GBD

TRAIL BLAZERS PRACTICE FACILITY Phase III

7325 SW CHILDS ROAD Portland, oregon 97224

PORTLAND TRAIL BLAZERS

DESIGN DOCUMENTS CHECK SET

10 MAY 2020

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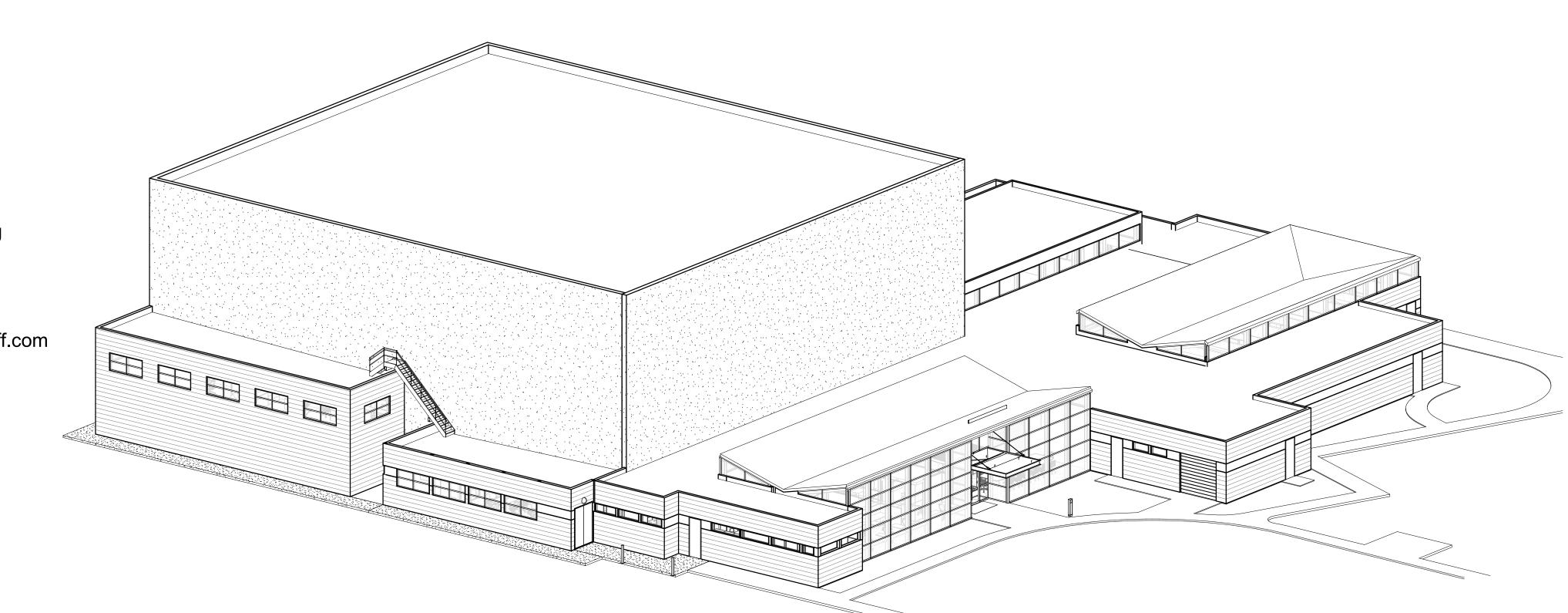
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ARCHITECTURE ABBREVIATIONS

AFT above finised grade FLUCR Nutstand OCS avanet minimum AFG above finised grade FA for mathematical control of co						
AC: and containing FB Nutler NC nutley control AC: application control FD for and paint NC nutley control AD: adder dar FE for and paint NC nutley control AD: adder dar FE for and paint NC nutley control AD: adder dar FNFER final for NC outley control AFF about finited for FNFER final for DC outley control AFF about finited for FLN final for DC outley control AFF about finited for FLN final for DC outley control DC outley control AFF about finited for FLN final for DC outley control DCN outley control AFG about finited for FLN final for DC preschied control AFG about finited for FLN final for DC preschied control AFG		anchor bolt				north
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BC back of oth G graps product PC proside control BD boord GAL galawated PENF product for starbulk BLK boord GAL galawated PENF product for starbulk BLK boord GA garabulk PLA product for starbulk BCR boftern of deck HOW handwara PRIL product for starbulk BCR boord HOW handwara PRIL product for starbulk BCR boord HOW handwara PRIL product for starbulk BCR cabinetry HORAI HARZ handrabulk PNT				lamaic		
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BFF betwork inside from the CALLY Standard Standard PERF perofraid Standard BLKG buckting GB gab bar PL protect in the standard Stand	BD	board		•		•
BLDG building CB grab bar PL property line BLK block GC grant contractor PL plast BLK blocking GL glass PLAS plast BLK blocking PLAS plast plast BLK blocking HDK nose bibb PL/WD plast BKK block HDK nose bibb PL property line BKK block HDK nose bibb PRI papert lowid dister CAB cabinetry HDK norading PRI paper lowid dister CBB cabinetry HDK norading PRI paper lowid dister CCB cabinetry HDK norading PRI papert lowid dister CCB<	BFF	below finish floor				
BLKs block GC gastrage PL page main BLKs blocking GC gisseninactor PLA plastic lambaba BM been or tenchmark GYP BD gypsum board PLAS plastic lambaba BOD betorn of dock PLAS plastic lambaba PLAS plastic lambaba BOR betorn of reveal PLAS plastic lambaba PLAS plastic lambaba BOR betorn of reveal PLAS plastic lambaba PLAS plastic lambaba BRR betorn of reveal PLAS plastic lambabaa PRELIM plastic lambabaa BRR betorn of reveal PT pastic lambabaa PRI pastic lambabaa BRR board HR hold PRI pastic lambabaa PRI pastic lambabaa CGB cathreine CI catin relation PRI pastic lambabaa PRI pastic lambabaa CGB cathreine CI cathreine CI cathreine	BLDG	building		5		
BLKG blocking Out gates inductor PLAS plastering BOR bottom of reveal PLAS plastering PLAS plastering BOR bottom of reveal PLYWD plywood PLYWD plywood BOR bottom of reveal PLYMD plywood parel parel BOR bottom of reveal PLYMD plywood projectom screen projectom screen BOR bottom HOM hasknown PSL ponel projectom screen BOR bottom HOM hasknown PSL ponel projectom screen BOR bottom HOM hasknown PSL ponel ponel CAB cabhbain HR nocr PTD parent could dispan CB cabhbain HR nocr PTD parent could dispan CB cabhbain HR nocr PTD parent could dispan CB cabhbain HNC headin		•		•		
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BOR bottom of rekek Dif bottom PLBG planting BOR bottom of reveal PLBG panel BOR bottom of reveal PNL panel BRG bearing PDR header PNL BRG bearing PDR header PSL panel BRK brack PDW hardware PSL point BRK brack PDW hardware PSL point BRK brack PDW hardware PSL point CAB cashnels PTT past resident PTT past resident CAB cashnels HT heading PTT past resident CAB cashnels HTR heading PTT past resident CL cashnels ICOL inste dimest resident TR CL c		•	-			-
BOR bottom of reveal PLWD paywood BRG bottom HB needer PRL prediction screen BRK brick HDW nardware PSL prediction screen BSMT basement HDW nardware PSL prediction screen BSMT basement HDW nardware PSL prediction screen CAB catin basin HD nardware PSL pressure frashod CBB catin basin HT nardware PT pastrest frashod CH B0 catin basin HT nardware PT pastrest frashod CH and and and HTR heading OT quary tile CLG certer ine OT quary tile OT quary tile CLG certer ine Integrator T nardware T T CLG certer ine Integrator RA return at r T CLR clear INCL includer/of RA return at r CLR clear INCL includer/of RA return at r CLR clear INCL includer/of RA return at r <td< td=""><td></td><td></td><td>GYP BD</td><td>gypsum board</td><td></td><td>plaster</td></td<>			GYP BD	gypsum board		plaster
BOT botom HB hose bbb PNL prediction prediction BRG bearing HDR header PSL projection screen BRK bink HDW hardward PSL projection screen BRA bearment HDWD hardward PNT paint CAB cabinetry HDR holdward PTT past-rest tool dispection CAB cabinetry HDR holdward PTT past-rest tool dispection CB cabinetry HDR holdward PTT past-rest tool dispection CB cabinetry HT holdward PTT past-rest tool dispection CB cabinetry HTR healerg PTT past-rest tool dispection CL conter/s and dispection ITT inde/diafity dispection CT quary tile CL conter/s ansorty unit INC inde/diafity dispection RA RR rest and					PLBG	plumbing
BOT bottom HB Note babb PNL periaditions BRG bearing HDR header PRCLUM projection screen BRK bearing HDR header PRCLUM projection screen BRK bearing HDR hardwain PSI point for screen BRK bearing HT header PT perint for screen CAB oath bain HR hour PT perint for screen CG corner guard HT healer PT particle CH BO oath bain HT healer OT quarrier CG corner guard HT healer OT quarrier CL oath screen IT inde demines/ dimension R rasis CLG cathing fac ICOL inde demines/ dimension R rasis CLK oloc NSL indudi(f) RA R ruber bas CLK oloc		bottom of reveal			PLYWD	boowvlg
BRK besing HDR nadder PPLIM prolinenary opticity opticity area BSML bisk HDW nardware PSC points par cubic in the provide of process in the provide of process in the provide of process in the proces in the process in the proces	BOT	bottom		hose bibb		
BRK brik HOW hardword PG polgetini screen BSMT basement HOW hardword PG polarks per cubics CAB cabinalry HOR hordraid PT post resioned CB cabinalry HOR hordraid PTT paster CB cabinalry HOR hordraid PTD paster treated CB cabinalry HR hour PTD paster treated CCH camer usid HTR heating T quarter CCH cast-halos TT heating T quarter CL cather ID inside diametriating & air conditioning CT quarter CLA cather ID inside diametriating & air conditioning R ratius ir CLA cather ID inside diametriating & air conditioning R ratius ir CLA cather ID inside diametriating & air conditioning R ratius ir CLA cather ID inside diametriating & air conditioning R ratius ir CLA cather ID inside diametriating & air conditioning R ratius ir CLA	BRG	bearing	HDR	header		•
BSMT basement H0WD hardwood PG pounds per cubic hNDRL CAB cabinetry HM hollow metalal PT paint CAB catch basin HR horantal PNT paint CCH 8D catch basin HR horantal PTD paper towel dispen CCH 8D catch basin HR hoeint PTD paper towel dispen CCH catch basin HR hoeint PTD paper towel dispen CG comer guard HTR heating UT quarter CL catch basin HTR heating, worthsting & air conditioning QTR quarter CL catch basin HD indegral color T quarter CLG catler basin NC indegral color R R redus CLK cdext D indegral color R R redus CLK cdext NN indegral color R R redus CLK cdext NN indegral color R R redus CLK cdext NN indegral color R R return air gill CLK cdext NN indegral color R<	BRK	brick	HDW	hardware		
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CH BD chalkbardi HT height PT.D papel (Mon disper) CEM corner guard HTR heater PT.N partition CH coat hook HTR heater OT quary file CL carter line OT quary file Quarter CL carter line D inside diameter/dimension R radius CLR clear D inside diameter/dimension R radius CLL controls masony unit NCL indude(d) RA return air grill COLL coloration NSUL insulation RA return air grill COLL coloration NSUL insulation RA neturn air grill COLL coloration NSUL insulation RA RC return air grill COLN controls NV invert RC return air grill CONR controls JST joit <td></td> <td>•</td> <td></td> <td></td> <td>PRT</td> <td>pressure treated</td>		•			PRT	pressure treated
CH BD chalkoozid HTG heating PTN partition CEM corner guard HTR heating OT quarty tile CH cost hook HVA heating, ventilating & air conditioning OT quarty tile CIP cast-in-jiace OT quarty tile OTR quarter CLG celter line OT inside diameter/dimension R radius CLK celter IO inside diameter/dimension R radius CLK clear IN inch nch R radius CNTR counter INFO information R radius COMp contrate manny unit INCI include(in) RA R return air gill CONT contrate INFO information RB return air gill CONT contrate INT inferior RCP reflected celling plact CONT contrate JAT piant REIN reflected celling plact CT corariste JAT piant REIN reflected CT corariste JAT piant REIN reflected CT corariste </td <td>CB</td> <td>catch basin</td> <td></td> <td></td> <td>PTD</td> <td>paper towel dispenser</td>	CB	catch basin			PTD	paper towel dispenser
CEM centent H10 neating CG contreguard HTR heating CH castholace OT quarty file CL center line OT quarty file CLG center line OT quarty file CLG center line D indeg diameter/dimension R radius CLK clock N indude diameter/dimension R radius CLK clock N indude/(i) RA retum air grill COMP controler masonry unit NPCL indude/(i) RA retum air grill COMP controler masonry unit indude/(i) RA retum air grill COMP controler masonry unit indude/(i) retum air grill COMP controler RCP reflected celling pile CONT controler NV invert RCP CONT controler REF referenced COVP L controler NV invert REF COVP L controler JSD joint REV CT ceramic tile JT joint REV CT ceramic tile JSN joint	CH BD	chalkboard		-		
CG corner guard HTR heater CH coat hook HVAC heating, ventilating & air conditioning OT quary tile CIP cast-in-place OT quary tile OT quary tile CL center line OT quary tile CLR clear D inside diameter/dimension R radius CLK clear D inside diameter/dimension R radius CML concrete D inside diameter/dimension R radius CML concrete INCL include(d) RA raturn air grill CMML concrete INCL include(d) RA return air grill CMML conterier INCL include(d) RA return air grill CMML conterier INV insolation RB nubber base CONC concrete INV insolation RC recessed CONT contracte INV insolation RC recessed CONT contracte JBOX junction box REI resirence CONT contracte JANL jantor toset RC recessed <t< td=""><td>CEM</td><td>cement</td><td></td><td>heating</td><td></td><td>pontition</td></t<>	CEM	cement		heating		pontition
CH coat hook HVAC heating, ventilating & air conditioning QT quarter CL center line QTR quarter CLG center line C C QTR quarter CLG center line C Integral color R radius CLK clock IN inch R radius CMU control masony unit IN inch R radius COLF column INFO information RB nuber base COMP composite INT interior RC resturn sir COMP consposite INT interior RC resturn sir COMP consposite INT interior RC restered celling pict COMP consposite INT interior RC restered celling pict CONP contrastorninuous INT interior RC restered celling pict CORR contrastorninuous JF joint REIN restered celling pict CT corrapt JT joint REIN restered for system D deep KP kickplate RM roor			HTR	heater		
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CLG center line COLL integral color CLK clear D integral color R radius CLK clock D integral color R radius CLK clock D integral color R radius CMTR counter INC include(d) RA return air gill CMTR counter INFO information RB rabit air gill COMP counter INFO information RB rabit air gill COMP countpact INT interior RC return air gill COMP control INT interior RC return air gill COMP control INT interior RC return air gill CONT contractifie JST joist RC return air gill dot air CT core pate JST joist RC return air gill dot air						
CLG celling LOL integral color CLR clear D inside diameter/dimension R riser CLK cloak N inch nch R riser CMU concrete masonry unit INCL include(d) RA return air rit CMU concrete masonry unit INCL include(d) RA return air rit COL column INSUL insulation RB ruber base CONC conrete INV invert RD rotor drain CONC continue/continuous INV invert REC recessed COV PL cover plate JBOX junction box REF reference COV PL cover plate JST joint RESULT refinored CTR correter JAN jaint closet REV revision CTR correter JAN jaint closet REV revision DL deep KPL kickplate RM room DL deep KPL kickplate RM room DL deep LAV lavatory RM cover DL de		•			QTR	quarter
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COL column INSUL Insulation RDS Insulation COMP composite INT interior RD reflected celling ple CONC concrete INT interior RD reflected celling ple CONT contrate INT interior RD reflected celling ple CONT contrate JST joint REF reference COV correcte JST joint RED required CT careart JAN janitor closet RESIL resilient CT careart JAN janitor closet REFL reflected CT certaric tile JT joint RESIL resilient CT certaric tile JAN janitor closet REFL reflected D deep KPL kickplate RM room room DET detail Correcte RV root watter root watter DIA diameter LAM laminate RV root watter DIM down LB pound SC south DR door LT SW light switch SC south		counter				
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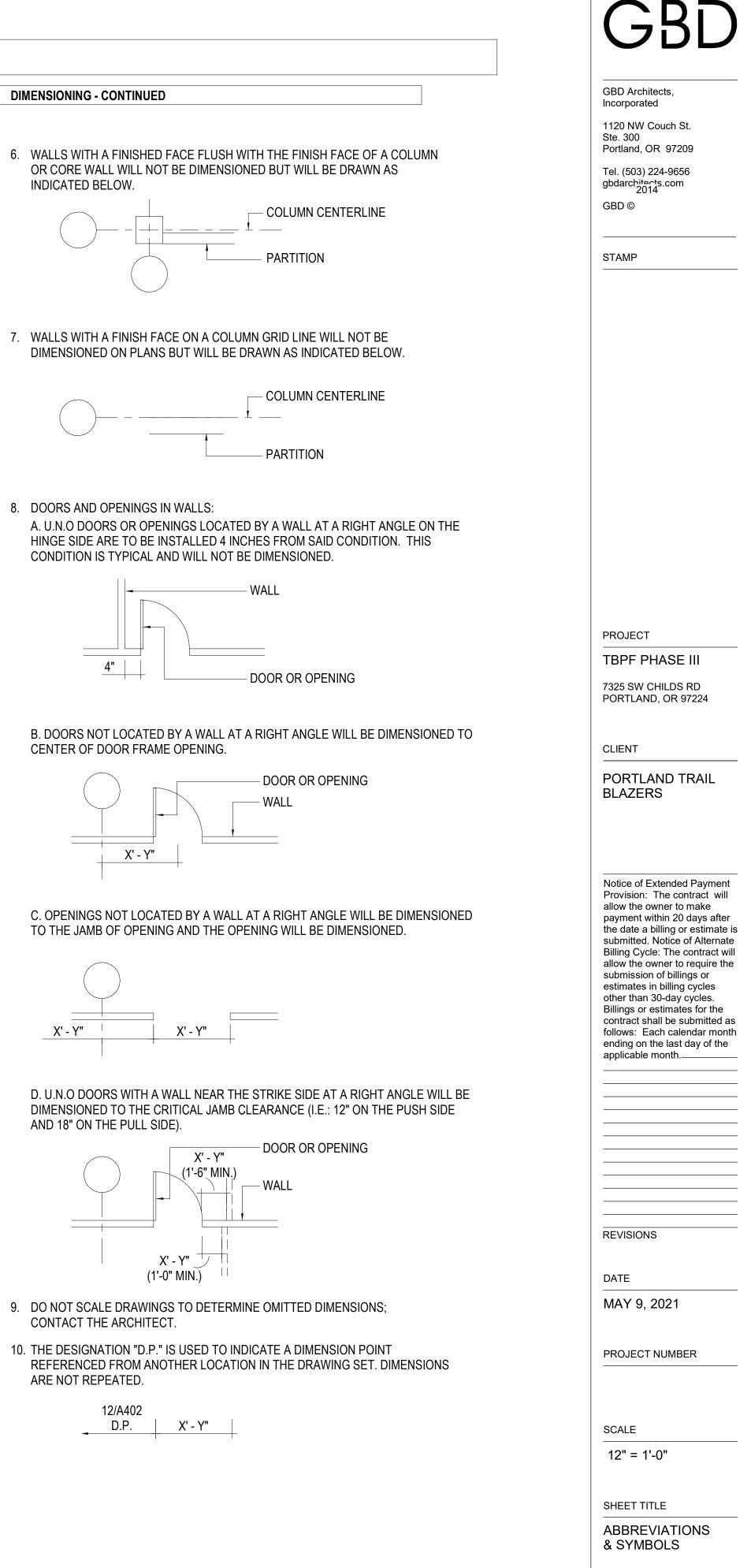
ARCHITECTURE SYMBOLS

			GENERAL - LEGEND
			1 NAME
	STN	stain	SCALE SHEET/DETAIL TITLE
	STOR	storage	
	STRUCT	structural	
	SURF SUSP	surface suspend(ed)	A301 ITEM BUILDING SECTION
	SV	sheet vinyl	A301 SHEET NUMBER
	SYM	symmetrical	
	SYS	system	
	T (A301 SHEET NUMBER WALL SECTION
noncion	T/ T	top of tread	\sim
nension	TOB	top of beam	
	TC	traffic coating	$(\mathbf{1A})$ GRID BUBBLE
	TEMP	temporary	
ner installed	TMPD GL	tempered glass	MATCHLINE
	TERM T&G	termination lounge & groove	
	THK	thickness	
	TH THRES	towel hook threshold	A501 - SHEET NUMBER
	THRU	through	(1) KEY NOTE
	TO	top of	
	TOC	top of concrete or curb	ELEVATION
	TOFF TOS	top of finished floor	A.F.F.
	TOT	top of slab total	DRAWING REVISIONS
ot	TP	toilet partition	
	TPD	toilet paper dispenser	FLOOR PLANS - LEGEND
	TPNG TR	topping towel rack	
	TRV	thermal resistance valve	N
	TSD	toilet seat cover dispenser	NORTH ARROW
	TWP	tackable wall panel	
	TYP	typical	
	UNFIN	unfinished	A201 EXTERIOR ELEVATION
ch	UNO	unless noted otherwise	SHEET NUMBER
	UR	urinal	
ser	VB	vehicle barrier	36 A201 12 INTERIOR ELEVATION SHEET NUMBER
	VOLT	voltage	24
	VR	vapor retarder	/- ACOUSTIC (A) OR
	VENT	ventilation	THERMAL (T) ASSEMBLY
	VERT VEST	vertical vestibule	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$
	VIF	verify in field	P33.3A F N RATED) PARTITION TYPE
	VNR	veneer	CONDITION
	VP	veneer plaster	WALL TYPE NUMBER
	VFY	verify	
	W	west	100 ROOM DESIGNATION
ו	W/	with	
	WC	water closet	(FD) FLOOR DRAIN
	WD WB	wood wood base	
	WDW	window	
	WGL	wired glass	ELEVATIONS AND SECTIONS - LEGEND
	WHTBD	wheatboard	EXTERIOR FRAME TYPE
	W/O WP	without	
	WDP	waterproofing wood paneling	GLASS TYPE
	WR	waste receptacle	1 GLASS TIPE
	W.R.A.B.M.	weather resistive air barrier membrane	INTERIOR FRAME TYPE
	WSCT	wainscot	(A) INTERIORTRAIVIE ITTE
	WT WTR	weight water	
	W/W	wall to wall	DIMENSIONING
	WWF	welded wire fabric	
orane al tile			1. ALL INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF FINISH UNLESS
	XFMR	transformer	OTHERWISE NOTED.
		lansionnei	2. ALL DEMISING WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION
			ASSEMBLY.
	YD	yard	
			THE TERM "EQUAL" OR "EQ." IS USED IN LIEU OF ACTUAL DIMENSIONS WHERE EQUAL SPACING OF ELEMENTS IS REQUIRED.
			4. THE TERM "CLEAR" IS USED TO DENOTE A MINIMUM DIMENSIONAL
			REQUIREMENT; HOWEVER THE DIMENSION COULD BE LARGER.
			5. WALLS CENTERED ON A COLUMN OR GRID LINE WILL NOT BE DIMENSIONED
			5. WALLS CENTERED ON A COLOMIN OR GRID LINE WILL NOT BE DIMENSIONED ON PLANS BUT WILL BE DRAWN AS INDICATED
			BELOW.
enser losal unit			

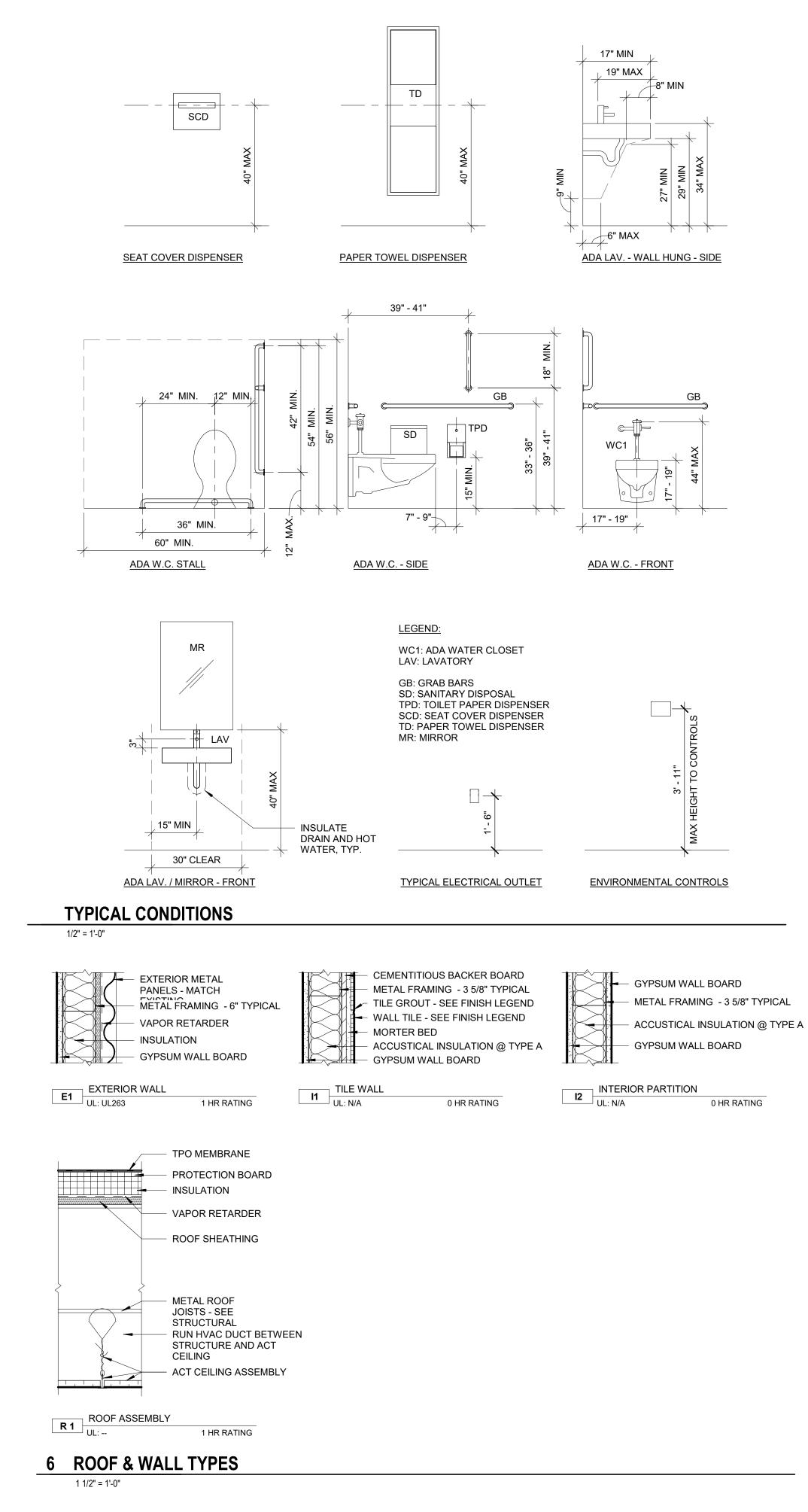
- napkin disposal unit rade
- tion
- steel

- PARTITION

- COLUMN CENTERLINE



G001



Ш Ξċ

Α.	ALL WORK SHALL CONFORM TO APPLICABLE BUILDING CODES AND ORDINANCES, AS MODIFIED FOR THIS BUILDING BY	
	EXCEPTIONS ON ORIGINIAL PERMIT CITY OF TUALATIN BUILDING PERMIT NO. 9867-98. IN CASE OF CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OF MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAW OR ORDINANCE SHALL GOVERN. NOTIFY ARCHITECT OF CONFLICTS.	
В.	IT IS THE CONTRACTOR'S RESPONSIBILTY TO VERIFY EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR UNFAVORABLE CONDITIONS OR EVENT WHICH MIGHT HAVE BEEN UNFORSEEN FROM A THOROUGH EXAMINATIONS OF THE SITE. CONTRACTOR SHALL ASSUME FULL RESPONSIBILTY FOR THE CONSEQUENCES OF ACTING ON CONCLUSIONS DRAWN FROM INFORMATION AVAILABLE AT THE TIME.	
C.	NOTIFY THE ARCHITECT IN WRITING, OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.	
	PROVIDE ALL LABOR, TRANSPORTATION, EQUIPMENT, AND SERVICES NECESSARY TO PERFORM WORK SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.	
E.	EXIT AND EGRESS LIGHTING SYSTEM ARE TO BE INSTALLED TO MEET THE IBC AND PRESCRIPTIVE LIGHTING PATH (IBC 2010.)	
	MAINTAIN EXISTING BUILDING FIRE AND LIFE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO SPRINKLER SYSTEMS, SMOKE DETECTION SYSTEMS, SMOKE EVACUATION SYSTEMS, EXITING SYSTEMS AND EMERGENCY ANNUCIATION SYSTEMS.	
G.	REFER TO BUILDING CODE EXCEPTIONS ON RECORD WITH THE CITY OF TUALATIN FOR EXISTING AND FULL BUILDING VARIATIONS TO CODE REQUIREMENTS.	
H.	THE DESIGN OF ALL SEISMIC BRACING AND SUPPORTS FOR CEILING MECHANICAL AND ELECTRICAL ITEMS AND PARTITIONS IS THE RESPECTIVE CONTRACTOR/VENDOR TO MEET BUILDING CODE REQUIREMENTS.	
	PROVIDE CEILING SPEAKERS AND FIRE STROBES FOR EMERGENCY ANNUCIATION SYSTEM IN CONFORMANCE WITH REQUIREMENTS OF CITY OF TUALATIN FIRE MARSHALL.	
J.	PROVIDE MINIMUM 4" BUILT WALL RETURN AT EDGE OF ALL NEW DOOR OPENINGS, TYPICAL.	
K.	PAINT FULL EXTENT OF WALLS AT ALL LOCATIONS WHERE PATCH/REPAIR WORK HAS BEEN DONE.	
	FOR ELEVATIONS ABOVE FINISH FLOOR OF WALL MOUNTED SPECIALITIES, SWITCHES, ELECTRICAL OUTLETS, ETC. SEE INTERIOR ELEVATIONS AND G002.	
M.	FOR TYPICAL MOUNTING HEIGHTS OF TOILET FIXTURES, ACCESSORIES, AND OTHER EQUIPMENT SEE SHEET G002.	
N.	FOR WALL TYPES SEE SHEET G002.	
О.	FOR DOOR AND INTERIOR WINDOW FRAME TYPES MATCH EXISTING.	
Ρ.	INTERIOR PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE ON THE DRAWINGS.	
Q.	THIS BUILDING TO BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.	
R.	FINISHED FLOOR ELEVATION CHANGE AT EACH SIDE OF DOORS TO BE NO MORE THAN 1/2".	
S.	NO MECHANICAL DUCT PENETRATIONS ARE PERMITTED (EXCEPT THOSE SERVING THE EXIT ENCLOSURE) THROUGH EXIT ENCLOSURE WALLS OR CEILING.	
	PROVIDE FIRE RESISTANT CLOSURE MEETING THE REQUIREMENTS OF THE GOVERNING FIRE AUTHORITIES AT ALL GAPS AROUND PENETRATING DUCTS, PIPES, CONDUITS, STRUCTURAL ELEMENTS, ETC. AT ALL FIRE RATED BUILDING PARTITIONS AND CEILINGS.	
U.	ROOM AND DOOR NUMBERS SHOWN ON DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY.	
V.	CONTRACTOR SHALL COORDINATE ALL OWNER FURNISHED ITEMS AND PROVIDE ALL REQUIRED MECHANICAL AND ELECTRICAL CONNECTIONS INCLUDING STUB OUTS.	
	ROOM FINISH PLAN SHALL NOT BE TAKEN AS COMPLETE SPECIFICATIONS FOR ALL INTERIOR ROOM MATERIALS. HOWEVER, IT SHALL BE BINDING TO THE EXTENT OF THE MATERIAL IT DOES SPECIFY. THE CONTRACTOR SHALL CHECK THE ROOM FINISH PLAN WITH SPECIFICATIONS AND DRAWINGS FOR OTHER MATERIALS NOT COVERED BY THE SCHEDULE.	
X.	THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR ALL OPENINGS AND ROUGH-OUTS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS AND EQUIPMENT, AND SHALL VERIFY SIZE AND LOCATION BEFORE PROCEEDING WITH WORK.	
Y.	REFER TO SPECIFICATIONS FOR ACCESS DOORS AND CONSULT WITH MECHANICAL CONTRACTOR FOR EXACT LOCATIONS OF ACCESS REQUIRED BY THEIR WORK. ACCESS MUST BE PROVIDED FOR ALL CONCEALED VALVES, DAMPER CONTROLS, FIRE DAMPER LINKAGE, ELECTRICAL JUNCTION BOXES, ETC. OBTAIN ARCHITECT'S APPROVAL IN LOCATING ACCESS DOORS PRIOR TO INSTALLATION.	
	SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND SYMBOLS.	

DEMOLITION - GENERAL NOTES

- 1. EXISTING STRUCTURE TO BE LEFT UNDISTRUBED AND INTACT, UNLESS NOTED OTHERWISE ON DRAWINGS. PERFORM NO DEMOLITION THAT MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- 2. EXTREME CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL EXISTING AREAS FROM DAMAGES THAT MIGHT OCCUR DURING DEMOLITION. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL EXISTING AREAS TO REMAIN THAT HAVE BEEN DAMAGED DUE TO INADEQUATE PROTECTION.
- 3. MAINTAIN 100% SPRINKLER COVERAGE, DURING DEMOLITION.
- 4. SALVAGE/RECYCLE REMOVED MATERIALS, WHEREVER POSSIBLE. CONFIRM WITH OWNER REMOVED ITEMS PRIOR TO DEMOLISHING.
- 5. IN ALL ROOMS BEING RENOVATED, REMOVE ALL EXISTING SIGNAGE, PICTURES, NAILS, HOOKS, EQUIPMENT, ETC., LEFT BEHIND FROM PRIOR ROOM USE, FROM ALL WALLS, DOORS, DOOR FRAMES, AND CEILING. SALVAGE FOR OWNERS POTENTIAL REUSE.

CONSTRUCTION - GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE ALL PARTITIONS TERMINATE AT UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED.
- 2. THE CEILING SUSPENSION SYSTEM SHALL BE STABALIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE IBC 2010 EDITION.
- 3. EXTENSIONS AND REVISIONS TO FIRE PROTECTION SYSTEMS INDICATED ARE FOR INFORMATION ONLY. THESE SYSTEMS ARE SUB-CONTRACTOR DESIGN/BUILD. IT IS THE RESPONSIBIITY OF THE DESIGN/BUILD SUB-CONTRACTOR TO OBTAIN THESE PERMITS. CONTRACTORS SHALL VERIFY SIZES AND LOCATIONS OF ALL EQUIPMENT, BOTH EXISTING AND NEW. DESIGN SHALL BE PROVIDED TO ARCHITECT FOR REVIEW/APPROVAL PRIOR TO SUBMITTAL FOR PERMIT.
- 4. MAINTAIN 100% SPRINKLER COVERAGE, DURING CONSTRUCTION.
- 5. ALL WALLS, DOORS, FLOORS, CEILINGS WITHIN THE NOTED RENOVATION AREAS, ARE TO BE PATCHED, PLASTERED, SANDED AND PREPARED READY FOR THE NEW FINISH SPECIFIED.
- 6. MODIFY AND PROVIDE NEW EXIT SIGNAGE, AND EMERGENCY EGRESS LIGHTING SYSTEM IN CONFORMANCE WITH CITY FIRE MARSHALL REQUIREMENTS.
- 7. SEAL ALL PENETRATIONS THROUGH RATED FLOORS/WALLS/ WITH RATED ASSEMBLIES AS REQUIRED TO MAINTAIN THE INTEGRITY OF FLOOR/WALL ASSEMBLY RATING. SEE SHEET G003 FOR RATED CONSTRUCTION LOCATIONS/INFORMATION.

ET INDEX

COVER SHEET ABBREVIATIONS & SYMBOLS SHEET INDEX & GENERAL INFORMATION

STORMWATER PLAN GRADING/PAVING AND ESC PLAN GENERAL NOTES AND DETAILS

APE EXISTING LANDSCAPE PLANTING PLAN

<u>, ECTURE</u> SITE PLAN - ROOF PLAN FLOOR PLAN EXTERIOR ELEVATIONS SECTIONS REFLECTED CEILING PLAN

ERED SUBMITTALS

LLOWING SYSTEMS ARE SUBJECT TO DEFERRED SUBMITTALS IN ACCORDANCE WITH IBC 107:

REFER TO SHEET S004 FOR A LIST OF STRUCTURAL DEFERRED SUBMITTALS

HVAC EQUIPMENT FIRE SPRINKLERS FIRE ALARM SYSTEMS AUDIO VISUAL/LOW VOLTAGE SECURITY SYSTEMS

ISDICTIONAL REVIEWS

<u>TUALATIN:</u> ARCHITECTURAL REVIEW #15-04 (PENDING)

WATER SERVICES/CITY OF TUALATIN: WATER QUALITY PERMIT #WQ15-114 (PENDING)

TY MAP

TUALATIN, OR

JOB SITE

GBD Architects, Incorporated

1120 NW Couch St. Ste. 300 Portland, OR 97209 Tel. (503) 224-9656 gbdarchitects.com 2014 GBD ©

STAMP

PROJECT TBPF PHASE III

7325 SW CHILDS RD PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL BLAZERS

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

REVISIONS

DATE

SCALE

As indicated

SHEET TITLE

SHEET INDEX

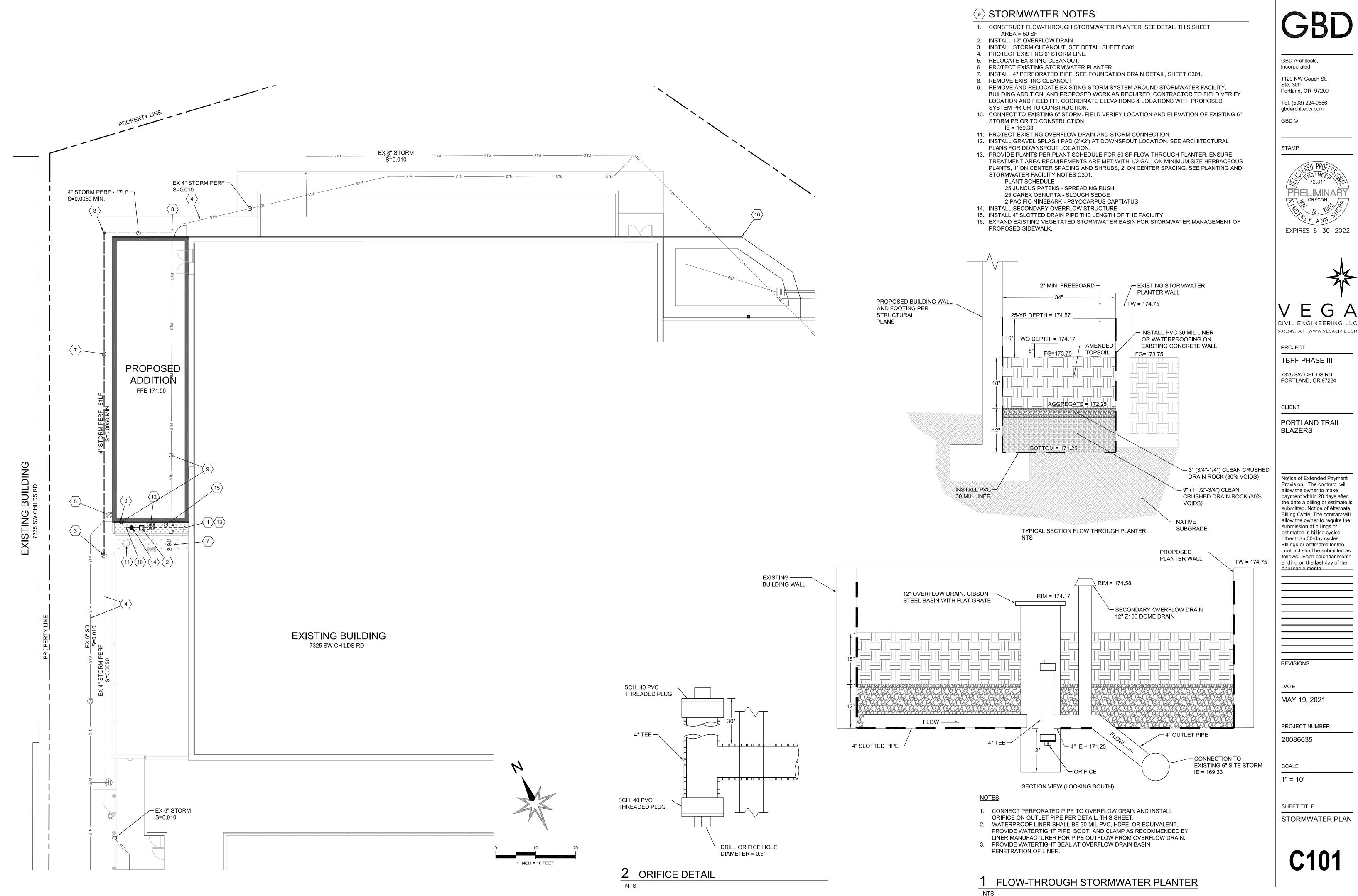
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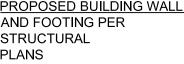
MAY 9, 2021

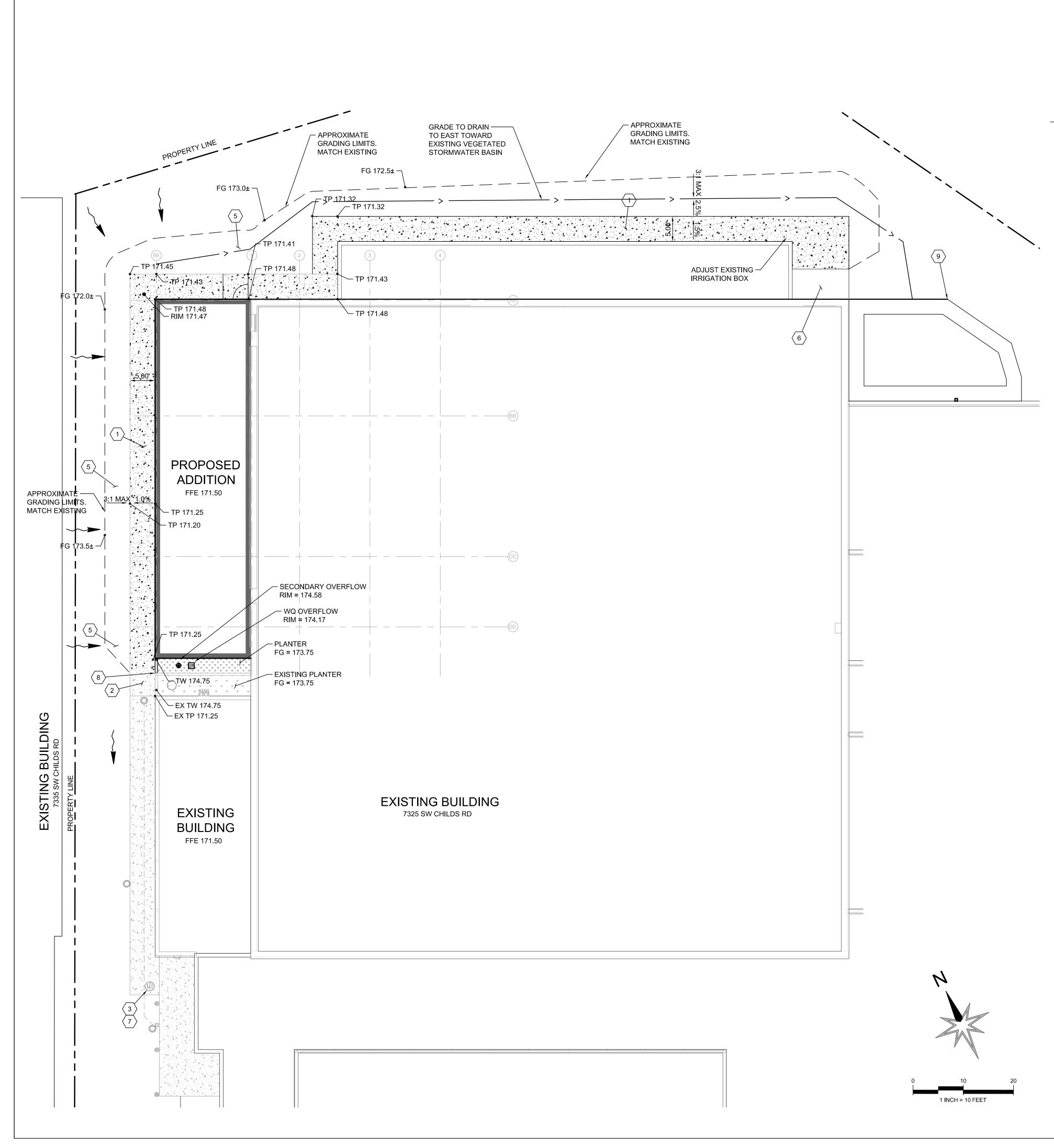
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EROSION AND SEDIMENT CONTROL NOTES

- 1. WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE
- 2. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YFAR
- 3. DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
- SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
- 5. ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
- SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE 6. CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PREFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
- SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
- 8. SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/3RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL
- 9. CLEANING OF ALL STRUCTURES WITH SUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
- 10. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
- 11. THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
- 12. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
- 13. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE, AND FEDERAL REGULATIONS.
- 14. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT.
- NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
- 15. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPS THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPS MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- 16. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST; THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
- 17. WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMPS; SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.
- 18. ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
- 19. THE ESC PLAN MUST BE KEPT ONSITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
- 20. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
- 21. WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ONSITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
- 22. IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPS MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
- 23. ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

GRADING NOTES

- 1. STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR SHALL ADJUST ALL CATCH BASINS, CLEANOUTS, VAULTS, ETC. THAT ARE AFFECTED BY CONSTRUCTION AND/OR FILL TO FINISH GRADE.

SHEET LEGEND

_ _ _ _

FF XXX.XX G XXX.XX TC XXX.XX TP XXX.XX TW XXX.XX RIM XXX.XX (E)	FINISHED FLOOR ELEVATION GRADE AT GUTTER GRADE AT TOP OF CURB GRADE AT TOP OF PAVEMENT GRADE AT TOP OF WALL RIM ELEVATION EXISTING
~ ~~	DRAINAGE FLOW DIRECTION
	APPROXIMATE GRADING LIMITS
	EXISTING CONCRETE SIDEWALK

PROPOSED CONCRETE SIDEWALK

$\langle * \rangle$ CONSTRUCTION NOTES

- CONSTRUCT CONCRETE SIDEWALK, 4" CONCRETE ON 4" 1.
- AGGREGATE BASE. MATCH EXISTING SIDEWALK GRADES.
- INSTALL TEMPORARY INLET SEDIMENT CONTROL PER DETAIL, - 3 SHEET C301.
- 4. CONSTRUCT RAISED FLOW THROUGH PLANTER. SEE DETAIL, SHEET C101. SEE PLANTING NOTES SHEET C301.
- RESTORE DISTURBED AREA TO MATCH EXISTING LANDSCAPING. PROTECT EXISTING CONCRETE LANDING AT DOOR. PROTECT EXISTING AREA DRAIN.
- RIM = 171.22
- MATCH EXISTING TOP OF WALL ELEVATIONS. 9. EXISTING VEGETATED STORMWATER BASIN.

GBD Architects, Incorporated 1120 NW Couch St. Ste. 300 Portland, OR 97209 Tel. (503) 224-9656 gbdarchitects.com GBD © STAMP 72,311 PRELIMINAF 「天 」 OREGON EXPIRES 6-30-2022 Ε G CIVIL ENGINEERING LLC 503.349.1381 | WWW.VEGACIVIL.COM PROJECT TBPF PHASE III 7325 SW CHILDS RD PORTLAND, OR 97224 CLIENT PORTLAND TRAIL BLAZERS Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month. REVISIONS DATE MAY 19, 2021 PROJECT NUMBER 20086635

SCALE 1" = 10'

SHEET TITLE **GRADING/PAVING** & ESC PLAN

C20

GENERAL NOTES

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL CONSTRUCTION WITH OWNER AND OWNER'S FACILITIES DEPARTMENT. CONTRACTOR TO PROVIDE OWNER WITH AN ACCESS PLAN THAT FACILITATES 24 HOUR EMERGENCY, VEHICLE, AND PEDESTRIAN ACCESS.

WORK SHALL CONFORM WITH THE CITY OF TUALATIN STANDARDS, CLEANWATER SERVICES, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM PLUMBING CODE (UPC). IT IS CONTRACTOR'S RESPONSIBILITY TO ENSURE WORK IS PERFORMED IN COMPLIANCE WITH LOCAL CODE AND REGULATIONS.

THE CONTRACTOR SHALL PROVIDE ALL WORK ILLUSTRATED ON THE DRAWINGS AND ALL INCIDENTAL WORK CONSIDERED NECESSARY TO COMPLETE THE PROJECT IN A MANNER ACCEPTABLE TO THE OWNER INCLUDING MITIGATING CONFLICTS WITH EXISTING UTILITIES, CONNECTING EXISTING UTILITIES TO PROPOSED FACILITIES, AND FIELD VERIFYING EXISTING UTILITIES.

THE CONTRACTOR SHALL KEEP AN APPROVED AND UPDATED SET OF DRAWINGS ON THE PROJECT SITE AT ALL TIMES. THE CONTRACTOR SHALL KEEP A SET OF PLANS MARKED UP WITH AS-BUILD CONDITIONS AND CHANGES FOR FUTURE AS-BUILT RECORD DRAWINGS.

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER, CITY, AND UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS. THE ENGINEER MAKES NO GUARANTEE, OR WARRANTY, THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, WHETHER ACTIVE OR ABANDONED. THE CONTRACTOR IS RESPONSIBLE TO POT-HOLE AND VERIFY CRITICAL UTILITY CROSSINGS AND CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IN A TIMELY MANNER IF CONFLICTS ARISE. CONTRACTOR ASSUMES ALL RISK AND SCHEDULE DELAYS IF THE CONTRACTOR DOES NOT POT-HOLE PRIOR TO CONSTRUCTION AND COORDINATE WITH ENGINEER.

THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS-DAY HOURS PRIOR TO EXCAVATING, BORING, OR POTHOLING. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OF ALIGNMENT CONFLICTS.

THE CONTRACTOR SHALL EXPOSE AND VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL CONNECT AND/OR MATCH EXISTING UTILITIES AND PROPOSED IMPROVEMENTS IN CONFORMANCE WITH THE INTENT OF THESE PLANS TO PROVIDE COMPLETE AND FULLY OPERATIONAL SYSTEMS.

PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THESE DRAWINGS, SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AS INCIDENTAL TO THE CONTRACT.

GENERAL SITE PREPARATION:

CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL UNSUITABLE MATERIAL, DEBRIS, EXISTING PAVEMENT, AND ORGANIC MATERIAL WITHIN THE PROJECT LIMITS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.

PRIOR TO BEGINNING CONSTRUCTION, ALL AREAS OF THE SITE THAT WILL RECEIVE FOUNDATIONS, STRUCTURAL FILL, FLOOR SLABS, OR PAVEMENT SHOULD BE STRIPPED OF TOP SOIL, ROOTS, UNSUITABLE FILLS, I.E. EXCAVATED TO NON-ORGANIC NATIVE UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.

COMPACTION REQUIREMENTS:

ON-SITE FILL = 95% MIN. (ASTM D 698) MAX. LIFT 8"

GRANULAR FILL = 95% MIN. (ASTM D 698) MAX. LIFT 12"

TRENCH BACKFILL = 95% MIN. (ASTM 698) RECYCLED MATERIAL FILL = 95% MIN. (ASTM D 698)

TOP 6" OF FLOOR SLAB SUBGRADE = 98% MIN. (ASTM D 698)

ALL EXCESS MATERIAL INCLUDING BOULDERS SHALL BE HAULED OFF SITE UNLESS AGREED TO BY OWNER AND COORDINATED WITH ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE TO HAUL OFF TO LEGAL DUMP SITE AND OBTAIN ALL NECESSARY PERMITS.

EXCAVATOR SHALL PLACE TOPSOIL AND ROUGH GRADE IN PLANTERS AND LANDSCAPING AREAS.

PLANTING AND MAINTENANCE PLAN

ALL WORK SHALL BE IN CONFORMANCE WITH APPENDIX A OF CLEAN WATER SERVICES STANDARDS AND SPECIFICATIONS AND ANY APPLICABLE PERMITS ISSUED BY CLEAN WATER SERVICES AND/OR CITY OF TUALATIN. PLANT NAMES INDICATED COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURE NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO NAME AND LEGIBLY TAGGED.

- 1. PROVIDE QUANTITY OF PLANT MATERIAL AS NOTED ON PLANT SCHEDULE.
- 2. MEASUREMENTS, CALIPER, BRANCHING, GRADING QUALITY, BALLING AND BURLAPPING SHALL FOLLOW THE AMERICAN STANDARD OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- 3. PLANT MATERIAL AND LOCATIONS SHALL BE INSPECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH CWS STANDARDS. PLANT MATERIAL TO BE INSTALLED WITH IDENTIFICATION TAGS IN ACCORDANCE WITH CWS STANDARDS.
- 4. MAINTENANCE IS TO INCLUDE REGULAR VISITS BY THE OWNER OR OWNER'S REPRESENTATIVE AT LEAST MONTHLY TO THE PROJECT SITE FOR THE PURPOSE OF WEEDING, SUPPLEMENTAL WATERING, AND OTHER ITEMS NECESSARY TO MAINTAIN PLANTED AREAS IN A HEALTHY CONDITION FOR TWO YEARS FROM THE COMPLETION OF THE PROJECT. WEEDING IS THE CONSIST ONLY OF CLEARED AND MULCHED AREAS MAINTAINED AROUND EACH WOODY PLANT, AND REMOVAL OF EXOTIC SPECIES SUCH AS BLACKBERRIES, SCOT'S BROOM, OR OTHERS.
- CONTRACTOR SHALL INSTALL AN APPROVED TEMPORARY IRRIGATION SYSTEM IN STORMWATER FACILITY AREAS TO WATER THE PLANT MATERIAL AS NECESSARY TO MAINTAIN THE PLANTS IN A THRIVING CONDITION. FACILITY WILL BE CHECKED BY OWNER OR OWNER'S REPRESENTATIVE TOW (2) TIMES A YEAR (JUNE 15 AND SEPTEMBER 30) FOR DEBRIS, RESTRICTION AND SEDIMENT. PROVIDE DOCUMENTATION TO THE OWNER AND CITY OF TUALATIN.
- OWNER WILL AMEND THE CURRENT PRIVATE STORMWATER MAINTENANCE AGREEMENT TO INCLUDE THE PROPOSED FLOW-THROUGH PLANTER IN ORDER TO ENSURE THE MAINTENANCE PRACTICES FOR THE FACILITY TO CONTINUE TO MEET DESIGN STANDARDS.
- 7. NO TREE, SHRUB, HERBACEOUS PLANT, OR SEEDED AREAS WITHIN THE STORMWATER FACILITY AREAS, SHALL RECEIVE FERTILIZER.
- 8. THE FACILITIES SHALL BE DEEMED ACCEPTABLE TO BEGIN THE MAINTENANCE PERIOD WHEN PLANT GROWTH AND DENSITY MATCHES THE ENGINEERS DESIGN AS SHOWN ON THE APPROVED PLANS AND ALL OTHER REQUIREMENTS HAVE BEEN MET. THE ENGINEER MUST CERTIFY THE FACILITY TO BE FUNCTIONAL IN ACCORDANCE WITH THE APPROVED PLAN DESIGN TO BEGIN THE 2 YEAR MAINTENANCE PERIOD.

STORM SEWER

STORM SEWER PIPE AND PERFORATED PIPE SHALL BE PVC 3034 SDR35, OR APPROVED EQUAL. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TUALATIN STANDARD SPECIFICATIONS.

ADJUST MANHOLES, CLEAN OUT AND AREA DRAIN RIMS TO FINISH GRADE. ALL RAIN DRAIN PIPING INSTALLED WITHIN 5.0 FEET OF A BUILDING TO BE SCHEDULE 40 PVC-D.W.V PIPING OR APPROVED EQUAL.

STORMWATER FACILITY NOTES

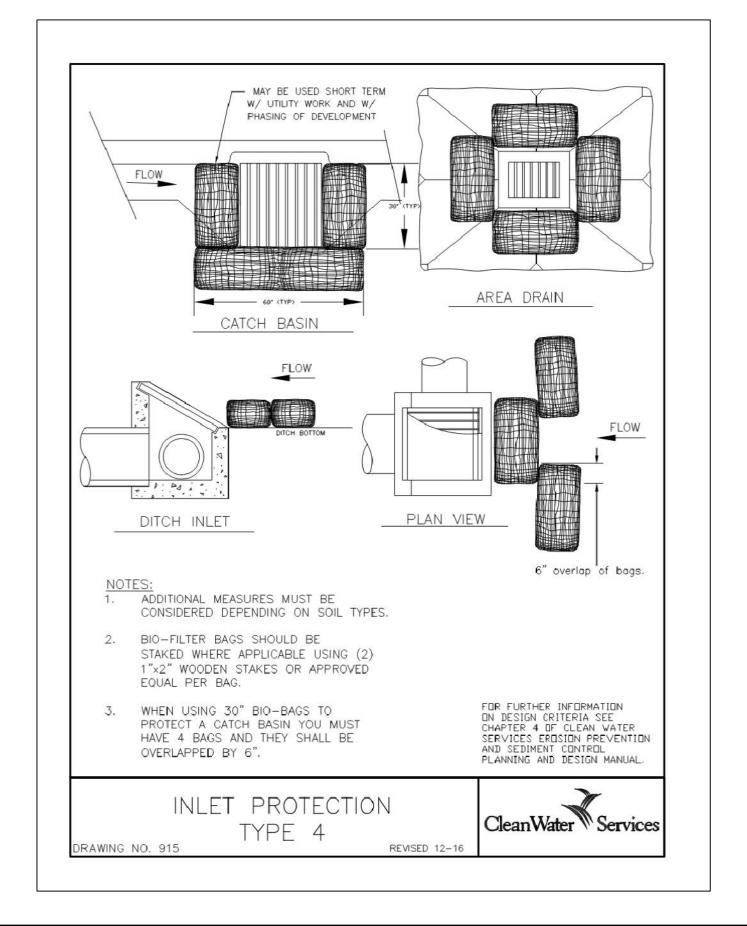
AMENDED TOPSOIL IN STORMWATER FACILITIES SHALL BE COMPOSED OF 1 PART ORGANIC COMPOST, 1 PART GRAVELLY SAND AND 1 PART PLANTING TOPSOIL.

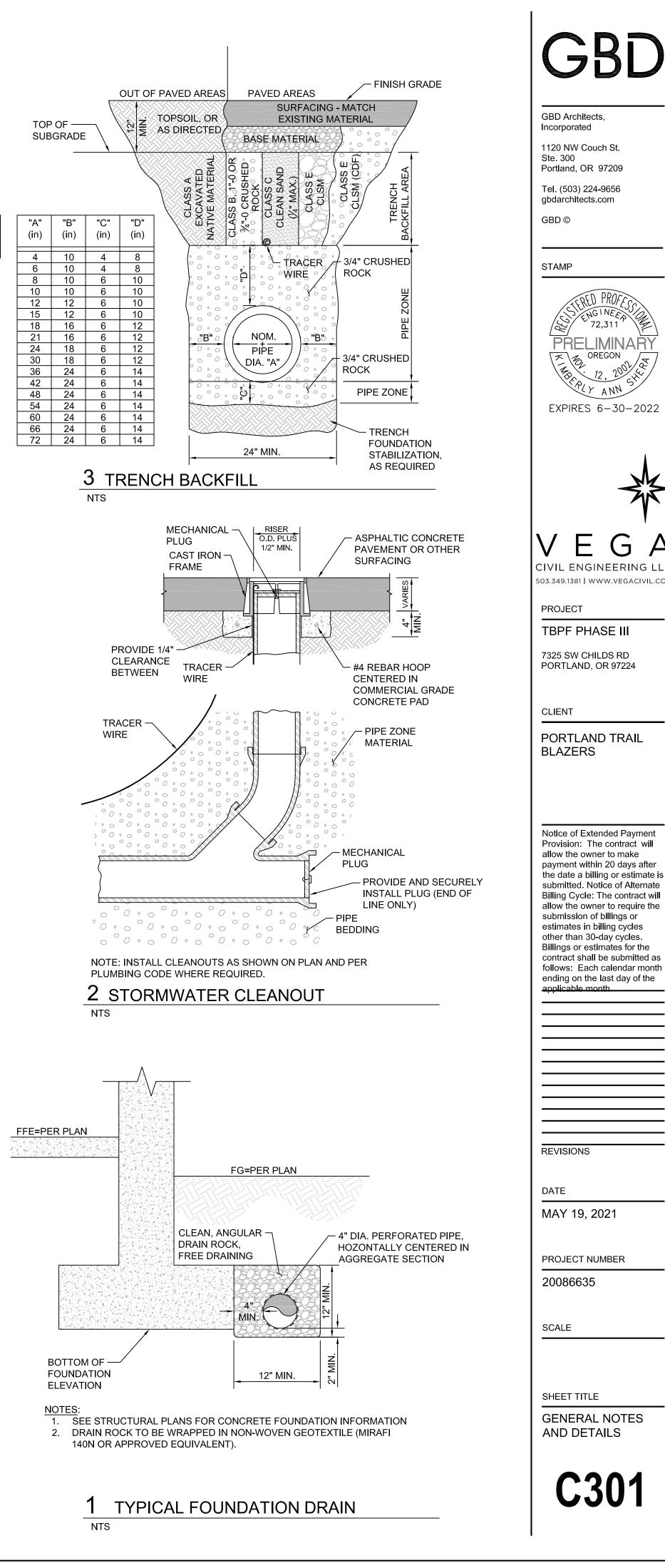
MISC. UTILITIES

ELECTRICAL, TELEPHONE, GAS, AND TV SERVICE SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY. COORDINATE LOCATION WITH OWNER AND ENGINEER.

CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY TO ENSURE THE ADJUSTMENT OR RELOCATION OF EXISTING PEDESTALS AND UTILITY PADS TO MATCH FUTURE GRADES.

DIAME	ETER	MIN. SPACE BETWEEN PIPES	
UP TC) 48"	24"	$\left[\left(\begin{array}{c} \left(\begin{array}{c} \left(\begin{array}{c} + \end{array} \right) \right) \right] \left(\begin{array}{c} + \end{array} \right) \right]$
UP TC) 72	ONE HALF (1/2) DIA. OF PIPE	





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WATER BASIN
BACKFILL SOIL MIX
REMOVE BURLAP-2"
PLANTING
TOP GOIL 2 TIMES SIZE OF ROOT BALL OR ROOT SYSTEM MIN.
TREE STAKING DETAIL

NO SCALE

TREES: T-AP ACER PALMATUM JAPANESE MAPLE T-ARS ACER RUBRUM FRANKSRED II RED SUNSET RED MAPLE T-PY PRUNUS YEDOENSIS YOSHINO CHERRY T-OB OUERCUS BOREALIS NORTHERN RED OAK T-TFH THUJA PLICATA HOGAN HOGAN WESTERN RED CEDAR SHRUBS: AG ABELIA GRANDIFLORA GLOSSY ABELIA AUC ARBUTUS UNEDO COMPACT COMPACT STRAMBERRY MADRONE GS GAULTHERIA SHALLON SALAL ICCL ILEX CRENATA CONVEXLEAF CONVEXLEAF JAPANESE HOLLY NDGS NANDINA DOMESTICA GULF STREAM GULF STREAM NANDINA PJVV PIERIS JAPONICA VALLEY VALENTINE VALLEY VALENTINE JAPANESE PIERIS PMP PINUS MUGO PUMILIO SHRUBDY (DWARF) SWISS MOUNTAIN PINE RED RHODOPENDRON BLUE DIAMOND BLUE DIAMOND RHODOPENDRON RU RHODO JEAN MARIE DE MONTAGUE RED RHODOPENDRON BLUE DIAMOND RU RHODO JEAN MARIE DE MONTAGUE RED RHODOPENDRON PURPLE SPLENDOR PURPLE STLENDOR RHODOPENDRON RU RHODO JEAN MARIE DE MONTAGUE NIGUE RHODOPENDRON PURPLE SPLENDOR PURPLE SPLENDOR RHODOPENDRON RU RHODOPENDRON VIGUE UNIQUE RHODOPENDRON RU RHODOPENDRON UNIQUE UNIQUE RHODOPENDRON RU RHODOPENDRON UNIQUE UNIQUE RHODOPENDRON RU VACUID VIEURNUM GROUND COVERS: G-HC HYPERICUM CALYCINUM AARCONSBEARD ST. JOHNSMORT G-VMR VINCA MINOR ROYAL ROBE ROYAL ROBE COMMON PERINGHERININKLE (VINCA	CODE	SCIENTIFIC NAME/COMMON NAME
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AARONSBEARD ST. JOHNSWORT G-VMR VINCA MINOR ROYAL ROBE	GROUND	COVERS:
	б-нс	
	G-VMR	

R EXISTING CONIFEROUS EVERGREEN TREE TO REMAIN EXISTING DECIDUOUS TREE TO REMAIN CONIFEROUS EVERGREEN PROVIDED UNTER THIS CONTRACT DECIDUOUS TREE PROVIDED UNDER THIS CONTACT FIRELANE GRASS PAVER SYSTEM AREA FH . FIRE HYDRANT FM D FIRELANE MARKER BLO BOLLARD LIGHT PL O. POLE LIGHT a SIGN TES: NC

I. PLANT GROUND COVERS AT 18 INCH ON CENTER EXCEPT AS OTHERWISE NOTED

* G-VM to GVMR per Add # 1. LIOZ. 1

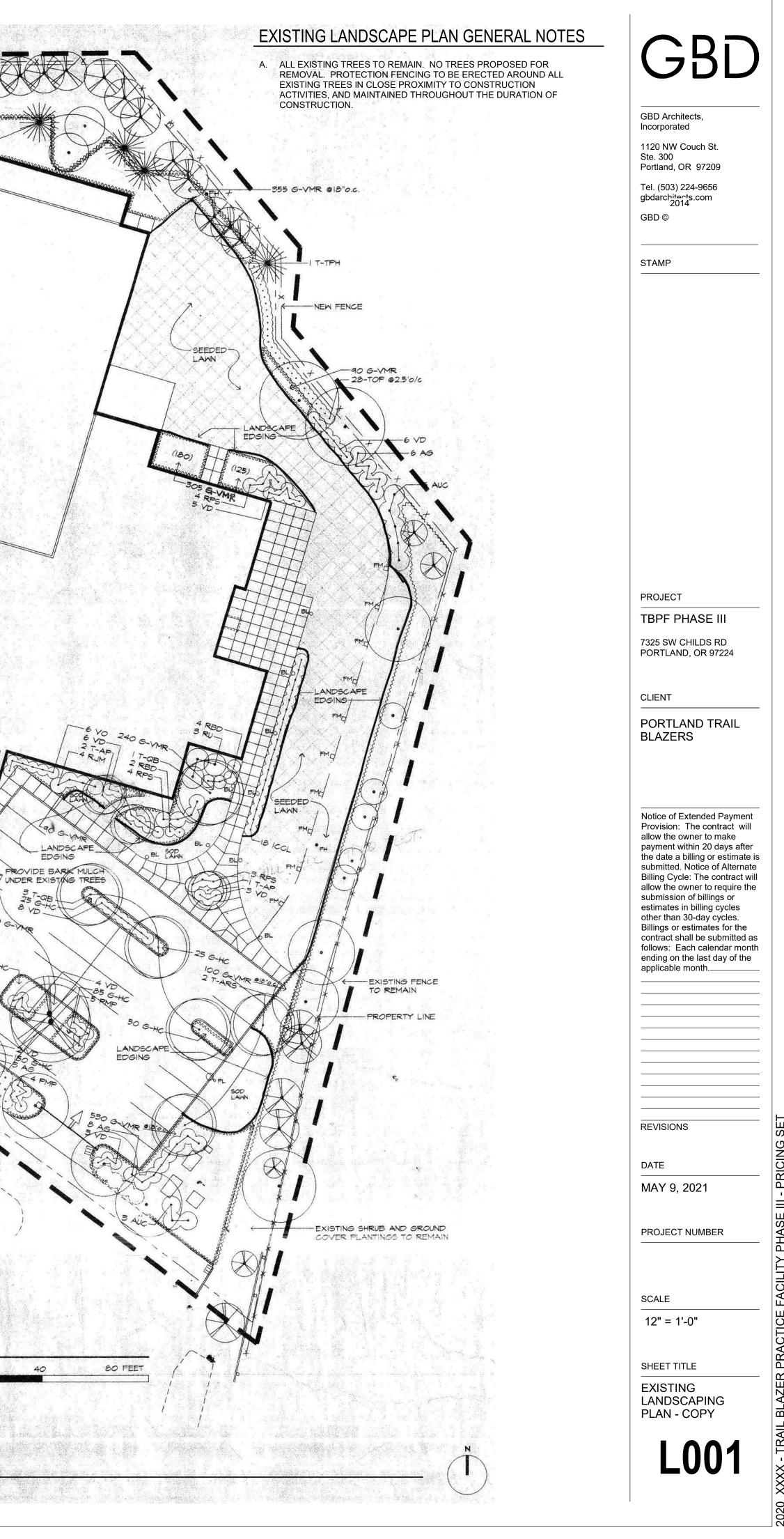


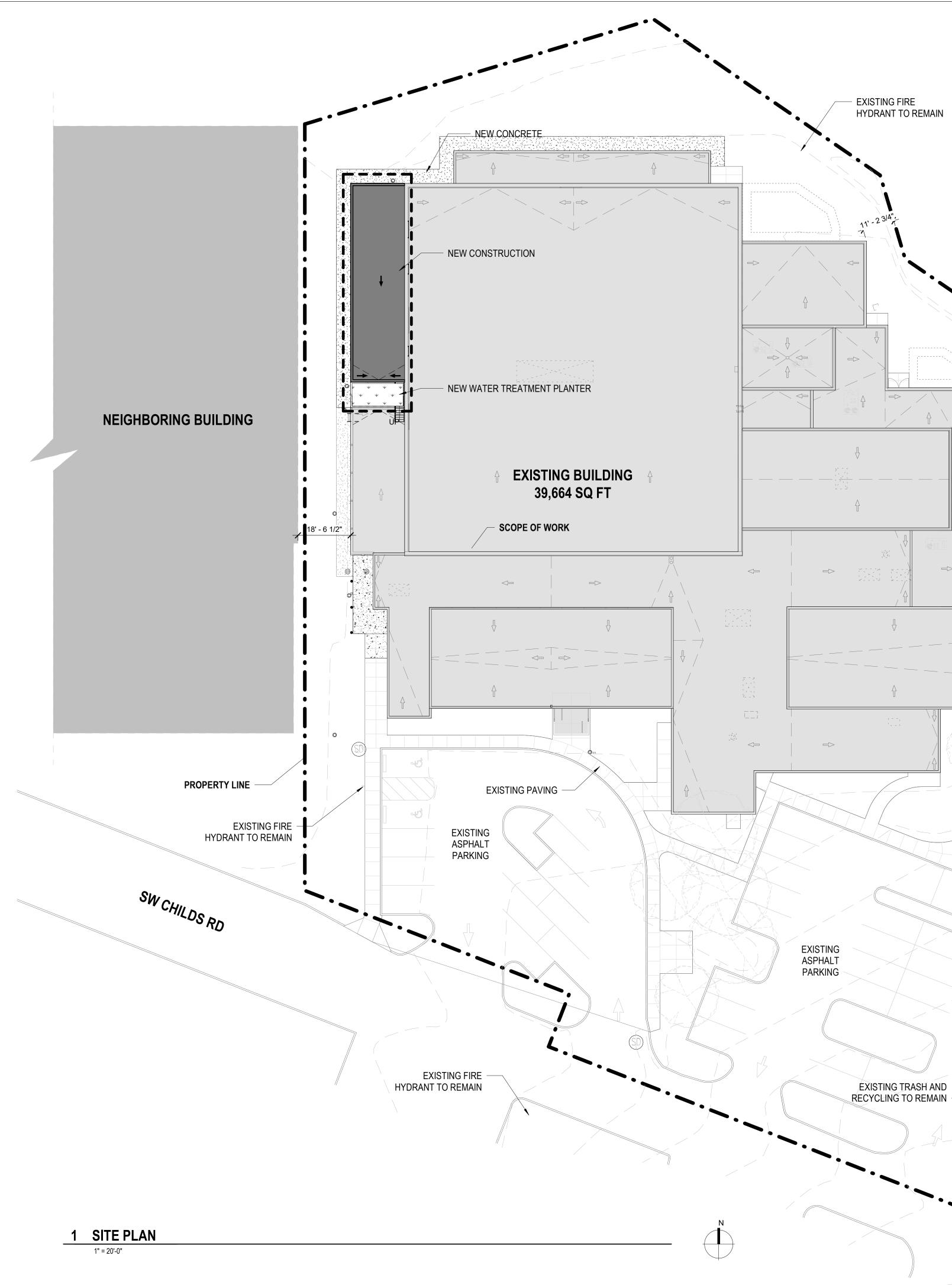
COVERED BICYCLE PROVIDE BARK MULCH AT ---CLEARED AREA ADJACENT TO NEW SIDEWALK SEE SHEET LIOI SELECTIVE SITE CLEARING PLAN

KEY

PLANTING PLAN

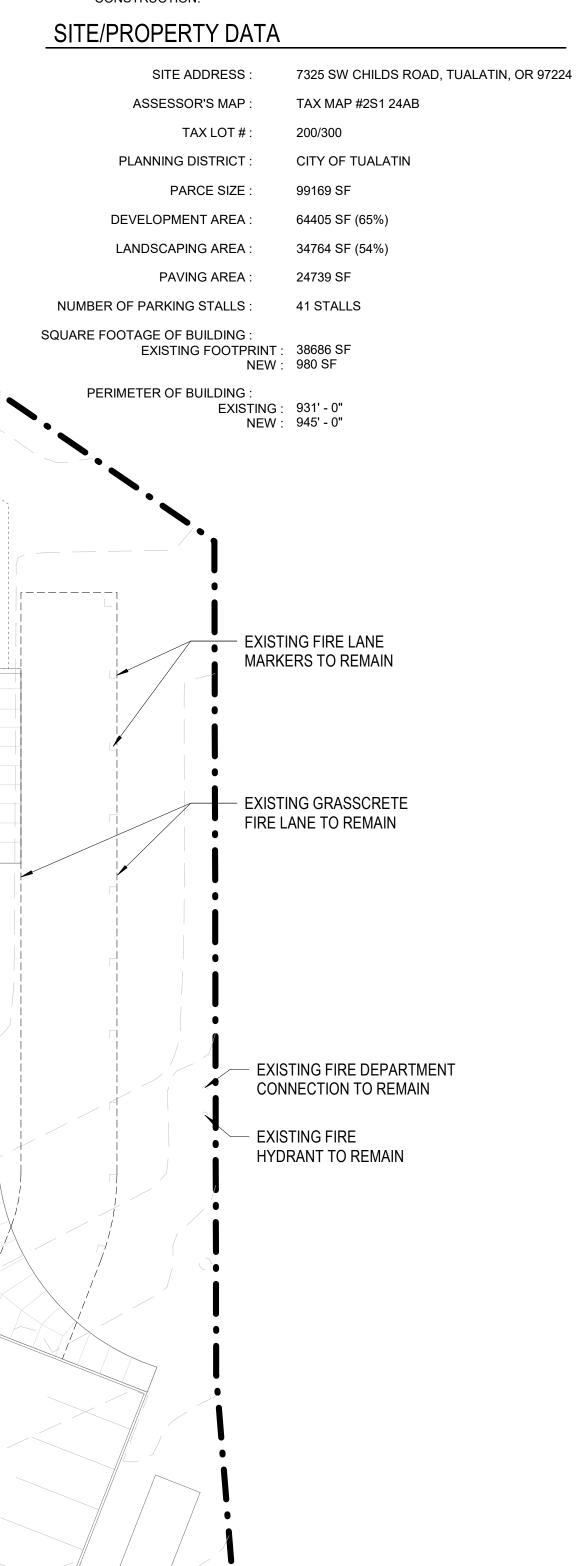
0 10 20 40 GRAPHIC SCALE





SITE PLAN GENERAL NOTES

- A. EXISTING SITE CONTOURS SHOWN ARE APPROXIMATELY LOCATID BASED ON REVIEW OF ORIGINAL AS-BUILT DRAWINGS. NO CURRENT SURVEY HAS BEEN DONE. FIELD VERIFY ALL SITE CONTOUR/GRADING CHANGES.
- EXISTING TREES TO BE RETAINED SHALL BE FENCED AROUND THE DRIP LINE WITH CHAIN LINK OR OF STURDY FENCING DURING CONSTRUCTION.



• EXISTING BACKFLOW PREVENTER TO REMAIN

> EXISTING WATER METER ASSEMBLY TO REMAIN

- EXISTING BACK FLOW ASSEMBLY TO REMAIN

- EXISTING ELECTRICAL TRANSFORMER TO REMAIN



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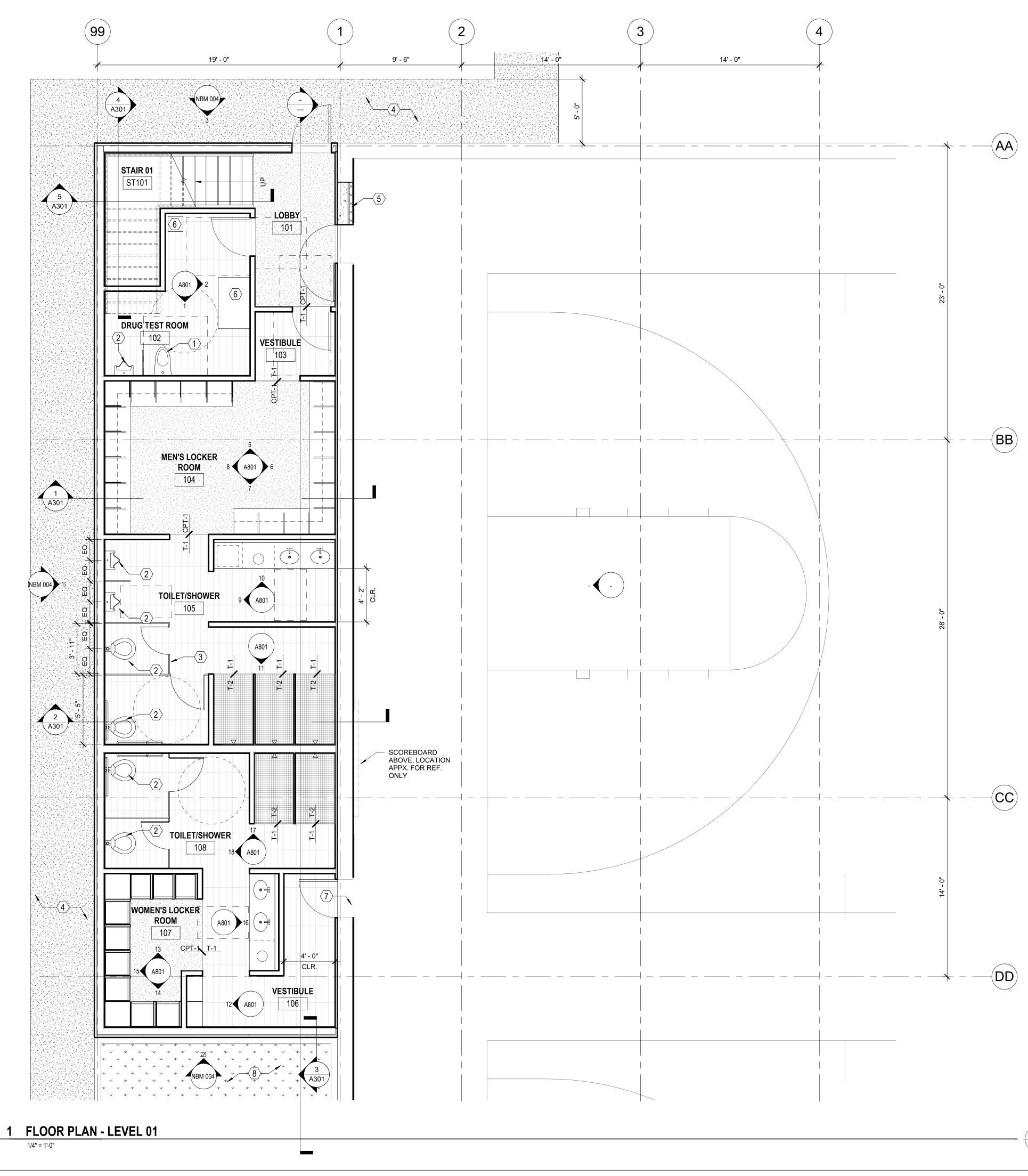
DATE MAY 9, 2021

PROJECT NUMBER

SCALE As indicated

SHEET TITLE SITE PLAN -ROOF PLAN





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GENERAL PLAN NOTES

- A. SEE SHEET G003 FOR FIRE RATED CONSTRUCTION LOCATIONS
- B. EXISTING BUILDING GRID DIMENSIONS FOR REFERENCE ONLY GC TO VERY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- C. SEE SHEET G010 FOR FINISHES

PLAN REFERENCE NOTES

- $\langle 1 \rangle$ NEW WALL MOUNT, TANKLESS TOILET WITH TOTO AUTO FLUSH VALVE
- $\langle 2 \rangle$ NEW WALL MOUNT URINAL WITH TOTO AUTO FLUSH VALVE
- $\langle 3 \rangle$ SOLID PHENOLIC PARTITIONS (SPL-1)
- $\langle \overline{4} \rangle$ NEW CONCRETE SIDEWALK
- 5 REPLACE EXISTING DOUBLE DOOR WITH NEW FRAME AND SALVAGED DOOR AND HARDWARE. MATCH EXISTING MATS AND FINISHES ON GYM SIDE OF WALL.
- $\langle 6 \rangle$ OWNER PROVIDED TABLE AND STOOL
- NEW OPEING IN EXISTING TILT UP WALL VERIFY SIZE AND LOCATION WITH STRUCTURAL ENGINEER - INSTALL NEW FRAME, SALVAGED DOOR, AND NEW HARDWARE. - PATCH AND REPLACE MATS AS REQUIRED
- $\langle 8 \rangle$ NEW WATER TREATMENT PLANTER SEE CIVIL MEMO



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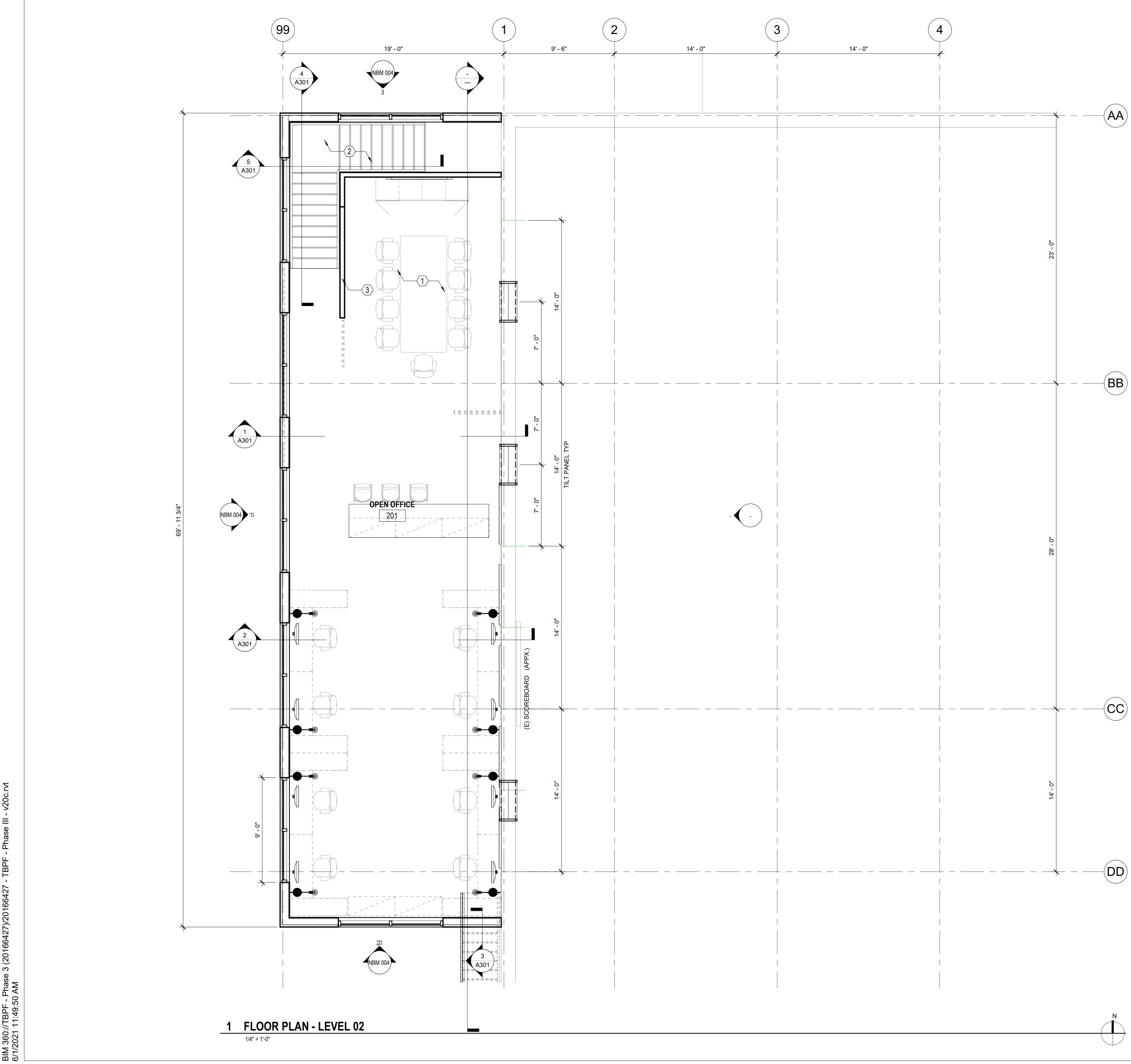
SCALE

As indicated

SHEET TITLE FLOOR PLAN -LEVEL 01



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- A. SEE SHEET G003 FOR FIRE RATED CONSTRUCTION LOCATIONS
- EXISTING BUILDING GRID DIMENSIONS FOR REFERENCE ONLY GC TO VERY EXISTING CONDITIOINS PRIOR TO CONSTRUCTION.
- C. SEE G010 FOR FINISHES

PLAN REFERENCE NOTES - LEVEL 2

- (1) ROUGH IN PLUMBING AND ELECTRICAL FOR FUTURE KITCHEN BREAK ROOM. (SINK, DISHWASHER, REFRIGERATOR, MICROWAVE x2, BELOW SINK WATER COOLER)
- $\langle 2 \rangle$ New Stair with Wall mounted handrails both sides provide slip resistant treads provide access hatch in room below
- $\langle 3 \rangle$ NEW 42" TALL WALL PROVIDE STEEL POST SUPPORT AT UNSUPPORTED END OF WALL
- $\langle 4 \rangle$ provide power and data @ 4'-0" O.C. on wall at 18" off FFE



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FLOOR PLAN -LEVEL 02

As indicated

SCALE

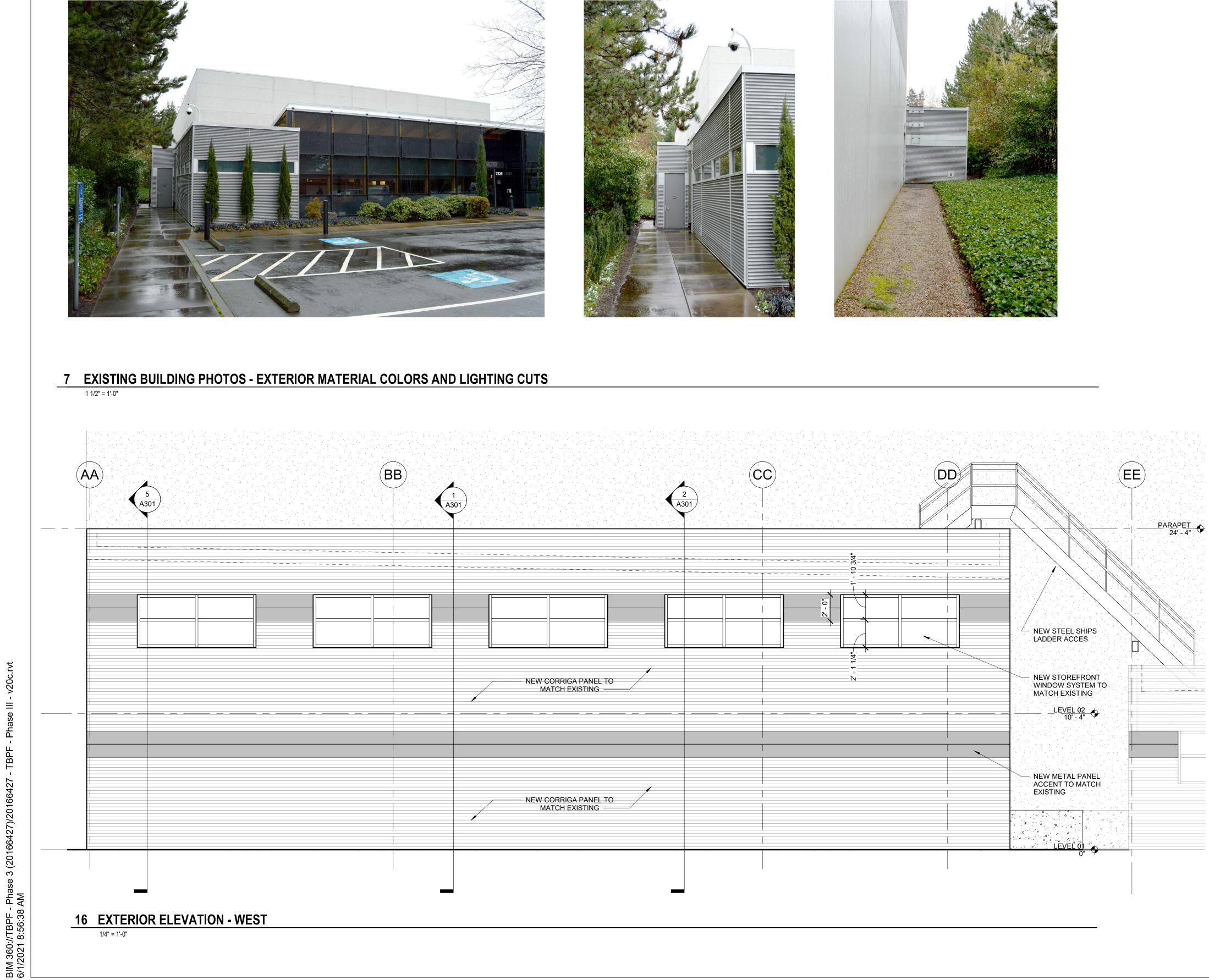
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SHEET TITLE



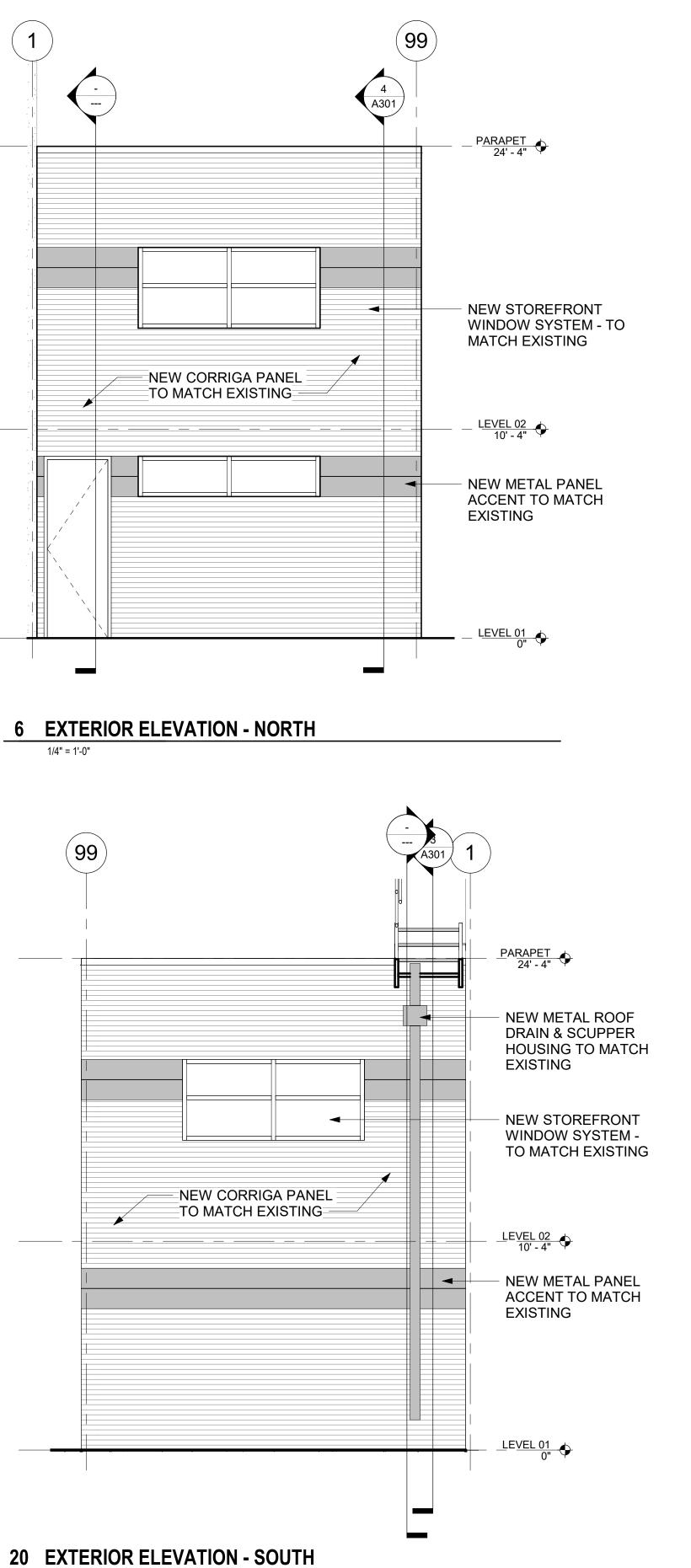
1. ROOFING: TPO, MECHANICALLY FASTENED 2. ALUM-FRAMED PUNCHED WINDOWS; MERCER WINDOWS (MERCER INDUSTRIES) 2.0 SERIES; CLEAR ANNODIZED FINISH

EXTERIOR MATERIALS & PRODUCTS LEGEND (NOTE: ALL FINISHES ARE TO MATCH EXISTING WHERE SAME/SIM COMPONENTS, U.N.O.)



GENERAL EXTERIOR ELEVATION NOTES

- A. UNO, ALL NEW EXTERIOR BUILDING MATERIALS TO MATCH EXISTING.
- B. MATCH EXISTING FINISH DETAILING WHEN INSTALLING NEW FINISHES
- C. WHEN EVER POSSIBLE, ALIGN NEW CURTAINWALL MULLIONS WITH EXISTING



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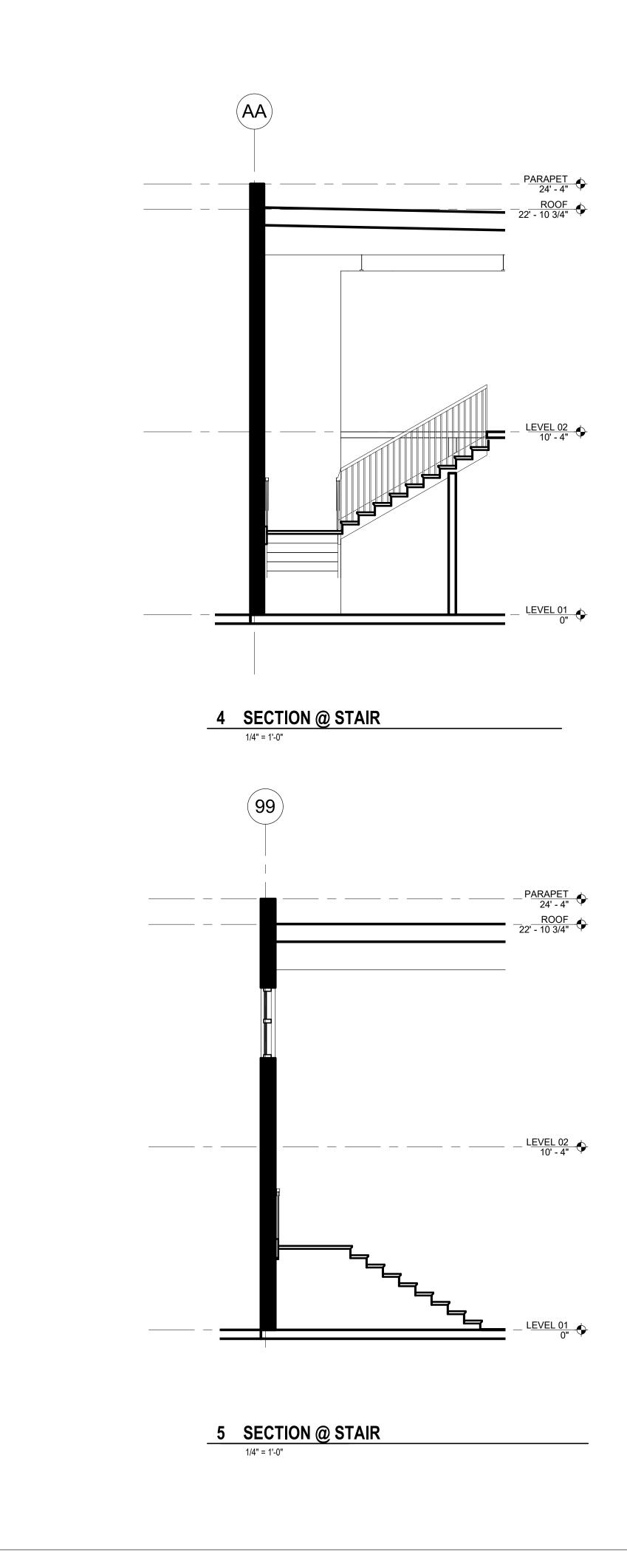
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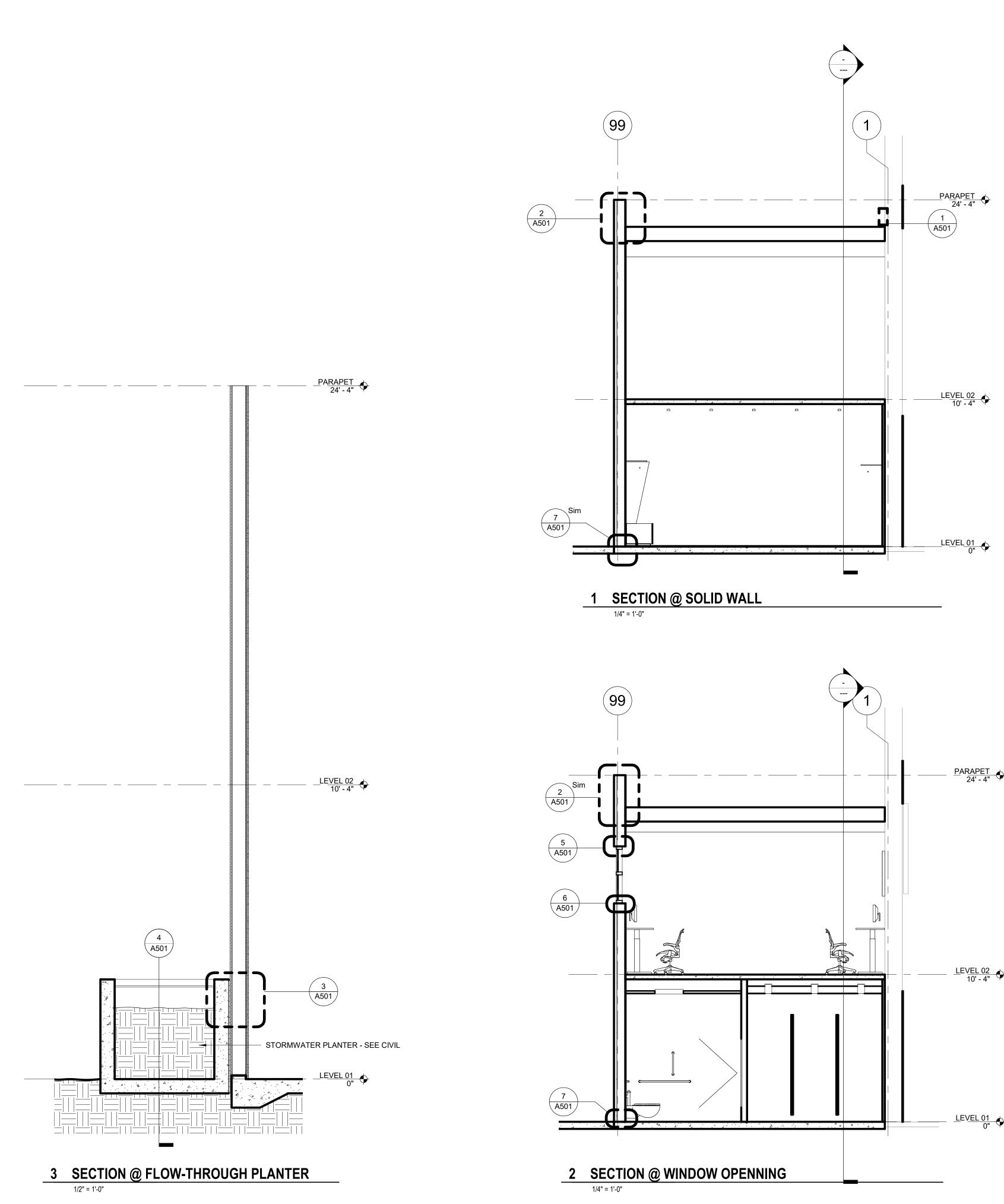
EXTERIOR ELEVATIONS

A20

1/4" = 1'-0"



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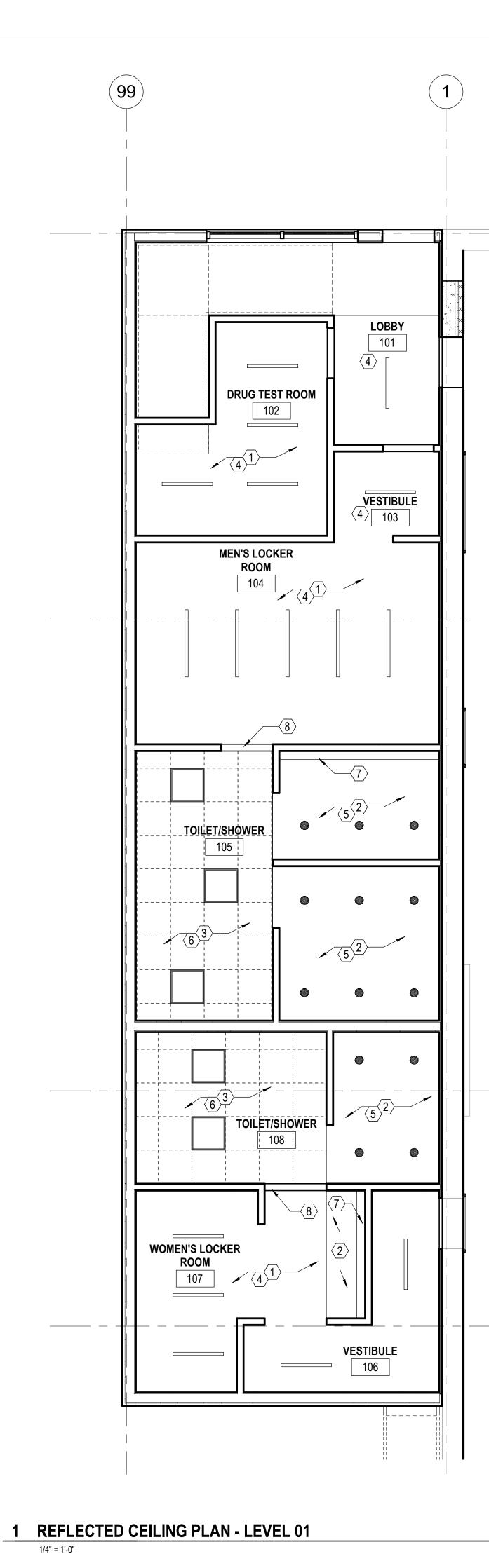
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PARAPET _____ LEVEL 02 10' - 4"







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GENERAL RCP NOTES

- A. SEE ENLARGED PLANS FOR MISSING ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE LIGHTING PLANS FOR LAYOUT AND FIXTURE TYPES VERIFY LAYOUT, ZONES, AND CONTROLS WTIH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- C. SEE SHEET GXXX FOR FIRE RATED CONSTRUCTION LOCATIONS

RCP REFERENCE NOTES

- $\langle 1 \rangle$ PROVIDE AND INSTALL EXPOSED HVAC SYSTEM
- $\langle 2 \rangle$ NEW GYPSUM CEILING
- $\langle 3 \rangle$ NEW ACT CEILING
- $\langle 4 \rangle$ NEW EXPOSED LED LIGHTING
- $\left< 5 \right>$ NEW LED CAN LIGHT WET RATED
- $\langle 6 \rangle$ NEW 2X2 LED LIGHTING
- $\langle 7 \rangle$ NEW LED LIGHT COVE
- $\langle 8 \rangle$ NEW GYP HEADER

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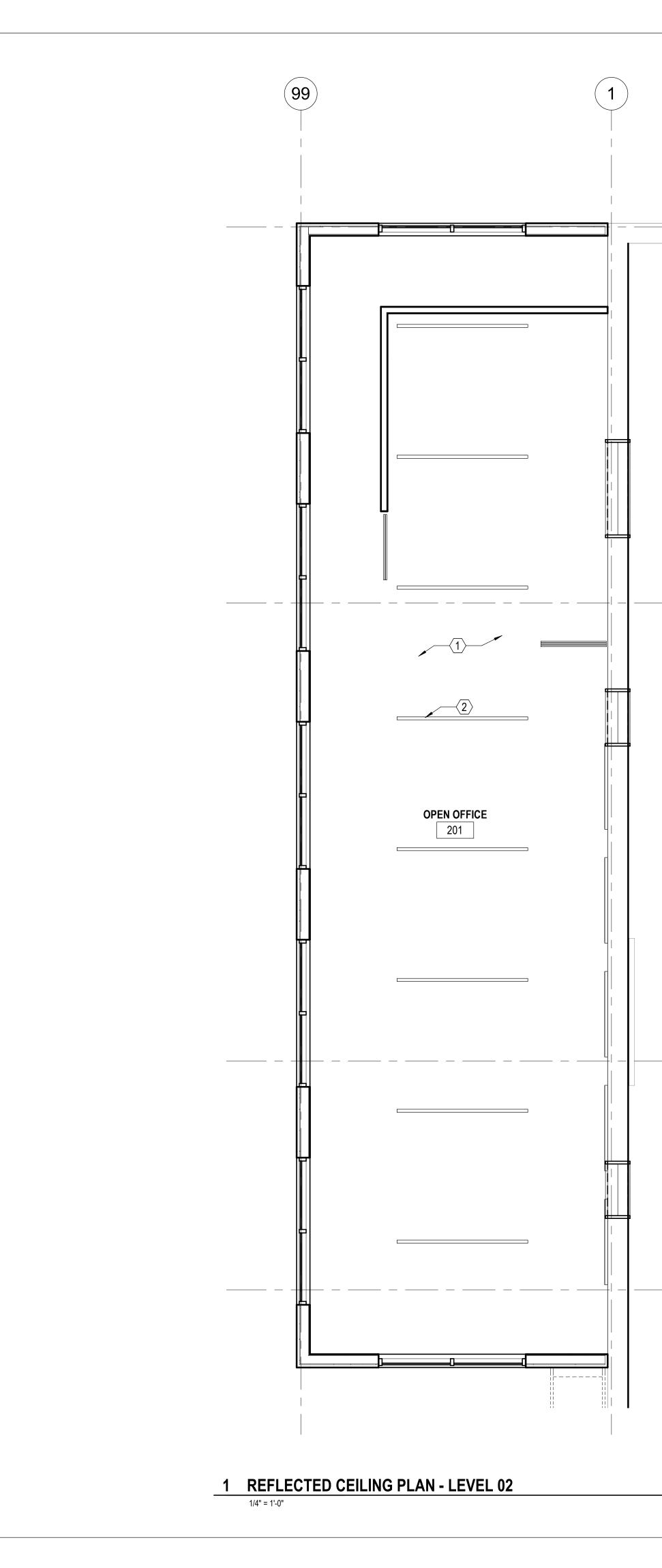
SHEET TITLE REFLECTED CEILING PLAN -

LEVEL 01



SE SE









GENERAL RCP 2 NOTES

- A. SEE ENLARGED PLANS FOR MISSING ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE LIGHTING PLANS FOR LAYOUT AND FIXTURE TYPES VERIFY LAYOUT, ZONES, AND CONTROLS WTIH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- C. SEE SHEET GXXX FOR FIRE RATED CONSTRUCTION LOCATIONS

RCP - LEVEL 2 - REFERENCE NOTES

- $\langle 1 \rangle$ provide and install exposed hvac system
- $\langle 2 \rangle$ New exposed Led Lighting



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SHEET TITLE REFLECTED CEILING PLAN -LEVEL 02

