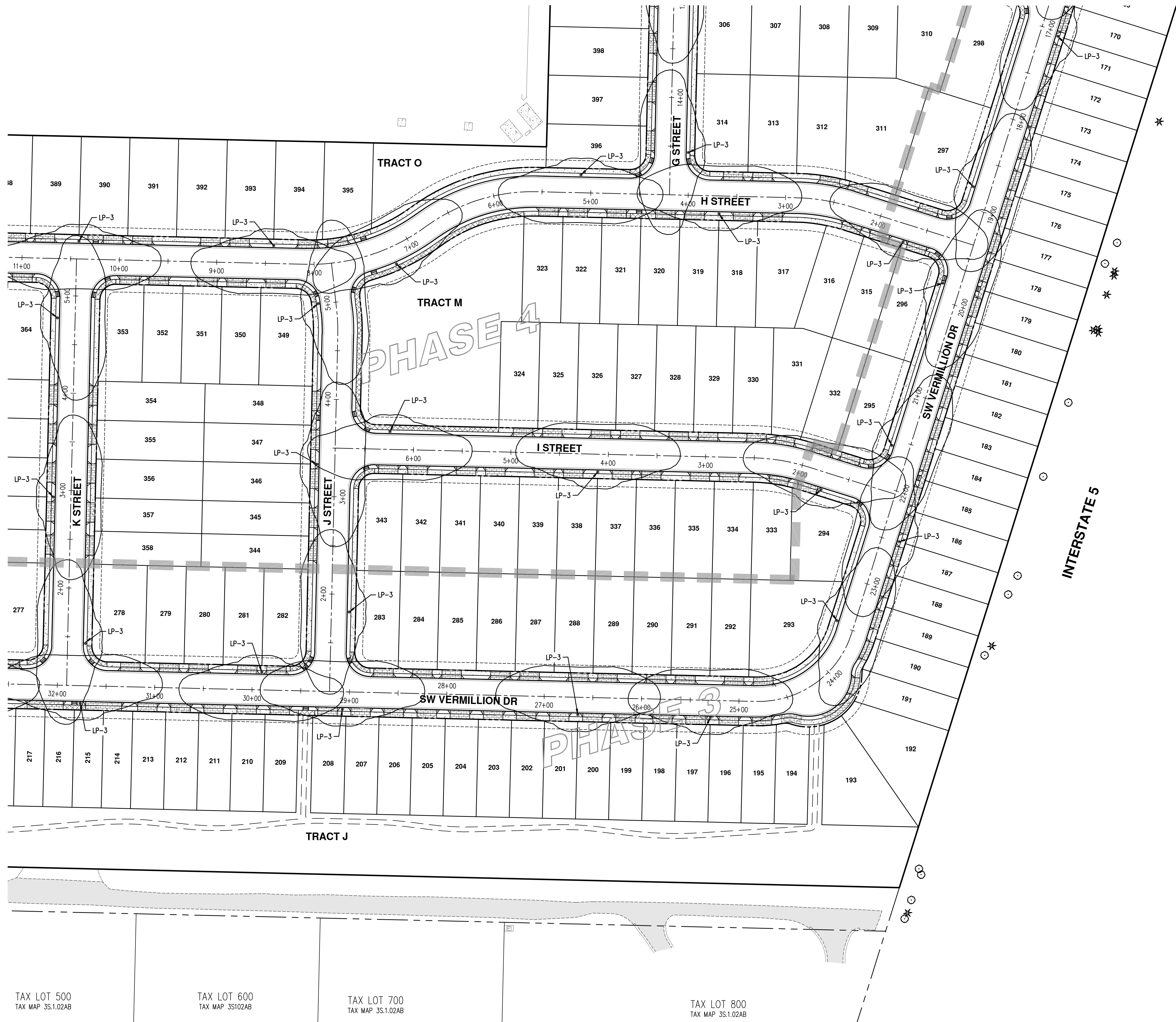
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ENGINEER
84806
PRELIMINARY
JUL 12, 2016
MIKO SIMIC

RENEWAL DATE: 6/30/22
JOB NUMBER: 7454
DATE: 7/1/2021
DESIGNED BY: JSM
DRAWN BY: JSM
CHECKED BY: DS

LP-02



TAX LOT 500 TAX MAP 3S.1.02AB TAX LOT 600 TAX MAP 3S102AB TAX LOT 700 TAX MAP 3S.1.02AB TAX LOT 800 TAX MAP 3S.1.02AB

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LP-03

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TAX LOT 200
TAX MAP 2S.1.35CB

TAX LOT 303
TAX MAP 2S.1.35D

TAX LOT 302
TAX MAP 2S.1.35CB

TAX LOT 300
TAX MAP 2S.1.35CB

TAX LOT 400
TAX MAP 2S.1.35CB

400
S.1.02B

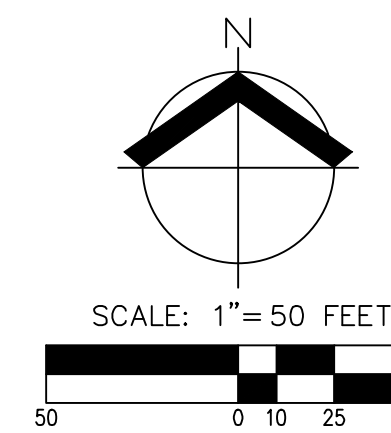
TAX LOT 200
TAX MAP 3S.1.02AB

TAX LOT 300
TAX MAP 3S.1.02AB

TAX LOT 400
TAX MAP 3S.1.02AB

TAX LOT 500
TAX MAP 3S.1.02AB

TAX LOT 100
TAX MAP 3S.1.02AB



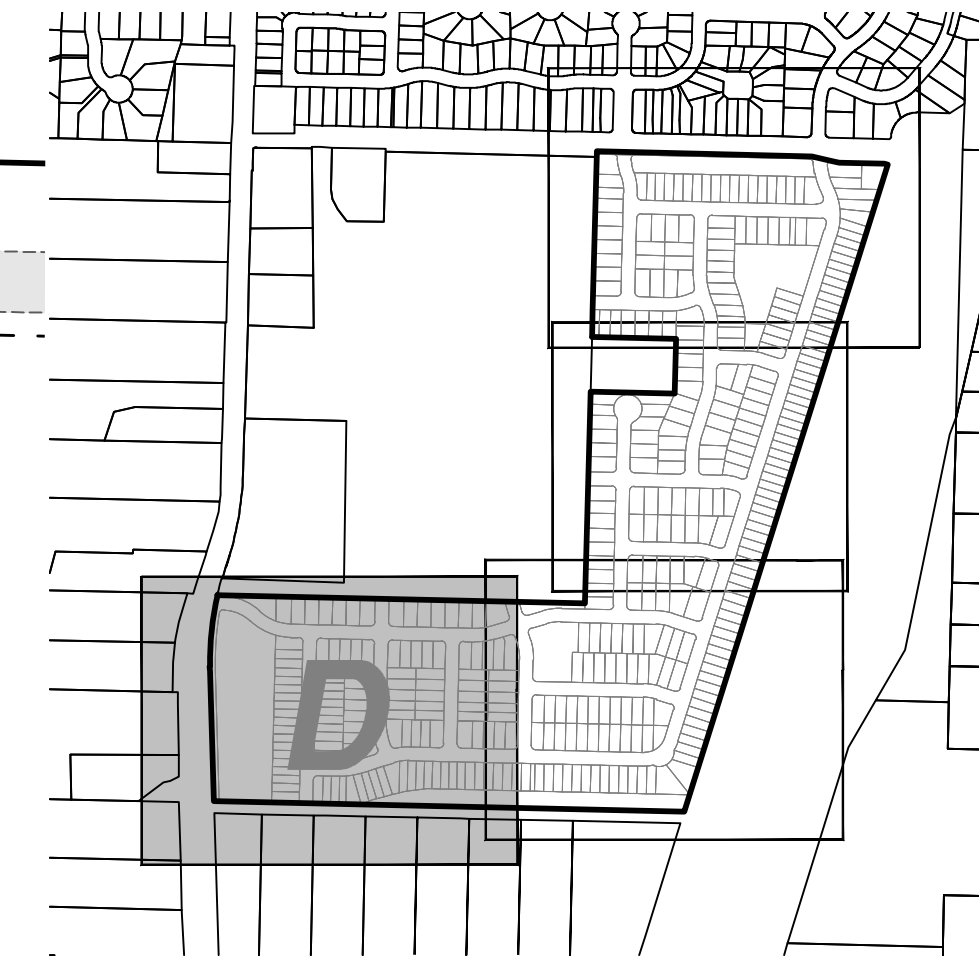
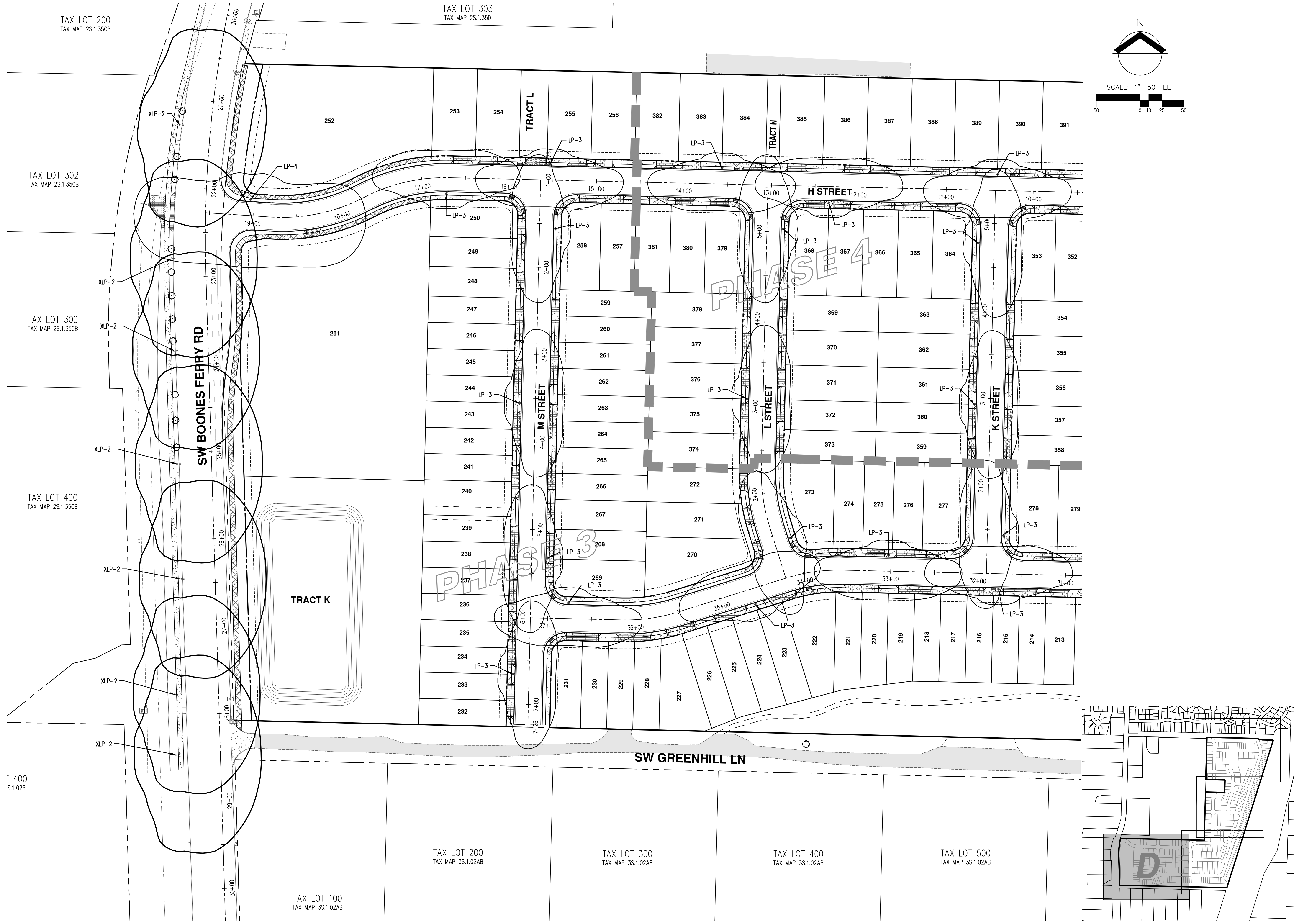
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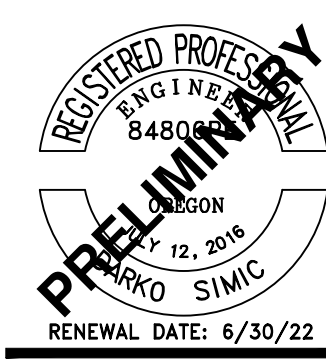
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LP-04



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LUMINAIRE AND LIGHT POLE SCHEDULE											
SYMBOL	QUANTITY	LABEL	STYLE	LUMINAIRE					LIGHT POLE		
				TYPE	INITIAL DELIVERED LUMENS	WATTS	LLF	DISTRIBUTION	BUG RATING	POLE STYLE	
☉	4	XLP-1	EXISTING	HPS	5,200	100W	0.800	TYPE 2	B2-U0-G1	DECORATIVE 16' CAST ALUMINUM POLE, ACORN	
☉	7	XLP-2	EXISTING	LED	13,500	182W	0.800	TYPE 3	B3-U0-G3	COBRAHEAD (35' M.H., 8' MAST ARM)	
★	91	LP-3	PROPOSED	LED	5,020	45W	0.800	TYPE 2	B1-U0-G1	COBRAHEAD (25' M.H., 6' MAST ARM)	
★	1	LP-4	PROPOSED	LED	18,700	160W	0.800	TYPE 3	B3-U0-G3	COBRAHEAD (35' M.H., 8' MAST ARM)	

NOTE:
 ★ M.H. IS ABOVE ROAD GRADE

LIGHT LEVEL SUMMARY									
ROADWAY	CLASSIFICATION	PEDESTRIAN CONFLICT	MATERIAL	LIGHT LEVEL		UNIFORMITY	MAX	MIN	MAX / MIN
SW BOONES FERRY RD	ARTERIAL	LOW	ASPHALT	TARGET	≥ 0.9 Fc AVE	≤ 3:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	3:1	1.7	0.3	6:1
SW NORWOOD RD	COLLECTOR	LOW	ASPHALT	TARGET	≥ 0.6 Fc AVE	≤ 4:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.6 Fc	3:1	1.5	0.2	8:1
SW 89TH AVE	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1
SW VERMILLION DR	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.5	0.1	15:1
ROAD A	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1
ROAD B	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.5	0.1	15:1
ROAD C	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.5	0.1	15:1
ROAD D	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.6 Fc	6:1	1.4	0.1	14:1
ROAD E	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1
ROAD F	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1
ROAD G	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.5	0.1	15:1
ROAD H	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	3.5	0.1	35:1
ROAD I	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.4 Fc	4:1	1.4	0.1	14:1
ROAD J	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.5	0.1	15:1
ROAD K	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1
ROAD L	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1
ROAD M	LOCAL	LOW	ASPHALT	TARGET	≥ 0.4 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.5 Fc	5:1	1.4	0.1	14:1

LIGHT LEVEL SUMMARY									
INTERSECTION	CLASSIFICATION	PEDESTRIAN CONFLICT	MATERIAL	LIGHT LEVEL		UNIFORMITY	MAX	MIN	MAX / MIN
SW BOONES FERRY RD / H ST	ARTERIAL / LOCAL	LOW	ASPHALT	TARGET	≥ 1.3 Fc AVE	≤ 3:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	1.4 Fc	2:1	3.6	0.6	6:1
SW NORWOOD RD / SW 89TH ST	COLLECTOR / LOCAL	LOW	ASPHALT	TARGET	≥ 1.0 Fc AVE	≤ 4:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	1.1 Fc	4:1	6.2	0.3	21:1
SW NORWOOD RD / SW VERMILLION DR	COLLECTOR / LOCAL	LOW	ASPHALT	TARGET	≥ 1.0 Fc AVE	≤ 4:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	1.0 Fc	3:1	4.8	0.3	16:1
SW 89TH AVE / A ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.5	0.3	5:1
SW 89TH AVE / C ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	4:1	1.5	0.2	8:1
A ST / B ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	5:1	1.6	0.2	8:1
A ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.5	0.2	8:1
B ST / C ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.4	0.2	7:1
B ST / D ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.4	0.3	5:1
B ST / E ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.5	0.2	8:1
D ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	2:1	1.3	0.4	3:1
E ST / G ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	4:1	1.5	0.2	8:1
E ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.4	0.3	5:1
F ST / G ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	4:1	1.5	0.2	8:1
F ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.3	0.3	4:1
G ST / H ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.4	0.2	7:1
H ST / J ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	2:1	1.4	0.4	4:1
H ST / K ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.6	0.2	8:1
H ST / L ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.2	0.3	4:1
H ST / M ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	3:1	1.6	0.3	5:1
H ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.3	0.3	4:1
I ST / J ST	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.6	0.2	8:1
I ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.4	0.2	7:1
J ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	4:1	1.5	0.2	8:1
K ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.9 Fc	5:1	1.7	0.2	9:1
L ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.3	0.3	4:1
M ST / SW VERMILLION DR	LOCAL / LOCAL	LOW	ASPHALT	TARGET	≥ 0.8 Fc AVE	≤ 6:1 AVE/MIN	N/A	N/A	N/A
				ACHIEVED	0.8 Fc	3:1	1.4	0.3	5:1