

# GBD

## TRAIL BLAZERS PRACTICE FACILITY

### PHASE III

7325 SW CHILDS ROAD  
PORTLAND, OREGON 97224

PORTLAND TRAIL BLAZERS

#### DESIGN DOCUMENTS CHECK SET

10 MAY 2020

#### PROJECT TEAM

##### CLIENT / OWNER

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##### CONTRACTOR

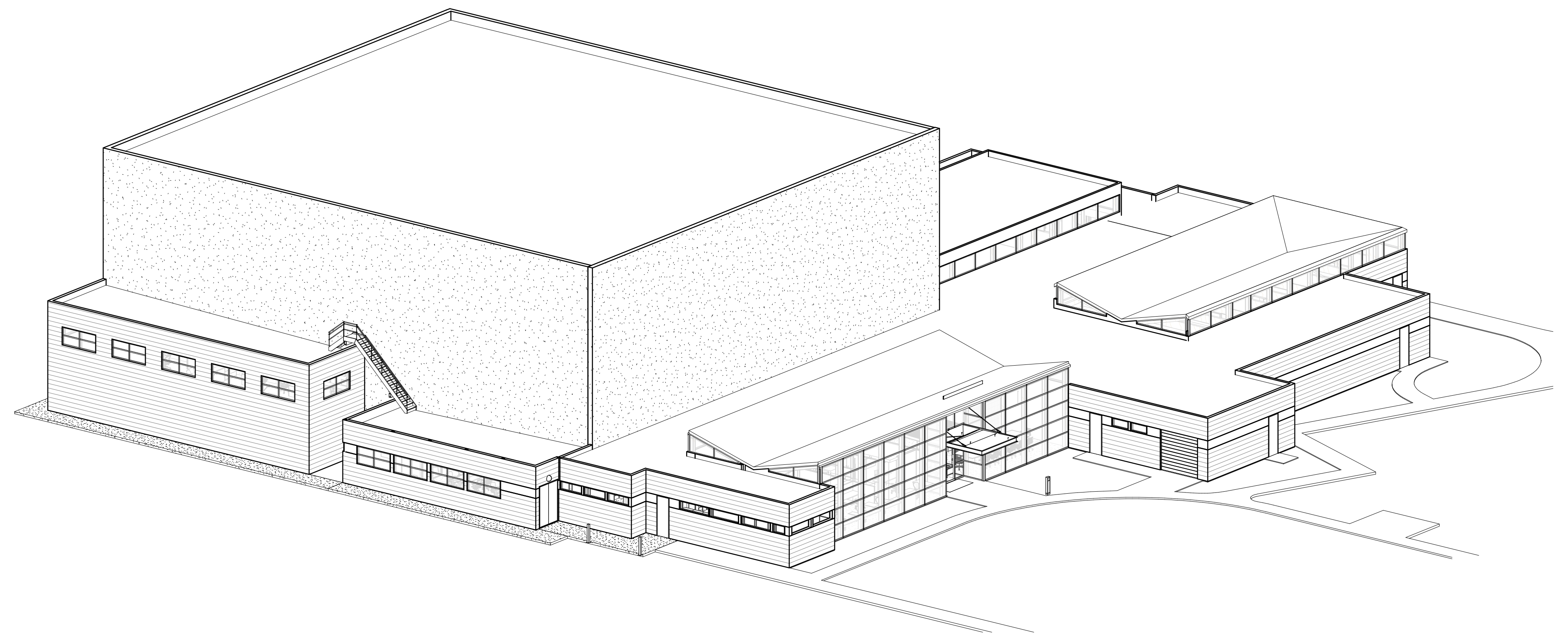
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**PORTLAND**  
TRAIL BLAZERS



Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO APPLICABLE BUILDING CODES AND ORDINANCES, AS MODIFIED FOR THIS BUILDING BY EXCEPTIONS ON ORIGINAL PERMIT CITY OF TUALATIN BUILDING PERMIT NO. 9867-98. IN CASE OF CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OF MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAW OR ORDINANCE SHALL GOVERN. NOTIFY ARCHITECT OF CONFLICTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR UNFAVORABLE CONDITIONS OR EVENT WHICH MIGHT HAVE BEEN UNFORSEEN FROM A THOROUGH EXAMINATIONS OF THE SITE. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE CONSEQUENCES OF ACTING ON CONCLUSIONS DRAWN FROM INFORMATION AVAILABLE AT THE TIME.
- NOTIFY THE ARCHITECT IN WRITING, OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- PROVIDE ALL LABOR, TRANSPORTATION, EQUIPMENT, AND SERVICES NECESSARY TO PERFORM WORK SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- EXIT AND EGRESS LIGHTING SYSTEM ARE TO BE INSTALLED TO MEET THE IBC AND PRESCRIPTIVE LIGHTING PATH (IBC 2010).
- MAINTAIN EXISTING BUILDING FIRE AND LIFE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO SPRINKLER SYSTEMS, SMOKE DETECTION SYSTEMS, SMOKE EVACUATION SYSTEMS, EXITING SYSTEMS AND EMERGENCY ANNUNCIATION SYSTEMS.
- REFER TO BUILDING CODE EXCEPTIONS ON RECORD WITH THE CITY OF TUALATIN FOR EXISTING AND FULL BUILDING VARIATIONS TO CODE REQUIREMENTS.
- THE DESIGN OF ALL SEISMIC BRACING AND SUPPORTS FOR CEILING MECHANICAL AND ELECTRICAL ITEMS AND PARTITIONS IS THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR/VENDOR TO MEET BUILDING CODE REQUIREMENTS.
- PROVIDE CEILING SPEAKERS AND FIRE STROBES FOR EMERGENCY ANNUNCIATION SYSTEM IN CONFORMANCE WITH REQUIREMENTS OF CITY OF TUALATIN FIRE MARSHALL.
- PROVIDE MINIMUM 4" BUILT WALL RETURN AT EDGE OF ALL NEW DOOR OPENINGS, TYPICAL.
- PAINT FULL EXTENT OF WALLS AT ALL LOCATIONS WHERE PATCH/REPAIR WORK HAS BEEN DONE.
- FOR ELEVATIONS ABOVE FINISH FLOOR OF WALL MOUNTED SPECIALTIES, SWITCHES, ELECTRICAL OUTLETS, ETC. SEE INTERIOR ELEVATIONS AND G002.
- FOR TYPICAL MOUNTING HEIGHTS OF TOILET FIXTURES, ACCESSORIES, AND OTHER EQUIPMENT SEE SHEET G002.
- FOR WALL TYPES SEE SHEET G002.
- FOR DOOR AND INTERIOR WINDOW FRAME TYPES MATCH EXISTING.
- INTERIOR PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- THIS BUILDING TO BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
- FINISHED FLOOR ELEVATION CHANGE AT EACH SIDE OF DOORS TO BE NO MORE THAN 1/2".
- NO MECHANICAL DUCT PENETRATIONS ARE PERMITTED (EXCEPT THOSE SERVING THE EXIT ENCLOSURE) THROUGH EXIT ENCLOSURE WALLS OR CEILING.
- PROVIDE FIRE RESISTANT CLOSURE MEETING THE REQUIREMENTS OF THE GOVERNING FIRE AUTHORITIES AT ALL GAPS AROUND PENETRATING DUCTS, PIPES, CONDUITS, STRUCTURAL ELEMENTS, ETC. AT ALL FIRE RATED BUILDING PARTITIONS AND CEILINGS.
- ROOM AND DOOR NUMBERS SHOWN ON DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY.
- CONTRACTOR SHALL COORDINATE ALL OWNER FURNISHED ITEMS AND PROVIDE ALL REQUIRED MECHANICAL AND ELECTRICAL CONNECTIONS INCLUDING STUB OUTS.
- ROOM FINISH PLAN SHALL NOT BE TAKEN AS COMPLETE SPECIFICATIONS FOR ALL INTERIOR ROOM MATERIALS. HOWEVER, IT SHALL BE BINDING TO THE EXTENT OF THE MATERIAL IT DOES SPECIFY. THE CONTRACTOR SHALL CHECK THE ROOM FINISH PLAN WITH SPECIFICATIONS AND DRAWINGS FOR OTHER MATERIALS NOT COVERED BY THE SCHEDULE.
- THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR ALL OPENINGS AND ROUGH-OUTS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS AND EQUIPMENT, AND SHALL VERIFY SIZE AND LOCATION BEFORE PROCEEDING WITH WORK.
- REFER TO SPECIFICATIONS FOR ACCESS DOORS AND CONSULT WITH MECHANICAL CONTRACTOR FOR EXACT LOCATIONS OF ACCESS REQUIRED BY THEIR WORK. ACCESS MUST BE PROVIDED FOR ALL CONCEALED VALVES, DAMPER CONTROLS, FIRE DAMPER LINKAGE, ELECTRICAL JUNCTION BOXES, ETC. OBTAIN ARCHITECT'S APPROVAL IN LOCATING ACCESS DOORS PRIOR TO INSTALLATION.
- SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND SYMBOLS.

## SHEET INDEX

G000	COVER SHEET
G001	ABBREVIATIONS & SYMBOLS
G002	SHEET INDEX & GENERAL INFORMATION
<b>CIVIL</b>	
C101	STORMWATER PLAN
C201	GRADING/PAVING AND ESC PLAN
C301	GENERAL NOTES AND DETAILS
<b>LANDSCAPE</b>	
L001	EXISTING LANDSCAPE PLANTING PLAN
<b>ARCHITECTURE</b>	
A090	SITE PLAN - ROOF PLAN
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A301	SECTIONS
A701	REFLECTED CEILING PLAN

## DEFERRED SUBMITTALS

THE FOLLOWING SYSTEMS ARE SUBJECT TO DEFERRED SUBMITTALS IN ACCORDANCE WITH IBC 107:

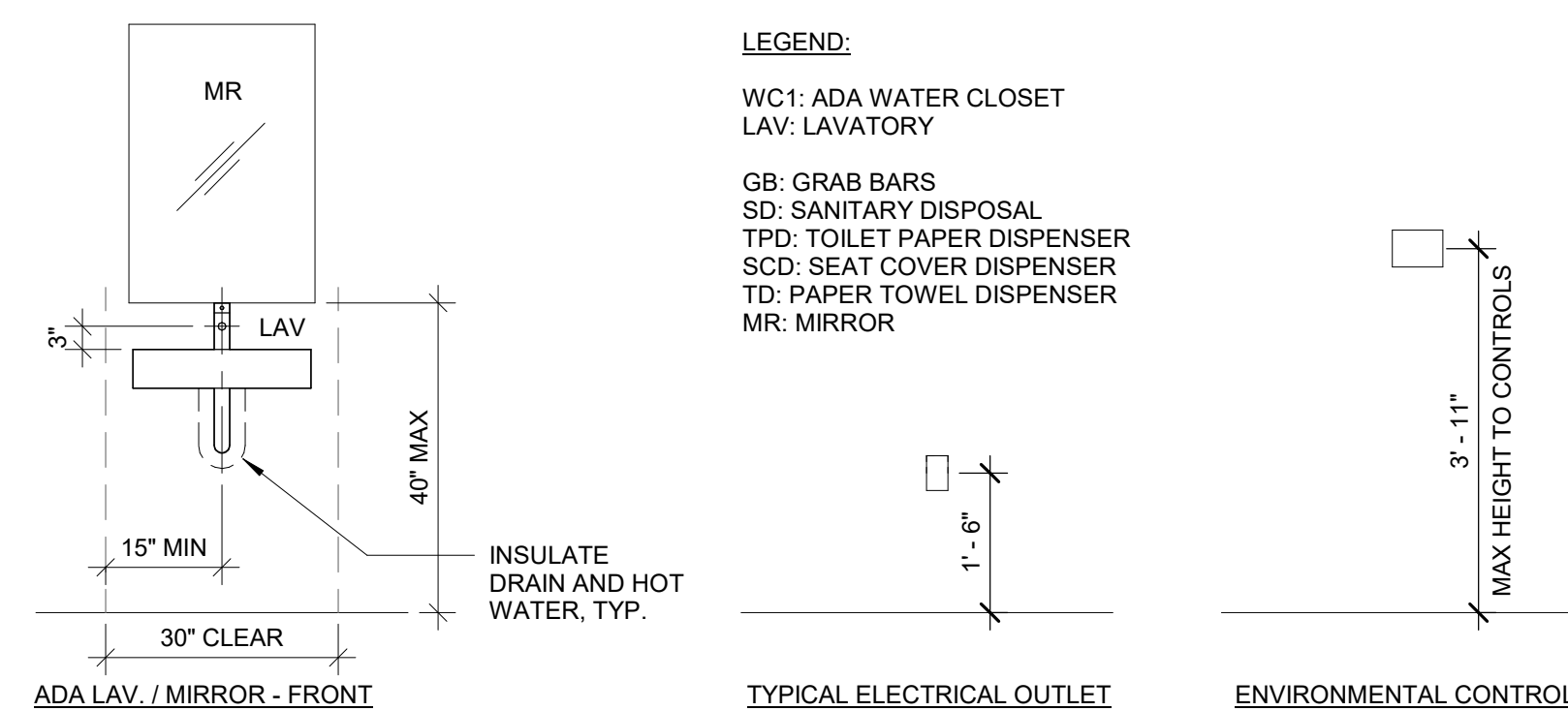
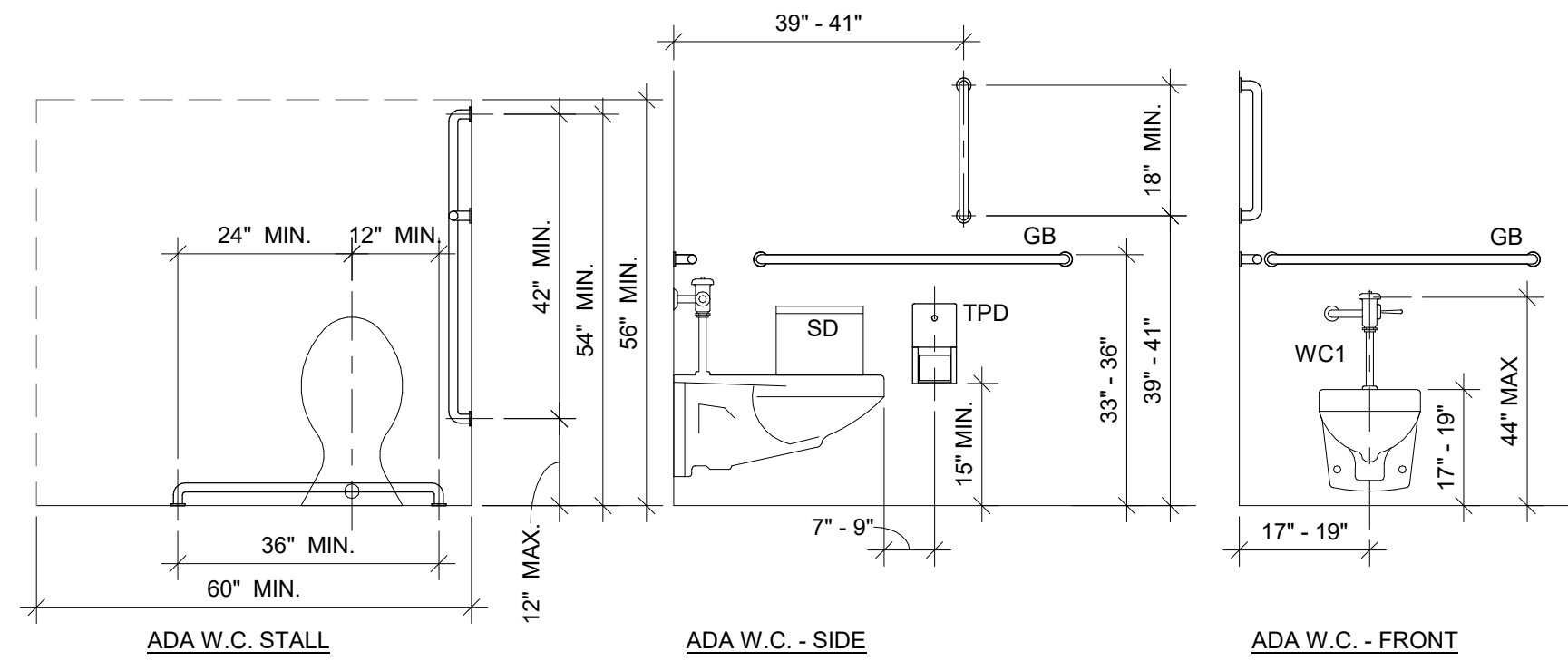
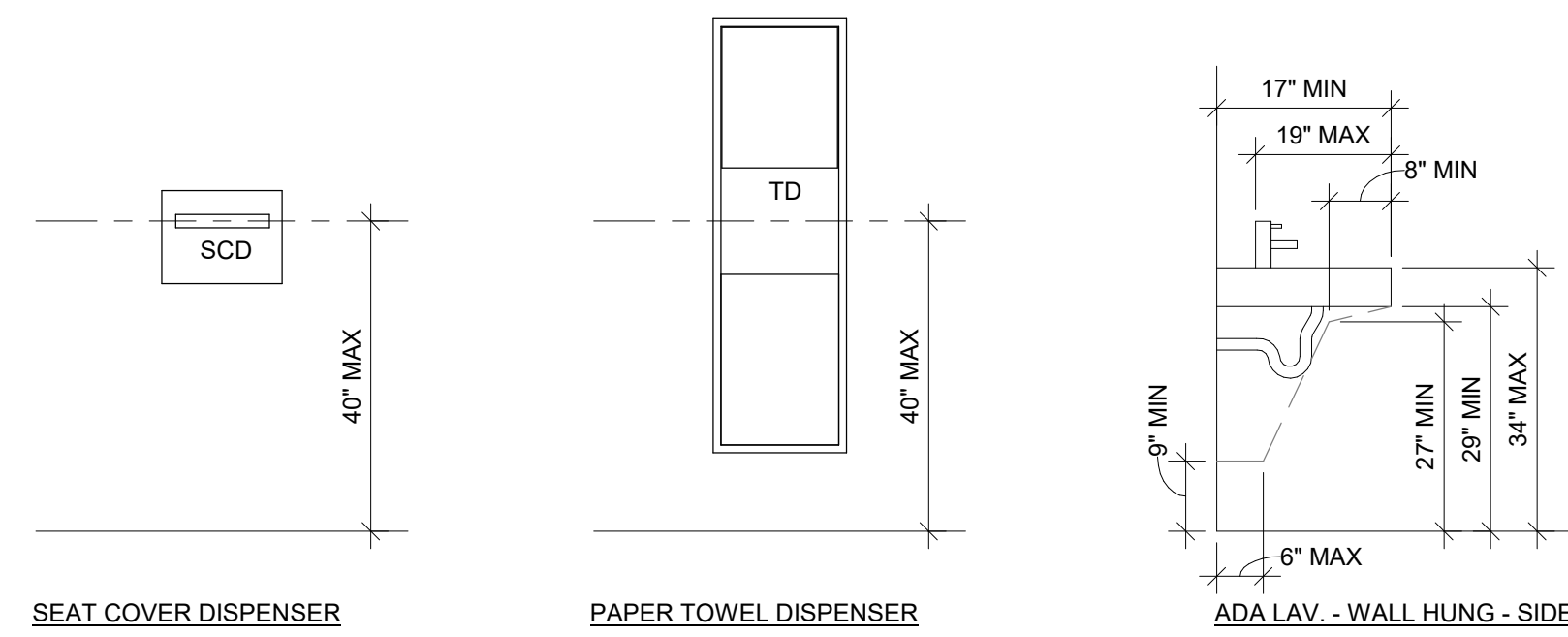
\* REFER TO SHEET S004 FOR A LIST OF STRUCTURAL DEFERRED SUBMITTALS

- HVAC EQUIPMENT
- FIRE SPRINKLERS
- FIRE ALARM SYSTEMS
- AUDIO VISUAL/LOW VOLTAGE
- SECURITY SYSTEMS

## JURISDICTIONAL REVIEWS

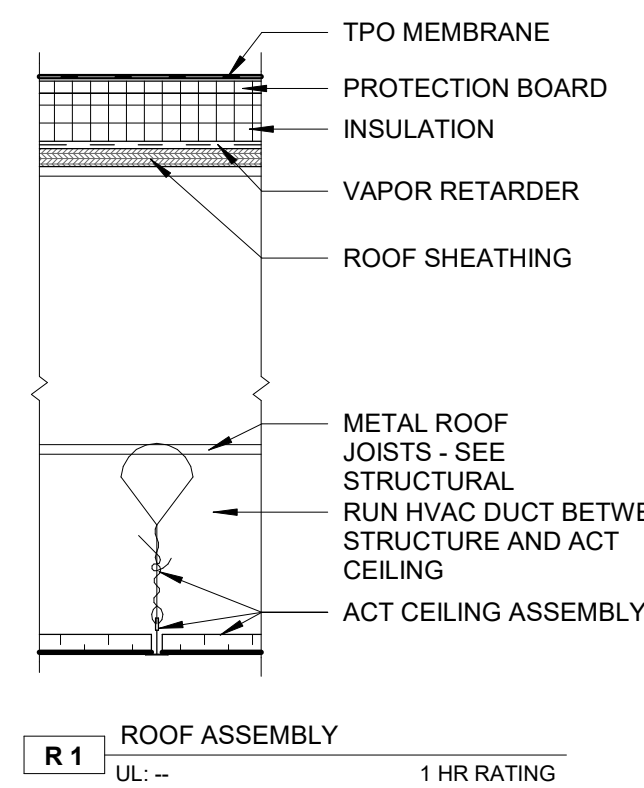
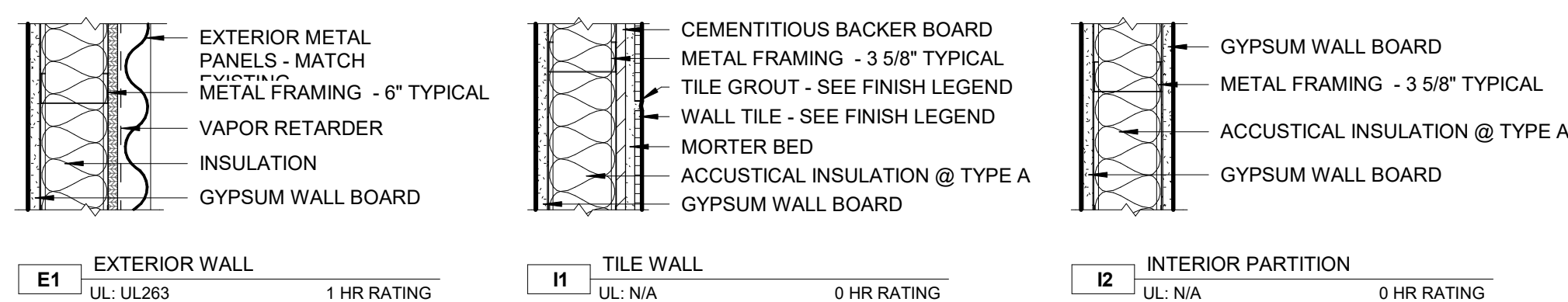
**CITY OF TUALATIN:**  
ARCHITECTURAL REVIEW #15-04 (PENDING)

**CLEAN WATER SERVICES/CITY OF TUALATIN:**  
WATER QUALITY PERMIT #WQ15-114 (PENDING)



## TYPICAL CONDITIONS

1/2" = 1'-0"



## 6 ROOF & WALL TYPES

1 1/2" = 1'-0"

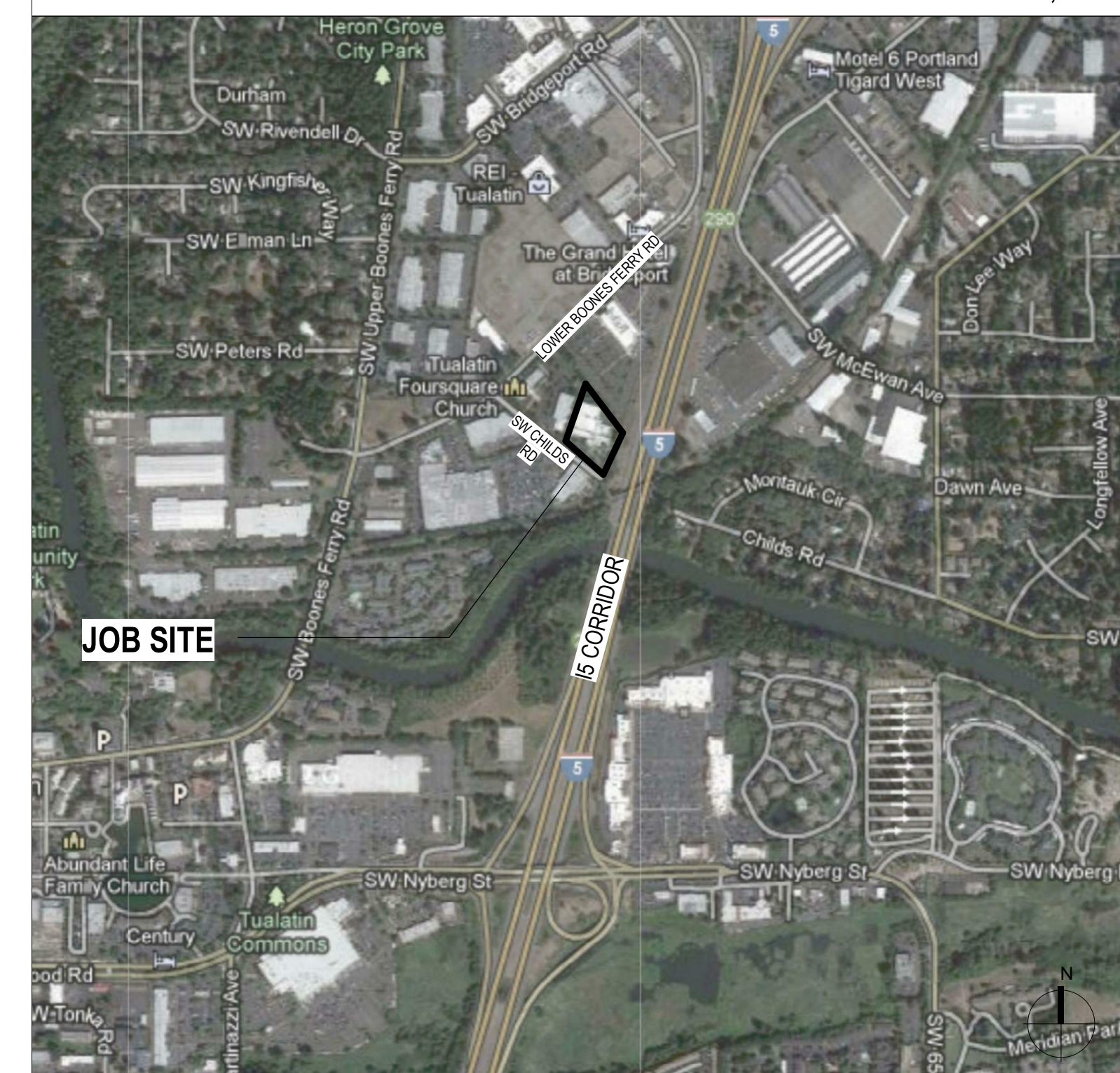
## DEMOLITION - GENERAL NOTES

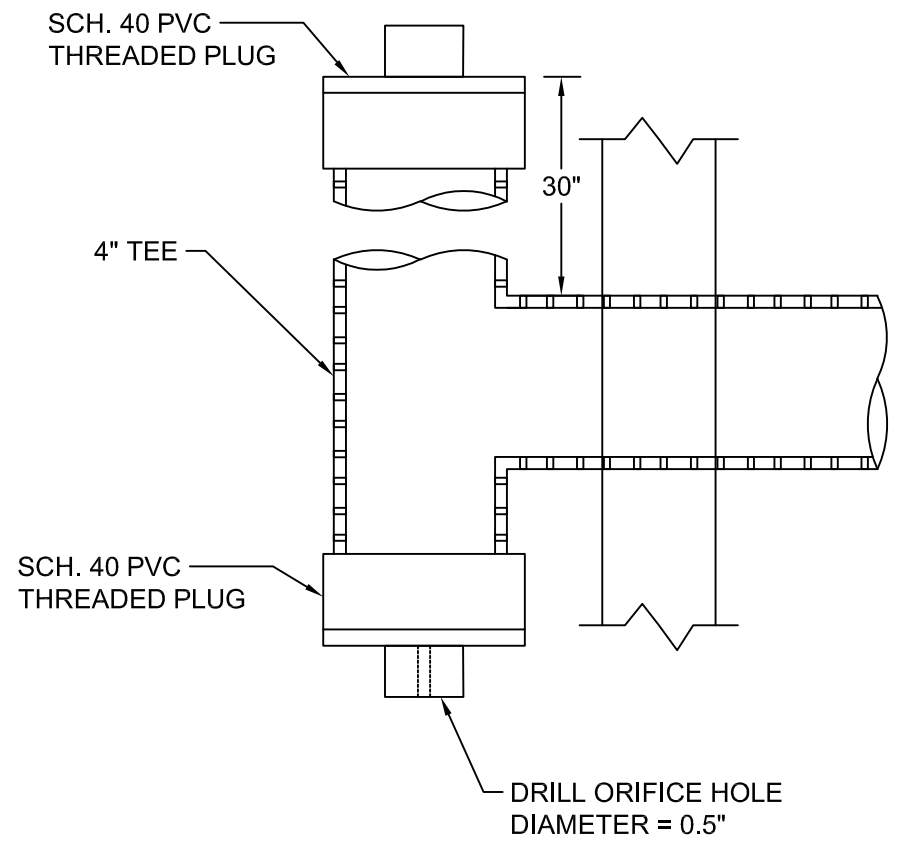
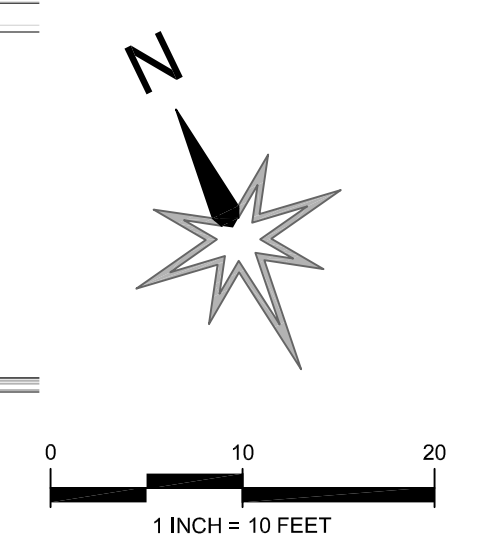
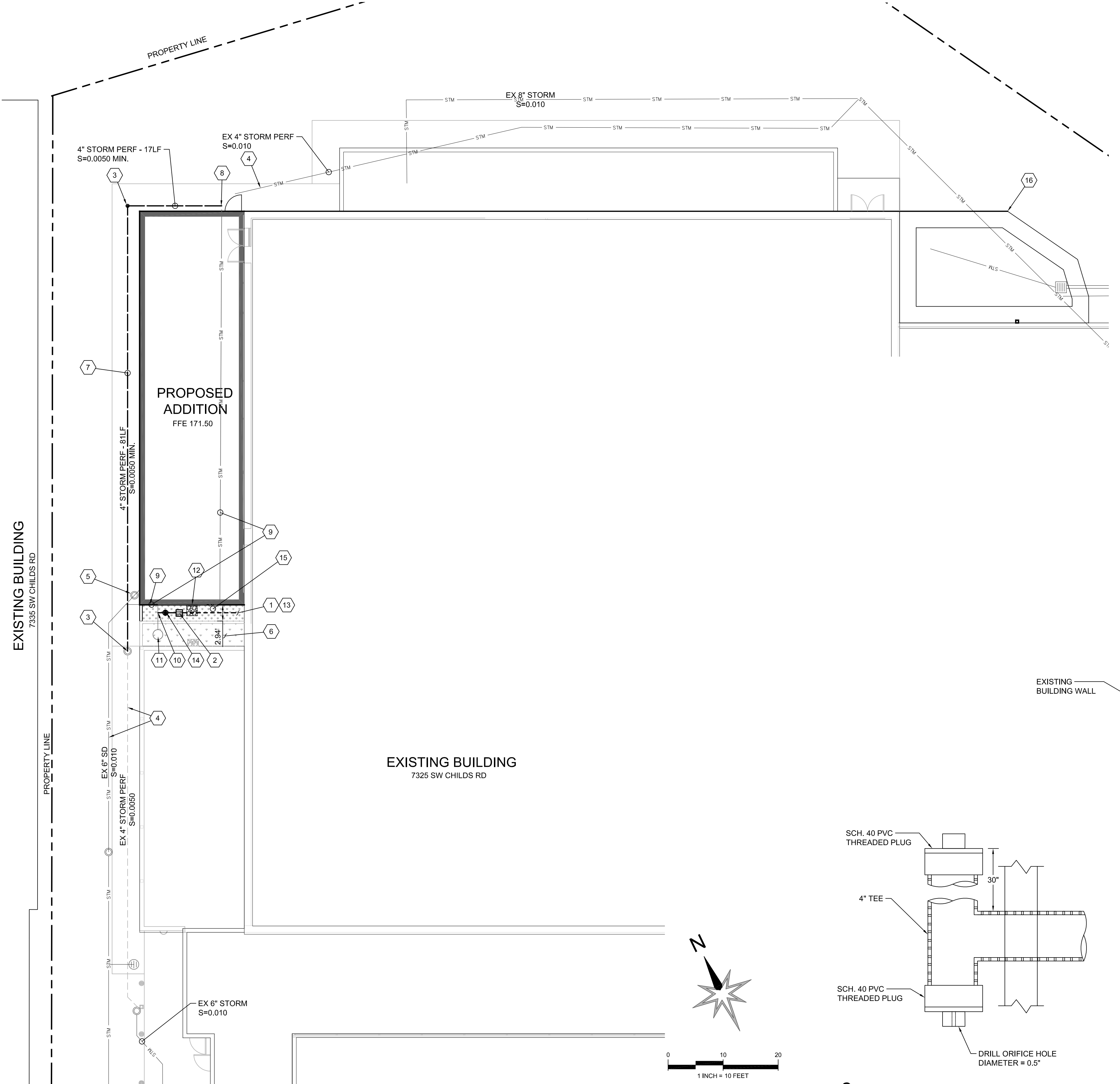
- EXISTING STRUCTURE TO BE LEFT UNDISTURBED AND INTACT, UNLESS NOTED OTHERWISE ON DRAWINGS. PERFORM NO DEMOLITION THAT MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- EXTREME CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL EXISTING AREAS FROM DAMAGES THAT MIGHT OCCUR DURING DEMOLITION. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL EXISTING AREAS TO REMAIN THAT HAVE BEEN DAMAGED DUE TO INADEQUATE PROTECTION.
- MAINTAIN 100% SPRINKLER COVERAGE, DURING DEMOLITION.
- SALVAGE/RECYCLE REMOVED MATERIALS, WHEREVER POSSIBLE. CONFIRM WITH OWNER REMOVED ITEMS PRIOR TO DEMOLISHING.
- IN ALL ROOMS BEING RENOVATED, REMOVE ALL EXISTING SIGNAGE, PICTURES, NAILS, HOOKS, EQUIPMENT, ETC., LEFT BEHIND FROM PRIOR ROOM USE, FROM ALL WALLS, DOORS, DOOR FRAMES, AND CEILING. SALVAGE FOR OWNERS POTENTIAL REUSE.

## CONSTRUCTION - GENERAL NOTES

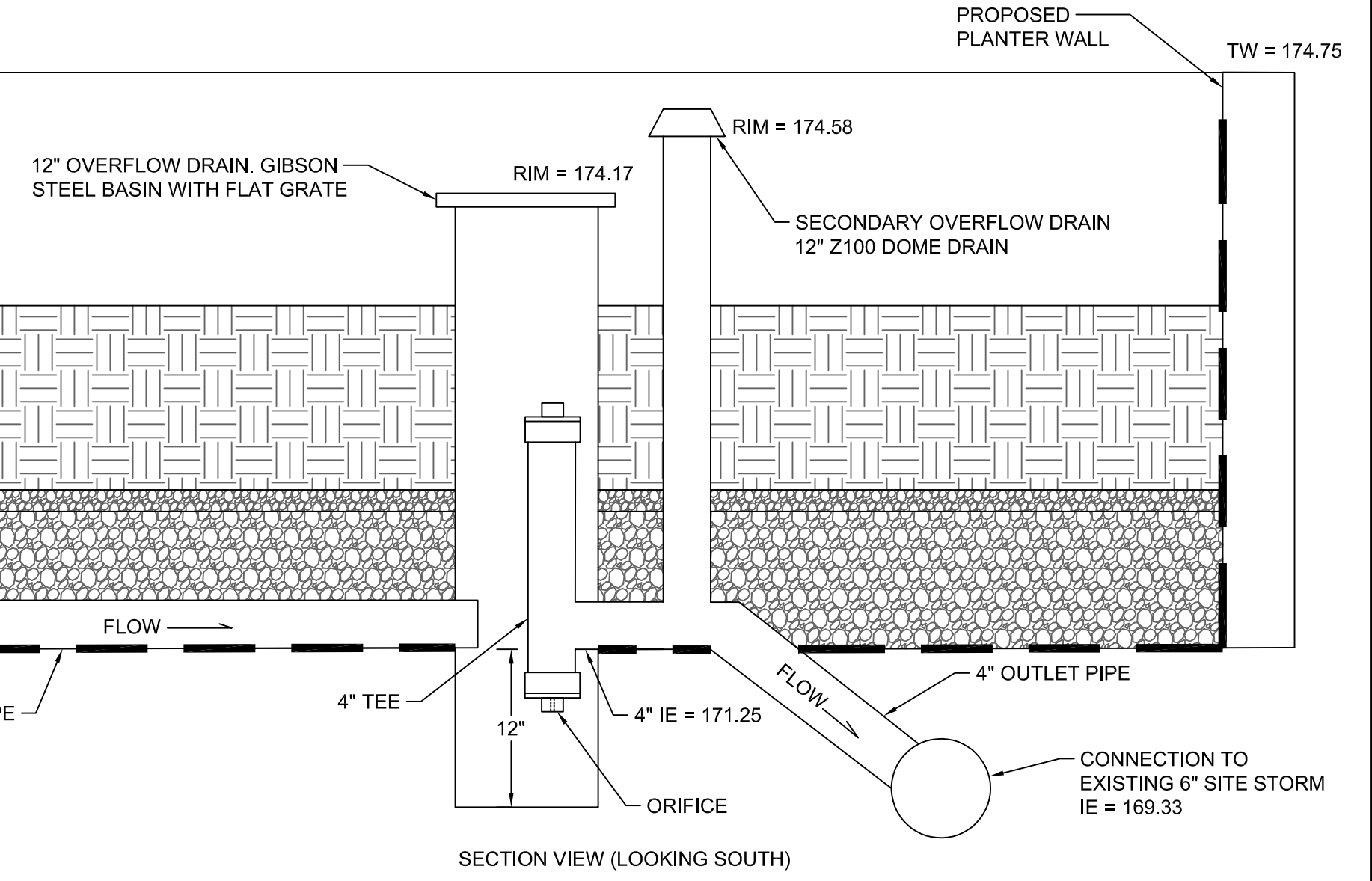
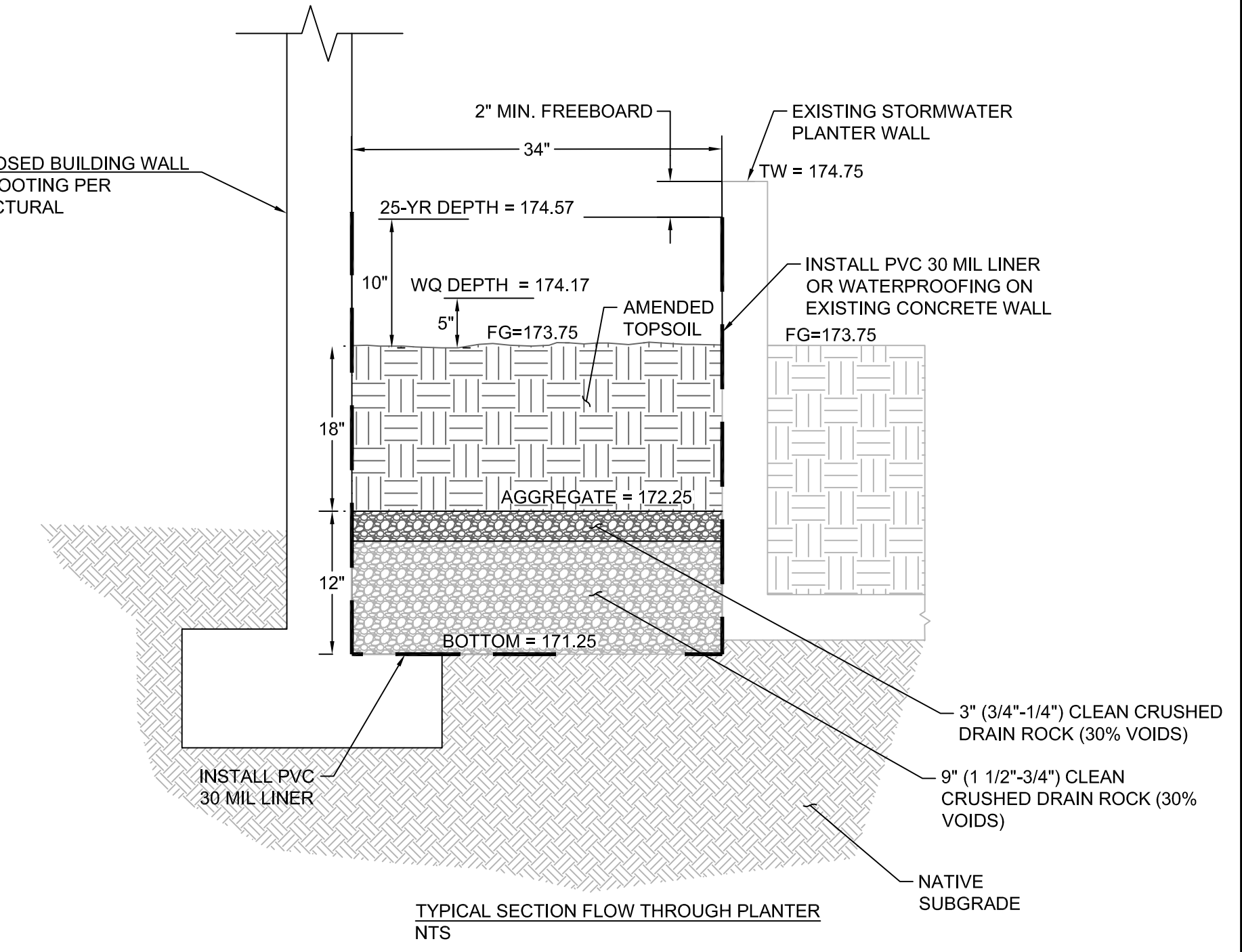
- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE ALL PARTITIONS TERMINATE AT UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED.
- THE CEILING SUSPENSION SYSTEM SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE IBC 2010 EDITION.
- EXTENSIONS AND REVISIONS TO FIRE PROTECTION SYSTEMS INDICATED ARE FOR INFORMATION ONLY. THESE SYSTEMS ARE SUB-CONTRACTOR DESIGN/BUILD. IT IS THE RESPONSIBILITY OF THE DESIGN/BUILD SUB-CONTRACTOR TO OBTAIN THESE PERMITS. CONTRACTORS SHALL VERIFY SIZES AND LOCATIONS OF ALL EQUIPMENT. BOTH EXISTING AND NEW. DESIGN SHALL BE PROVIDED TO ARCHITECT FOR REVIEW/APPROVAL PRIOR TO SUBMITTAL FOR PERMIT.
- MAINTAIN 100% SPRINKLER COVERAGE, DURING CONSTRUCTION.
- ALL WALLS, DOORS, FLOORS, CEILINGS WITHIN THE NOTED RENOVATION AREAS, ARE TO BE PATCHED, PLASTERED, SANDED AND PREPARED READY FOR THE NEW FINISH SPECIFIED.
- MODIFY AND PROVIDE NEW EXIT SIGNAGE, AND EMERGENCY EGRESS LIGHTING SYSTEM IN CONFORMANCE WITH CITY FIRE MARSHALL REQUIREMENTS.
- SEAL ALL PENETRATIONS THROUGH RATED FLOORS/WALLS/ WITH RATED ASSEMBLIES AS REQUIRED TO MAINTAIN THE INTEGRITY OF FLOOR/WALL ASSEMBLY RATING. SEE SHEET G003 FOR RATED CONSTRUCTION LOCATIONS/INFORMATION.

## VICINITY MAP





2 ORIFICE DETAIL  
NTS



NOTES

1. CONNECT PERFORATED PIPE TO OVERFLOW DRAIN AND INSTALL ORIFICE ON OUTLET PIPE PER DETAIL, THIS SHEET.
2. WATERPROOF LINER SHALL BE 30 MIL PVC, HDPE, OR EQUIVALENT. PROVIDE WATERTIGHT PIPE, BOOT, AND CLAMP AS RECOMMENDED BY LINER MANUFACTURER FOR PIPE OUTFLOW FROM OVERFLOW DRAIN.
3. PROVIDE WATERTIGHT SEAL AT OVERFLOW DRAIN BASIN PENETRATION OF LINER.

1 FLOW-THROUGH STORMWATER PLANTER  
NTS

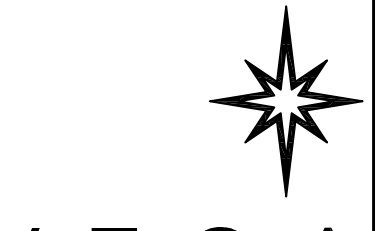
# STORMWATER NOTES

1. CONSTRUCT FLOW-THROUGH STORMWATER PLANTER. SEE DETAIL THIS SHEET. AREA = 50 SF
  2. INSTALL 12\"/>
  - 3. INSTALL STORM CLEANOUT. SEE DETAIL SHEET C301.
  - 4. PROTECT EXISTING 6\"/>
  - 5. RELOCATE EXISTING CLEANOUT.
  - 6. PROTECT EXISTING STORMWATER PLANTER.
  - 7. INSTALL 4\"/>
  - 8. REMOVE EXISTING CLEANOUT.
  - 9. REMOVE AND RELOCATE EXISTING STORM SYSTEM AROUND STORMWATER FACILITY, BUILDING ADDITION, AND PROPOSED WORK AS REQUIRED. CONTRACTOR TO FIELD VERIFY LOCATION AND FIELD FIT. COORDINATE ELEVATIONS & LOCATIONS WITH PROPOSED SYSTEM PRIOR TO CONSTRUCTION.
  - 10. CONNECT TO EXISTING 6\"/>
  - 11. PROTECT EXISTING OVERFLOW DRAIN AND STORM CONNECTION.
  - 12. INSTALL GRAVEL SPLASH PAD (2'X2') AT DOWNSPOUT LOCATION. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATION.
  - 13. PROVIDE PLANTS PER PLANT SCHEDULE FOR 50 SF FLOW THROUGH PLANTER. ENSURE TREATMENT AREA REQUIREMENTS ARE MET WITH 1/2 GALLON MINIMUM SIZE HERBACEOUS PLANTS, 1' ON CENTER SPACING AND SHRUBS, 2' ON CENTER SPACING. SEE PLANTING AND STORMWATER FACILITY NOTES C301.
- PLANT SCHEDULE
- 25 JUNCUS PATENS - SPREADING RUSH
  - 25 CAREX OBNUPTA - SLOUGH SEDGE
  - 2 PACIFIC NINEBARK - PSYOCARPUS CAPTIATUS
14. INSTALL SECONDARY OVERFLOW STRUCTURE.
  15. INSTALL 4\"/>
  - 16. EXPAND EXISTING VEGETATED STORMWATER BASIN FOR STORMWATER MANAGEMENT OF PROPOSED SIDEWALK.

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GBD ©

STAMP



VEGA  
CIVIL ENGINEERING LLC  
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PROJECT  
TBPB PHASE III  
7325 SW CHILDS RD  
PORTLAND, OR 97224

CLIENT  
PORTLAND TRAIL  
BLAZERS

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

REVISIONS

DATE  
MAY 19, 2021

PROJECT NUMBER  
20086635

SCALE  
1" = 10'

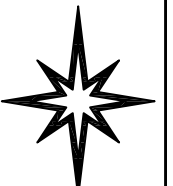
SHEET TITLE  
STORMWATER PLAN

**C101**

STAMP



EXPIRES 6-30-2022



PROJECT

TBPF PHASE III

7325 SW CHILDS RD  
PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL  
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REVISIONS

DATE

MAY 19, 2021

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SCALE

1" = 10'

SHEET TITLE

GRADING/PAVING  
& ESC PLAN

## C201

### EROSION AND SEDIMENT CONTROL NOTES

- WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR.
- DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
- SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
- ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
- SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
- SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
- SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/3RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
- CLEANING OF ALL STRUCTURES WITH SUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
- ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
- THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
- OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE, AND FEDERAL REGULATIONS.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT.  
**NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.**
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPs THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPs MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST, THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
- WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMPs; SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.
- ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
- THE ESC PLAN MUST BE KEPT ONSITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
- THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
- WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ONSITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
- IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPs MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
- ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

### GRADING NOTES

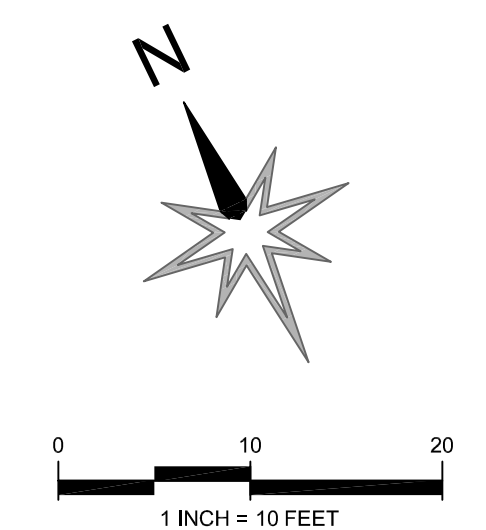
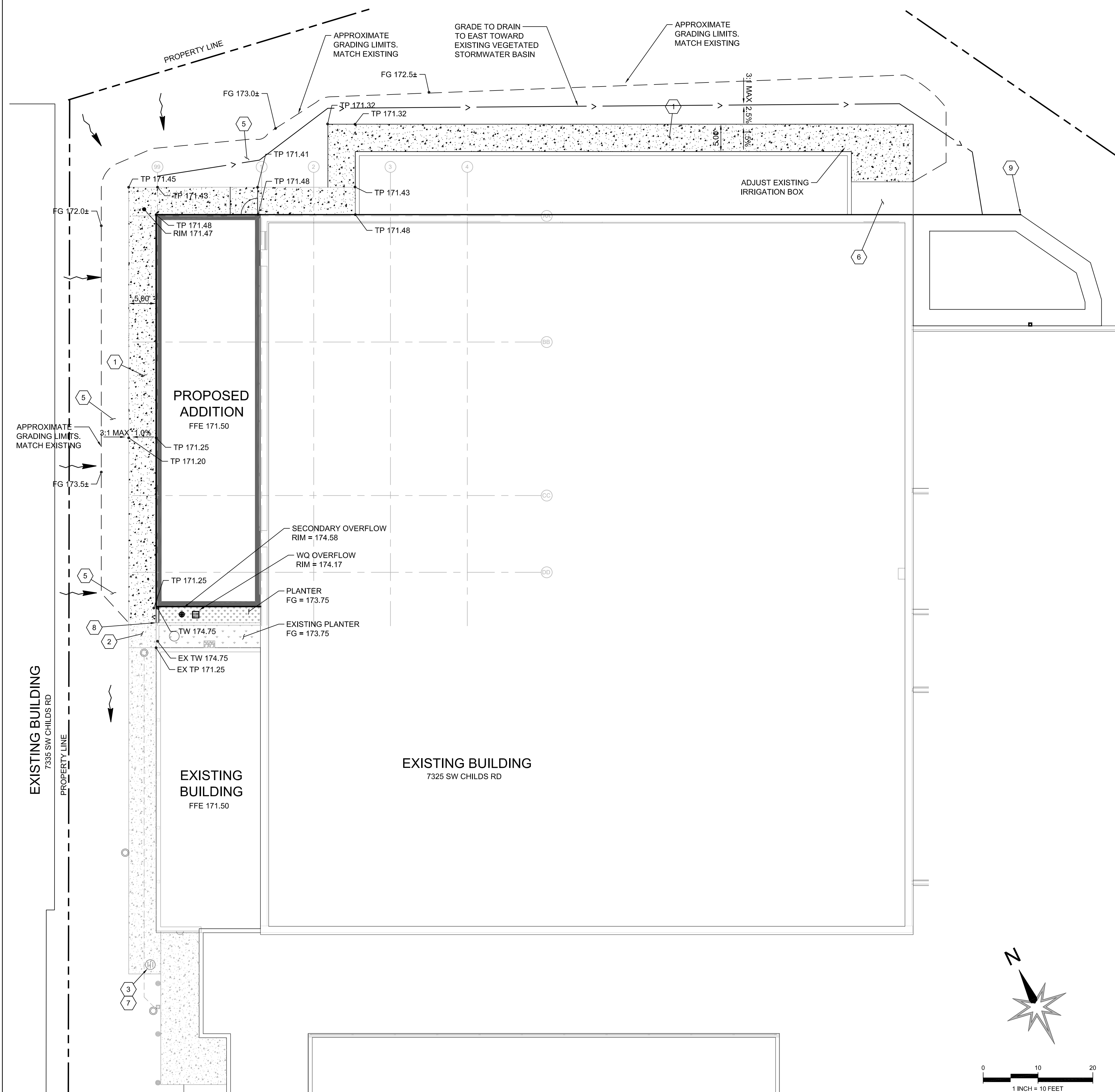
- STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST ALL CATCH BASINS, CLEANOUTS, VAULTS, ETC. THAT ARE AFFECTED BY CONSTRUCTION AND/OR FILL TO FINISH GRADE.

### SHEET LEGEND

FF XXX.XX	FINISHED FLOOR ELEVATION
G XXX.XX	GRADE AT GUTTER
TC XXX.XX	GRADE AT TOP OF CURB
TP XXX.XX	GRADE AT TOP OF PAVEMENT
TW XXX.XX	GRADE AT TOP OF WALL
RIM XXX.XX	RIM ELEVATION
(E)	EXISTING
	DRAINAGE FLOW DIRECTION
	APPROXIMATE GRADING LIMITS
	EXISTING CONCRETE SIDEWALK
	PROPOSED CONCRETE SIDEWALK

### CONSTRUCTION NOTES

- CONSTRUCT CONCRETE SIDEWALK, 4" CONCRETE ON 4" AGGREGATE BASE.
- MATCH EXISTING SIDEWALK GRADES.
- INSTALL TEMPORARY INLET SEDIMENT CONTROL PER DETAIL, SHEET C301.
- CONSTRUCT RAISED FLOW THROUGH PLANTER. SEE DETAIL, SHEET C101. SEE PLANTING NOTES SHEET C301.
- RESTORE DISTURBED AREA TO MATCH EXISTING LANDSCAPING.
- PROTECT EXISTING CONCRETE LANDING AT DOOR.
- PROTECT EXISTING AREA DRAIN.  
RIM = 171.22
- MATCH EXISTING TOP OF WALL ELEVATIONS.
- EXISTING VEGETATED STORMWATER BASIN.



## GENERAL NOTES

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL CONSTRUCTION WITH OWNER AND OWNER'S FACILITIES DEPARTMENT. CONTRACTOR TO PROVIDE OWNER WITH AN ACCESS PLAN THAT FACILITATES 24 HOUR EMERGENCY, VEHICLE, AND PEDESTRIAN ACCESS.

WORK SHALL CONFORM WITH THE CITY OF TUALATIN STANDARDS, CLEANWATER SERVICES, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM PLUMBING CODE (UPC). IT IS CONTRACTOR'S RESPONSIBILITY TO ENSURE WORK IS PERFORMED IN COMPLIANCE WITH LOCAL CODE AND REGULATIONS.

THE CONTRACTOR SHALL PROVIDE ALL WORK ILLUSTRATED ON THE DRAWINGS AND ALL INCIDENTAL WORK CONSIDERED NECESSARY TO COMPLETE THE PROJECT IN A MANNER ACCEPTABLE TO THE OWNER INCLUDING MITIGATING CONFLICTS WITH EXISTING UTILITIES, CONNECTING EXISTING UTILITIES TO PROPOSED FACILITIES, AND FIELD VERIFYING EXISTING UTILITIES.

THE CONTRACTOR SHALL KEEP AN APPROVED AND UPDATED SET OF DRAWINGS ON THE PROJECT SITE AT ALL TIMES. THE CONTRACTOR SHALL KEEP A SET OF PLANS MARKED UP WITH AS-BUILT CONDITIONS AND CHANGES FOR FUTURE AS-BUILT RECORD DRAWINGS.

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER, CITY, AND UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS. THE ENGINEER MAKES NO GUARANTEE, OR WARRANTY, THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, WHETHER ACTIVE OR ABANDONED. THE CONTRACTOR IS RESPONSIBLE TO POT-HOLE AND VERIFY CRITICAL UTILITY CROSSINGS AND CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IN A TIMELY MANNER IF CONFLICTS ARISE. CONTRACTOR ASSUMES ALL RISK AND SCHEDULE DELAYS IF THE CONTRACTOR DOES NOT POT-HOLE PRIOR TO CONSTRUCTION AND COORDINATE WITH ENGINEER.

THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS-DAY HOURS PRIOR TO EXCAVATING, BORING, OR POTHOLING. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OF ALIGNMENT CONFLICTS.

THE CONTRACTOR SHALL EXPOSE AND VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL CONNECT AND/OR MATCH EXISTING UTILITIES AND PROPOSED IMPROVEMENTS IN CONFORMANCE WITH THE INTENT OF THESE PLANS TO PROVIDE COMPLETE AND FULLY OPERATIONAL SYSTEMS.

PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THESE DRAWINGS, SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AS INCIDENTAL TO THE CONTRACT.

### GENERAL SITE PREPARATION:

CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL UNSUITABLE MATERIAL, DEBRIS, EXISTING PAVEMENT, AND ORGANIC MATERIAL WITHIN THE PROJECT LIMITS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.

PRIOR TO BEGINNING CONSTRUCTION, ALL AREAS OF THE SITE THAT WILL RECEIVE FOUNDATIONS, STRUCTURAL FILL, FLOOR SLABS, OR PAVEMENT SHOULD BE STRIPPED OF TOP SOIL, ROOTS, UNSUITABLE FILLS, I.E. EXCAVATED TO NON-ORGANIC NATIVE UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.

### COMPACTION REQUIREMENTS:

ON-SITE FILL = 95% MIN. (ASTM D 698) MAX. LIFT 8"  
 GRANULAR FILL = 95% MIN. (ASTM D 698) MAX. LIFT 12"  
 TRENCH BACKFILL = 95% MIN. (ASTM 698)  
 RECYCLED MATERIAL FILL = 95% MIN. (ASTM D 698)  
 TOP 6" OF FLOOR SLAB SUBGRADE = 98% MIN. (ASTM D 698)  
 ALL EXCESS MATERIAL INCLUDING BOULDERS SHALL BE HAULED OFF SITE UNLESS AGREED TO BY OWNER AND COORDINATED WITH ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE TO HAUL OFF TO LEGAL DUMP SITE AND OBTAIN ALL NECESSARY PERMITS.

EXCAVATOR SHALL PLACE TOPSOIL AND ROUGH GRADE IN PLANTERS AND LANDSCAPING AREAS.

## PLANTING AND MAINTENANCE PLAN

ALL WORK SHALL BE IN CONFORMANCE WITH APPENDIX A OF CLEAN WATER SERVICES STANDARDS AND SPECIFICATIONS AND ANY APPLICABLE PERMITS ISSUED BY CLEAN WATER SERVICES AND/OR CITY OF TUALATIN. PLANT NAMES INDICATED COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURE NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO NAME AND LEGIBLY TAGGED.

- PROVIDE QUANTITY OF PLANT MATERIAL AS NOTED ON PLANT SCHEDULE.
- MEASUREMENTS, CALIPER, BRANCHING, GRADING QUALITY, BALLING AND BURLAPPING SHALL FOLLOW THE AMERICAN STANDARD OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- PLANT MATERIAL AND LOCATIONS SHALL BE INSPECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH CWS STANDARDS. PLANT MATERIAL TO BE INSTALLED WITH IDENTIFICATION TAGS IN ACCORDANCE WITH CWS STANDARDS.
- MAINTENANCE IS TO INCLUDE REGULAR VISITS BY THE OWNER OR OWNER'S REPRESENTATIVE AT LEAST MONTHLY TO THE PROJECT SITE FOR THE PURPOSE OF WEEDING, SUPPLEMENTAL WATERING, AND OTHER ITEMS NECESSARY TO MAINTAIN PLANTED AREAS IN A HEALTHY CONDITION FOR TWO YEARS FROM THE COMPLETION OF THE PROJECT. WEEDING IS THE CONSIST ONLY OF CLEARED AND MULCHED AREAS MAINTAINED AROUND EACH WOODY PLANT, AND REMOVAL OF EXOTIC SPECIES SUCH AS BLACKBERRIES, SCOTS BROOM, OR OTHERS.
- CONTRACTOR SHALL INSTALL AN APPROVED TEMPORARY IRRIGATION SYSTEM IN STORMWATER FACILITY AREAS TO WATER THE PLANT MATERIAL AS NECESSARY TO MAINTAIN THE PLANTS IN A THRIVING CONDITION. FACILITY WILL BE CHECKED BY OWNER OR OWNER'S REPRESENTATIVE TOW (2) TIMES A YEAR (JUNE 15 AND SEPTEMBER 30) FOR DEBRIS, RESTRICTION AND SEDIMENT. PROVIDE DOCUMENTATION TO THE OWNER AND CITY OF TUALATIN.
- OWNER WILL AMEND THE CURRENT PRIVATE STORMWATER MAINTENANCE AGREEMENT TO INCLUDE THE PROPOSED FLOW-THROUGH PLANTER IN ORDER TO ENSURE THE MAINTENANCE PRACTICES FOR THE FACILITY TO CONTINUE TO MEET DESIGN STANDARDS.
- NO TREE, SHRUB, HERBACEOUS PLANT, OR SEEDED AREAS WITHIN THE STORMWATER FACILITY AREAS, SHALL RECEIVE FERTILIZER.
- THE FACILITIES SHALL BE DEEMED ACCEPTABLE TO BEGIN THE MAINTENANCE PERIOD WHEN PLANT GROWTH AND DENSITY MATCHES THE ENGINEERS DESIGN AS SHOWN ON THE APPROVED PLANS AND ALL OTHER REQUIREMENTS HAVE BEEN MET. THE ENGINEER MUST CERTIFY THE FACILITY TO BE FUNCTIONAL IN ACCORDANCE WITH THE APPROVED PLAN DESIGN TO BEGIN THE 2 YEAR MAINTENANCE PERIOD.

## STORM SEWER

STORM SEWER PIPE AND PERFORATED PIPE SHALL BE PVC 3034 SDR35, OR APPROVED EQUAL. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TUALATIN STANDARD SPECIFICATIONS.

ADJUST MANHOLES, CLEAN OUT AND AREA DRAIN RIMS TO FINISH GRADE.

ALL RAIN DRAIN PIPING INSTALLED WITHIN 5.0 FEET OF A BUILDING TO BE SCHEDULE 40 PVC-D.W.V. PIPING OR APPROVED EQUAL.

## STORMWATER FACILITY NOTES

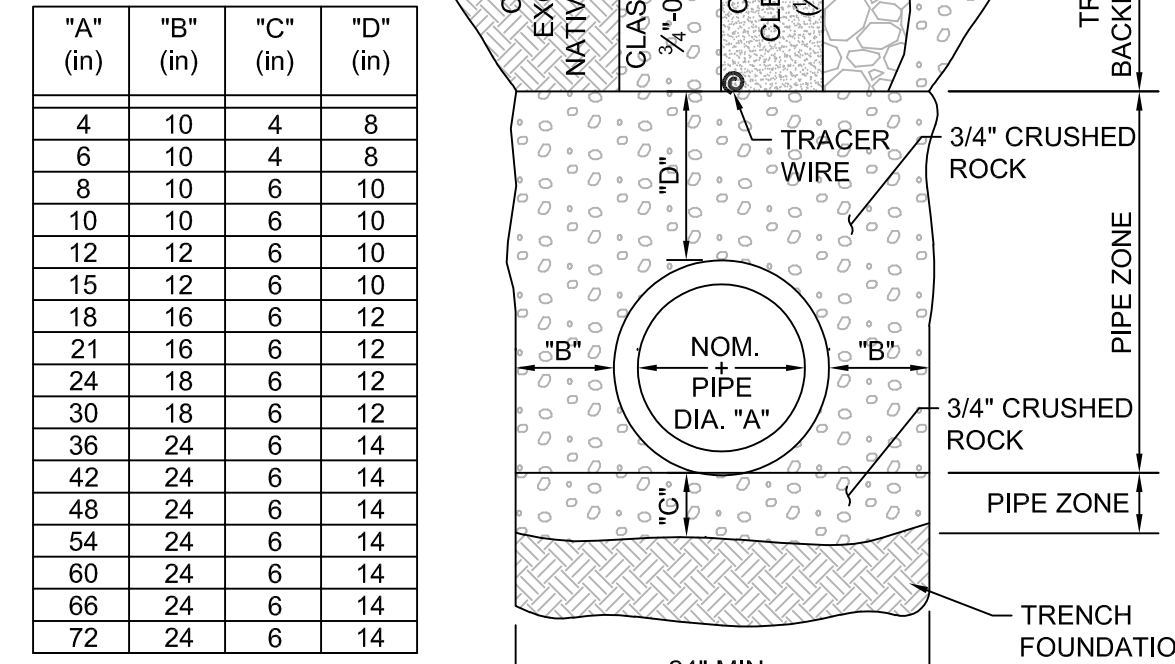
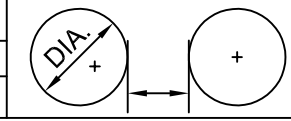
AMENDED TOPSOIL IN STORMWATER FACILITIES SHALL BE COMPOSED OF 1 PART ORGANIC COMPOST, 1 PART GRAVELLY SAND AND 1 PART PLANTING TOPSOIL.

## MISC. UTILITIES

ELECTRICAL, TELEPHONE, GAS, AND TV SERVICE SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY. COORDINATE LOCATION WITH OWNER AND ENGINEER.

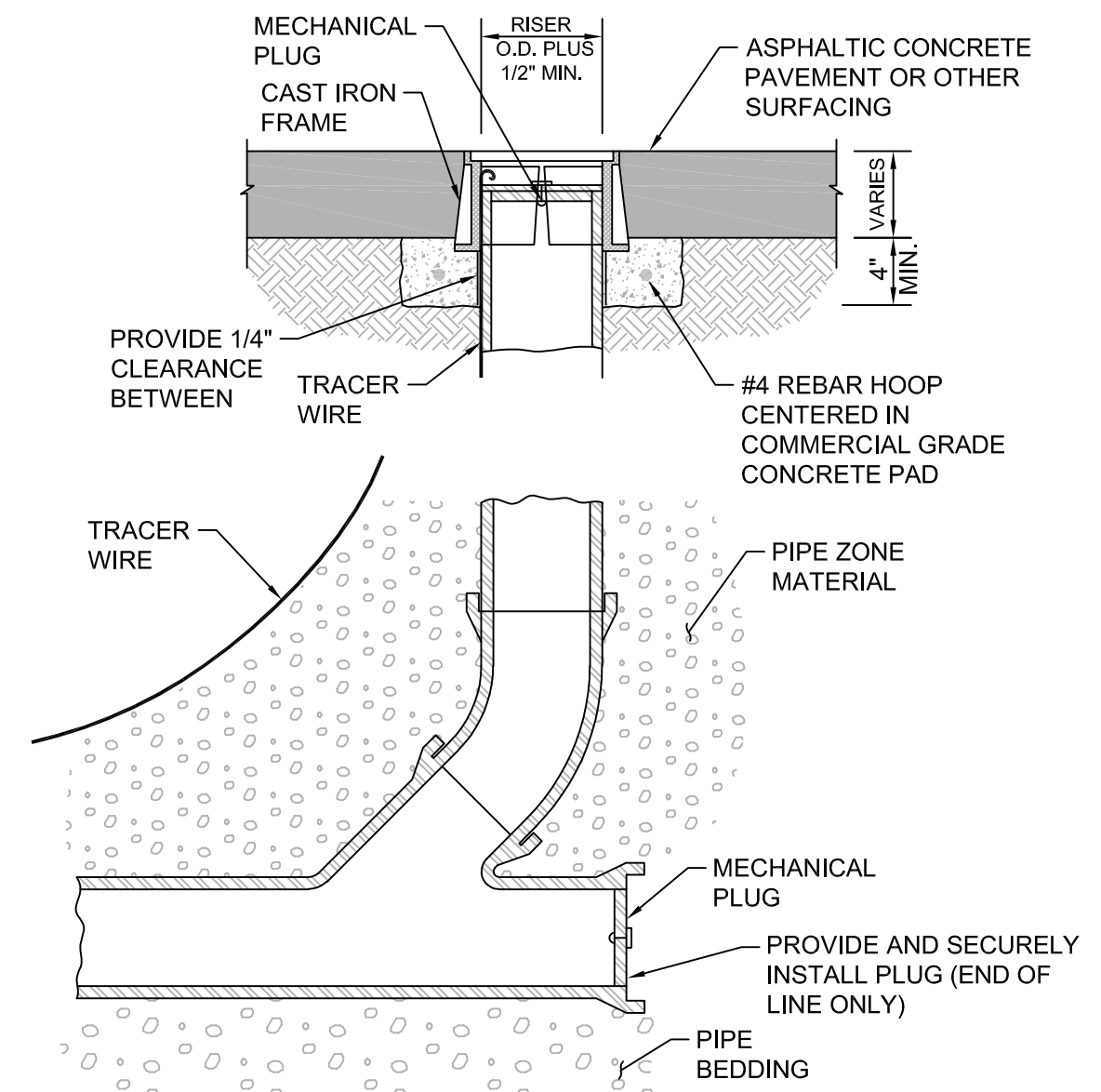
CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY TO ENSURE THE ADJUSTMENT OR RELOCATION OF EXISTING PEDESTALS AND UTILITY PADS TO MATCH FUTURE GRADES.

DIAMETER	MIN. SPACE BETWEEN PIPES
UP TO 48"	24"
UP TO 72"	ONE HALF (1/2) DIA. OF PIPE



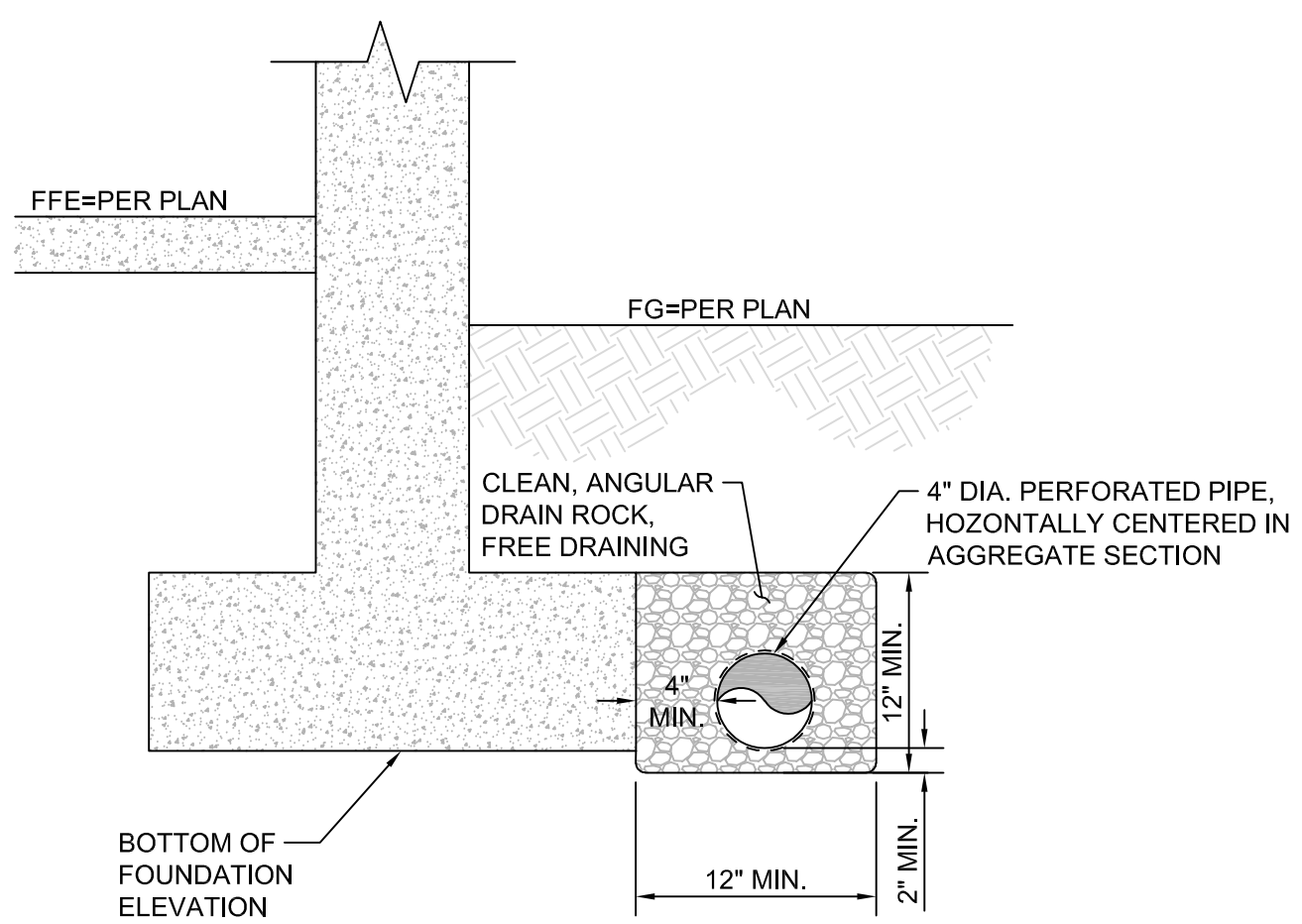
## 3 TRENCH BACKFILL

NTS



## 2 STORMWATER CLEANOUT

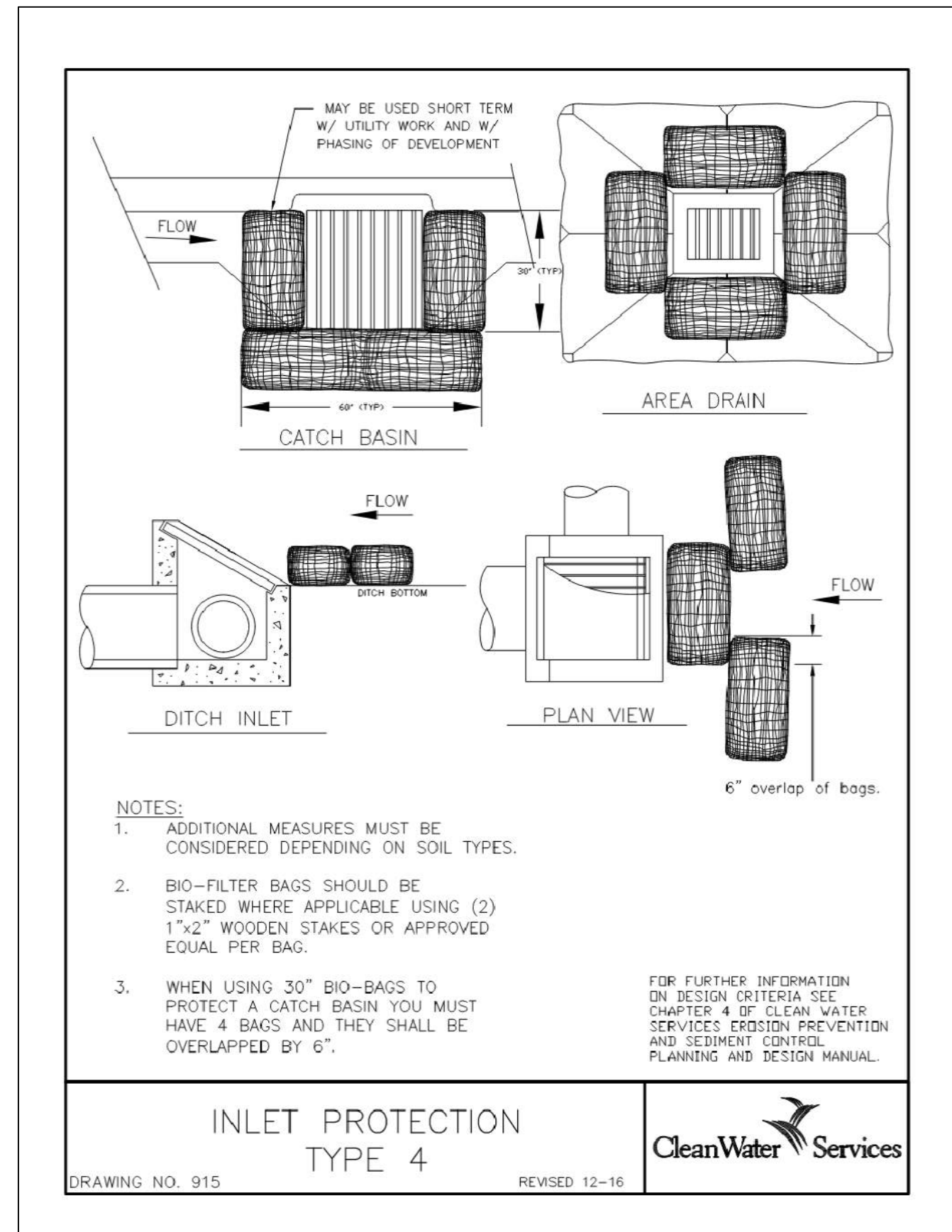
NTS



- NOTES:
- SEE STRUCTURAL PLANS FOR CONCRETE FOUNDATION INFORMATION
  - DRAIN ROCK TO BE WRAPPED IN NON-WOVEN GEOTEXTILE (MIRAFI 140N OR APPROVED EQUIVALENT).

## 1 TYPICAL FOUNDATION DRAIN

NTS



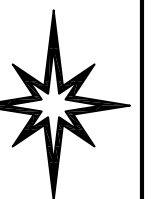
# GBD

GBD Architects, Incorporated  
 1120 NW Couch St.  
 Ste. 300  
 Portland, OR 97209  
 Tel. (503) 224-9656  
 gbdarchitects.com  
 GBD @

STAMP



EXPIRES 6-30-2022



**VEGA**  
 CIVIL ENGINEERING LLC  
 503.349.1381 | WWW.VEGACIVIL.COM

PROJECT

TBPF PHASE III

7325 SW CHILDS RD  
 PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL  
 BLAZERS

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REVISIONS

DATE

MAY 19, 2021

PROJECT NUMBER

20086635

SCALE

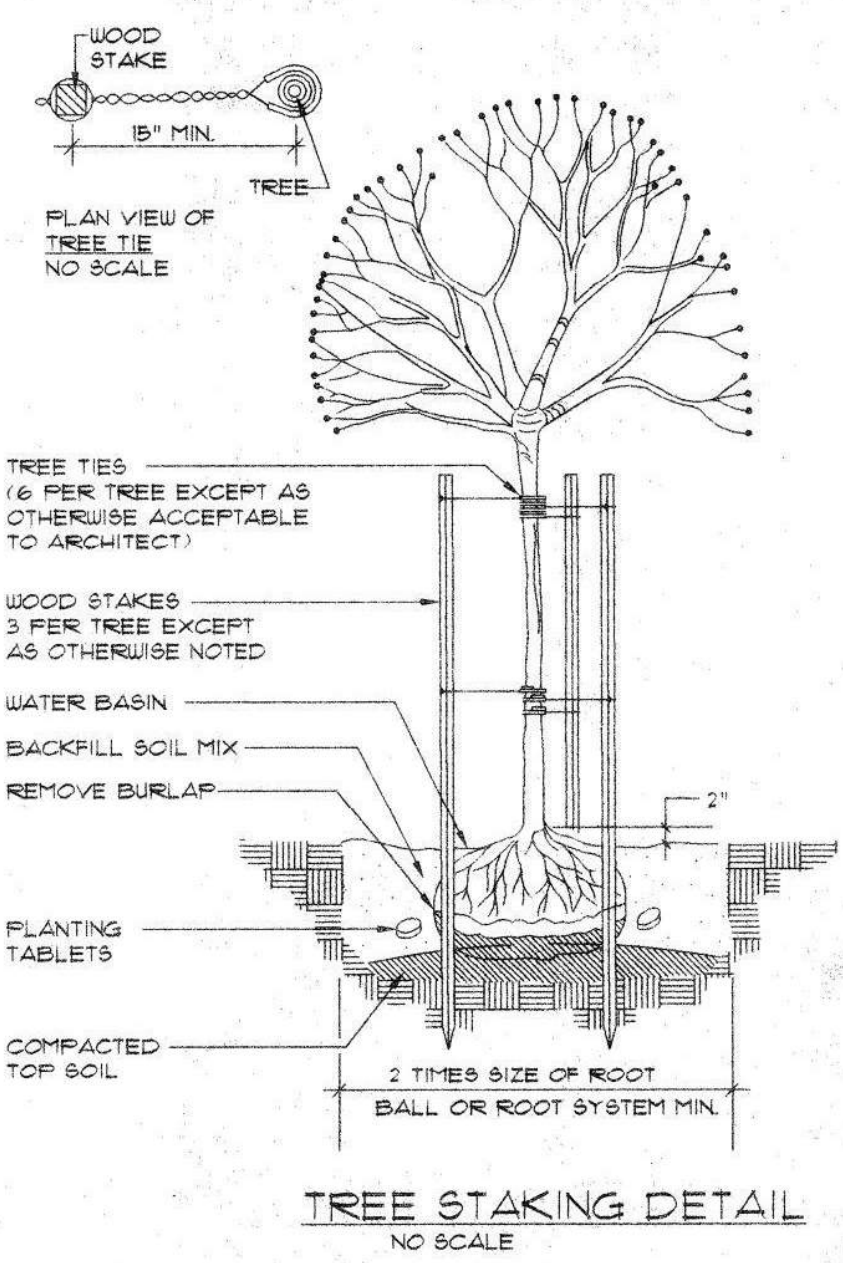
SHEET TITLE

GENERAL NOTES  
 AND DETAILS

# C301

EXISTING LANDSCAPE PLAN GENERAL NOTES

A. ALL EXISTING TREES TO REMAIN. NO TREES PROPOSED FOR REMOVAL. PROTECTION FENCING TO BE ERRECTED AROUND ALL EXISTING TREES IN CLOSE PROXIMITY TO CONSTRUCTION ACTIVITIES, AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.



PLANT MATERIAL KEY

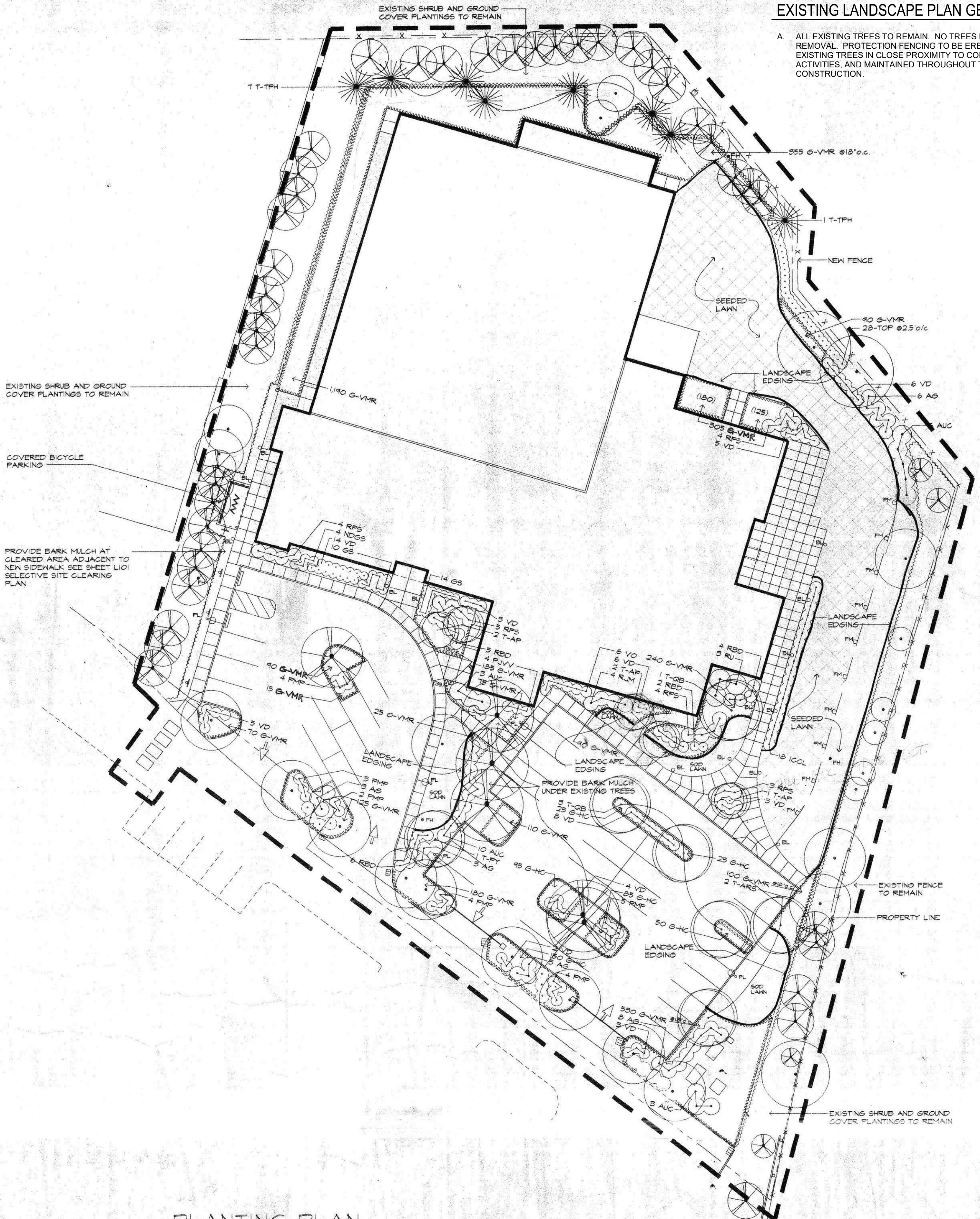
CODE	SCIENTIFIC NAME/COMMON NAME
<b>TREES:</b>	
T-AP	ACER PALMATUM JAPANESE MAPLE
T-ARS	ACER RUBRUM FRANKSRED II RED SUNSET RED MAPLE
T-PY	PRUNUS YEDOENSIS YOSHINO CHERRY
T-GB	QUERCUS BOREALIS NORTHERN RED OAK
T-TPH	THUJA PLICATA HOBAN HOGAN WESTERN RED CEDAR
<b>SHRUBS:</b>	
AG	ABELIA GRANDIFLORA GLOSSY ABELIA
AUG	AREBUTUS UNEDO COMPACT COMPACT STRAWBERRY MADRONE
GS	SAULTHERIA SHALLOM SALAL
ICGL	ILEX CRENATA CONVEXLEAF CONVEXLEAF JAPANESE HOLLY
NDGS	NANDINA DOMESTICA GULF STREAM GULF STREAM NANDINA
PJVV	PIERIS JAPONICA VALLEY VALENTINE VALLEY VALENTINE JAPANESE PIERIS
PMP	PINUS MUGO PUMILIO SHRUBBY (DWARF) SWISS MOUNTAIN PINE
RBD	RHODODENDRON BLUE DIAMOND BLUE DIAMOND RHODODENDRON
RJM	RHODO JEAN MARIE DE MONTAGUE JEAN MARIE DE MONTAGUE RHODODENDRON
RPS	RHODODENDRON PURPLE SPLENDOR PURPLE SPLENDOR RHODODENDRON
RU	RHODODENDRON UNIQUE UNIQUE RHODODENDRON
TOP	THUJA OCCIDENTALIS PYRAMIDAL PYRAMIDAL EASTERN ARBORVITAE
VO	VACCINIUM OVATUM BOX BLUEBERRY (HUCKLEBERRY)
VD	VIBURNUM DAVIDI DAVID VIBURNUM
<b>GROUND COVERS:</b>	
G-HC	HYPERICUM CALYCSINUM AARONSBEAR ST. JOHNSWORT
G-VNR	VINCA MINOR ROYAL ROBE ROYAL ROBE COMMON PERIWINKLE (VINCA)

LEGEND

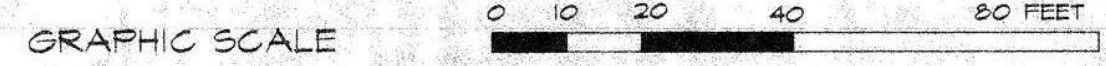
- EXISTING CONIFEROUS EVERGREEN TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- CONIFEROUS EVERGREEN PROVIDED UNDER THIS CONTRACT
- DECIDUOUS TREE PROVIDED UNDER THIS CONTRACT
- FIRELANE GRASS PAVER SYSTEM AREA
- FIRE HYDRANT
- FIRELANE MARKER
- BOLLARD LIGHT
- POLE LIGHT
- SIGN

NOTES:

1. PLANT GROUND COVERS AT 18 INCH ON CENTER EXCEPT AS OTHERWISE NOTED
- \* G-VN to G-VNR per Add # 1.102.1



PLANTING PLAN



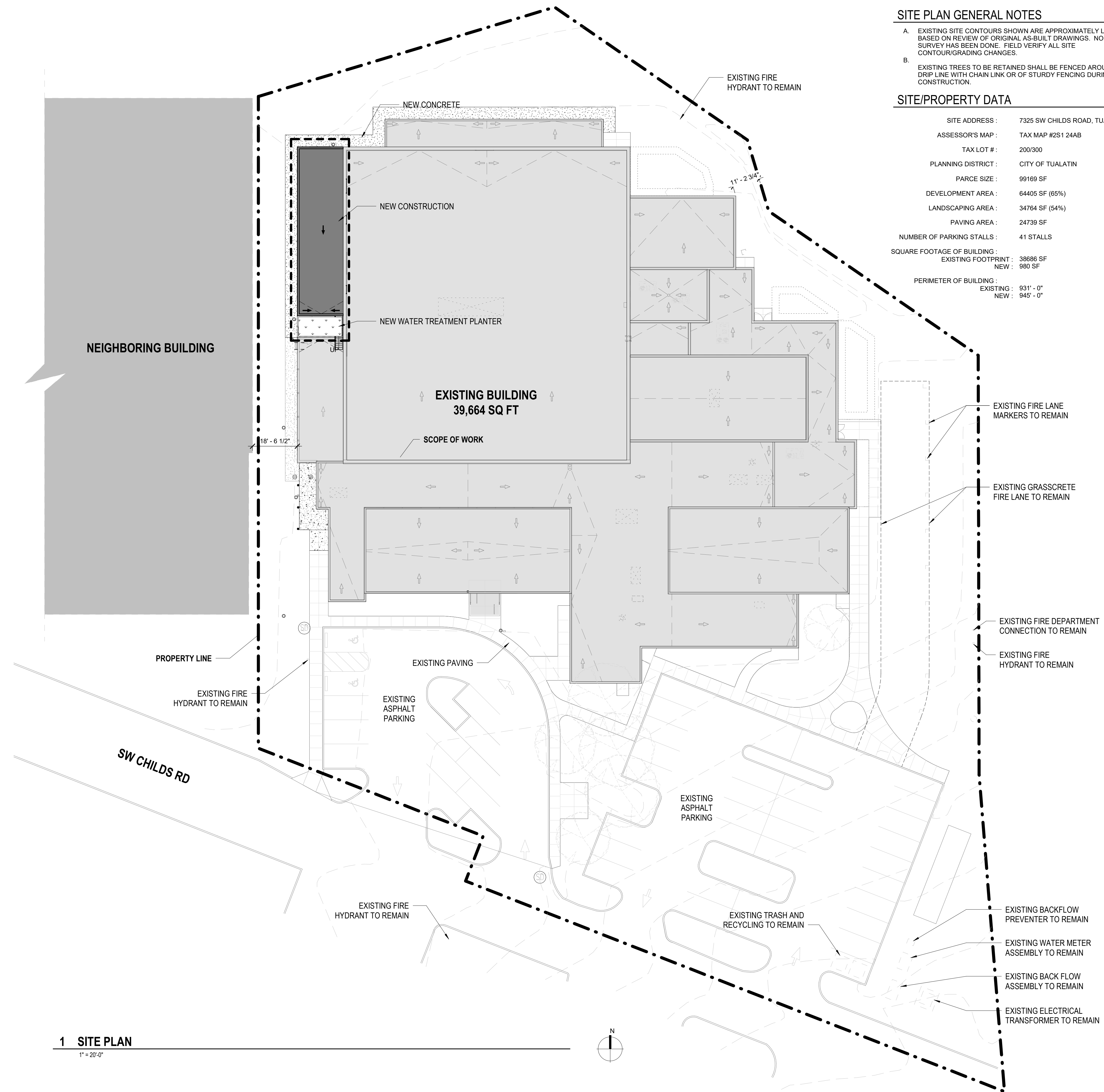
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### SITE PLAN GENERAL NOTES

- A. EXISTING SITE CONTOURS SHOWN ARE APPROXIMATELY LOCATED BASED ON REVIEW OF ORIGINAL AS-BUILT DRAWINGS. NO CURRENT SURVEY HAS BEEN DONE. FIELD VERIFY ALL SITE CONTOUR/GRADING CHANGES.
- B. EXISTING TREES TO BE RETAINED SHALL BE FENCED AROUND THE DRIP LINE WITH CHAIN LINK OR OF STURDY FENCING DURING CONSTRUCTION.

### SITE/PROPERTY DATA

SITE ADDRESS :	7325 SW CHILDS ROAD, TUALATIN, OR 97224
ASSESSOR'S MAP :	TAX MAP #251 24AB
TAX LOT # :	200/300
PLANNING DISTRICT :	CITY OF TUALATIN
PARCE SIZE :	99169 SF
DEVELOPMENT AREA :	64405 SF (65%)
LANDSCAPING AREA :	34764 SF (54%)
PAVING AREA :	24739 SF
NUMBER OF PARKING STALLS :	41 STALLS
SQUARE FOOTAGE OF BUILDING :	
EXISTING FOOTPRINT :	38886 SF
NEW :	980 SF
PERIMETER OF BUILDING :	
EXISTING :	931' - 0"
NEW :	945' - 0"

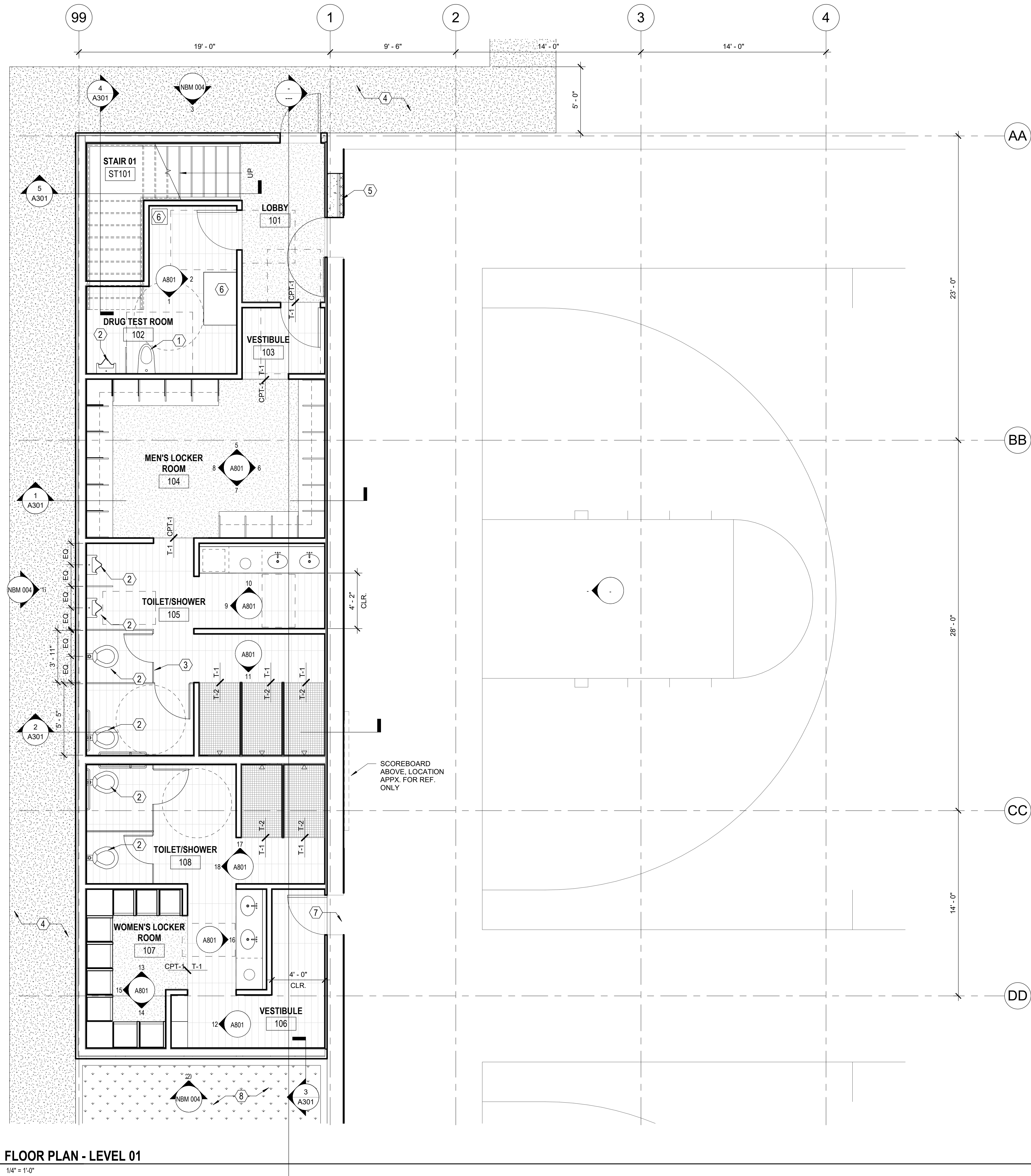


1 SITE PLAN

1" = 20'-0"



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### GENERAL PLAN NOTES

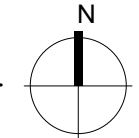
- A. SEE SHEET G003 FOR FIRE RATED CONSTRUCTION LOCATIONS
- B. EXISTING BUILDING GRID DIMENSIONS FOR REFERENCE ONLY - GC TO VERY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- C. SEE SHEET G010 FOR FINISHES

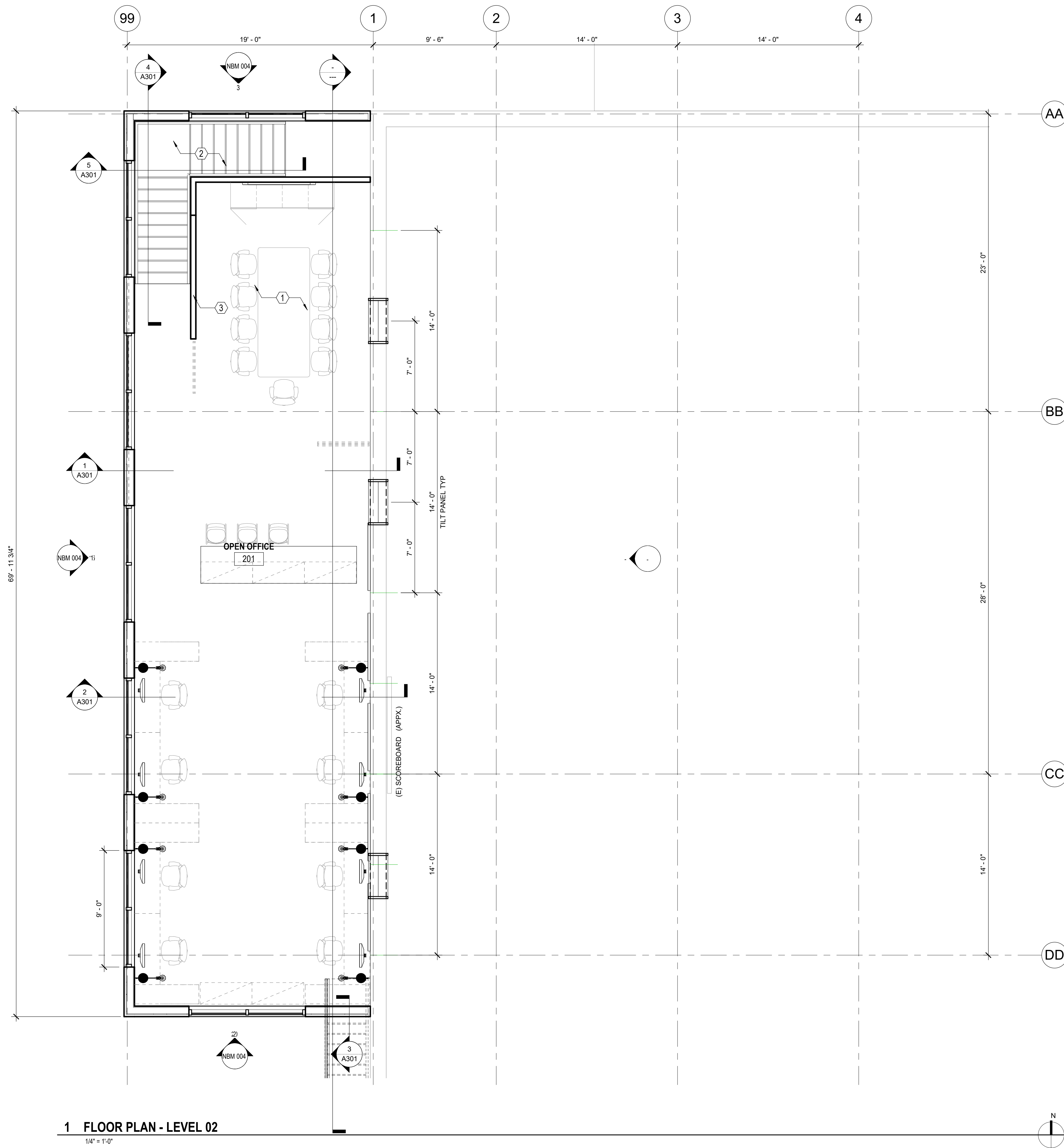
### PLAN REFERENCE NOTES

- 1 NEW WALL MOUNT, TANKLESS TOILET WITH TOTO AUTO FLUSH VALVE
- 2 NEW WALL MOUNT URINAL WITH TOTO AUTO FLUSH VALVE
- 3 SOLID PHENOLIC PARTITIONS (SPL-1)
- 4 NEW CONCRETE SIDEWALK
- 5 REPLACE EXISTING DOUBLE DOOR WITH NEW FRAME AND SALVAGED DOOR AND HARDWARE. MATCH EXISTING MATS AND FINISHES ON GYM SIDE OF WALL.
- 6 OWNER PROVIDED TABLE AND STOOL
- 7 NEW OPENING IN EXISTING TILT UP WALL - VERIFY SIZE AND LOCATION WITH STRUCTURAL ENGINEER - INSTALL NEW FRAME, SALVAGED DOOR, AND NEW HARDWARE. - PATCH AND REPLACE MATS AS REQUIRED
- 8 NEW WATER TREATMENT PLANTER - SEE CIVIL MEMO

1 FLOOR PLAN - LEVEL 01

1/4" = 1'-0"





1 FLOOR PLAN - LEVEL 02

1/4" = 1'-0"

GENERAL PLAN NOTES

- A. SEE SHEET G003 FOR FIRE RATED CONSTRUCTION LOCATIONS
- B. EXISTING BUILDING GRID DIMENSIONS FOR REFERENCE ONLY - GC TO VERY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- C. SEE G010 FOR FINISHES

PLAN REFERENCE NOTES - LEVEL 2

- ① ROUGH IN PLUMBING AND ELECTRICAL FOR FUTURE KITCHEN BREAK ROOM. (SINK, DISHWASHER, REFRIGERATOR, MICROWAVE x2, BELOW SINK WATER COOLER)
- ② NEW STAIR WITH WALL MOUNTED HANDRAILS BOTH SIDES - PROVIDE SLIP RESISTANT TREADS - PROVIDE ACCESS HATCH IN ROOM BELOW
- ③ NEW 42" TALL WALL - PROVIDE STEEL POST SUPPORT AT UNSUPPORTED END OF WALL
- ④ PROVIDE POWER AND DATA @ 4'-0" O.C. ON WALL AT 18" OFF FFE

STAMP

PROJECT

TBPF PHASE III

7325 SW CHILDS RD  
 PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL BLAZERS

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DATE

MAY 9, 2021

PROJECT NUMBER

SCALE

As indicated

SHEET TITLE

FLOOR PLAN - LEVEL 02

EXTERIOR MATERIALS & PRODUCTS LEGEND

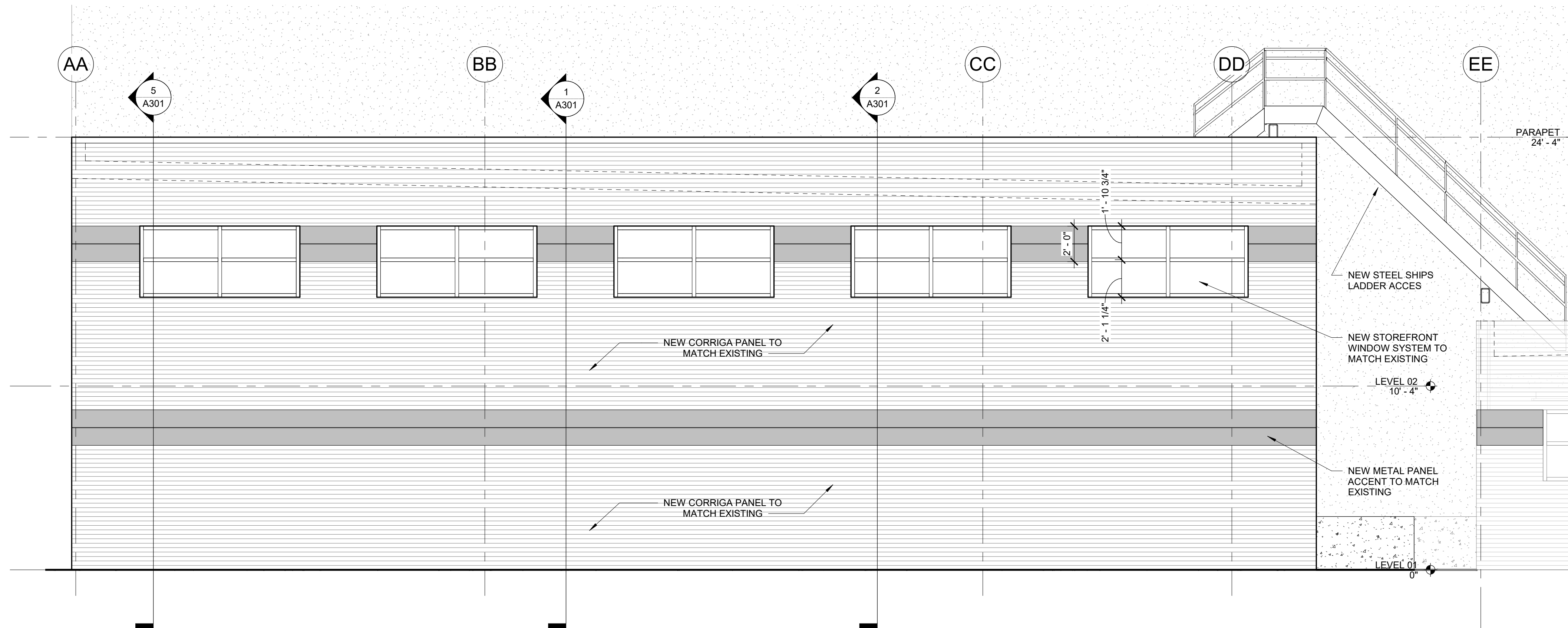
(NOTE: ALL FINISHES ARE TO MATCH EXISTING WHERE SAME/SIM COMPONENTS, U.N.O.)

1. ROOFING: TPO, MECHANICALLY FASTENED
2. ALUM-FRAMED PUNCHED WINDOWS; MERCER WINDOWS (MERCER INDUSTRIES) 2.0 SERIES; CLEAR ANNOIDIZED FINISH



7 EXISTING BUILDING PHOTOS - EXTERIOR MATERIAL COLORS AND LIGHTING CUTS

1/12" = 1'-0"

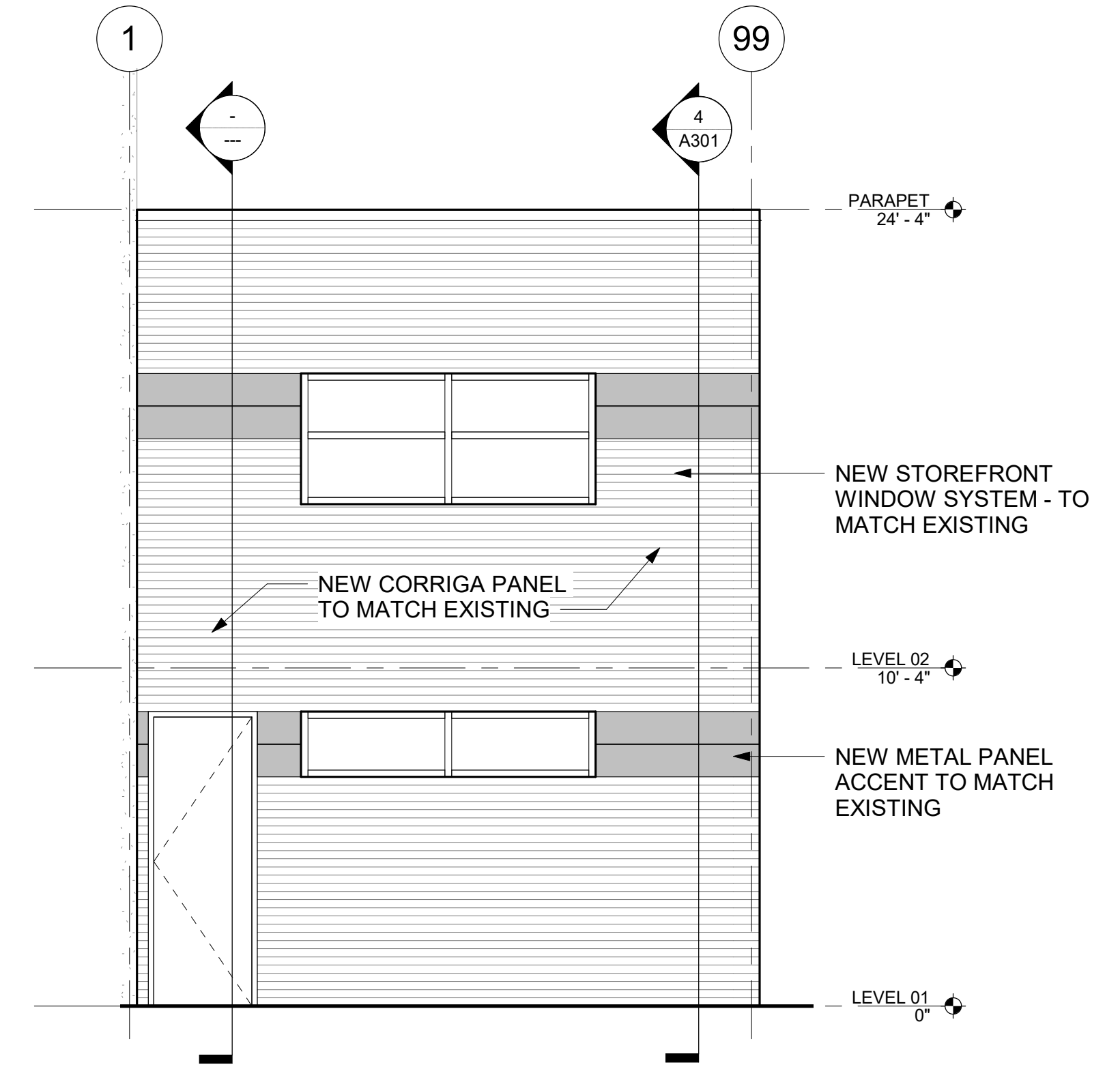


16 EXTERIOR ELEVATION - WEST

1/4" = 1'-0"

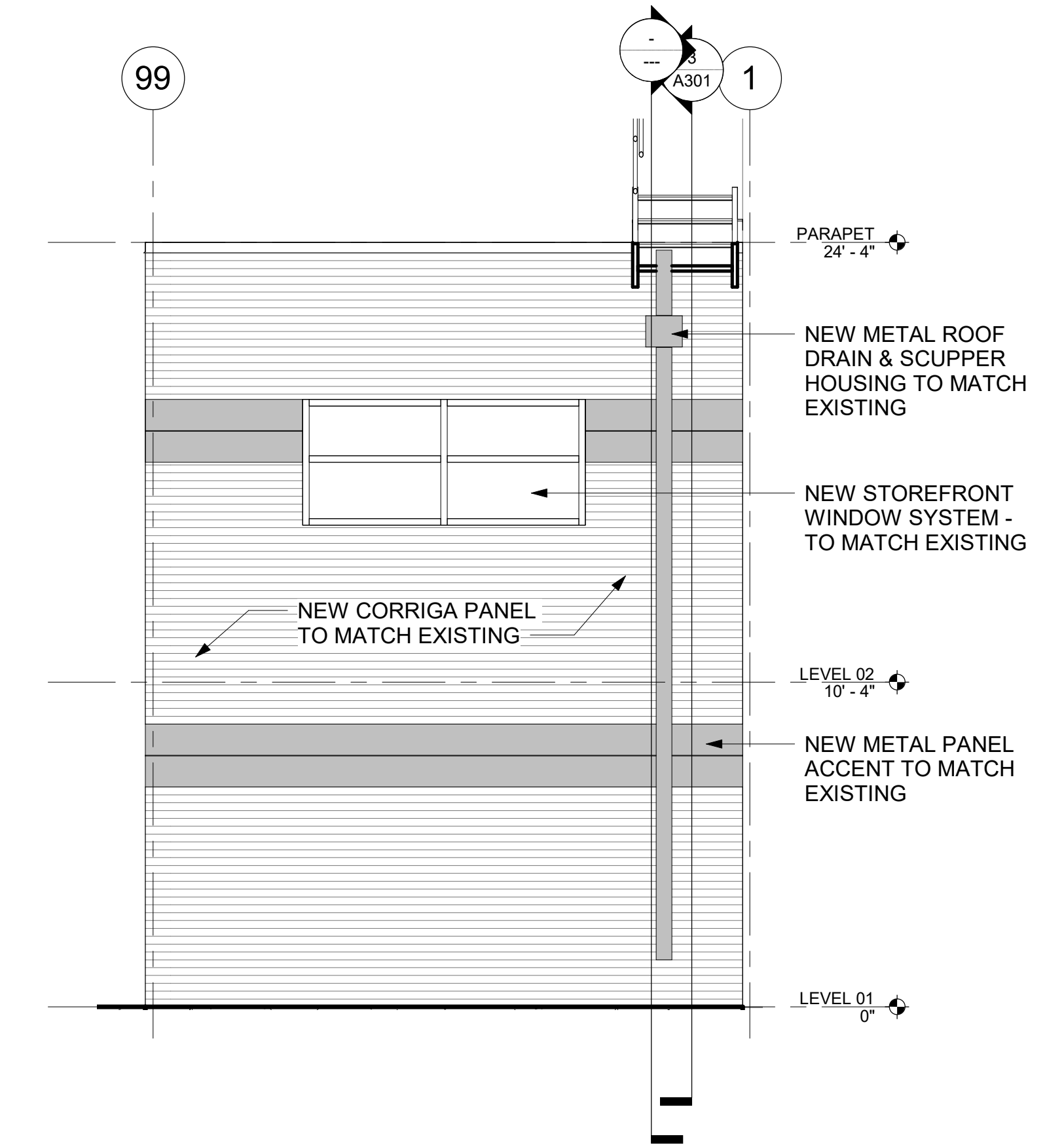
GENERAL EXTERIOR ELEVATION NOTES

- A. UNO, ALL NEW EXTERIOR BUILDING MATERIALS TO MATCH EXISTING.
- B. MATCH EXISTING FINISH DETAILING WHEN INSTALLING NEW FINISHES
- C. WHEN EVER POSSIBLE, ALIGN NEW CURTAINWALL MULLIONS WITH EXISTING



6 EXTERIOR ELEVATION - NORTH

1/4" = 1'-0"



20 EXTERIOR ELEVATION - SOUTH

1/4" = 1'-0"

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EXTERIOR  
ELEVATIONS

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7325 SW CHILDS RD  
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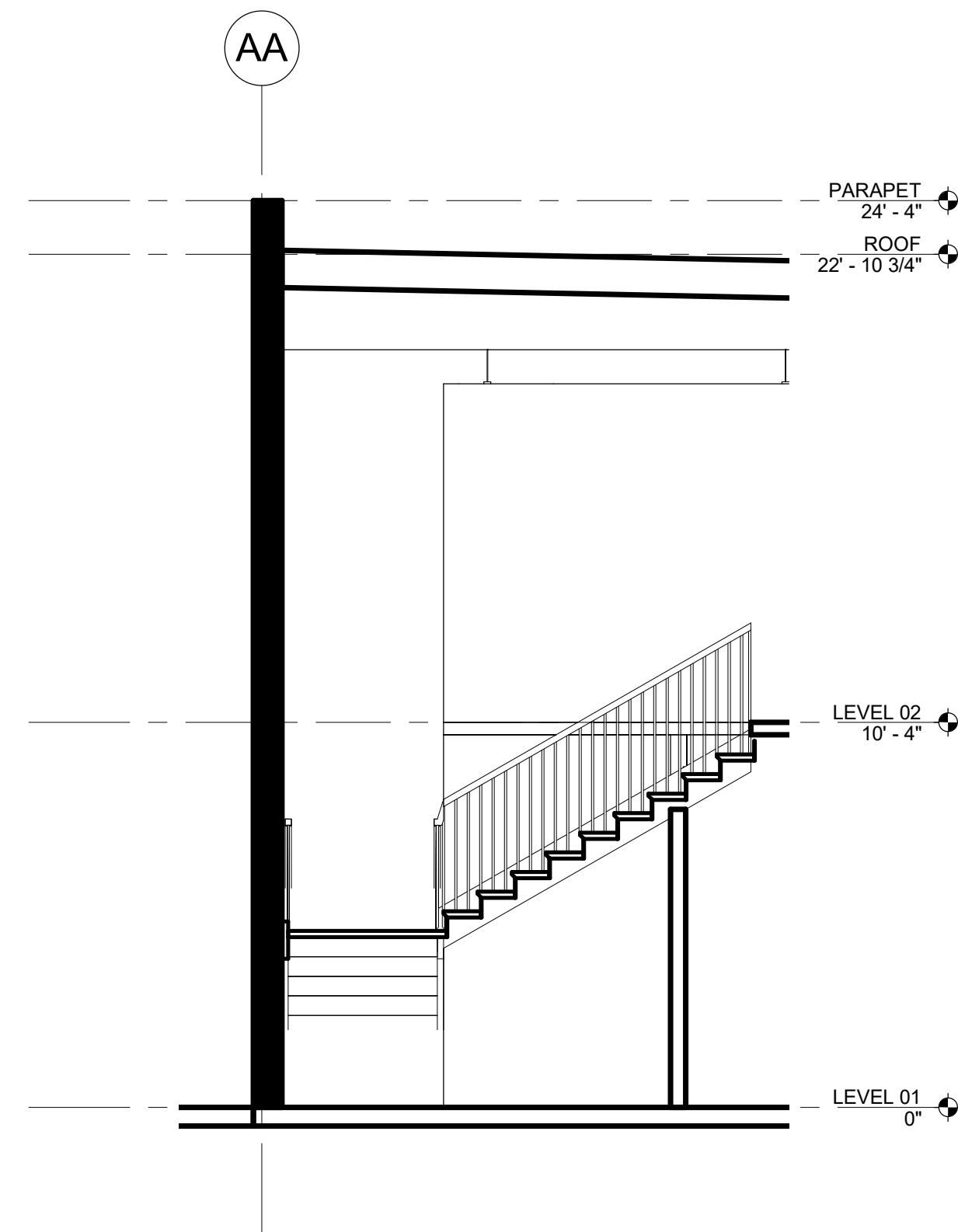
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MAY 9, 2021

PROJECT NUMBER

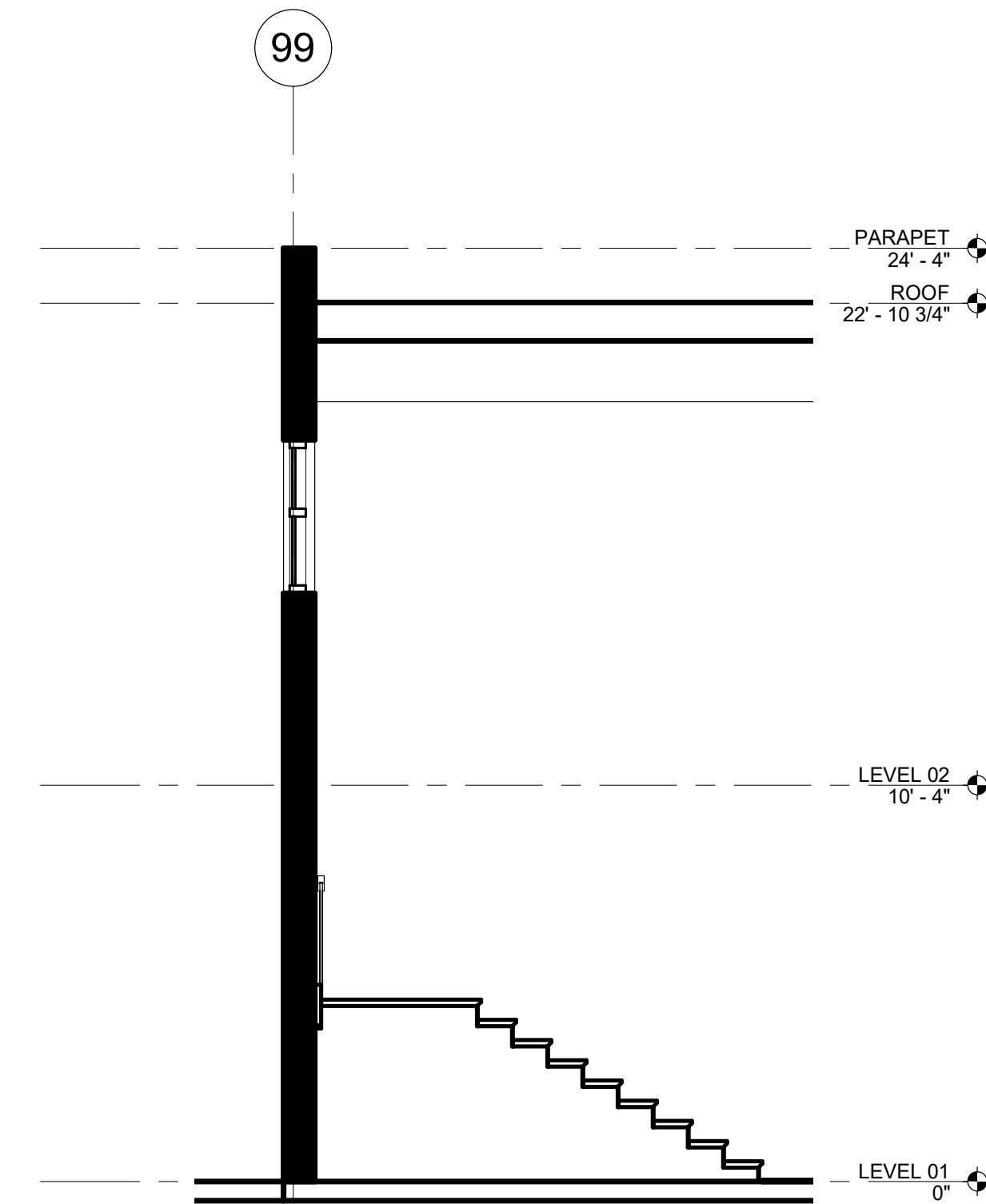
SCALE  
As indicated

SHEET TITLE  
SECTIONS

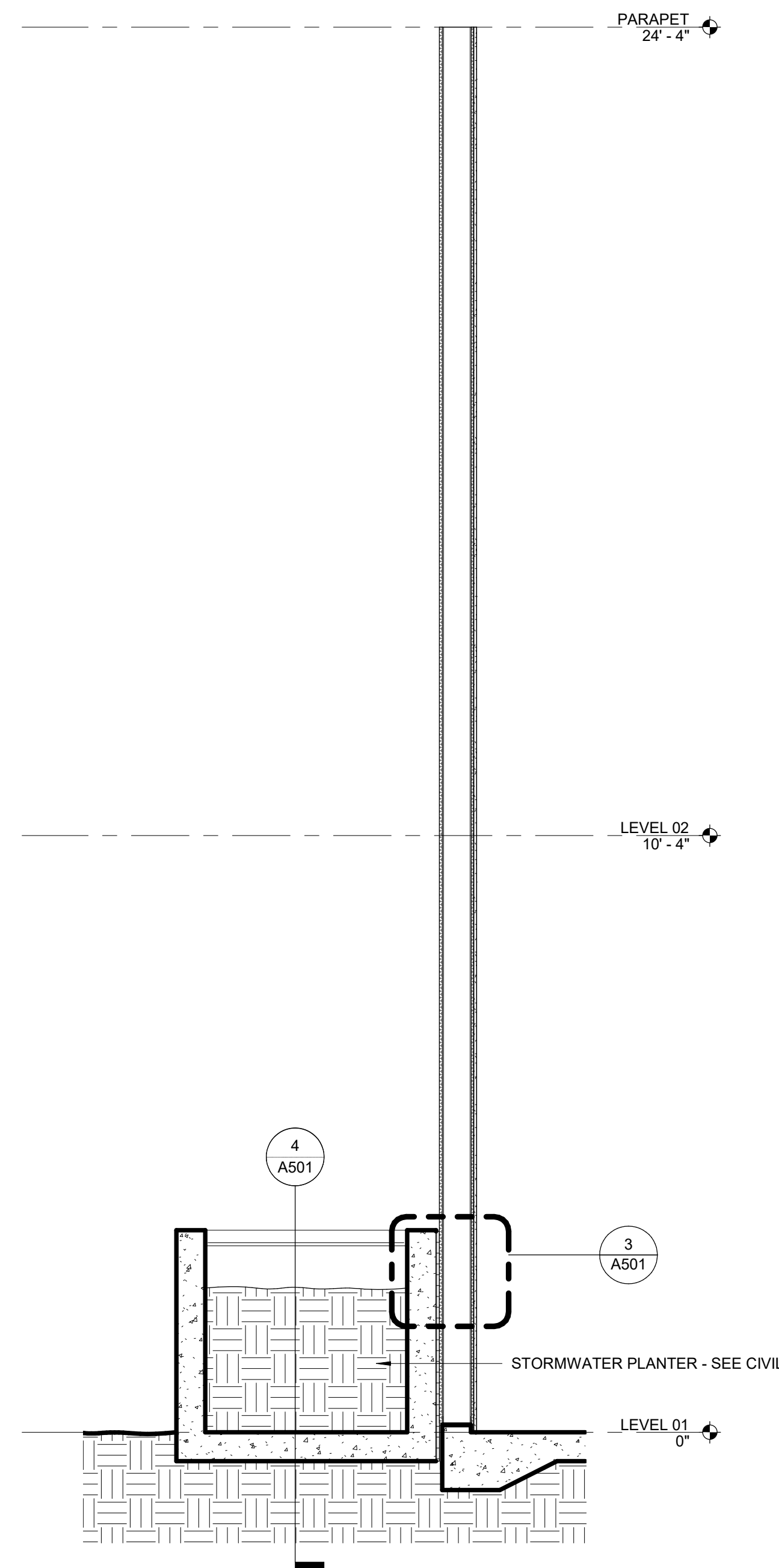
## A301



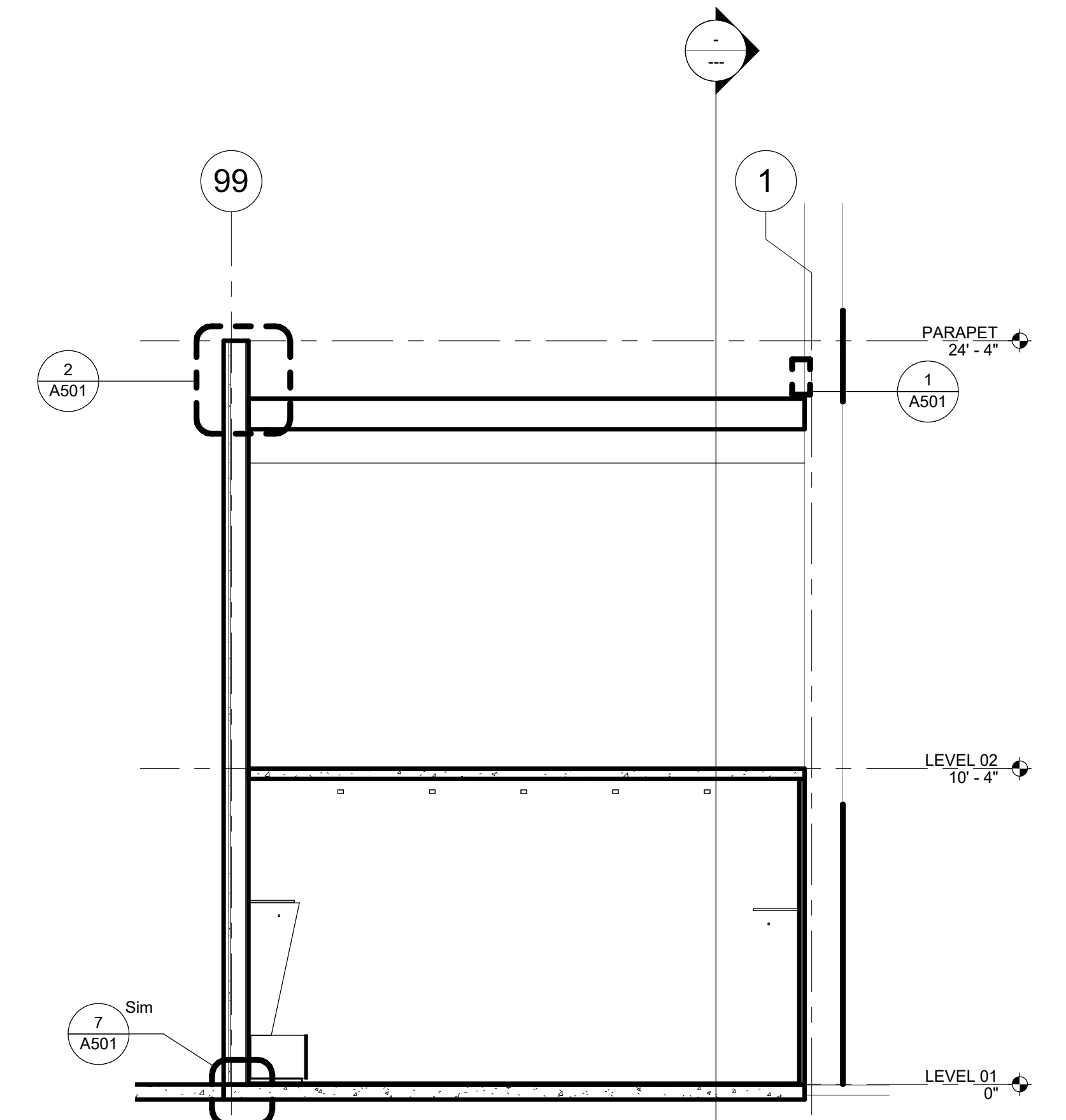
**4 SECTION @ STAIR**  
1/4" = 1'-0"



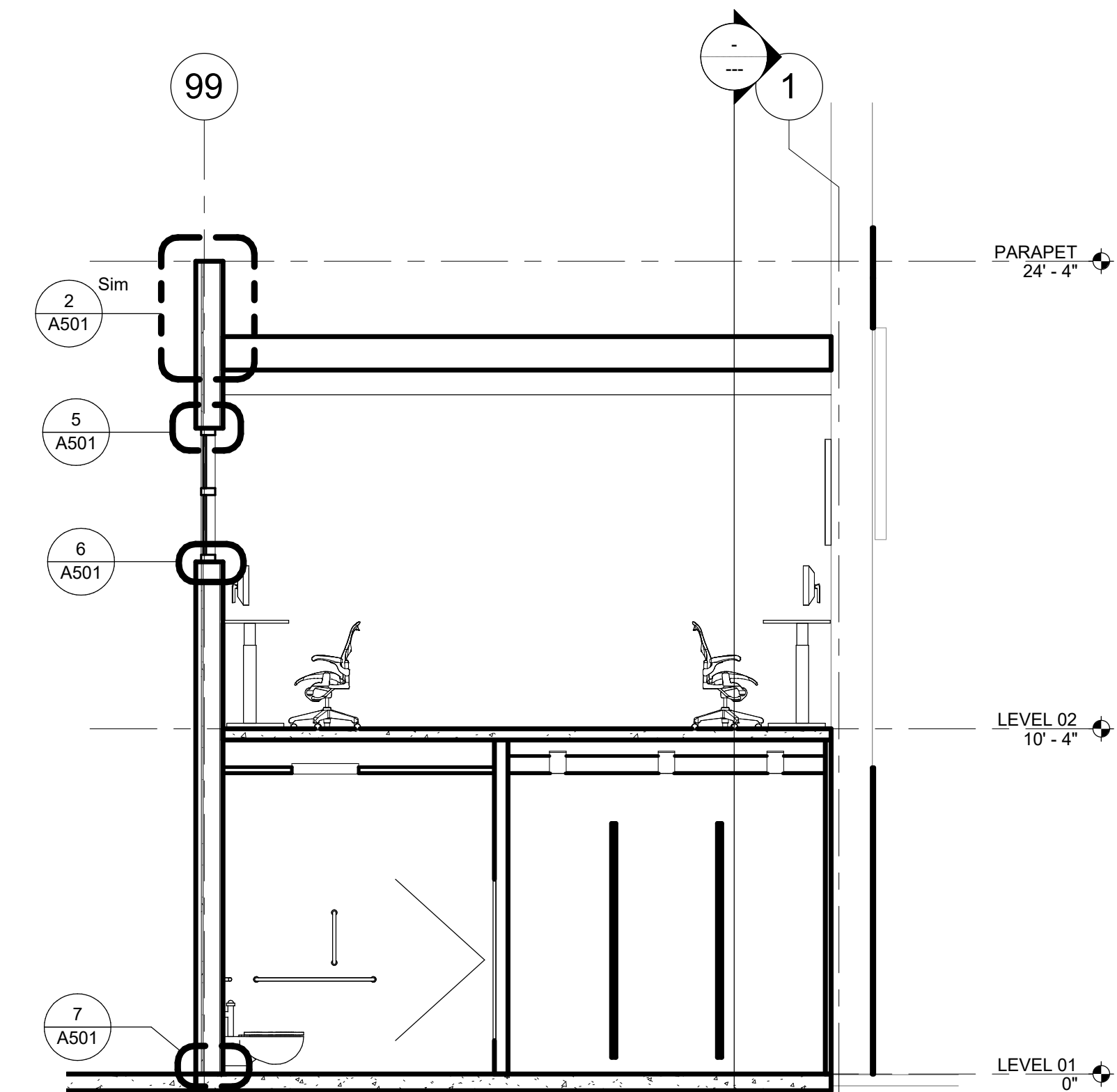
**5 SECTION @ STAIR**  
1/4" = 1'-0"



**3 SECTION @ FLOW-THROUGH PLANTER**  
1/2" = 1'-0"



**1 SECTION @ SOLID WALL**  
1/4" = 1'-0"



**2 SECTION @ WINDOW OPENNING**  
1/4" = 1'-0"

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PROJECT NUMBER

SCALE

As indicated

SHEET TITLE

REFLECTED  
CEILING PLAN -  
LEVEL 01

## A701

### GENERAL RCP NOTES

- A. SEE ENLARGED PLANS FOR MISSING ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE LIGHTING PLANS FOR LAYOUT AND FIXTURE TYPES - VERIFY LAYOUT, ZONES, AND CONTROLS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- C. SEE SHEET GXXX FOR FIRE RATED CONSTRUCTION LOCATIONS

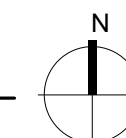
### RCP REFERENCE NOTES

- ① PROVIDE AND INSTALL EXPOSED HVAC SYSTEM
- ② NEW GYPSUM CEILING
- ③ NEW ACT CEILING
- ④ NEW EXPOSED LED LIGHTING
- ⑤ NEW LED CAN LIGHT - WET RATED
- ⑥ NEW 2X2 LED LIGHTING
- ⑦ NEW LED LIGHT COVE
- ⑧ NEW GYP HEADER



1 REFLECTED CEILING PLAN - LEVEL 01

1/4" = 1'-0"



STAMP

PROJECT

**TBPF PHASE III**  
7325 SW CHILDS RD  
PORTLAND, OR 97224

CLIENT

**PORTLAND TRAIL  
BLAZERS**

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

REVISIONS

DATE

MAY 9, 2021

PROJECT NUMBER

SCALE

As indicated

SHEET TITLE

REFLECTED  
CEILING PLAN -  
LEVEL 02

## A702

### GENERAL RCP 2 NOTES

- A. SEE ENLARGED PLANS FOR MISSING ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE LIGHTING PLANS FOR LAYOUT AND FIXTURE TYPES - VERIFY LAYOUT, ZONES, AND CONTROLS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- C. SEE SHEET GXXX FOR FIRE RATED CONSTRUCTION LOCATIONS

### RCP - LEVEL 2 - REFERENCE NOTES

- ① PROVIDE AND INSTALL EXPOSED HVAC SYSTEM
- ② NEW EXPOSED LED LIGHTING



**1 REFLECTED CEILING PLAN - LEVEL 02**

1/4" = 1'-0"

