

Lu Pacific Development - Building 1 & 2

Tualatin, Oregon



ABBREVIATIONS

AC	AIR CONDITIONING	LAV	LAVATORY
ACT	ACOUSTICAL CEILING TILE	LF	LINEAL FOOT
ADJ	ADJUSTABLE	LKR	LOCKER
AFF	ABOVE FINISH FLOOR	LVR	LOUVER
ALT	ALTERNATE	LVT	LUXURY VINYL TILE
ALUM	ALUMINUM	MATL	MATERIAL
APC	ACOUSTICAL PANEL CEILING	MAX	MAXIMUM
APPROX	APPROXIMATE	MDF	MEDIUM DENSITY BOARD
ARCH	ARCHITURAL	MECH	MECHANICAL
AV	AUDIO VISUAL	MEZZ	MEZZANINE
B	BASE	MFR	MANUFACTURER
BLK	BLOCKING	MIN	MINIMUM
BKR	BACKER	MIR	MIRROR
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BEAM	MTD	MOUNTED
BOD	BASIS OF DESIGN	MTL	METAL
BOT	BOTTOM	MU	MULLION
C	CARPET	MW	MICROWAVE
CAB	CABINET	NIC	NOT IN CONTRACT
CG	CORNER GUARD	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CLG	CEILING	OVHD	OVERHEAD
CLO	CLOSER	P	PAINT
CLR	CLEAR	PC	POLISHED CONCRETE
COL	COLUMN	PERF	PERFORATED
CORR	CORRIDOR	PL	PLASTIC LAMINATE
CONC	CONCRETE	PR	PAIR
CWK	CASEWORK	POL	POLISHED
D	DEMOLITION	PP	POWER POLE
DF	DRINKING FOUNTAIN	PWD	PLYWOOD
DIA	DIAMETER	QTY	QUANTITY
DIM	DIMENSION	R	RELOCATED
DW	DISHWASHER	RB	RUBBER BASE
DWG	DRAWING	RCP	REFLECTED CEILING PLAN
DWR	DRAWER	REC	RECESSED
E	EXISTING	REF	REFERENCE
EA	EACH	REV	REVISION OR REVISED
ELEC	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATOR	SC	SEALED CONCRETE
EQ	EQUAL	SD	SOAP DISPENSER
EQUIP	EQUIPMENT	SF	SQUARE FEET/FOOT
EXT	EXTERIOR	SG	SAFETY GLASS
FA	FIRE ALARM	SHT	SHEET
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CABINET	SSM	SOLID SURFACE MATERIAL
FF	FINISHED FLOOR	SPKLR	SPRINKLER
FFIN	FACTORY FINISH	SPKR	SPEAKER
FIN	FINISH	ST	STONE
FIXT	FIXTURE	SV	SHEET VINYL
FLR	FLOOR	STD	STANDARD
FLRG	FLOORING	STL	STEEL
FO	FACE OF	SUSP	SUSPENDED
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	TBD	TO BE DETERMINED
FR	FIRE RATED	THK	THICKNESS
FTIC	FURNISHED BY TENANT, INSTALLED BY CONTRACTOR	TO	TOP OF
FURR	FURRING	TOS	TOP OF SLAB
FUT	FUTURE	T&M	TIME AND MATERIAL
GA	GAUGE	TU	TILT-UP
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GL	GLASS	UON	UNLESS OTHERWISE NOTED
GYP	GYPSUM WALLBOARD	UNF	UNFINISHED
HB	HOSE BIB	UPS	UNINTERRUPTED POWER SUPPLY
HC	HANDICAPPED	UR	URINAL
HDW	HARDWARE	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL (STEEL FRAME)	VFY	VERIFY
HT	HEIGHT	VIF	VERIFY IN FIELD
INCL	INCLUDED OR INCLUDING	WC	WATER CLOSET
INSUL	INSULATION	WD	WOOD
JAN	JANITOR	WH	WALL HUNG
KD	KNOCK DOWN FRAME	W/H	WATER HEATER
Q	QUARTZ	W/O	WITHOUT

PROJECT TEAM

Owner

POWIN DEVELOPMENT
 11325 SW TUALATIN-SHERWOOD RD
 TUALATIN, OREGON 97062

Architect

MILDREN DESIGN GROUP, P.C.
 7650 SW BEVELAND STREET, SUITE 120
 TIGARD, OREGON 97223
 VOICE: 503-244-0552 FAX: 503-244-0417
 CONTACT PERSON: Curt Trolan
 EMAIL: curt@mdgpc.com

Civil Engineer

TM RIPPEY CONSULTING ENGINEERS
 7650 SW BEVELAND STREET, SUITE 100
 TIGARD, OREGON 97223
 VOICE: 503-443-3900
 CONTACT PERSON: Karl Koroch
 EMAIL: kkoroch@tmrippey.com

Structural Engineer

TM RIPPEY CONSULTING ENGINEERS
 7650 SW BEVELAND STREET, SUITE 100
 TIGARD, OREGON 97223
 VOICE: 503-443-3900
 CONTACT PERSON: Ralph Turnbaugh
 EMAIL: rturnbaugh@tmrippey.com

Landscape Architect

AAI ENGINEERING, INC
 4875 S.W. GRIFFITH DRIVE, SUITE 300
 BEAVERTON, OREGON 97005
 VOICE: 503-352-7685
 CONTACT PERSON: Teresa Long
 EMAIL: Teresa@aaieng.com

DRAWING INDEX-ARCHITECTURAL

A0.1	COVER SHEET	2A2.1	BUILDING 2 FLOOR PLAN
A1.1	SITE PLAN	2A2.2	BUILDING 2 ROOF PLAN
C0	GENERAL NOTES AND LEGEND	2A3.1	BUILDING 2 ELEVATIONS
C1	EXISTING CONDITIONS PLAN SOUTHWEST	2A3.2	BUILDING 2 ELEVATIONS
C1.1	EXISTING CONDITIONS PLAN SOUTHWEST	A5.1	SITE DETAILS
C1.2	EXISTING CONDITIONS PLAN SOUTHWEST	A5.2	SITE DETAILS
C1.3	EXISTING CONDITIONS PLAN SOUTHWEST		
C2	GRADING PLAN SOUTHWEST		
C2.1	GRADING PLAN SOUTHWEST		
C2.2	GRADING PLAN SOUTHWEST		
C2.3	GRADING PLAN SOUTHWEST		
C3	UTILITY PLAN SOUTHWEST		
C3.1	UTILITY PLAN SOUTHWEST		
C3.2	UTILITY PLAN SOUTHWEST		
C3.3	UTILITY PLAN SOUTHWEST		
C4	DETAILS		
L1.0	TREE REMOVAL AND PROTECTION PLAN		
L1.1	LANDSCAPE PLAN		
L1.2	LANDSCAPE PLAN		
L1.3	LANDSCAPE PLAN		
L2.0	LANDSCAPE DETAILS AND PLANTING NOTES		
L3.0	LANDSCAPE AND IR SPECS		
ECL1.00	SITE LIGHTING PHOTOMETRIC		
ECL2.00	LIGHT FIXTURE CUT SHEETS		
1A2.1	BUILDING 1 FLOOR PLAN		
1A2.2	BUILDING 1 ROOF PLAN		
1A3.1	BUILDING 1 ELEVATIONS		
1A3.2	BUILDING 1 ELEVATIONS		
1A3.3	BUILDING 1 ELEVATIONS		
1A3.4	BUILDING 1 ELEVATIONS		

SITE DATA

AREA: SITE	AREA: 370,726 S.F. (8.51 AC)	% COVERAGE:
IMPERVIOUS AREA: BUILDING 1 (FOOTPRINT): BUILDING 2 (FOOTPRINT): PAVING AREA: TOTAL IMPERVIOUS AREA:	104,254 SF 27,325 SF 179,754 SF 311,360 SF	28.12% 7.37% 48.49% 83.98%
LANDSCAPE AREA: LANDSCAPING:	59,393 SF	16.02%
PARKING: STANDARD: ACCESSIBLE: TOTAL SPACES PROVIDED:	# SPACES PROVIDED: 195 7 202	# SPACES REQUIRED: WAREHOUSE/DIST .3/1000 SF = 40 7

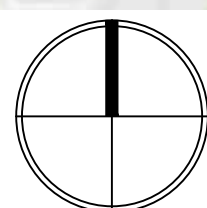
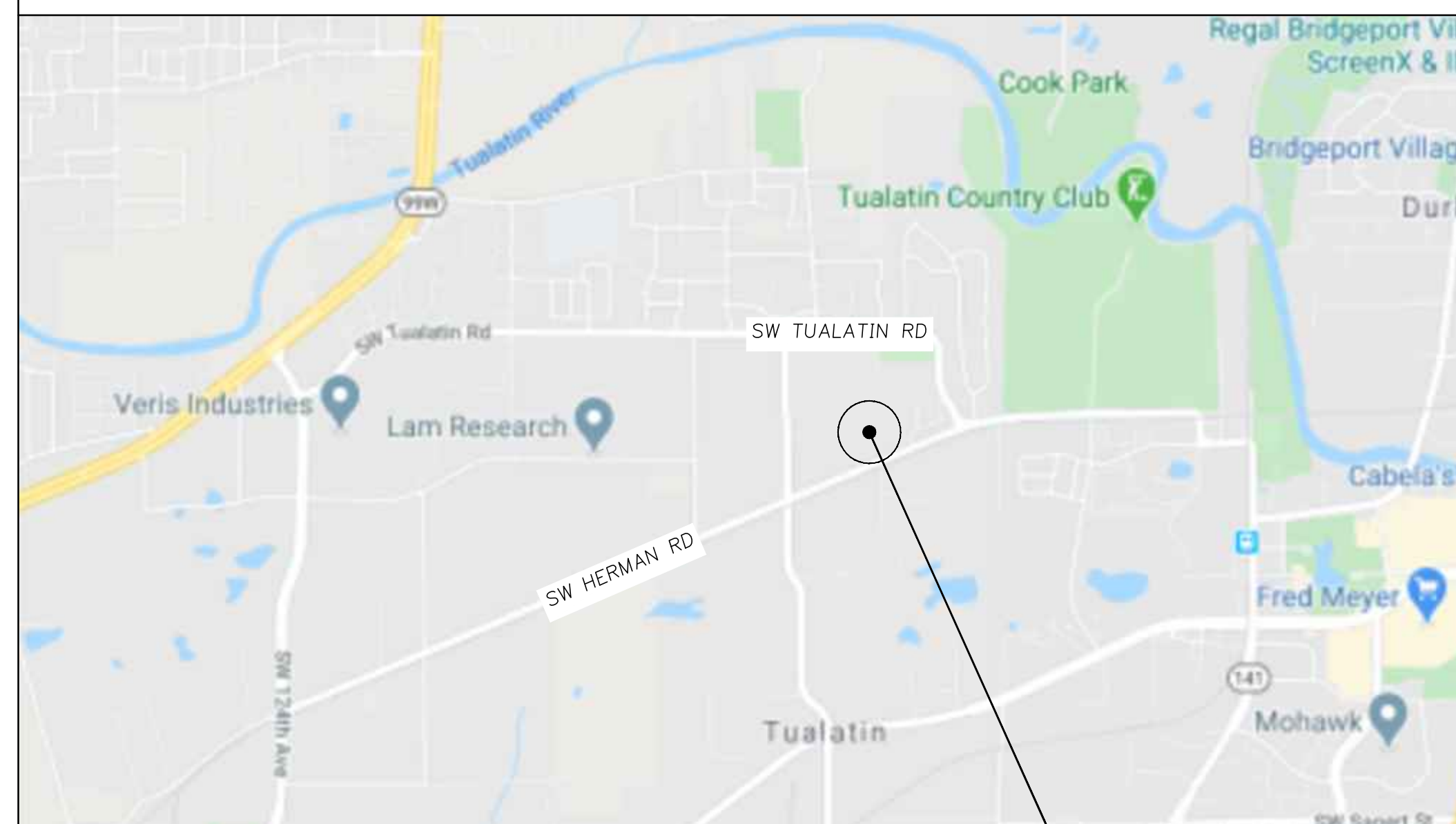
LEGAL DESCRIPTION

TAX LOT 901, 2S 1 23B, WASHINGTON COUNTY, OREGON

ZONE ANALYSIS

ZONE:	LI - LIGHT INDUSTRIAL
ALLOWABLE USE TYPE:	GENERAL COMMERCIAL MISC. INDUSTRIAL USES MANUFACTURING OFFICE/WAREHOUSE

VICINITY MAP

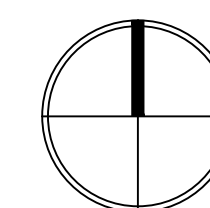
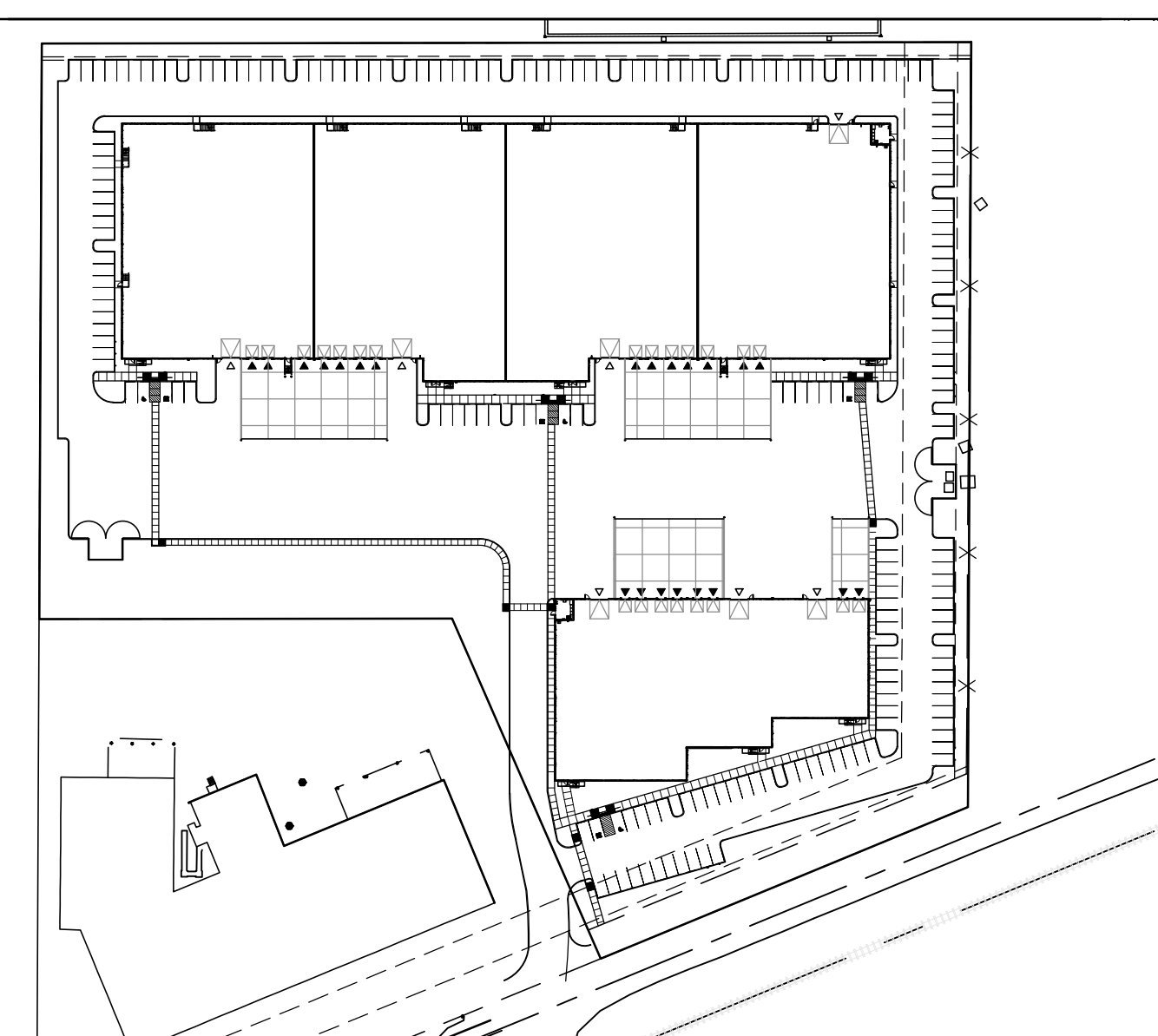


Vicinity Plan

N.T.S.

Building Site

KEY PLAN



Site Plan

N.T.S.

Client:

Lu Pacific Development

11325 SW Tualatin-Sherwood Rd
 Tualatin, OR 97062

Project:

Lu Pacific Development Building

1005 SW Herman Road
 Tualatin, OR 97062

Sheet Title:

Cover Sheet

Revisions:

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Date: April 2020

Drawn by: Checked by:

TQL

Job Number: 117013

Sheet



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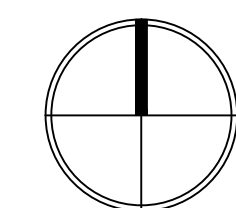
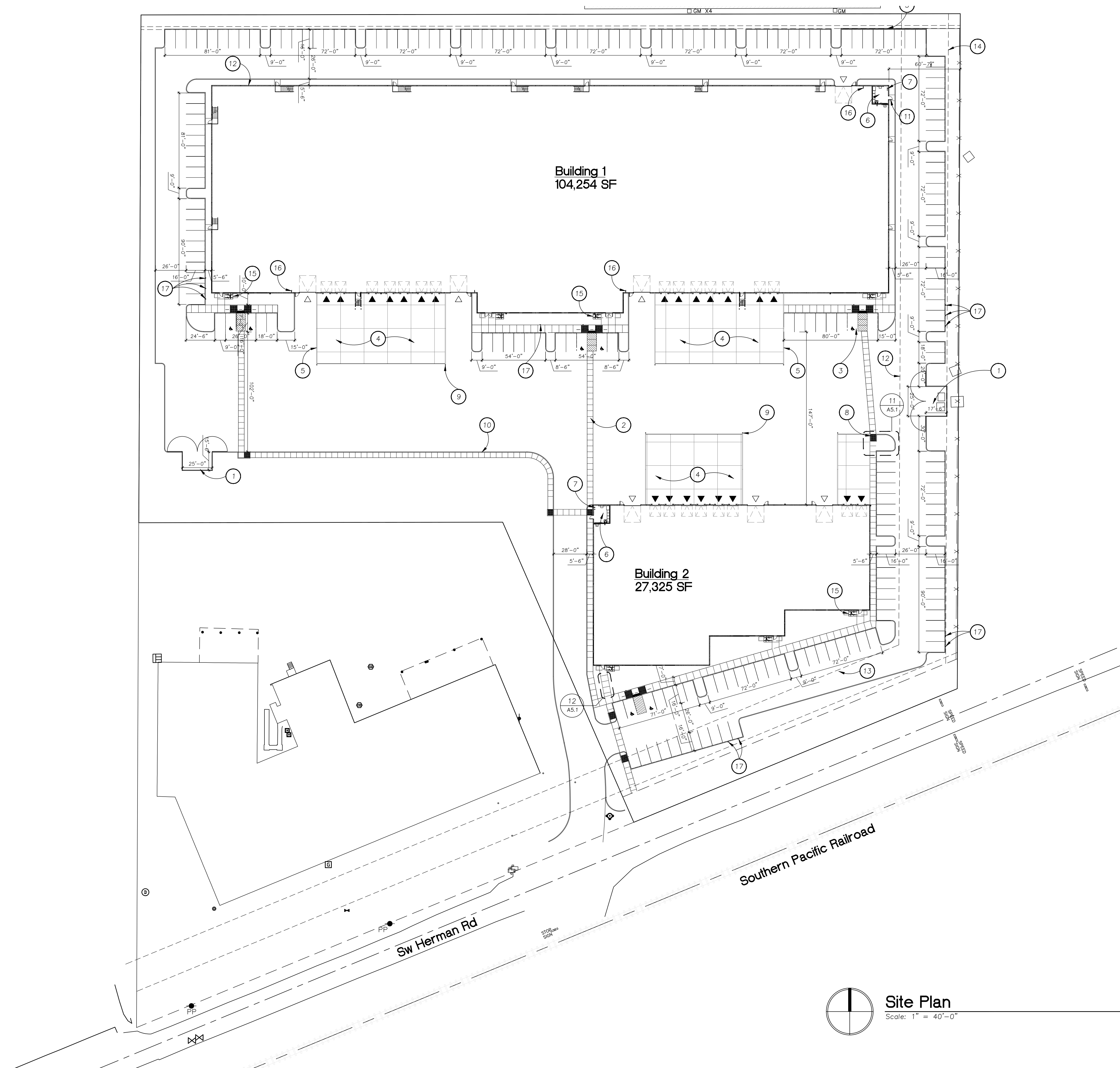
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Keynotes

1. CONCRETE TRASH/RECYCLING ENCLOSURE, PAINTED - SEE DETAIL 5/A5.1
2. PEDESTRIAN ACCESS AT CONCRETE WALK FLUSH WITH ASPHALTIC PAVING
3. ACCESSIBLE PARKING SPACE, RAMP, SIGNAGE AND ACCESSIBLE AISLE - SEE DETAIL 1/A5.1
4. CONCRETE TRUCK APRON
5. CONCRETE RETAINING WALL
6. ELECTRICAL ROOM
7. SPRINKLER RISER
8. ACCESSIBLE RAMP
9. 6"Ø CONCRETE GROUT FILLED PROTECTION BOLLARD - SEE DETAIL 10/A5.1
10. CONCRETE CURB
11. KNOX BOX, COORDINATE LOCATION WITH OWNER
12. 50' BUILDING SETBACK TO RESIDENTIAL
13. 30' FRONT YARD SETBACK
14. 10' SETBACK FOR PARKING AND CIRCULATION
15. BIKE LOOP FOR 2 BIKES COVERED UNDER ENTRY CANOPY
16. WALL HUNG BIKE RACK
17. VANPOOL/CARPOOL SIGNAGE

Legend

- △ DRIVE-IN DOOR
- ▲ DOCK-HIGH DOOR



Site Plan

Scale: 1" = 40'-0"

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GENERAL GRADING NOTES (GGN)

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION AND THE PROJECT GEOTECHNICAL INVESTIGATION.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS, INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL NOTIFY THE OREGON UTILITY NOTIFICATION CENTER (800 332 2344) THREE BUSINESS DAYS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF PRIVATE UTILITIES SUCH AS GAS, TELEPHONE, POWER, DATA, ETC. CONFIRM VAULT LOCATIONS WITH THE ARCHITECT.
- THE CONTRACTOR SHALL KEEP THE ARCHITECT AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 48-HOUR NOTICE IS REQUIRED.
- EXISTING CONDITIONS BASED ON TOPOGRAPHIC, BOUNDARY, AND UTILITY SURVEY PREPARED BY WEDDLE AND ASSOCIATES, JULY 2019.
- FINISHED GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT. IN 10 FT. OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT. IN 10 FT. AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL AND PLANTINGS IN ROUGH GRADING.
- GRADING ELEVATIONS AS SHOWN ON PLANS ARE FINISHED GRADE, WHICH INCLUDES PAVING, BASE ROCK, AND SUBGRADE SOIL. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND PAVING CONTRACTOR.
- SEE PROJECT GEOTECHNICAL ANALYSIS FOR PAVING AND BASE ROCK THICKNESS AND FOR EXCAVATION, FILL, AND COMPACTION REQUIREMENTS.
- IF DEWATERING IS REQUIRED DURING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DEWATERING PLAN CONSISTENT WITH CITY OF TUALATIN AND CLEAN WATER SERVICES (CWS) REQUIREMENTS, AND OBTAIN APPROVAL OF THE PLAN FROM BOTH JURISDICTIONS PRIOR TO PROCEEDING WITH DEWATERING.
- THE CONTRACTOR SHALL CLEAN ALL CATCH BASINS AND STORM LINES IMPACTED BY SITE DEVELOPMENT FOLLOWING COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE CITY OF TIGARD AND CWS. NO SEDIMENT SHALL BE ALLOWED TO ENTER NEW OR EXISTING INLETS.

GENERAL UTILITY NOTES (GUN)

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE PLUMBING CODE, BUILDING CODE, AND THE FIRE CODE.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL NOTIFY THE OREGON UTILITY NOTIFICATION CENTER (800 332 2344) THREE BUSINESS DAYS PRIOR TO ANY EXCAVATION.
- EXISTING CONDITIONS BASED ON TOPOGRAPHIC, BOUNDARY, AND UTILITY SURVEY PREPARED BY WEDDLE AND ASSOCIATES, JULY 2019.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF PRIVATE UTILITIES SUCH AS GAS, TELEPHONE, POWER, CABLE TELEVISION, ETC. CONFIRM VAULT LOCATIONS WITH ARCHITECT.
- THE CONTRACTOR SHALL KEEP THE ARCHITECT AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 48-HOUR NOTICE IS REQUIRED.
- THE CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS. EXISTING UTILITIES AND POINTS OF CONNECTION TO EXISTING UTILITIES AND LOCATIONS WHERE NEW UTILITIES WILL CROSS EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY POTHOLING PRIOR TO CONSTRUCTION OR ORDERING MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE POTHOLES SUCH THAT IF CONFLICTS ARE ENCOUNTERED, SUFFICIENT TIME EXISTS TO PREPARE MODIFIED DESIGNS AND HAVE THE MODIFICATIONS APPROVED BY THE JURISDICTION WITHOUT IMPACTING THE PROJECT SCHEDULE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- INSTALL CLEANOUTS AT 100' MAX. AND AT ALL LATERALS PER CODE. PROVIDE CLEANOUTS AS REQUIRED BY THE CURRENT OREGON PLUMBING SPECIALTY CODE. NOT ALL REQUIRED CLEANOUTS ARE SHOWN.
- UTILITIES WITHIN TWO FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE PLUMBING CODE.
- CHANGES IN DIRECTION OF DRAINAGE AND SEWER PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
- IF DEWATERING IS REQUIRED DURING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DEWATERING PLAN CONSISTENT WITH CITY OF TUALATIN AND CLEAN WATER SERVICES (CWS) REQUIREMENTS, AND OBTAIN APPROVAL OF THE PLAN FROM BOTH JURISDICTIONS PRIOR TO PROCEEDING WITH DEWATERING.
- THE CONTRACTOR SHALL CLEAN ALL CATCH BASINS AND STORM LINES IMPACTED BY SITE DEVELOPMENT FOLLOWING COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE CITY OF TUALATIN AND CWS. NO SEDIMENT SHALL BE ALLOWED TO ENTER THE STORM SYSTEM.
- COORDINATE WITH CITY OF TUALATIN FOR PROVISION OF NEW FIRE TAP AND SERVICE AND NEW DOMESTIC WATER SERVICE AND METERS AT SW HERMAN ROAD FRONTAGE. CONTRACTOR TO INSTALL 2-INCH SERVICE PIPE FROM METER TO EACH BUILDING RISER ROOM AND INSTALL CITY OF TUALATIN APPROVED DOMESTIC BACKFLOW PREVENTERS IN VAULTS ADJACENT TO THE METERS. SIZE OF DOMESTIC SERVICE, CAPACITY OF METER, BUILDING DOMESTIC WATER DEMAND AND SIZE OF PIPING TO BUILDING IS ASSUMED AND TO BE CONFIRMED BY BUILDING PLUMBING DESIGNER PRIOR TO CONSTRUCTION OR ORDERING MATERIAL. CONTRACTOR TO DETERMINE REQUIRED BACKFLOW PREVENTER TYPE PRIOR TO CONSTRUCTION OR ORDERING MATERIALS; COORDINATE WITH BUILDING PLUMBING DESIGNER. CONTRACTOR TO DETERMINE IF REMOTE METER READER IS REQUIRED AND PROVIDE AS DIRECTED BY CITY OF TUALATIN. IRRIGATION CONNECTION IS TO BE DOWNSTREAM OF BUILDING WATER METERS AND TO BE OF CITY OF TUALATIN APPROVED TYPE. SEE LANDSCAPE PLANS FOR DISCUSSION OF IRRIGATION BACKFLOW PREVENTER AND CONTINUATION TO IRRIGATION SYSTEM. NO CONNECTIONS MAY OCCUR BETWEEN DOMESTIC METER AND BACKFLOW PREVENTERS INSIDE BUILDING.
- FIRE DCDA TO SERVE BOTH NEW BUILDINGS WILL BE AT RIGHT OF WAY WITH SIZE TO BE CONFIRMED BY CONTRACTOR IN CONSULTATION WITH BUILDING FIRE SYSTEM DESIGNER. FIRE LINE PIPE SIZE IS ASSUMED AND TO BE CONFIRMED BY BUILDING FIRE SYSTEM DESIGNER BASED ON THEIR FLOW TESTING. ALL SITE FIRE PIPING AND HYDRANT PIPING TO BE FULLY MECHANICALLY RESTRAINED WITH PRODUCTS APPROVED BY THE CITY OF TUALATIN.
- INSTALL AUTOMATIC DRAIN VALVE IN VAULT AT LOW POINT OF EACH FDC LINE. PROVIDE DRAINAGE FROM VAULTS TO CITY OF TUALATIN APPROVED LOCATIONS. SIZE OF FDC PIPES IS ASSUMED AND TO BE CONFIRMED BY BUILDING FIRE SYSTEM DESIGNER. FDC TO CONFORM TO REQUIREMENTS OF TUALATIN VALLEY FIRE AND RESCUE (TVF&R).
- WATER LINE, FITTINGS, VALVES, HYDRANTS, AND COMPONENTS TO CONFORM TO THE REQUIREMENTS OF CITY OF TUALATIN AND BE FULLY MECHANICALLY RESTRAINED. HYDRANTS TO ALSO CONFORM TO REQUIREMENTS OF TVF&R. CONNECTIONS TO EXISTING ON SITE WATER MAIN TO CONFORM TO CITY OF TUALATIN REQUIREMENTS.
- BUILDING SANITARY PIPE SIZE IS ASSUMED AND TO BE CONFIRMED BY BUILDING PLUMBING DESIGNER BASED ON THEIR CALCULATION OF DESIGN FIXTURE DISCHARGE. SEE BUILDING PLUMBING PLANS FOR SANITARY CONTINUATION WITHIN BUILDING.
- CORE EXISTING PUBLIC SANITARY MANHOLE FOR NORTH BUILDING SERVICE CONNECTION. MODIFY CHANNEL AND RELOCATE STEPS AS REQUIRED. REMOVE LID AND ROTATE AS REQUIRED TO MATCH INTERNAL STEPS. SEPARATE PUBLIC WORKS PERMIT REQUIRED FOR CONNECTION TO AND WORK ON THIS MANHOLE.

LEGEND

	PROPOSED	EXISTING
PROJECT BOUNDARY	—	—
PROPERTY LINE	—	—
EASEMENT LINE	---	---
FENCE	— x — x —	— x — x —
CURB	====	====
EDGE OF PAVEMENT	====	====
1' CONTOUR	— 121 —	--- 121 ---
5' CONTOUR	— 120 —	--- 120 ---
STORM SEWER LINE	— SD —	— STM —
WATER LINE	— W —	— WAT —
FIRE DEPT. CONNECTION LINE	— FDC —	
FIRE WATER LINE	— FW —	
DOMESTIC WATER LINE	— DW —	
SANITARY SEWER LINE	— SS —	— SAN —
GAS LINE		— GAS —
OVERHEAD UTILITY WIRE		— OHW —
UNDERGROUND POWER LINE		— PWR —
COMMUNICATION LINE		— COM —
EXISTING FEATURE OR CONDITION		(E)
CATCH BASIN	CB	
TOP OF CURB	TC	
GUTTER	G	
TOP OF STEP	TS	
BOTTOM OF STEP	BS	
TOP OF WALL	TW	
BOTTOM OF WALL AT FINISHED GRADE	BW	
FINISHED GRADE	FG	
FOOTING	FTG	
PERFORATED PIPE	PERF	
DUCTILE IRON	D.I.	
BACKFLOW PREVENTER	BFP	
BOTTOM	BOT	
CITY OF TUALATIN	COT	
CLEAN WATER SERVICES	CWS	
GENERAL GRADING NOTES	GGN	
GENERAL UTILITY NOTES	GUN	
DECIDUOUS TREE		
CONIFEROUS TREE		

MILDREN DESIGN GROUP

ARCHITECTURE | INTERIORS
7650 SW Beveland Street, Suite 100
Tigard, Oregon 97223 - 8692
O 503.244.0552



T.M. RIPPEY
CONSULTING ENGINEERS

7650 SW Beveland, Suite 100
Tigard, Oregon 97223
Phone: (503) 443-3900
Fax: (503) 443-3700

Client:

Lu Pacific
Development

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

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Lu Pacific
Development
Building

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Tualatin, OR 97062

Sheet Title:

General Notes
& Legend

Revisions:

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Date: 4 June 2020

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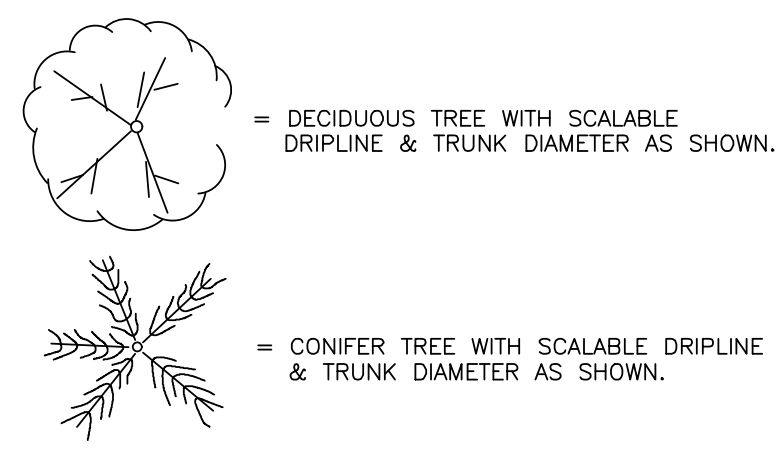
AS KJK

TMR Job Number: 20096

Sheet

LEGEND

- A/C = ASPHALTIC CONCRETE
 - BOT. = BOTTOM
 - CB = CATCH BASIN
 - CCP = CORRUGATED CULVERT PIPE
 - CPVC = CORRUGATED POLYVINYL CHLORIDE (PIPE)
 - CMP = CORRUGATED METAL PIPE
 - CO = CLEANOUT
 - CONC = CONCRETE
 - DI = DUCTILE IRON (PIPE)
 - DIA. = DIAMETER
 - ELEV. = ELEVATION
 - FH = FIRE HYDRANT
 - GM = GAS METER
 - I.E. = INVERT ELEVATION
 - IR = IRON ROD
 - O/H = OVERHEAD
 - PP = POWER POLE
 - PVC = POLYVINYL CHLORIDE (PIPE)
 - SE = SPOT ELEVATION
 - SDMH = STORM DRAIN MANHOLE
 - SSMH = SANITARY SEWER MANHOLE
 - TBM = TEMPORARY BENCHMARK
 - TEL RSR = TELEPHONE RISER
 - WM = WATER METER
 - WV = WATER VALVE
-
- COMMUNICATIONS LINE
 - ELECTRIC LINE
 - GAS LINE
 - STORM DRAIN LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - FENCE LINE



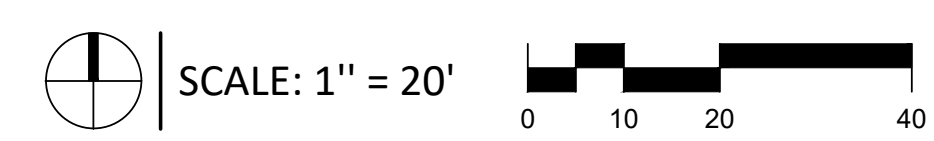
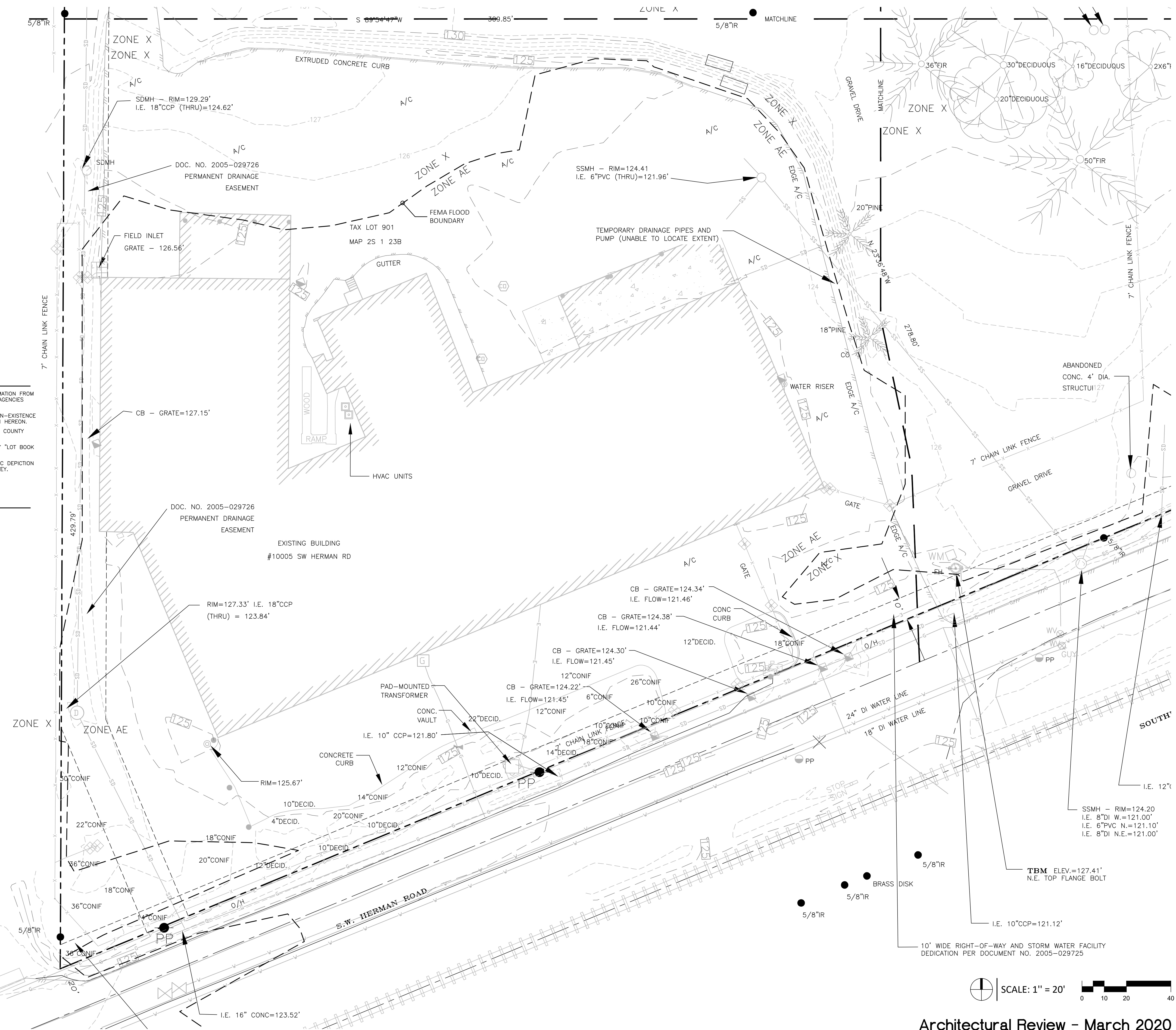
SURVEYOR'S NOTES

1. UTILITY LINES SHOWN ON THE MAP ARE PER SURFACE FEATURES, AS BUILT INFORMATION FROM UTILITY SERVICE PROVIDERS, AS-BUILT INFORMATION PROVIDED BY GOVERNMENTAL AGENCIES AND SURFACE MARKINGS BY OTHERS.
2. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE/NON-EXISTENCE OR FULL EXTENT OF ANY UNDERGROUND UTILITY LINES FOR THE PROPERTY SHOWN HEREON.
3. BASIS OF BEARINGS AND BOUNDARY RESOLUTION PER SURVEY 25339, WASHINGTON COUNTY SURVEY RECORDS.
4. EASEMENTS PLOTTED HEREON ARE PER FIRST AMERICAN TITLE INSURANCE COMPANY "LOT BOOK SERVICE", ORDER NO. NCS-456379-OR1, DATED AS OF SEPTEMBER 9, 2010.
5. DUE TO IRREGULARITIES OF THE GROUND SURFACE ON THIS SITE, THE TOPOGRAPHIC DEPICTION SHOWN HEREON IS LIMITED TO THE LOCATION OF SHOTS TAKEN DURING THIS SURVEY.

BENCHMARK

WASHINGTON COUNTY 3" BRASS DISK IN A CONCRETE CURB AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SW BOONES FERRY ROAD AND SW TUALATIN RD. ELEVATION = 122.154' (NGVD '29 DATUM).

TAX LOT 701
MAP 2S 1 23B



Architectural Review - March 2020

Client:
Lu Pacific Development

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
Lu Pacific Development Building

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
Existing Conditions Plan Southwest

Revisions:

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**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Existing
Conditions
Plan
Southeast**

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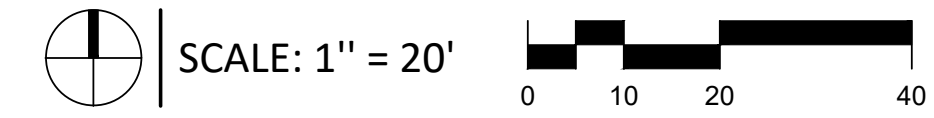
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C1.1



Architectural Review - March 2020

Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Existing
Conditions
Plan
Northeast**

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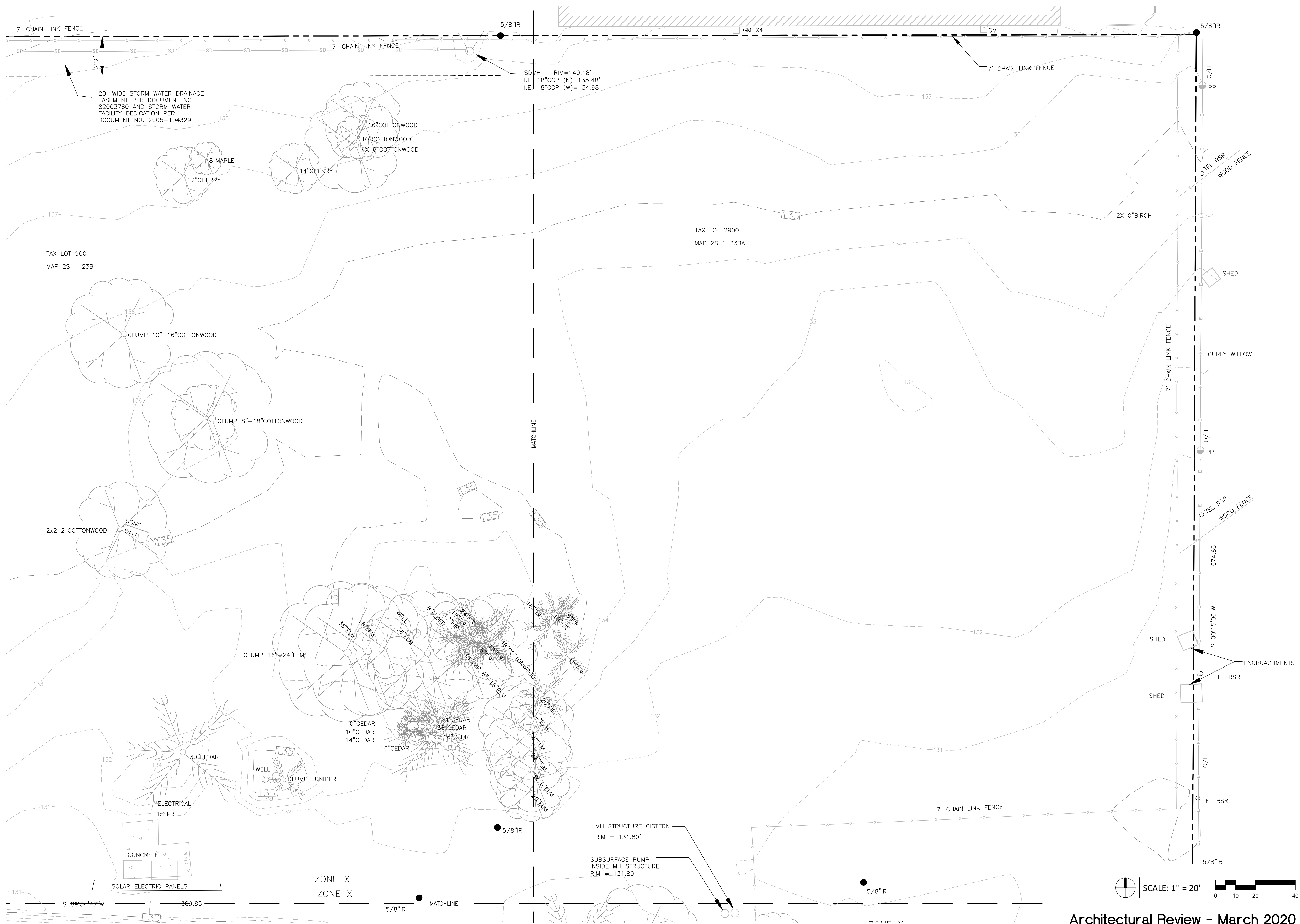
Date: 29 April 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C1.2



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Existing
Conditions
Plan
Northwest**

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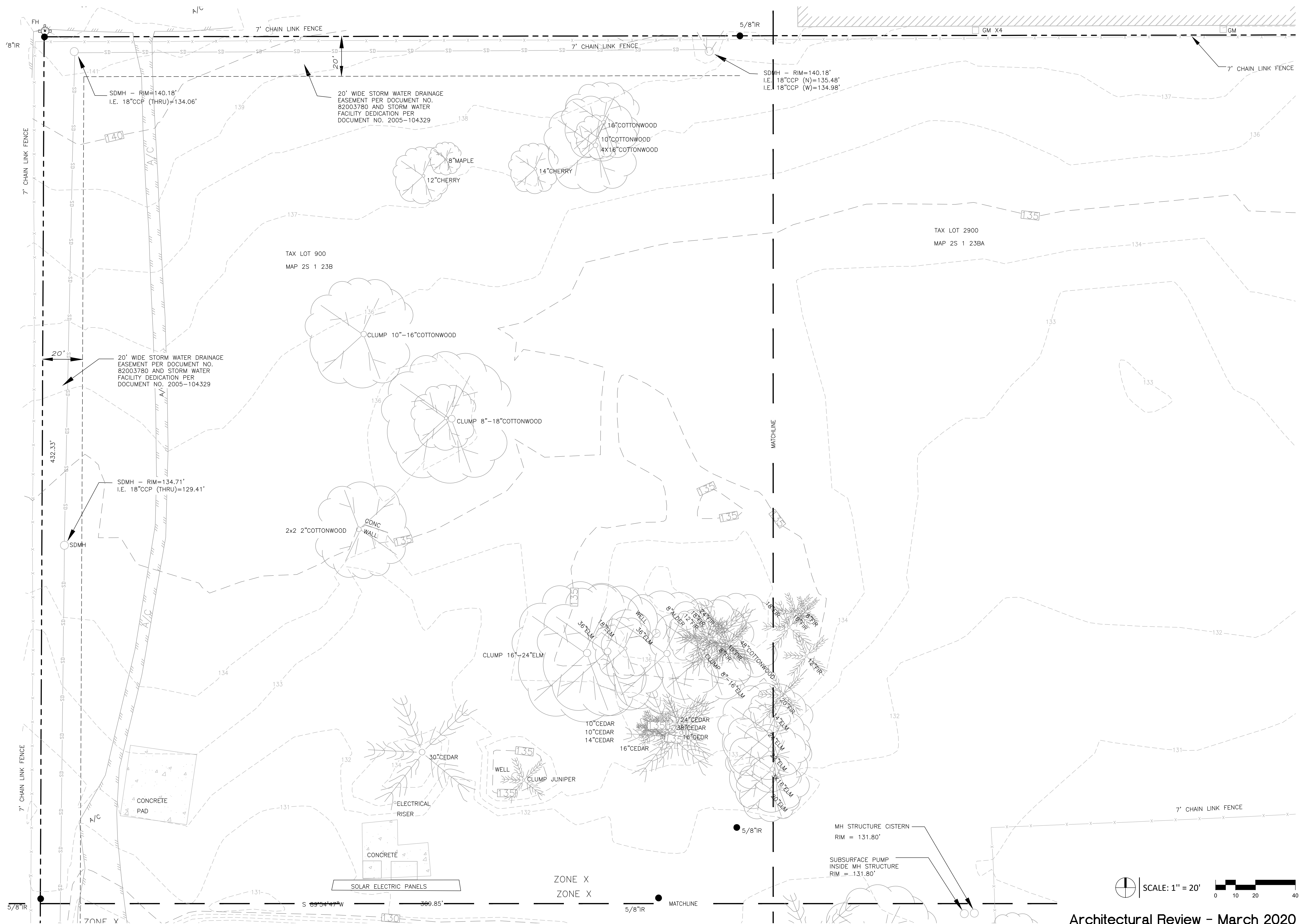
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C1.3



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Grading Plan
Southwest**

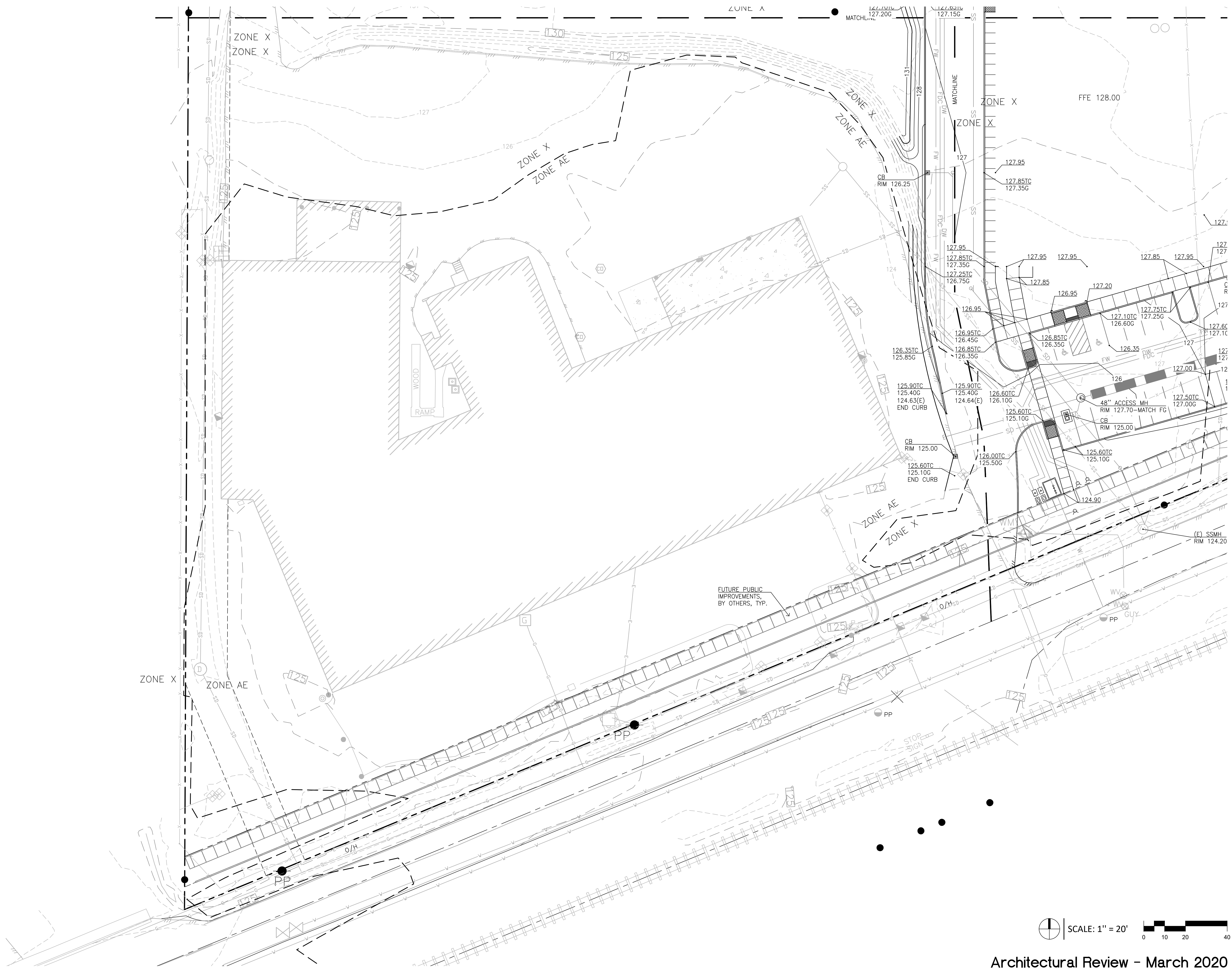
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Date: 4 June 2020
Drawn by: AS Checked by: KJK
TMR Job Number: 20096
Sheet

C2



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Grading Plan
Southeast**

Revisions:

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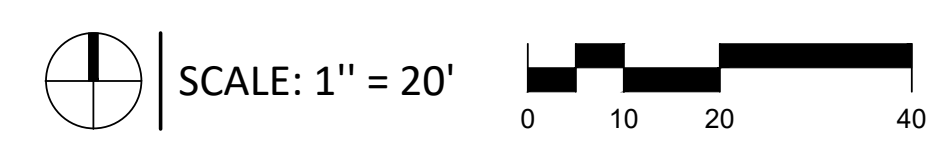
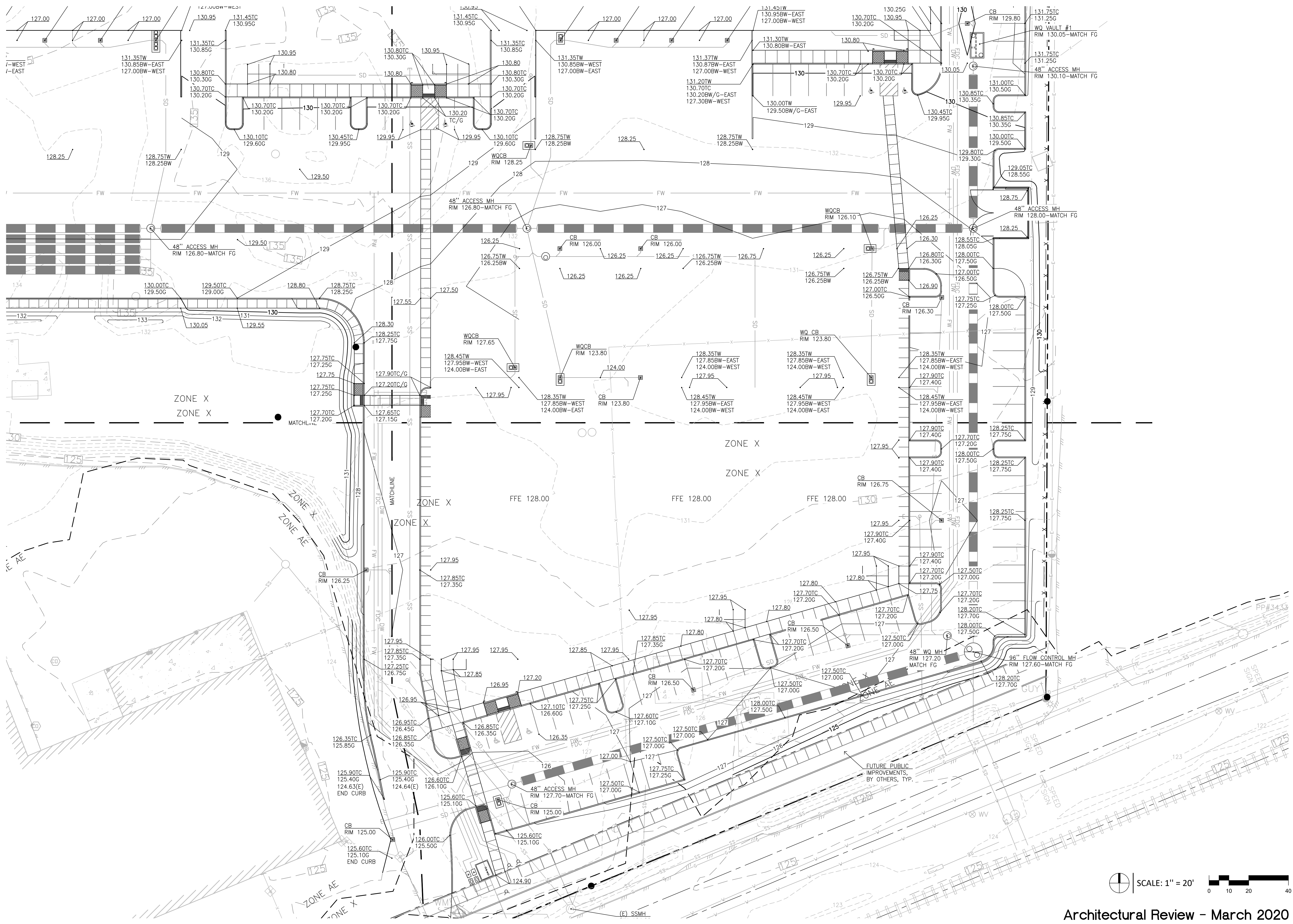
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C2.1



Client:

**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:

**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:

**Grading Plan
Northeast**

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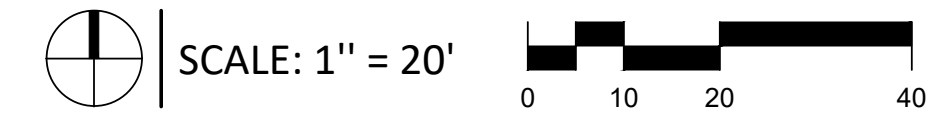
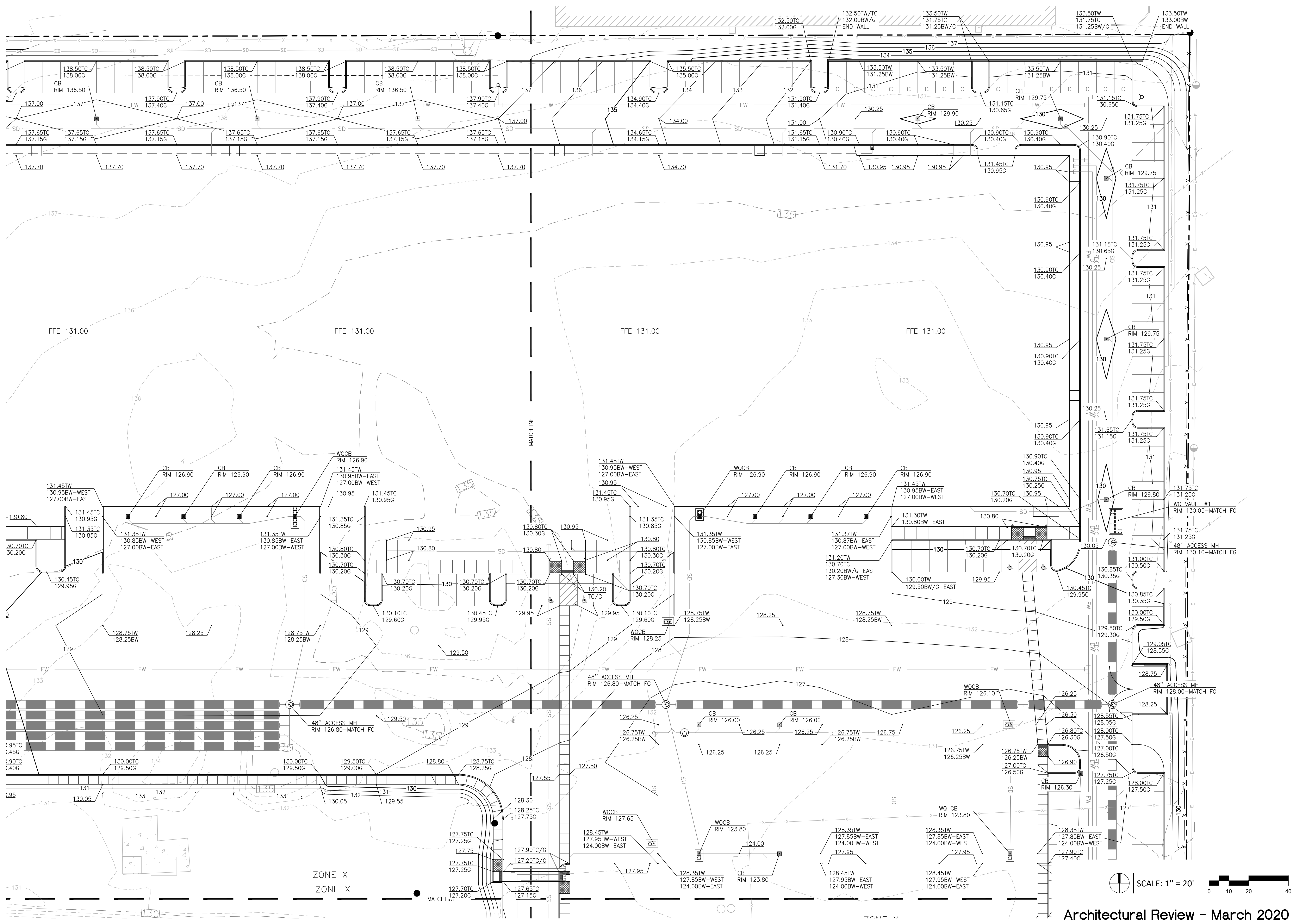
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C2.2



Architectural Review - March 2020

Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Grading Plan
Northwest**

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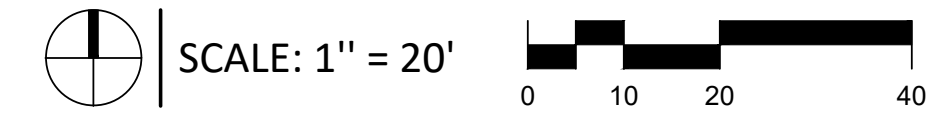
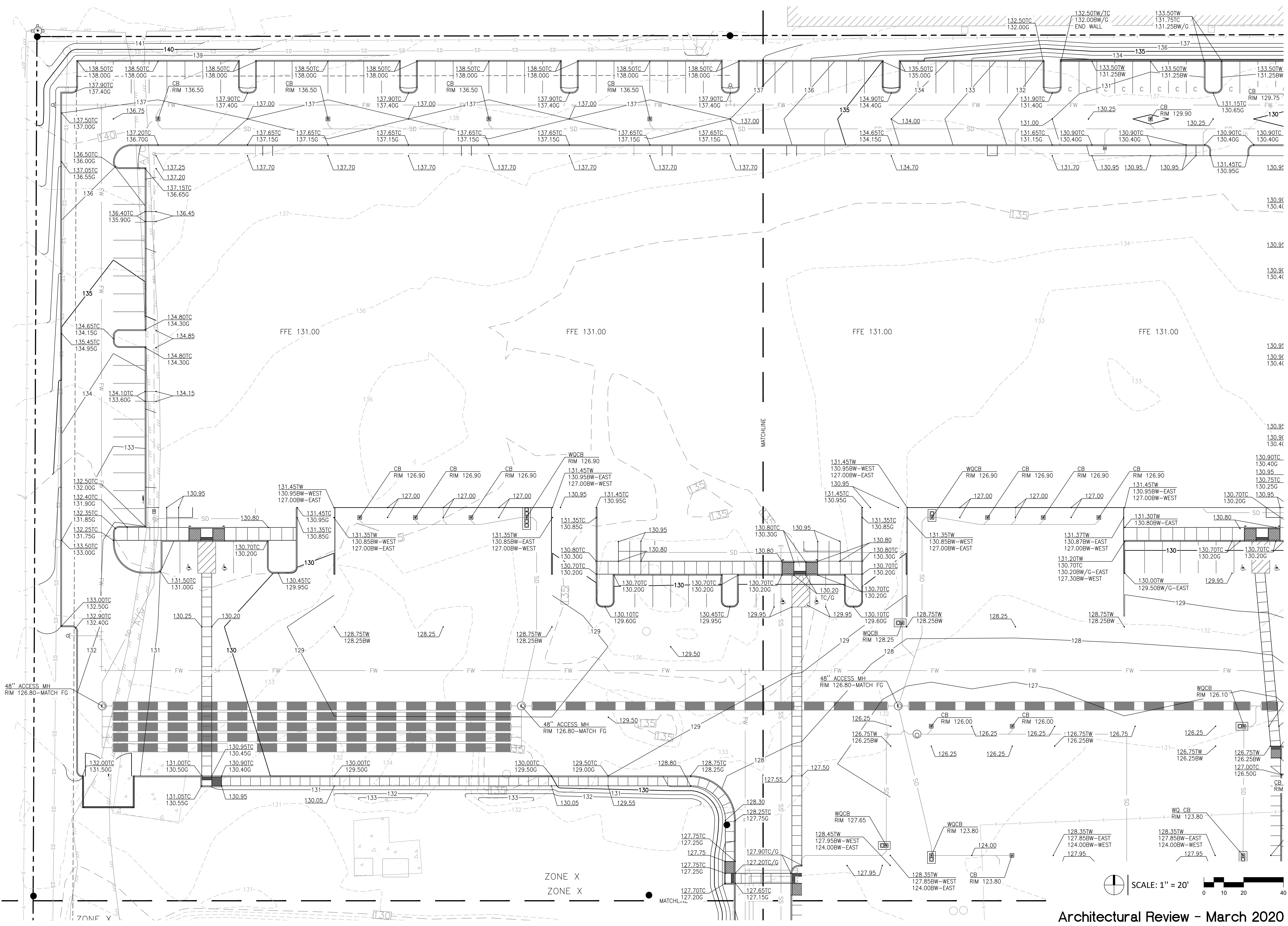
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C2.3



Architectural Review - March 2020

Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Utility Plan
Southwest**

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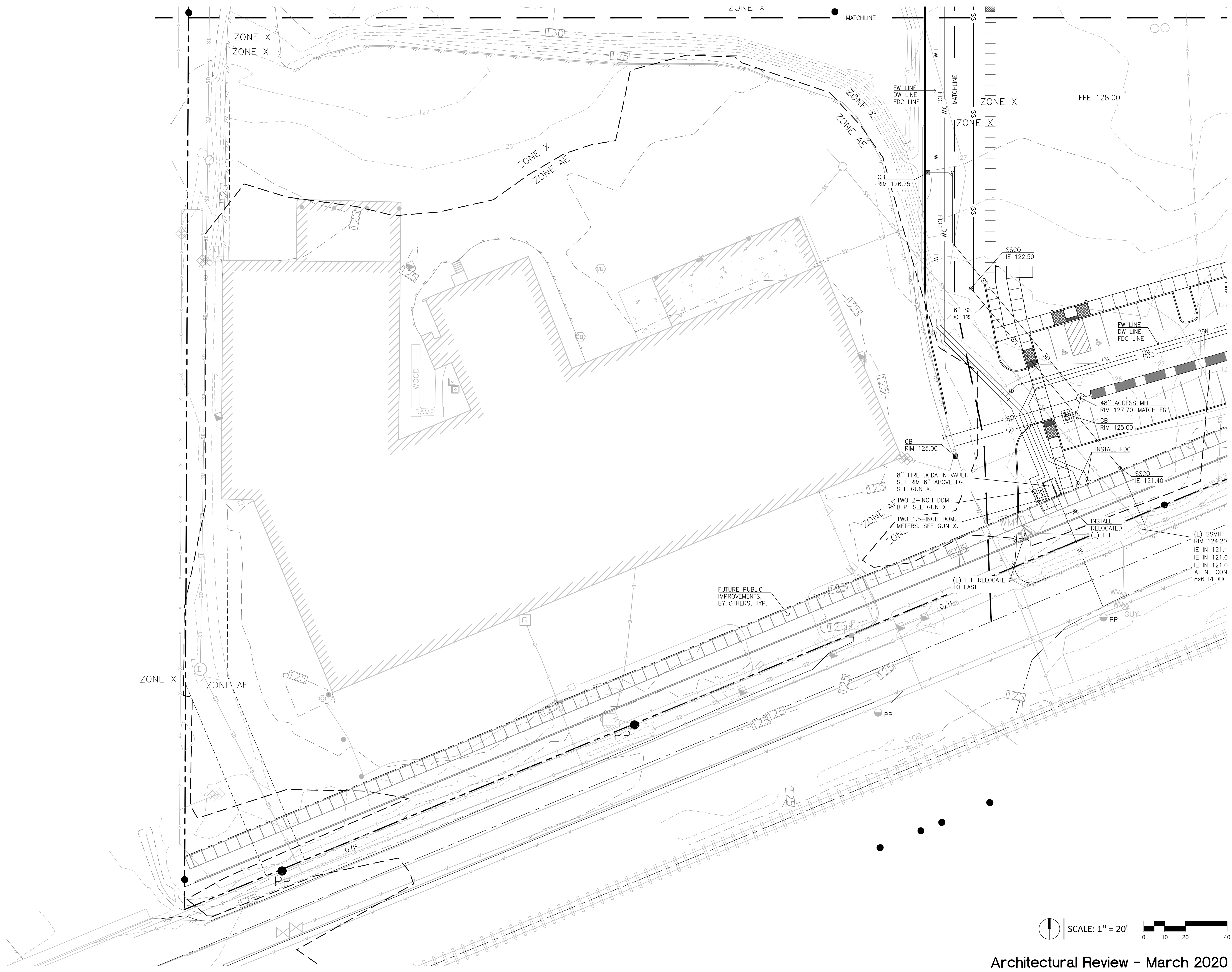
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C3



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Utility Plan
Southeast**

Revisions:

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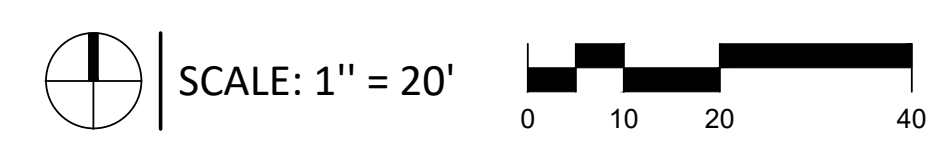
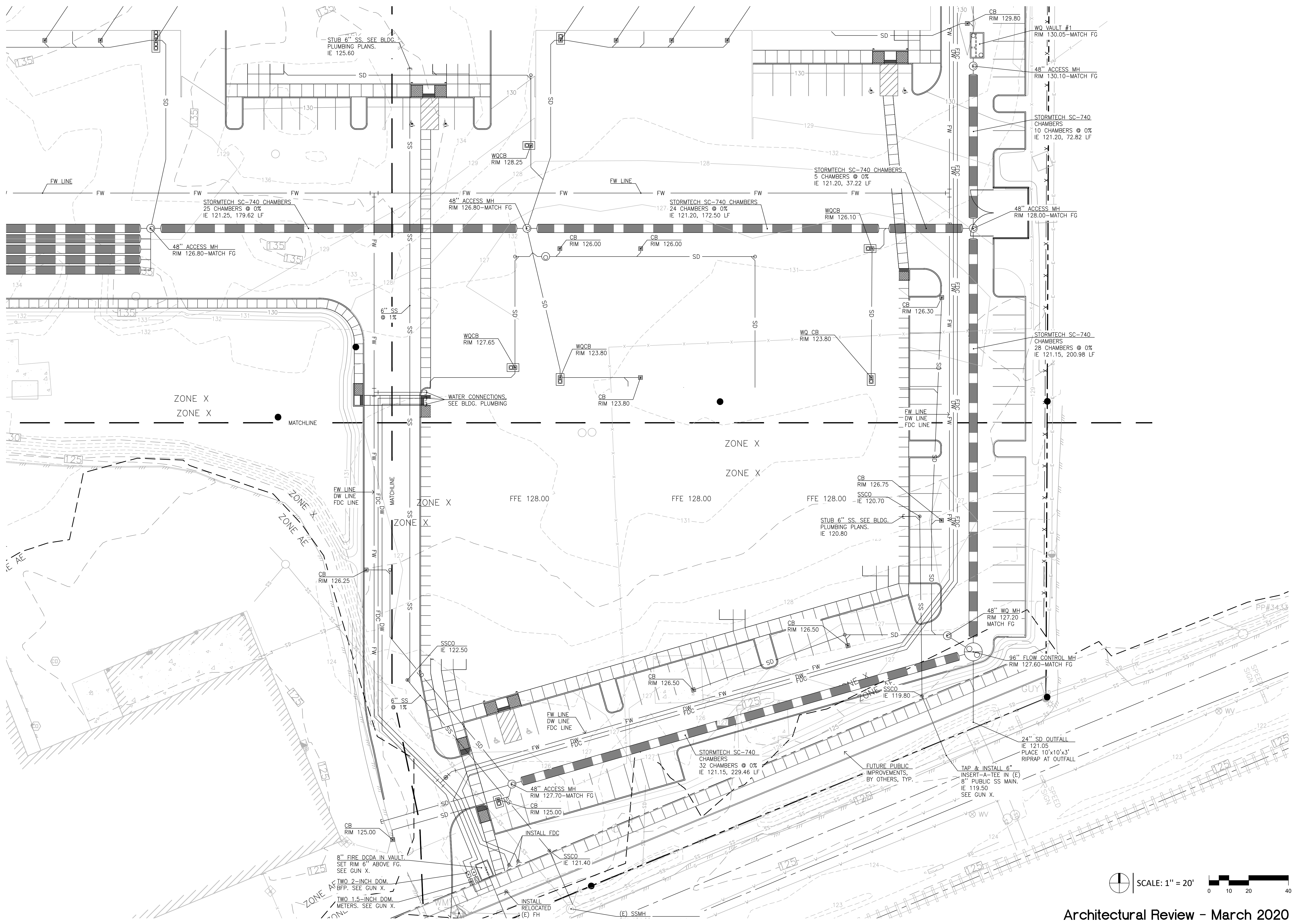
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Date: 4 June 2020

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TMR Job Number: 20096

Sheet



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Utility Plan
Northeast**

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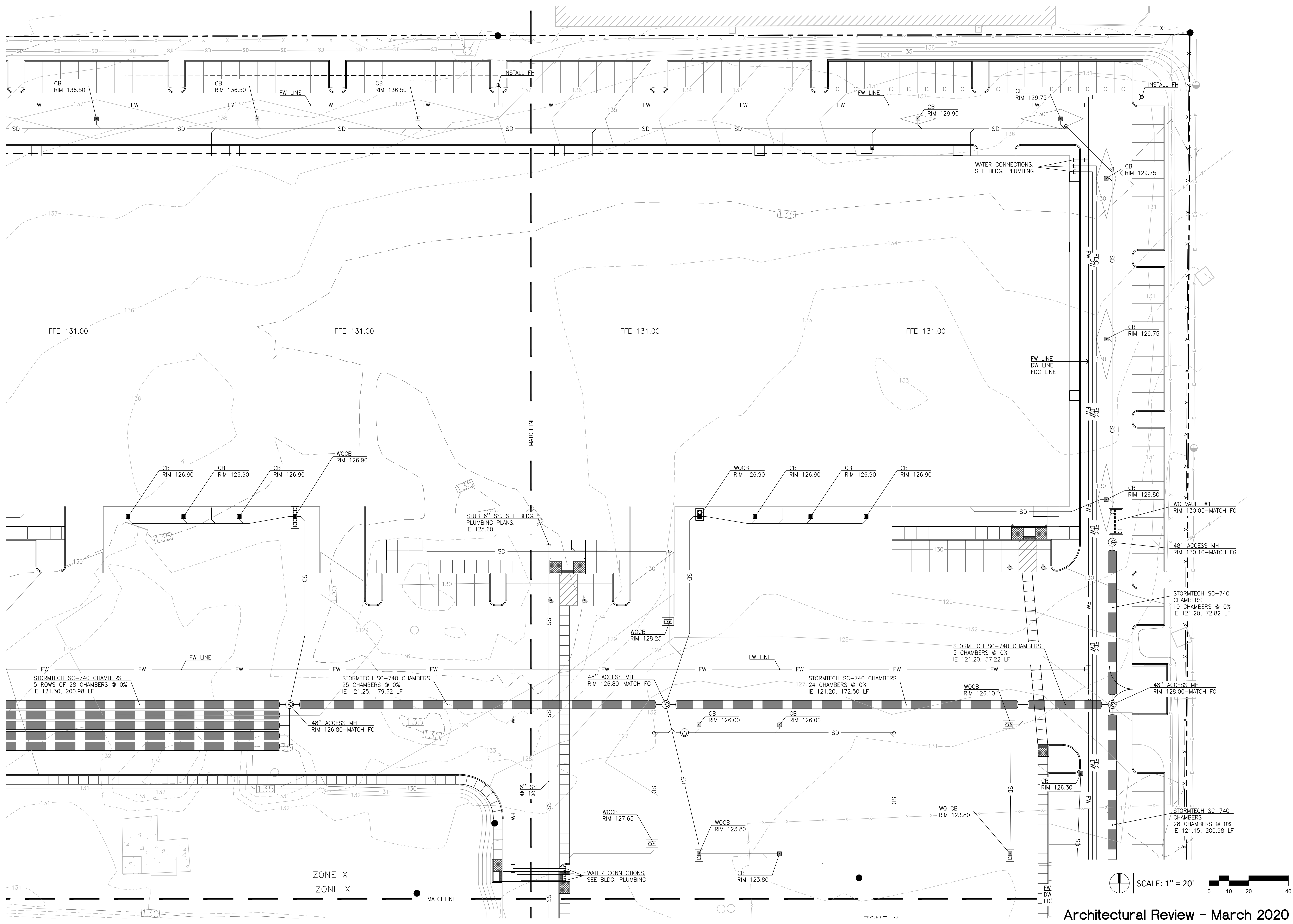
Date: 4 June 2020

Drawn by: AS Checked by: KJK

TMR Job Number: 20096

Sheet

C3.2



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Utility Plan
Northwest**

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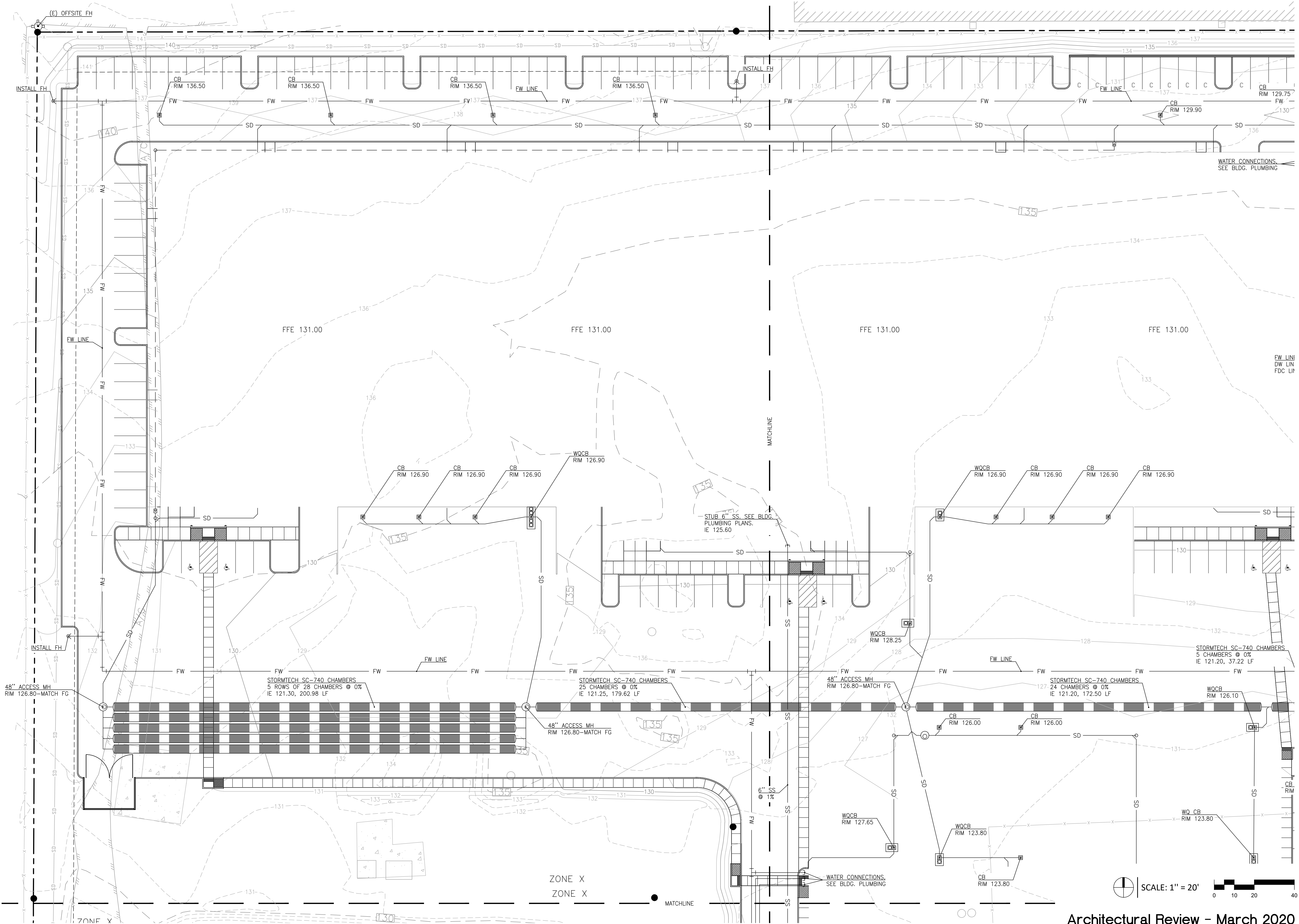
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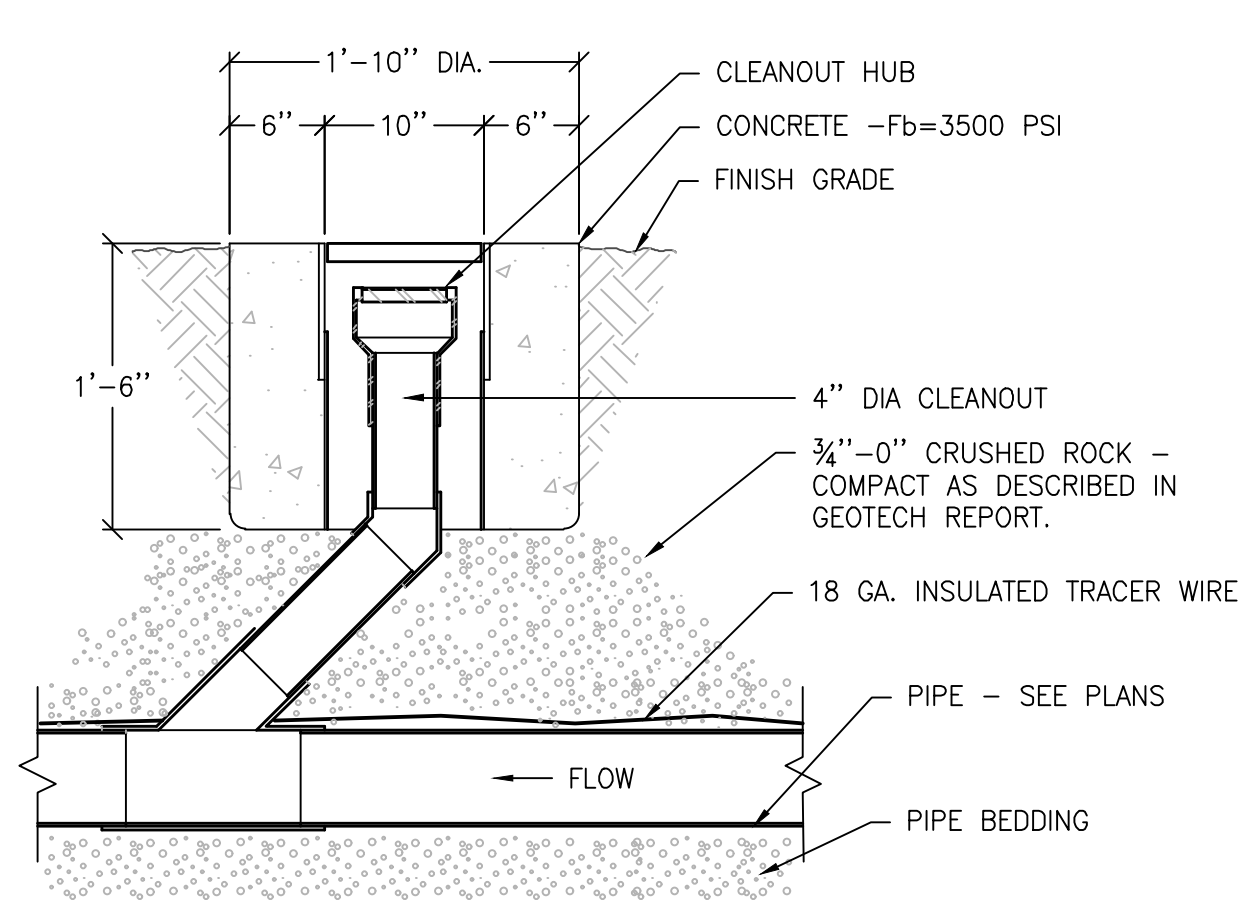
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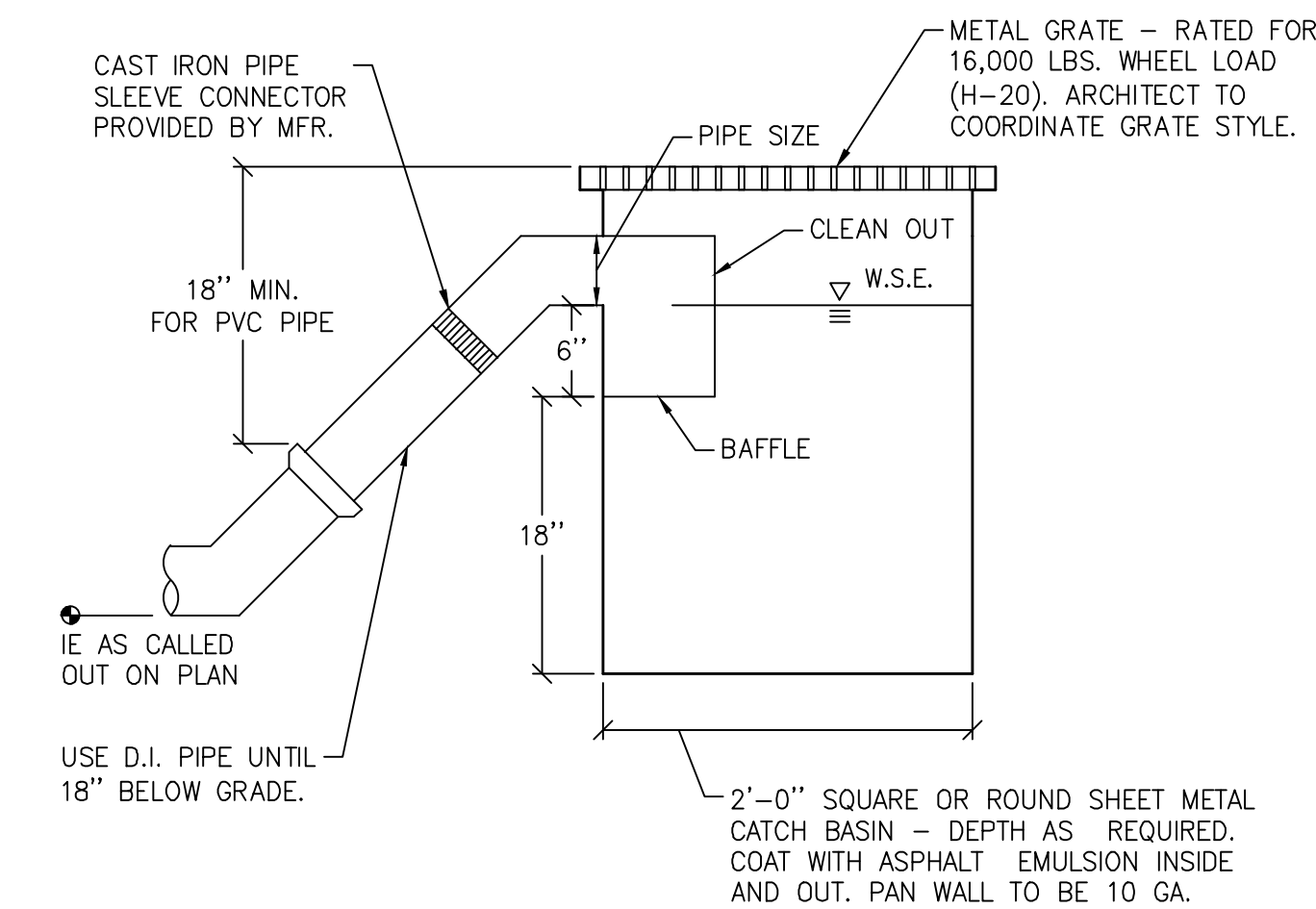
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C3.3

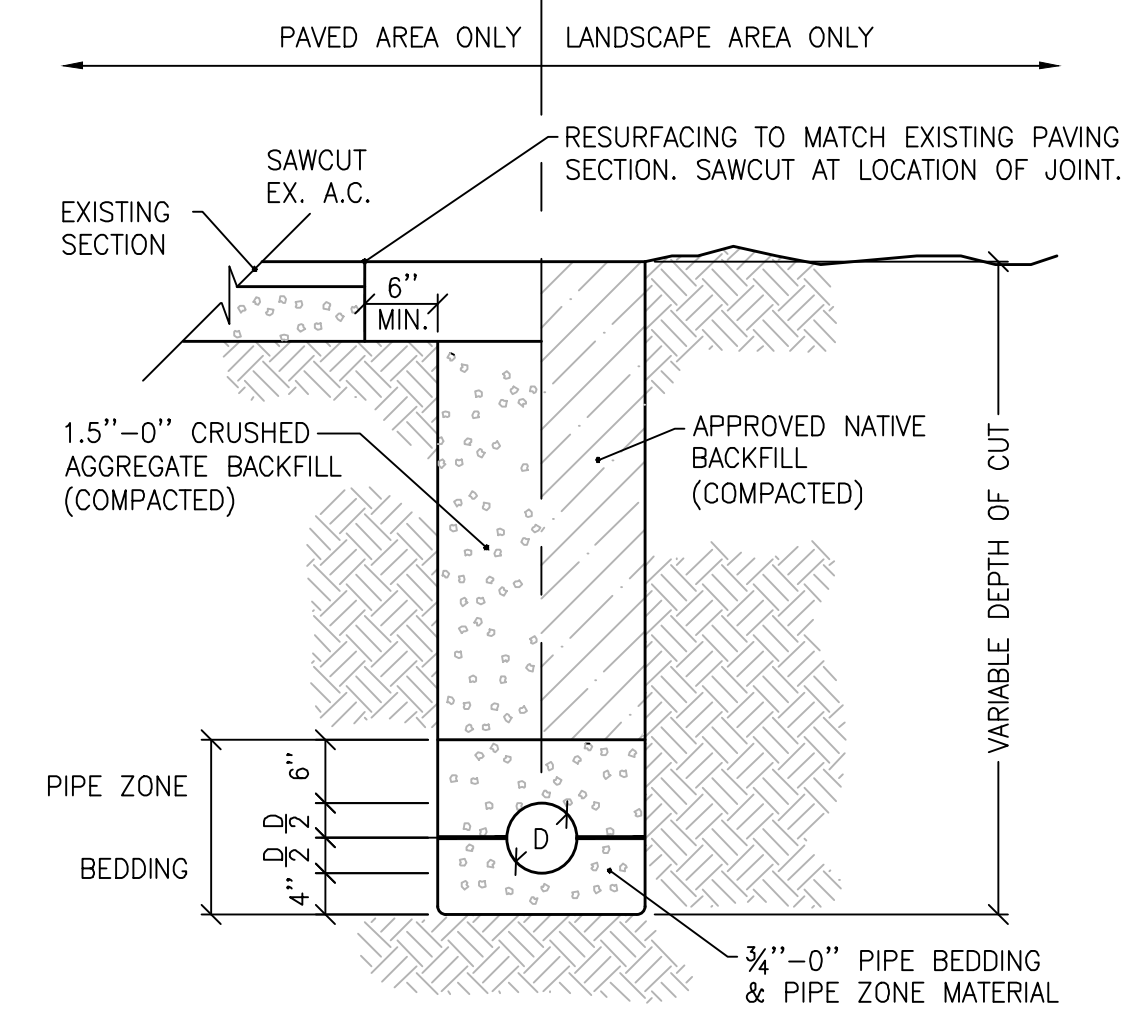




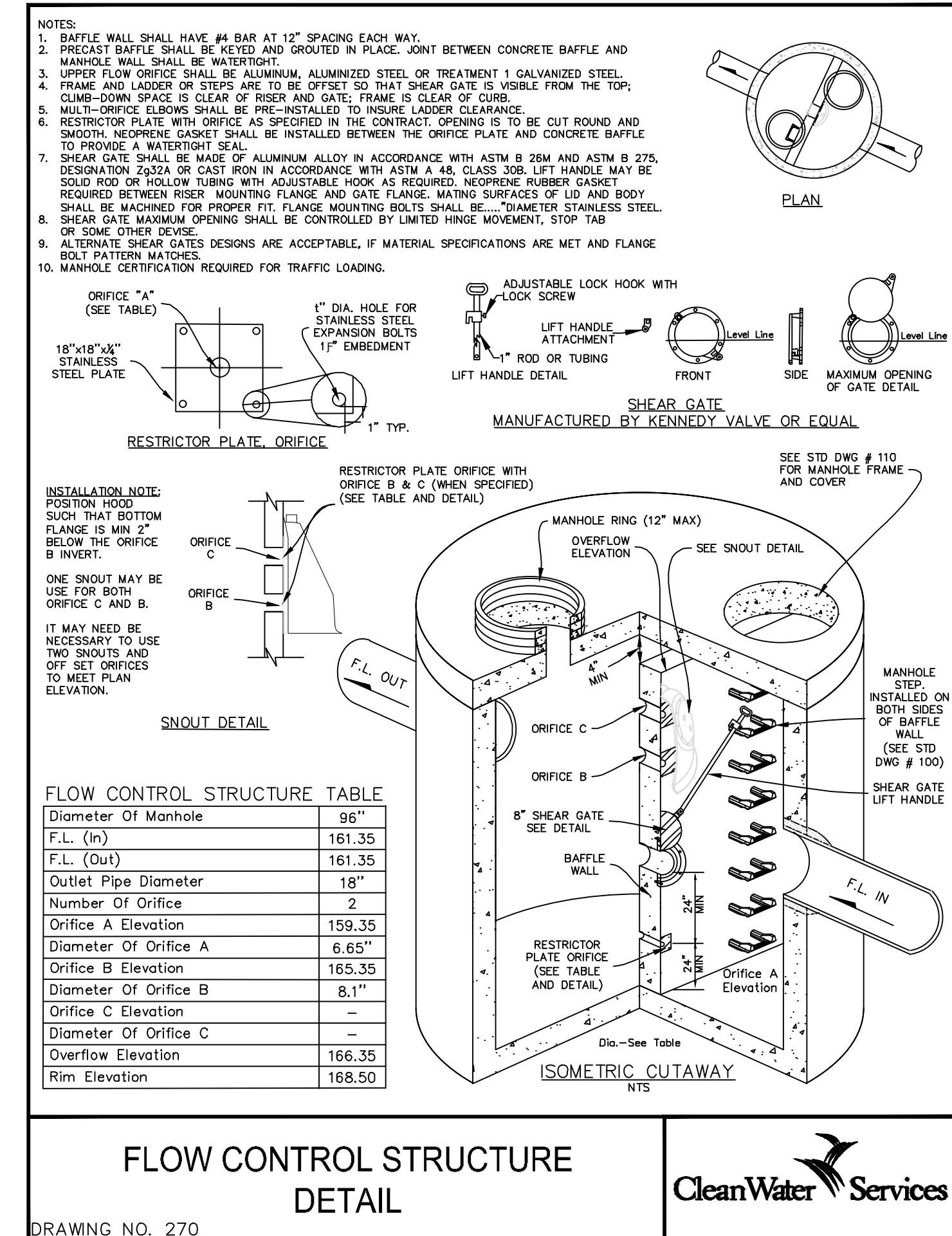
1 TYPICAL CLEANOUT DETAIL
NOT TO SCALE



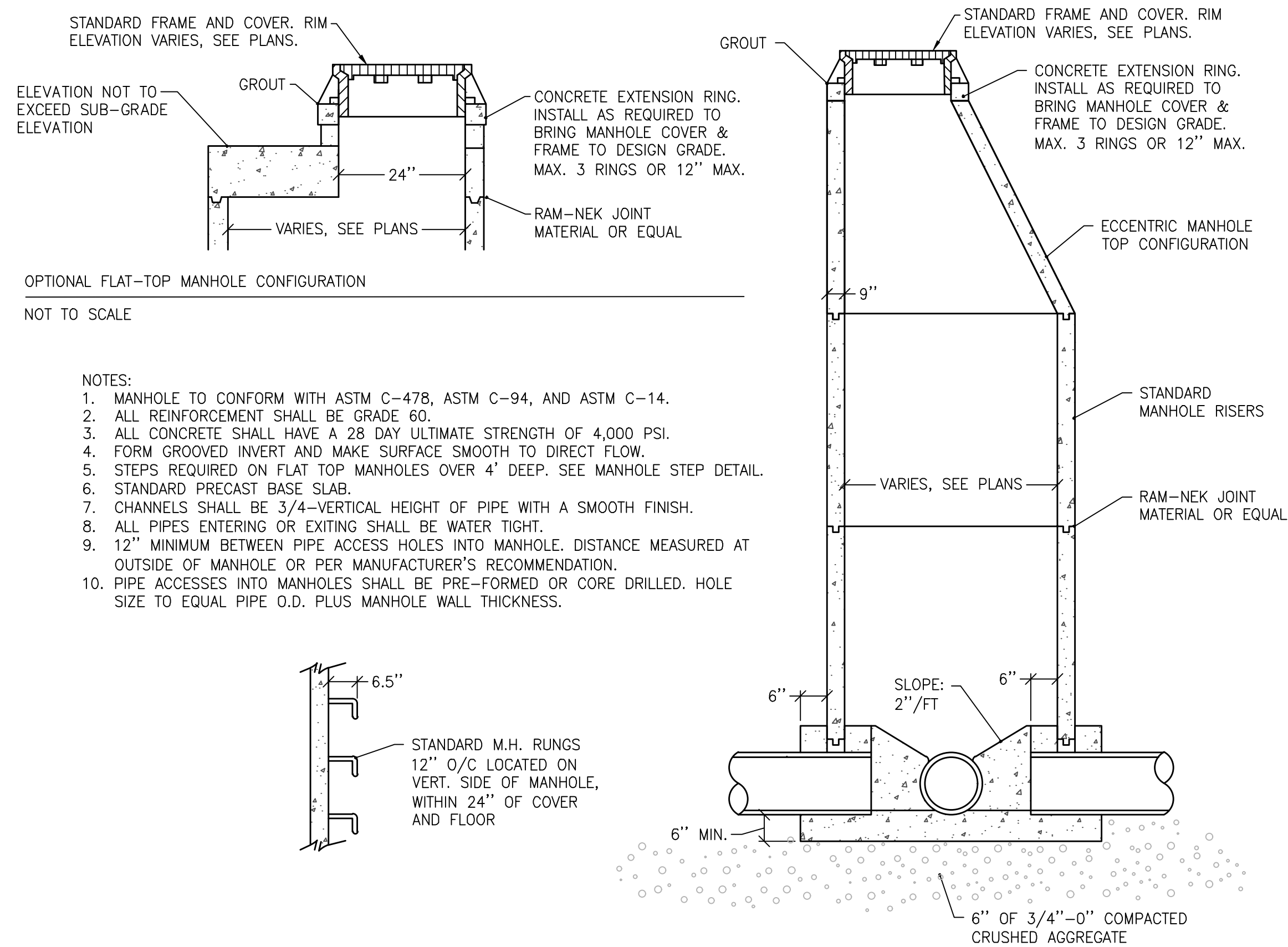
2 CATCH BASIN DETAIL
NOT TO SCALE



3 TRENCH BACKFILL DETAIL (PRIVATE SIDE ONLY)
NOT TO SCALE



4 CWS FLOW CONTROL STRUCTURE DETAIL
NOT TO SCALE



5 STANDARD MANHOLE
NOT TO SCALE

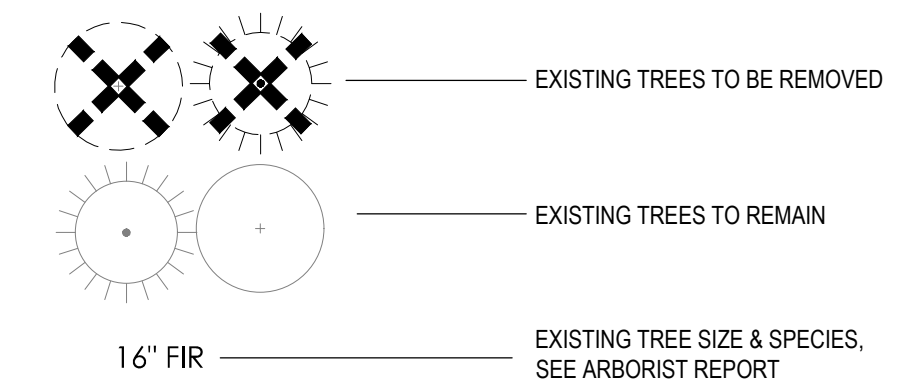
TREE SUMMARY

TREES EXISTING = 48
TREES TO BE REMOVED = 48
TREES TO REMAIN = 0
TREES PROPOSED = 123

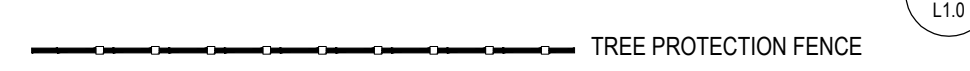
TREE NOTES:

- SEE ARBORIST REPORT FOR TREE CONDITION, SIZE, AND SPECIES.
- PLEASE NOTE THERE IS NOT A TREE # 1, 2, 4, AND 47.

LEGEND

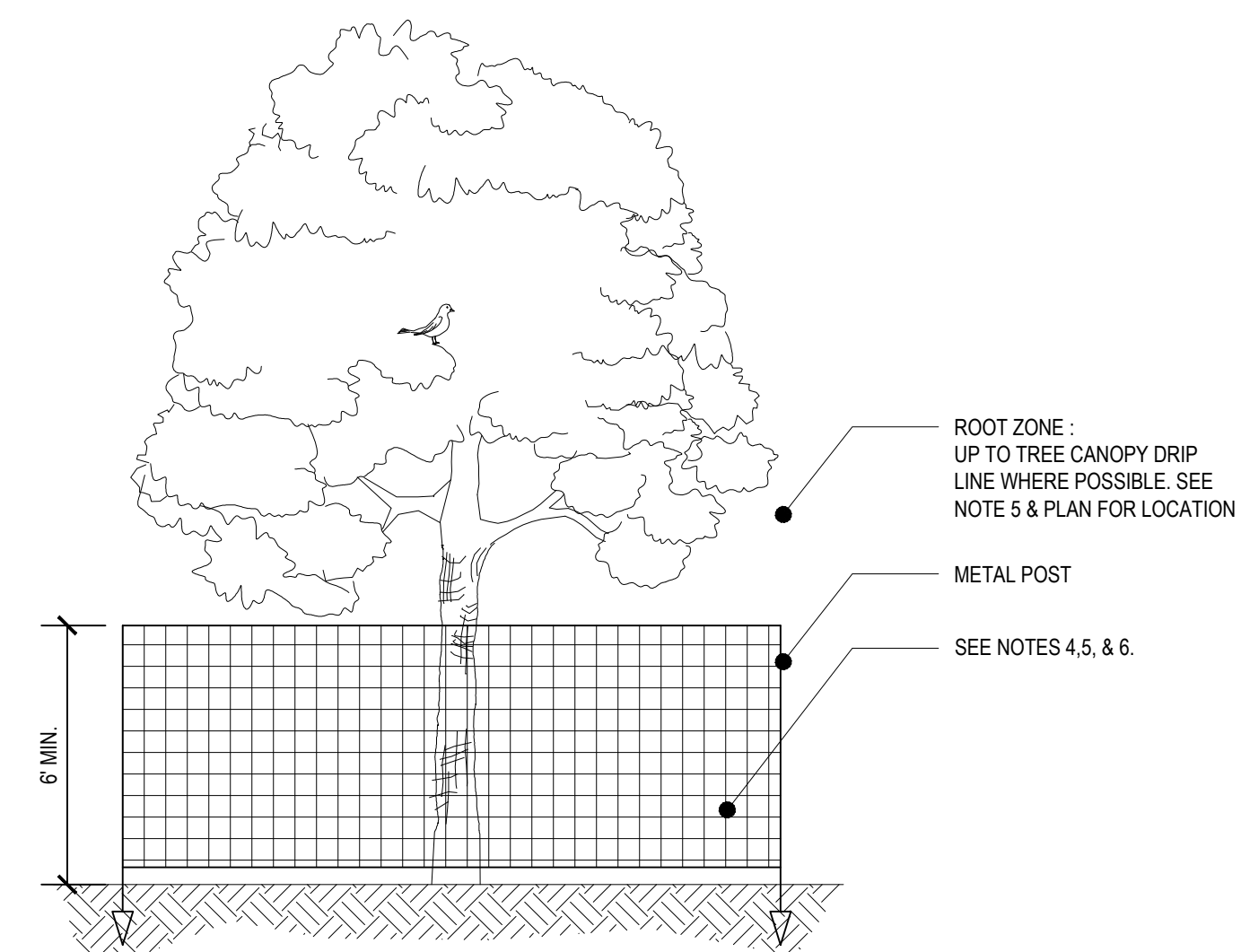
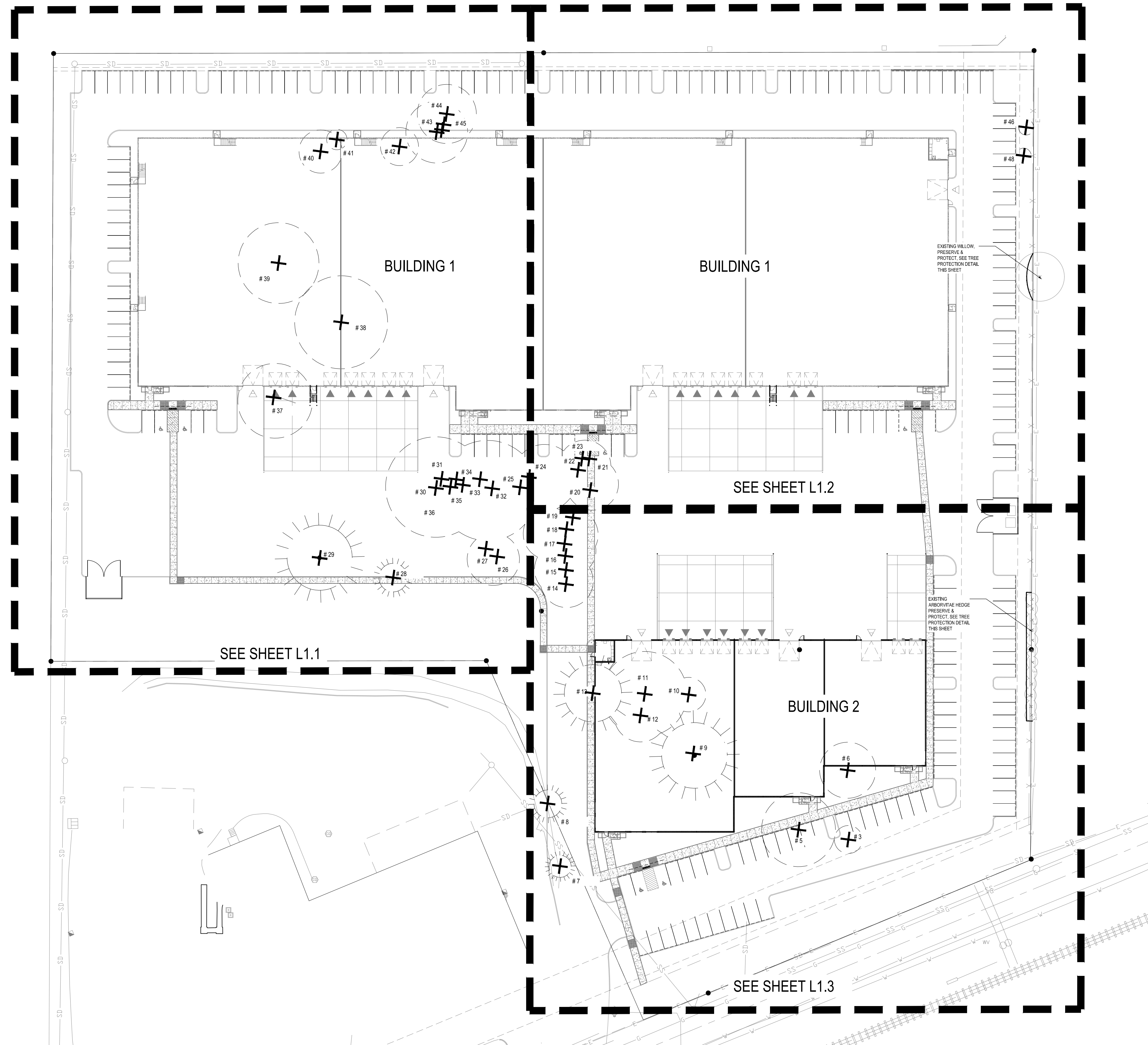


TREE PROTECTION FENCE

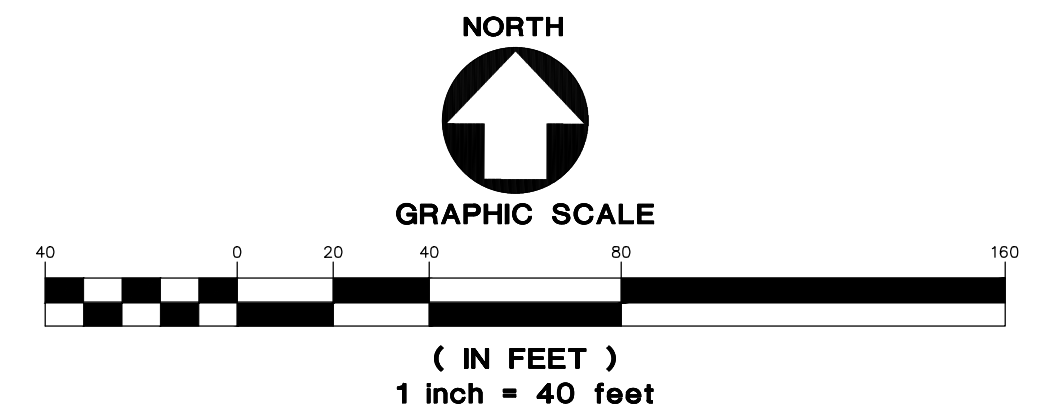


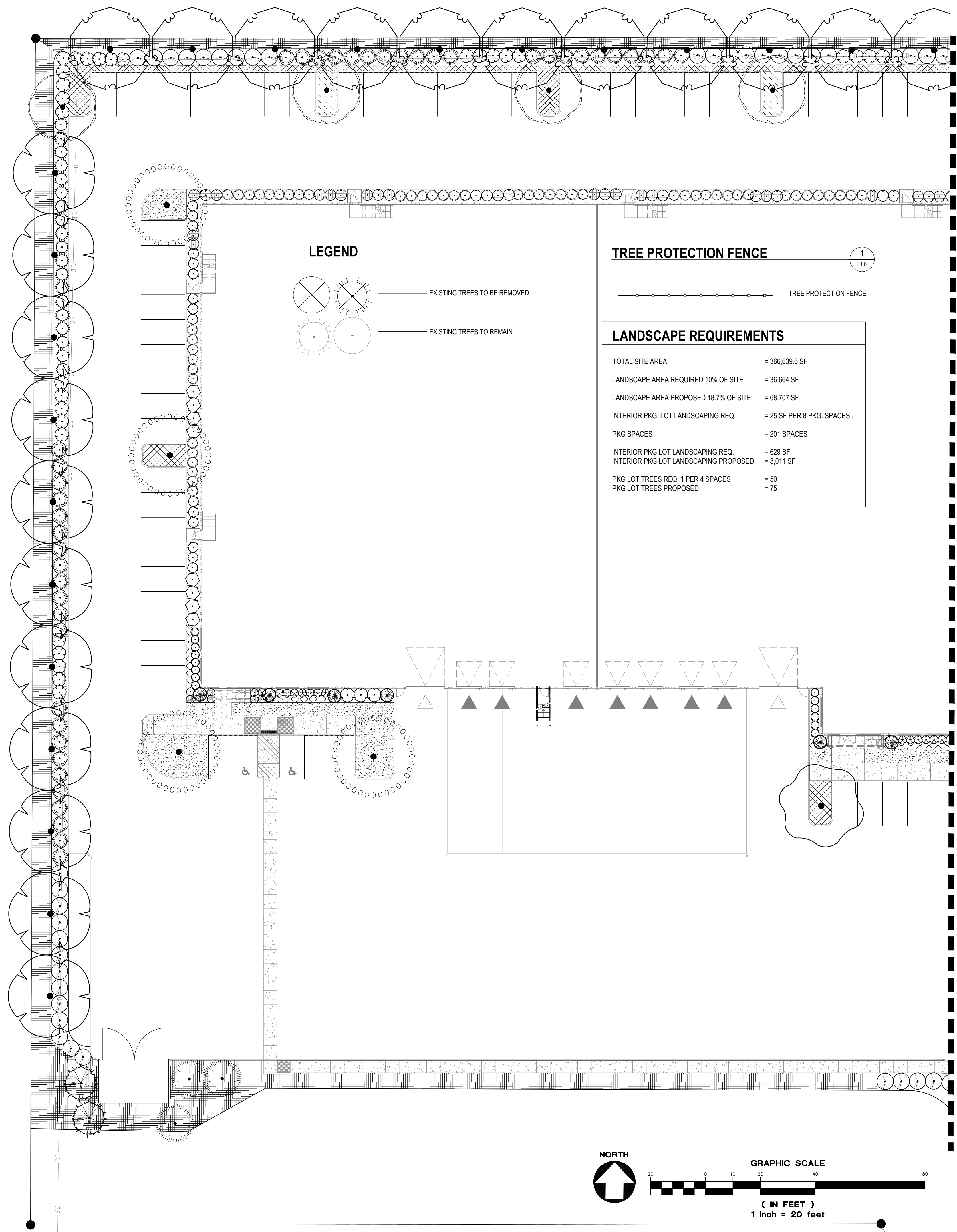
TREE PROTECTION NOTES:

- BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT ARBORIST FOR ASSISTANCE.
- REFER TO SECTION 34.200 TREE REMOVAL, 34.270 TREE PROTECTION DURING CONSTRUCTION & 73.250 TREE PRESERVATION OF THE TUALATIN CITY CODE.
- NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
- INSTALL FENCE ON TREE SIDE OF EXISTING CURB FOR ALL TREES TO BE PRESERVED. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
- FENCING SHALL BE 6-FOOT HIGH METAL FENCING WITH METAL POSTS AND BE SECURED TO THE GROUND WITH 8-FOOT METAL POSTS. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
- NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
- WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
- DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY THE PROJECT ARCHITECT.
- AFTER CONSTRUCTION IS COMPLETE, PROJECT ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.

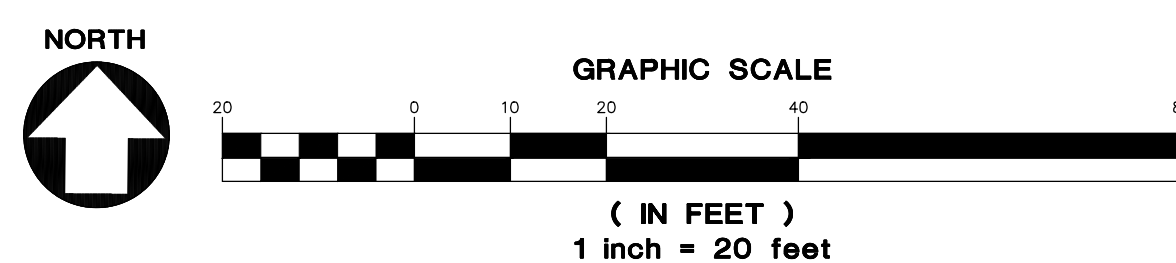


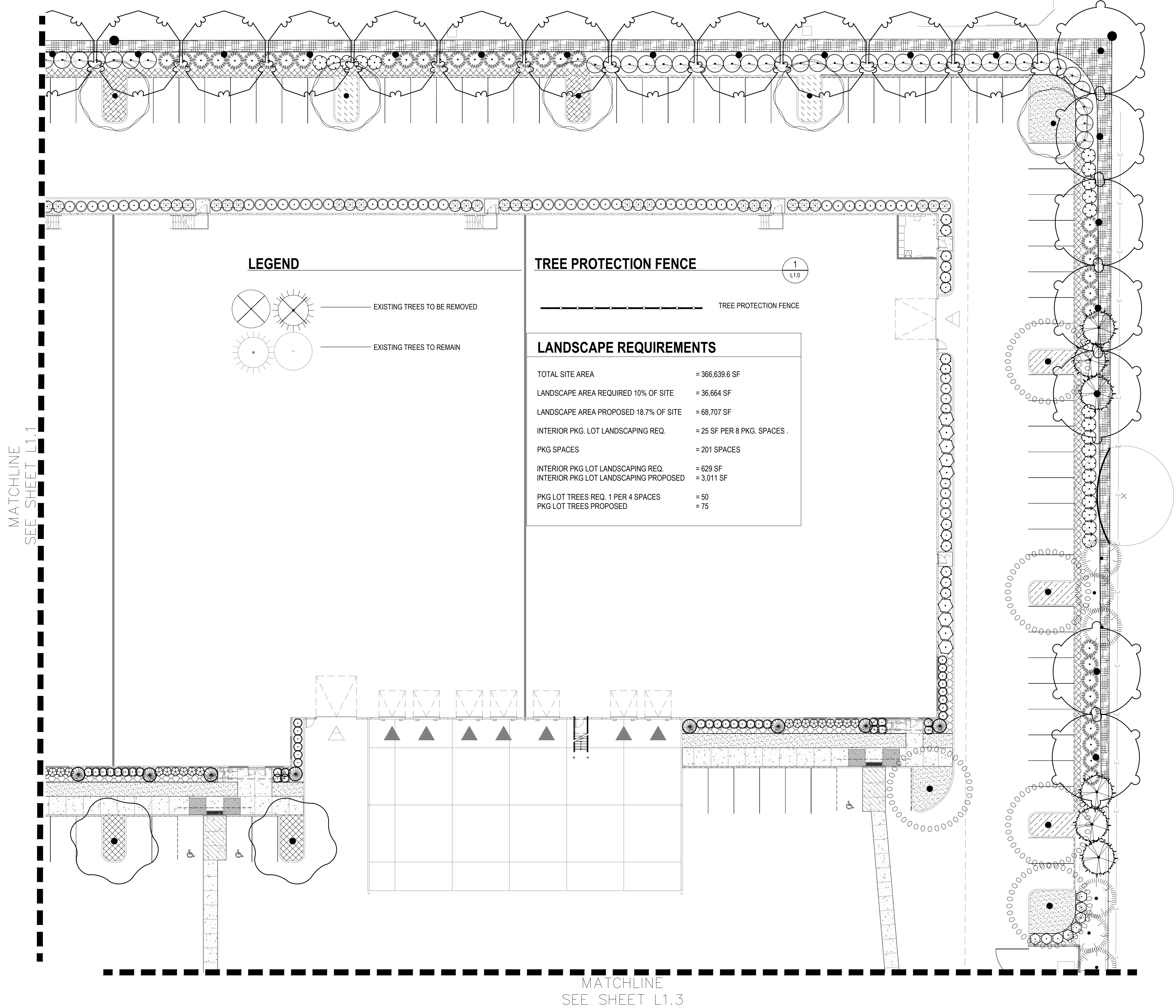
1 TREE PROTECTION FENCING DETAIL
N.T.S.



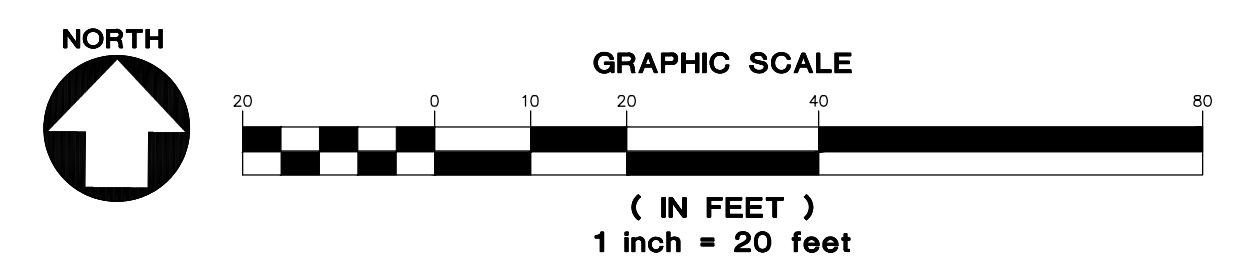


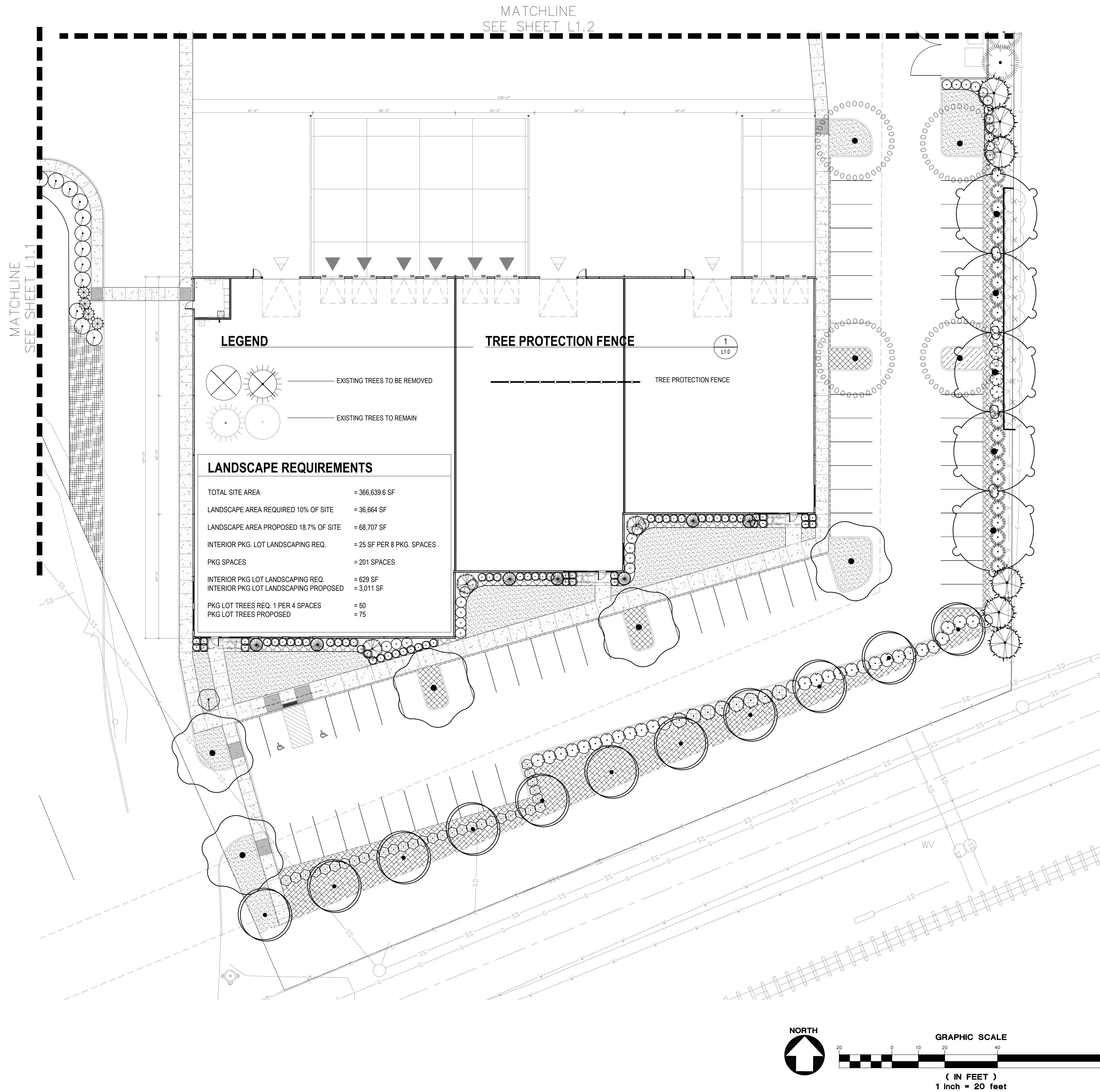
PLANT SCHEDULE						
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	JT	3	JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUNIPER	6' HT.	
	JS	21	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	5' HT.	
	PF2	14	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	5' HT.	
	TH	10	THUJA PLICATA 'HOGAN'	HOGAN CEDAR	5' HT.	
PARKING LOT TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AF	8	ACER RUBRUM 'FRANKSRED'™	RED SUNSET MAPLE	1.5" CAL.	
	CO	9	CELTIS OCCIDENTALIS	COMMON HACKBERRY	1.5" CAL.	
	FU2	13	FRAXINUS PENNSYLVANICA 'URBANITE'	URBANITE ASH	1.5" CAL.	
	GI	11	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE' SMALL	THORNLESS HONEY LOCUST	1.5" CAL.	
	UC	22	ULMUS X 'FRONTIER'	AMERICAN ELM	1.5" CAL.	
	ZV	12	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	1.5" CAL.	
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	HM	11	HALESIA MONTRICOLA SMALL	SNOWDROP TREE	1.5" CAL.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AS	1	AMELANCHIER ALNIFOLIA	SERVICEBERRY	10 GAL.	
	AC2	101	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	1 GAL.	
	AI	29	AZALEA X 'GIRARD'S HOT SHOT'	GIRARD'S HOT SHOT AZALEA	1 GAL.	
	CF	57	CEANOTHUS THYRSIFLORUS 'VICTORIA'	VICTORIA CEANOTHUS	1 GAL.	
	CT	33	CHOISYA TERNATA	MEXICAN ORANGE	1 GAL.	
	CK	28	CORNUS SERICEA 'KELSEY'	KELSEYI DOGWOOD	1 GAL.	
	GS	121	GAULTHERIA SHALLON	SALAL	1 GAL.	
	IS	19	ILEX GLABRA 'SHAMROCK'	INKBERRY	3 GAL.	
	JF	87	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	1 GAL.	
	LB	8	LONICERA NITIDA 'BAGGESEN'S GOLD'	BOXLEAF HONEYSUCKLE	1 GAL.	
	LN	17	LONICERA NITIDA 'LEMON BEAUTY'	BOXLEAF HONEYSUCKLE	1 GAL.	
	MA	8	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL.	
	MJ	4	MISCANTHUS SINENSIS	EULALIA GRASS	1 GAL.	
	NS	11	NANDINA DOMESTICA 'SIENNA SUNRISE'	HEAVENLY BAMBOO	1 GAL.	
	PH	87	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL.	
	RP	57	RHODODENDRON YAKUSIMANUM 'PERCY WISEMAN'	PERCY WISEMAN RHODODENDRON	1 GAL.	
	RF	29	ROSA X 'FLOWER CARPET RED'	ROSE	1 GAL.	
	VD	15	VIBURNUM DAVIDII	DAVID VIBURNUM	1 GAL.	
	VS	32	VIBURNUM TINUS 'SPRING BOUQUET'	SPRING BOUQUET LAURESTINUS	1 GAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AB	845	AJUGA REPTANS 'BLACK SCALLOP'	BRONZE BEAUTY BUGLEWEED	4" POT	12" o.c.
	CW	692	COTONEASTER SALICIFOLIUS REPENS	WILLOWLEAF COTONEASTER	1 GAL.	24" o.c.
	FL	1,461	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	1 GAL.	18" o.c.
	IL	132	ITEA VIRGINICA 'LITTLE HENRY'™	VIRGINIA SWEETSPIRE	1 GAL.	24" o.c.
	MIR	132	MAHONIA REPENS	CREeping MAHONIA	1 GAL.	24" o.c.
		6,632 SF	PT 757 FLEUR DE LAWN BLANCH			
		10,376 SF	PT666 POLLINATOR GARDEN & URBAN RECLAMATION MIX			



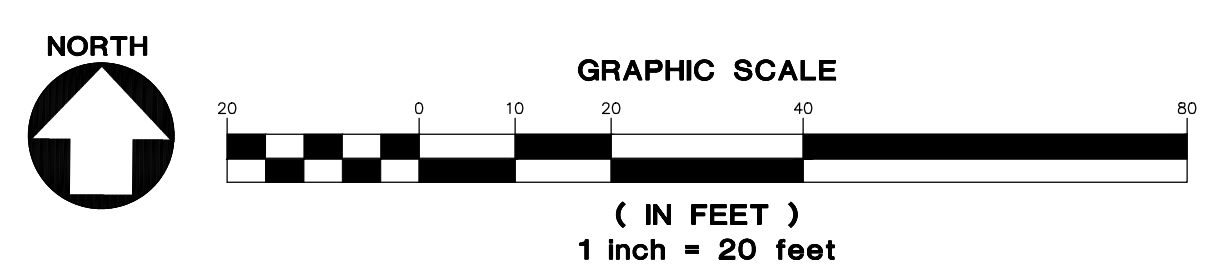


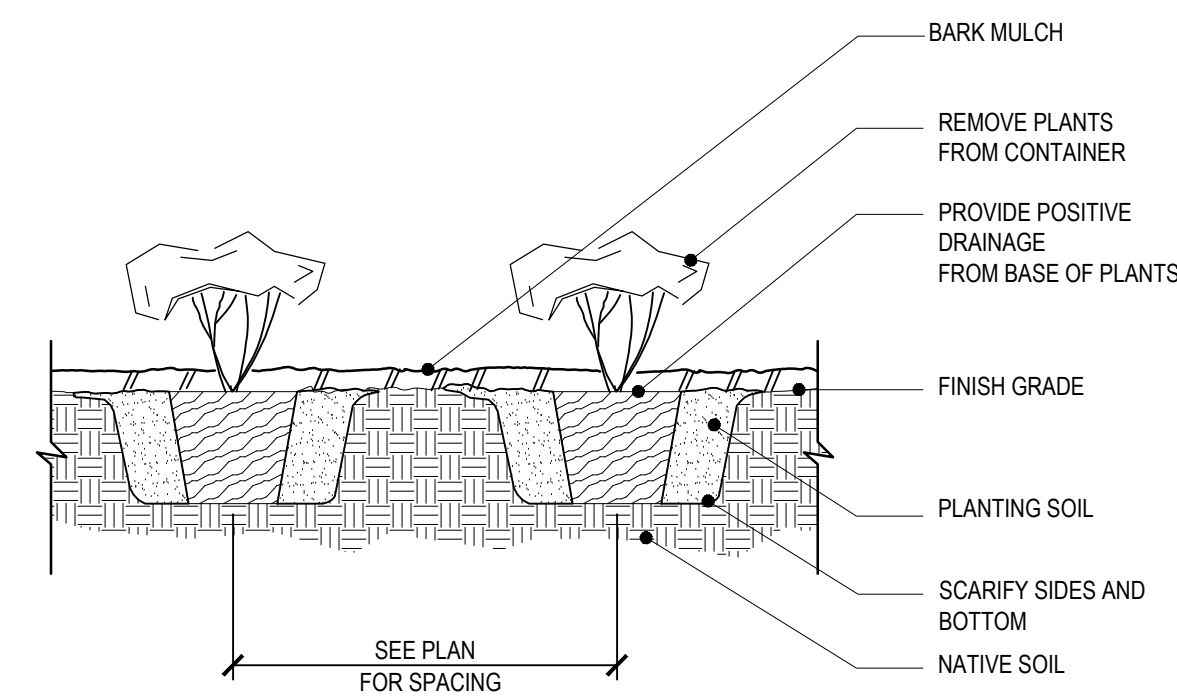
PLANT SCHEDULE						
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
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	PF2	14	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	5' HT.	
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PARKING LOT TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
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	CO	9	CELTIS OCCIDENTALIS	COMMON HACKBERRY	1.5" CAL.	
	FU2	13	FRAXINUS PENNSYLVANICA 'URBANITE'	URBANITE ASH	1.5" CAL.	
	GI	11	GLEDTISIA TRIACANTHOS INERMIS 'TRUESHADE' SMALL	THORNLESS HONEY LOCUST	1.5" CAL.	
	UC	22	ULMUS X 'FRONTIER'	AMERICAN ELM	1.5" CAL.	
	ZV	12	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	1.5" CAL.	
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SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
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	AI	29	AZALEA X 'GIRARD'S HOT SHOT'	GIRARD'S HOT SHOT AZALEA	1 GAL.	
	CF	57	CEANOTHUS THYRSIFLORUS 'VICTORIA'	VICTORIA CEANOTHUS	1 GAL.	
	CT	33	CHOISYA TERNATA	MEXICAN ORANGE	1 GAL.	
	CK	28	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	1 GAL.	
	GS	121	GAULTHERIA SHALLON	SALAL	1 GAL.	
	IS	19	ILEX GLABRA 'SHAMROCK'	INKBERRY	3 GAL.	
	JF	87	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	1 GAL.	
	LB	8	LONICERA NITIDA 'BAGGESEN'S GOLD'	BOXLEAF HONEYSUCKLE	1 GAL.	
	LN	17	LONICERA NITIDA 'LEMON BEAUTY'	BOXLEAF HONEYSUCKLE	1 GAL.	
	MA	8	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL.	
	MJ	4	MISCANTHUS SINENSIS	EULALIA GRASS	1 GAL.	
	NS	11	NANDINA DOMESTICA 'SIENNA SUNRISE'	HEAVENLY BAMBOO	1 GAL.	
	PH	87	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL.	
	RP	57	RHODODENDRON YAKUSIMANUM 'PERCY WISEMAN'	PERCY WISEMAN RHODODENDRON	1 GAL.	
	RF	29	ROSA X 'FLOWER CARPET RED'	ROSE	1 GAL.	
	VD	15	VIBURNUM DAVIDII	DAVID VIBURNUM	1 GAL.	
	VS	32	VIBURNUM TINUS 'SPRING BOUQUET'	SPRING BOUQUET LAURESTINUS	1 GAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AB	845	AJUUGA REPTANS 'BLACK SCALLOP'	BRONZE BEAUTY BUGLEWEED	4" POT	12" o.c.
	CW	692	COTONEASTER SALICIFOLIUS REPENS	WILLOWLEAF COTONEASTER	1 GAL.	24" o.c.
	FL	1,461	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	1 GAL.	18" o.c.
	IL	132	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	1 GAL.	24" o.c.
	MR	132	MAHONIA REPENS	CREEPING MAHONIA	1 GAL.	24" o.c.
		6,632 SF	PT 757 FLEUR DE LAWN BLANCH			
		10,376 SF	PT665 POLLINATOR GARDEN & URBAN RECLAMATION MIX			



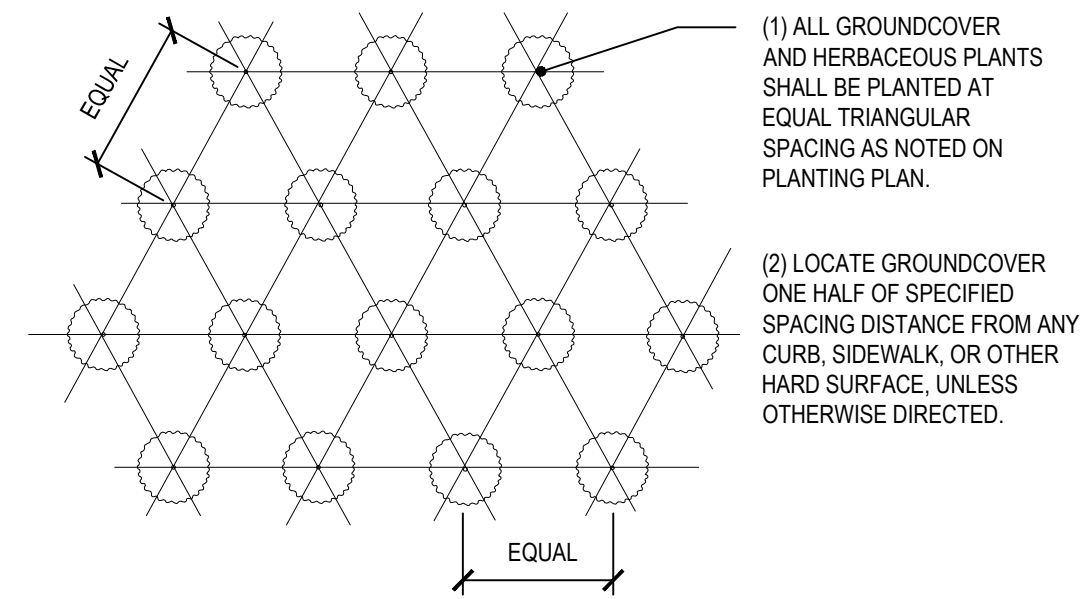


PLANT SCHEDULE						
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	JT	3	JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUNIPER	6' HT.	
	JS	21	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	5' HT.	
	PF2	14	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	5' HT.	
	TH	10	THUJA PLICATA 'HOGAN'	HOGAN CEDAR	5' HT.	
PARKING LOT TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AF	8	ACER RUBRUM 'FRANKSRED' TM	RED SUNSET MAPLE	1.5" CAL.	
	CO	9	CELTIS OCCIDENTALIS	COMMON HACKBERRY	1.5" CAL.	
	FU2	13	FRAXINUS PENNSYLVANICA 'URBANITE'	URBANITE ASH	1.5" CAL.	
	GI	11	GLEDITSIA TRIACANTHOS 'INERMIS' 'TRUESHADE' SMALL	THORNLESS HONEY LOCUST	1.5" CAL.	
	UC	22	ULMUS X 'FRONTIER'	AMERICAN ELM	1.5" CAL.	
	ZV	12	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	1.5" CAL.	
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	HM	11	HALESIA MONTRICOLA SMALL	SNOWDROP TREE	1.5" CAL.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AS	1	AMELANCHIER ALNIFOLIA	SERVICEBERRY	10 GAL.	
	AC2	101	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	1 GAL.	
	AI	29	AZALEA X 'GIRARD'S HOT SHOT'	GIRARD'S HOT SHOT AZALEA	1 GAL.	
	CF	57	CEANOTHUS THYRSIFLORUS 'VICTORIA'	VICTORIA CEANOTHUS	1 GAL.	
	CT	33	CHOISYA TERNATA	MEXICAN ORANGE	1 GAL.	
	CK	28	CORNUS SERICEA 'KELSEY'	KELSEYI DOGWOOD	1 GAL.	
	GS	121	GAULTHERIA SHALLON	SALAL	1 GAL.	
	IS	19	ILEX GLABRA 'SHAMROCK'	INKBERRY	3 GAL.	
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	MJ	4	MISCANTHUS SINENSIS	EULALIA GRASS	1 GAL.	
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	PH	87	PENNISETUM ALOPECUROIDES 'HA MELN'	HAMELN FOUNTAIN GRASS	1 GAL.	
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	RF	29	ROSA X 'FLOWER CARPET RED'	ROSE	1 GAL.	
	VD	15	VIBURNUM DAVIDII	DAVID VIBURNUM	1 GAL.	
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		6,632 SF	PT 757 FLEUR DE LAWN BLANCH			
		10,376 SF	PT665 POLLINATOR GARDEN & URBAN RECLAMATION MIX			

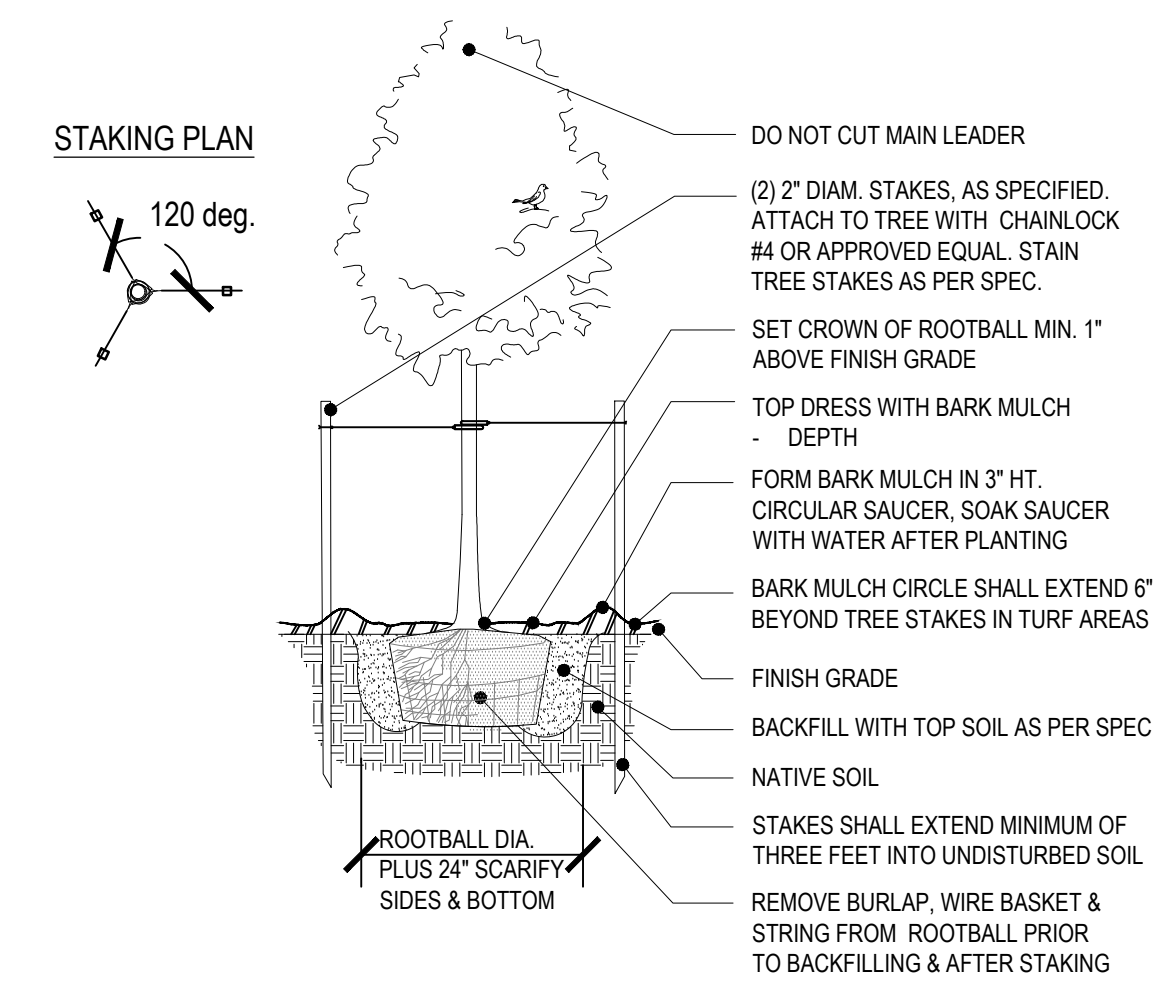




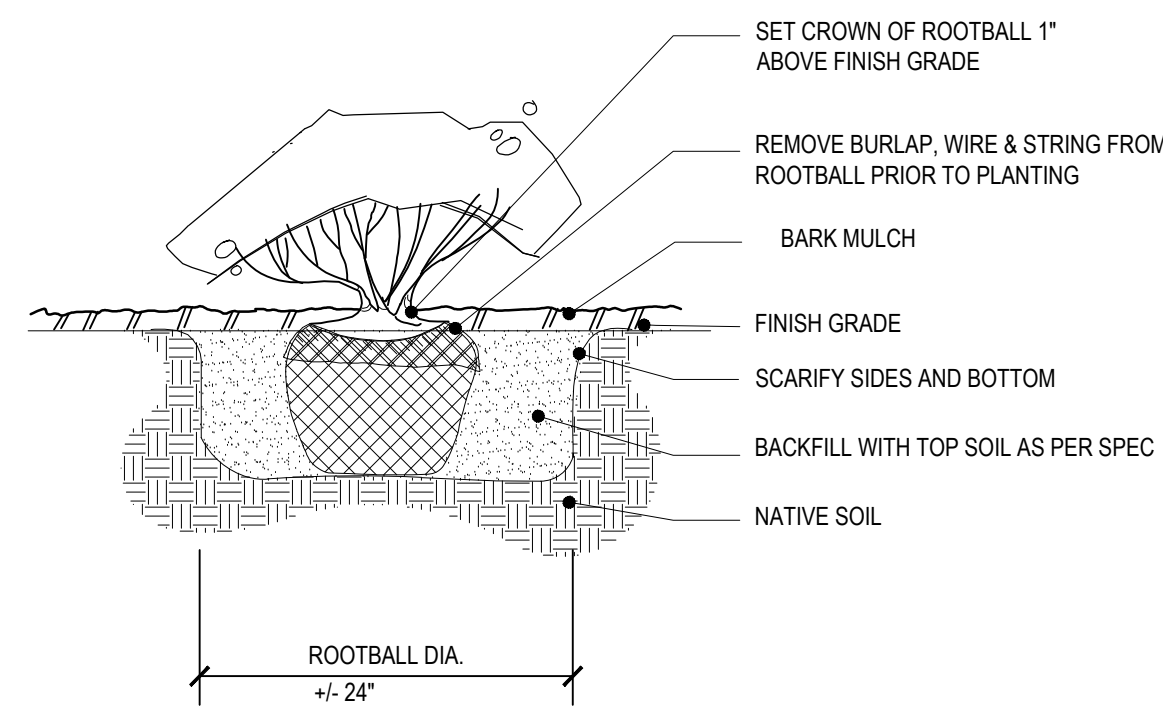
1 GROUNDCOVER & HERBACEOUS PLANT PLANTING DETAIL
L2.0 SCALE: NTS



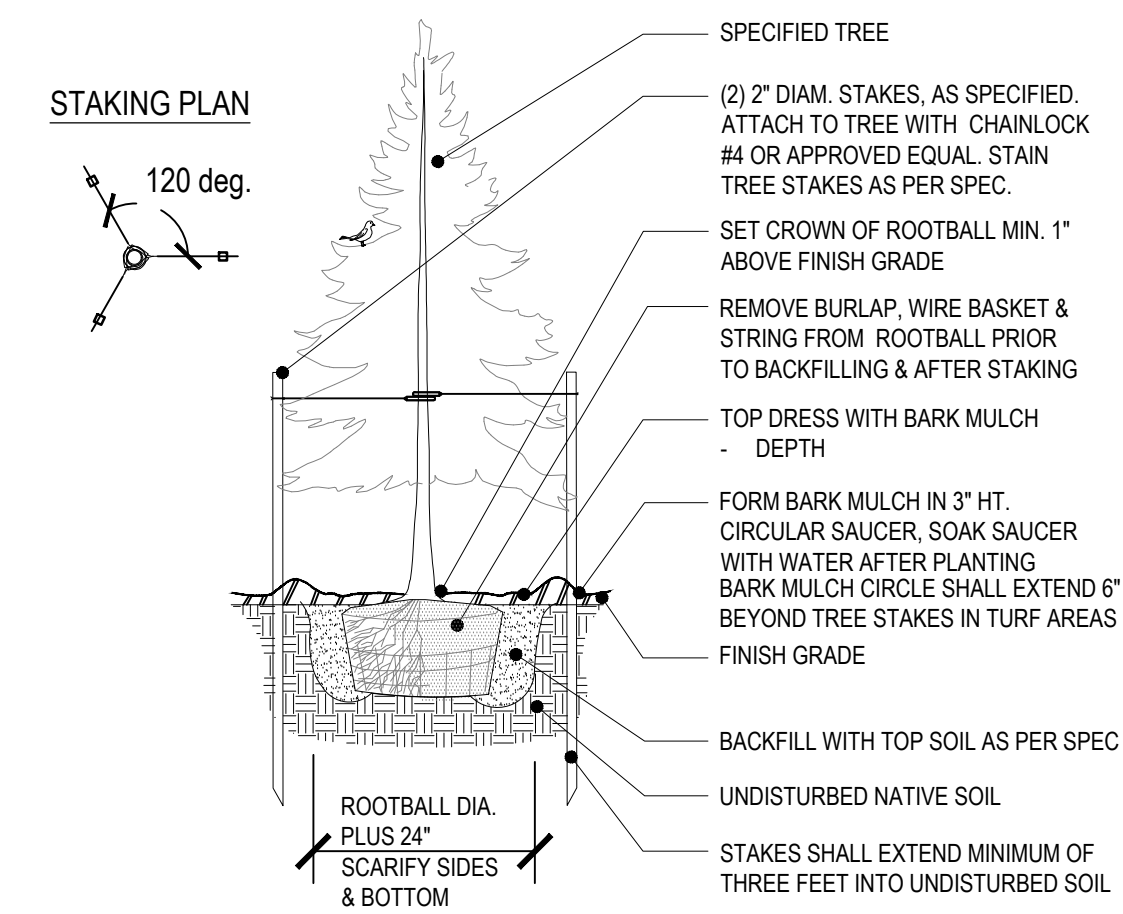
2 GROUNDCOVER & HERBACEOUS PLANT PLANTING PLAN
L2.0 SCALE: NTS



3 DECIDUOUS TREE PLANTING DETAIL
L2.0 SCALE: NTS



4 SHRUB PLANTING
L2.0 SCALE: NTS



5 CONIFER TREE PLANTING DETAIL
L2.0 SCALE: NTS

GENERAL NOTES

- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.

PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF TUALATIN STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF TUALATIN STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURE'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

Client:

Lu Pacific Development

11325 SW Tualatin-Sherwood
Tualatin, OR 97062

Project:

Lu Pacific Development Building

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:

Revisions:

LANDSCAPE DETAILS & PLANTING NOTES

THESE DRAWINGS ARE THE PROPERTY OF MILDREN DESIGN GROUP, P.C. AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER, EXCEPT WITH THE PRIOR WRITTEN PERMISSION OF MILDREN DESIGN GROUP, P.C.

Date: 9 March 2021

Drawn by: Checked by: TQI

Job Number: 11701

Sheet

Landscape Construction Specifications

General

1. Municipal, County, State and Federal laws, regarding uses and regulations governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
2. The Contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The location of utilities, structures, services shown on these plans are approximate only. Any discrepancies between these plans and the actual field conditions shall be reported to the Owner's representative.
3. The Contractor shall locate and protect all existing utilities, features and plants on and adjacent to the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
4. The Contractor shall obtain all necessary valid licenses, permits, and insurance required to perform the work indicated herein before commencing work, and shall be responsible for coordinating work with all parties involved, including jurisdictional agencies.
5. The Contractor shall use all means necessary to protect the public at all times during the construction process.
6. In the event of conflict between pertinent codes, regulations, structural notes, and/or requirements, or the referenced standards of these Specifications, the provisions of the more stringent shall govern.
7. Weather Limitations: Soil work shall be performed only when the weather conditions do not detrimentally affect the quality of work.

Mandatory Site Inspection Schedule

1. Schedule for Mandatory site inspection procedures. The mandatory site inspections include but are not limited to the following:

Pre-Construction Site Meeting

Contractor shall be notified a minimum of 48 hours prior to meeting to review site conditions, proposed construction and construction schedule, and review construction specifications prior to commencement of construction operations.

Rough Grading Inspection

Contractor shall notify Owner's Representative a minimum 48 hours prior to request for inspection of rough soil grades. All rough grading operations shall be completed per specifications and prepared for inspection. No topsoil placement or backfilling in areas to be landscaped should occur until written approval by Owner's Representative has been issued.

Open Trench Irrigation Inspection

Contractor shall notify Owner's Representative 24 hours prior to inspection for written approval of irrigation trench depths, piping conditions, and pressure testing. (Refer to Irrigation Specification for inspection procedures)

Plant Material Inspection

Plant material quality and layout inspection and written approval shall occur with 24 hours notice to Owner's Representative prior to installation of any plant material. (Refer to Planting Specification for inspection procedures)

Final Landscape Areas and Irrigation Performance Inspection

Contractor shall notify Owner's Representative 48 hours prior to inspection for approval of landscape and irrigation work. Irrigation operations and coverage shall be inspected. Plant quality and layout shall be inspected. Written approval shall be issued upon inspection approval of specified construction. (Refer to relative specification sections)

Erosion Control

1. Provide and maintain positive drainage patterns throughout the construction process, and as directed by the Owner's Representative if weather or construction activity creates drainage conflicts detrimental to construction process or environmental conditions. Comply with jurisdictional requirements.
2. Maintain erosion measures throughout the landscaping process. Restore erosion control measures disturbed by landscaping operations. Remove only upon approval of Owner's Representative.

Invasive Weed Control Prior to Construction

1. Verify and identify conditions requiring eradication of invasive weeds and grasses prior to existing soil surface disturbance as directed by Owner's Representative. Stockpiled topsoil shall be treated to eradicate weeds prior to soil ripping and stockpiling. Weed eradication shall include herbicide and non-herbicide methods only administered by a currently licensed applicator. Eradication shall include and is not limited to elimination of the following invasive species from areas to be landscaped:

Cirsium arvense (Canadian Thistle) Lotus corniculatus (Bird's foot Trefoil)
Convolvulus spp. (Morning Glory) Lythrium salicaria (Purple Loosestrife)
Cytisus scoparius (Scotch Broom) Melilotus spp. (Sweet Clover)
Dipsacus sylvestris (Common Teasel) Myriophyllum spicatum (Eurasian Milfoil)
Equisetum spp. (Horsetail) Phalaris arundinaceae (Reed Canary Grass)
Festuca arundinaceae (Tall Fescue) Rubus discolor (Himalayan Blackberry)
Hedera helix (English Ivy) Solanum spp. (Nightshade)
Holcus canatus (Velvet Grass) Trifolium spp. (Clovers)
Lolium spp. (Rye Grasses)

Rough Grade Inspection

1. Conditions and quality of rough grade shall be inspected and approved by Owner's Representative prior to the commencement of specified work in areas to be landscaped. The contractor shall then be responsible for completion of activities specified herein, and defined on the plan.
2. In all plant bed areas the sub-grade shall be free of unsuitable material such as stumps, roots, rocks, concrete, asphalt, or metals, for a minimum depth of 24 inches, and in all lawn or seeded areas the sub-grade shall be free of unsuitable material for a minimum depth of 12 inches
3. The Owner's Representative, at their discretion, shall direct further rough grading or soil preparation if specified activities have not created a surface satisfactory for further work to commence. Compensation for additional surface work created by conditions unknown at the outset and as directed in writing by the Owner's Representative shall be negotiated at the time of the directive, and prior to the commencement of particular construction activities.

Finish Grading

1. Verify that rough grade in landscape areas is sufficiently below proposed final grade for planting beds and lawn areas to allow for placement of topsoil mix. Refer to grading plans for finish grade references. Verify that grades provide positive drainage at all landscape areas, and slope away from structures at a minimum of 2% slope. Final grades in all landscape areas shall be crowned at center to facilitate proposed drainage.

Installation Of Irrigation Sleeving

1. Sleeving conduit shall be installed at existing and proposed paved areas as per specifications, as directed by the Owner's Representative, or as irrigation installation requirements, prior to preparation for paving construction. Set piping to provide minimum covers of:
 - 18-inch for sleeving beneath walkways;
 - 24-inch for sleeving beneath vehicular traffic or structures.Mark each end of sleeving with a 2 x 4 stake with 24" exposed, clearly marked 'SLEEVE LOCATION'. Contractor shall maintain staking identification and location throughout construction process. Protect all existing paving when installing sleeving. Restore all paving damaged by sleeve installation.
2. Size of sleeving conduit pipe shall be a minimum of two times the diameter of the bell end of the pipe that is to be fed into the sleeve.
3. Set sleeving in a compacted bed of material that will not damage the pipe during compaction of surface backfill material.

Design / Build Irrigation Specification

1.1 DESIGN BUILD SUBMITTALS AND REQUIREMENTS

- A. Design Criteria: Submitted plan shall meet the following criteria and shall be approved for construction only upon verification that all required criteria have been met.
 1. Drawings submitted for design approval:
 - a. Must clearly illustrate irrigation heads, dripline, valve, controller and point of connection locations. Individual valves and controllers shall be numbered sequentially. The size and maximum flow through each valve and capacity of each controller shall be clearly noted.
 - b. Must clearly illustrate pipe sizes from all laterals and mainline pipe.
 - c. Drawings must be to a standard measurable engineering scale that is at a minimum of 1"=30'-0".
 - d. Drawings must be CAD generated.
 - e. Drawings must include a legend that describes all symbols and materials represented on the plan.
 - f. Drawings must clearly illustrate that the proposed irrigation system meets all performance criteria described by these specifications.
 - g. Must utilize graphics that clearly distinguish between lateral and mainline pipe and sleeves under pavement; dripline; manual or automatic control valves, isolation valves and drain valves; irrigation controllers and all other equipment located on the plan.
 - B. Irrigation system as designed and installed shall perform within the tolerances and specification of the specified manufacturers.
 - C. The system shall be fully adjustable to fine-tune the system performance for specific zones. Indicate water pressure and gallonage parameters at available water source on the required submittal.
 - D. Irrigation system shall be designed so that planting beds, sloped banks and lawn zones are on separate control valves to facilitate the different water requirements of each area.
 - E. System shall be designed to supply manufacturer's specified minimum operating pressure to furthest emitter from water meter. Water flow through piping shall not exceed a velocity of 5 feet per second.
 - F. System shall furnish components to allow operation within manufacturer's specified tolerances for optimum performance. Undersized components shall not be approved for installation.

5. Upon completion of the irrigation system installation and as a condition of it's acceptance, deliver to the Owner's representative the following 'As- built' drawings; Three prints and one reproducible sepia of all changes to the irrigation system including a Controller Zone Reference chart. Instruct owner of system components operation, system winterization, and controller adjustment processes. Instruct owner of precipitation requirements and schedule of anticipated controller adjustments as landscape matures.

6. Protect existing buildings, walls, pavements, reference points, monuments, and markers on this site. Verify location of and protect all utilities. Protect adjacent property. Protect work and materials of other trades. Protect irrigation system materials before, during, and after installation. In the event of damage, repair or replace items as necessary to the approval of the Owner's representative and at no additional cost to the Owner. Use all means necessary to protect the public from injury at all times.

7. Provide warranty for all installed materials and work for one year beyond the date of final acceptance of the irrigation system installation.

8. Verify gallonage, pressure, size, and location of service water line. The Contractor shall guarantee an irrigation system that functions to manufacturer's specifications with the source volume and pressure afforded to site. Make arrangements for water shut-off during construction if necessary, notify owner 24 hours prior to suspension of water service.

9. Irrigation trenches shall be a depth to provide a minimum cover of 18 inches for sleeving beneath walkways; 18 inches for all pressurized main lines; 36 inches for sleeving beneath asphalt paving, and 12 inches for all lateral lines. Backfill with clean fill void of material injurious to system components. All sleeving under vehicular traffic to be Class 200 PVC, all other sleeving shall be class 200 PVC. Locate top of zone valves a minimum of 6" below finish grade.

10. Combine wire and piping where possible.

11. Contractor shall follow manufacturer's instructions for solvent welding of PVC pipe and fittings to achieve tight and inseparable joints. Utilize single wrap Teflon tape at all threaded joints.

12. Install all valves with fittings that facilitate maintenance removal and place valve boxes at location that are easily serviced but not in conspicuous locations. Locate in planting beds wherever possible, away from mower, edger, or de-thatcher operations.

13. Contractor shall install one manual drain valve at discharge side of each remote control valve and at all low points in mainline pipe so as to allow for complete drainage of all main lines. Mark with a painted sleeve cover and indicate locations on As-Built drawings.

14. Contractor shall provide backflow prevention as required per local and state codes, installed as per manufacturer's specifications.

15. Contractor shall install irrigation controller in accordance with manufacturer's specifications. Verify a 120 V A.C. electrical source and a min. 1 1/2" conduit from controller location open to all electrical zone valves in field. Weatherproof any exterior wall penetrations.

16. Automatic Controller: Rainbird or Hunter capable of meeting Water Sense EPA Criteria or approved equal. Controller shall have ability for all zones to fully operate and meet both normal and specified low volume system requirements as specified herein, and as required by site conditions. Coordinate location in field with owner's representative.

17. Install all wire in accordance with manufacturer's specifications with a minimum of 18 inch looped inside valve box at each remote control valve and at the controller. All splices shall occur within valve boxes with water-proof connectors.

18. Contractor shall install all sprinkler heads with flexible risers, using flexible polyethylene pipe not to exceed 18 inches in length or PVC swing joints. Tee fittings shall extend horizontally from pipe.

19. Contractor shall thoroughly flush irrigation system after piping, risers, and valves are installed but prior to installing sprinkler heads. Thoroughly clean, adjust and balance the installed irrigation system. Adjust spray pattern of nozzles to minimize throw of water onto buildings, walls, roads and parking lots. Adjust controller for optimum performance and precipitation rates utilizing proper water conservation measures.

Topsoil Placement and Soil Preparation

1. Contractor shall submit certified topsoil analysis report for owner's approval prior to plant installation.
2. Contractor is responsible for any amendments to soil PH, fertility and/or drainage conditions necessary to ensure proper growing conditions for proposed planting.
3. Topsoil shall be friable soil from existing stockpiled material or imported, with added soil amendments as specified. It shall not be delivered while in a frozen or muddy condition. Protect from erosion at all times. Utilize existing stockpiled topsoil only under the direction of the Owner's Representative. Do not place topsoil in areas that have not been cleared of weeds listed herein. Topsoil shall meet the following requirements:
 - a. Free of roots and rocks larger than 1/2 inch,
 - b. Free of subsoil, debris, large weeds, foreign matter and any other material deleterious to plant material health.
 - c. Acidity range (pH) of 5.5 to 7.5.
 - d. Containing a minimum of 4 percent and a maximum of 25 percent inorganic matter with decaying matter of 25 percent content by volume or less.
 - e. Textural gradations shall be sand: 45-75%, silt: 15-35%, clay: 0%-20%.

4. Commercial fertilizer shall be an organic base, complete fertilizer containing in available form by within a minimum of 10N 10P 5K - with 50 percent of the available nitrogen in slow-release formula, Webfoot Organic Delux, or approved equal.

5. Compost shall be yard debris compost meeting industry and jurisdictional standards.

6. Contractor shall remove all debris, rocks one inch in diameter or larger, sticks, mortar, concrete, asphalt, paper, contaminated soil and any material harmful to plant life, in all planting areas.

7. Contractor shall rototill subgrade six (6) inches deep before placing topsoil. Specified imported topsoil shall be placed at a minimum depth of 12" in all planting areas. Do not place material during wet conditions. Do not work saturated soils in any manner. floated to a level, sloped or mounded grade between any existing or constructed point on the site, such as curbs, walls, walks, paving and the like. Final soil grades in planting beds shall be 2" below adjacent paving and curbs for mulch application.

8. Distribute following soil amendments to all landscape areas in even layers and power rototill or spade to a minimum depth of six (6) inches into topsoil, as follows;

- Planting Beds:
- a. Compost: Apply nine cubic yards per 1000 sq. ft.
 - b. Commercial Fertilizer: Apply 50 pounds per 1000 sq. ft.

9. Preparation of backfill planting soil mix shall be as follows:

Thoroughly blend and mix the following proportion of materials while in a moist condition:

- Three cubic yards topsoil
- 1 1/2 cubic yards compost
- 1 1/2 cubic yards medium bark,
- 10 pounds commercial fertilizer
- Five pounds bonemeal

10. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus materials. Any paved area or surfaces stained or soiled from landscaping materials shall be cleaned with a power sweeper using water under pressure. Building surfaces shall be washed with proper equipment and materials as approved by the Owner's representative.

Seed Installation

1. Seeding operations shall occur only between March 15 and October 15.
2. Seeding is not permitted during cold weather (less than 32 degrees F), hot weather (greater than 80 degrees F), when soil temperature is less than 55 degrees F, when ground is saturated, or when wind velocity is greater than 10 mph.
3. Contractor shall float rough graded seedbed. Do not disturb natural drainage patterns. Remove rocks, clumps, or debris at surface. Lightly scarify surface.
4. Contractor shall apply 10 pounds commercial fertilizer per 1,000 square feet of surface area before spreading seed.
5. Lawn Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Northwest Supreme Lawn Mix" grass seed per 1,000 square feet.
6. Fieldgrass Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Diamond Green" grass seed per 1,000 square feet.
7. The Contractor shall protect and maintain the seeded area by fencing, watering, feeding, reseeding, mowing and repairing as necessary to establish a thick, uniform stand of grass acceptable to the Owner's representative. Contractor to maintain lawn for a minimum of 3 mowings.

Trees, Shrubs, & Groundcover Installation

1. Contractor shall guarantee materials and workmanship in general landscape areas for one year from date of conditional acceptance. Plant material shall be in accordance with American Standard for Nursery Stock (ANSI Z60.1), shall comply with State and Federal laws with respect to inspection for insect infestation and plant diseases and shall be free of insect pests and plant diseases.
2. Plant materials shall have a minimum of 6 inches of prepared soil under the root ball, and a minimum of 6 inches on each side of the root ball. Tree roots or root ball shall have a minimum of 12 inches of plant soil under the root ball and a minimum of 12 inches on each side of the root ball, or roots. Final grade should maintain root ball slightly above surrounding grade (not to exceed one inch) for bark mulch installation.
3. Root control barrier shall be installed in trenches, alongside hardscape structures and utility lines such as sidewalks, curbs, pavement, walls, and concrete located within 5 feet of new trees measured from the trunk. Root barrier is to be 40 - 60 mil HDPE, minimum 18" deep and extend 10' in either direction measured from the center of the trunk.
4. Mulch all planting beds after planting, final raking, grading and leveling of the planting beds with a layer of Hem/Fir medium screened bark mulch as specified on the plans.
5. Balled and burlapped trees, boxed trees or bare root trees shall be either guyed or staked as detailed on the plans.
6. Remove all dead or dying branches and criss-crossing branches from trees. Do not cut leader.
7. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus material. All paved areas or surfaces stained or soiled from landscape material shall be cleaned with a water-pressure power sweeper. Building surfaces shall be washed with proper equipment and materials as approved by the Owner.
8. River Rock Mulch: River rock mulch shall be minimum 3/4" to maximum 1-1/2" diameter washed round river rock, uniform in size. All fines shall be screened from the aggregate within a one-quarter inch (1/4") tolerance. Color shall be white to light brown. Contractor shall provide the owner with samples of river rocks for approval prior to installation.

Maintenance

1. Contractor shall maintain general landscape areas for one year after accepted completion of project.
2. Maintenance shall include; all grade resettlement, weeding, policing and removal of plant material debris during maintenance period. Remove and replace dead plant material as needed at no cost to owner for maintenance period. Seasonal leaf fall removal is outside the scope of this maintenance specification.
3. Any unsatisfactory condition arising during this maintenance period shall be brought to the attention of the Owner's Representative immediately.

Client:

Lu Pacific
Development

11325 SW Tualatin-Sherwood
Tualatin, OR 97062

Project:

Lu Pacific
Development
Building

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:

LANDSCAPE
& IR SPECS

Revisions:

Date: 9 March 2021

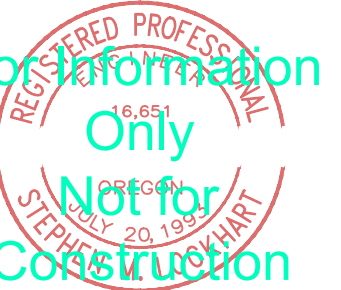
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TQJ

Job Number: 11701

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EXPIRES 12-31-20

Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**SITE
LIGHTING
PHOTOMETRIC**

Revisions:

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Date: 9 March 2020

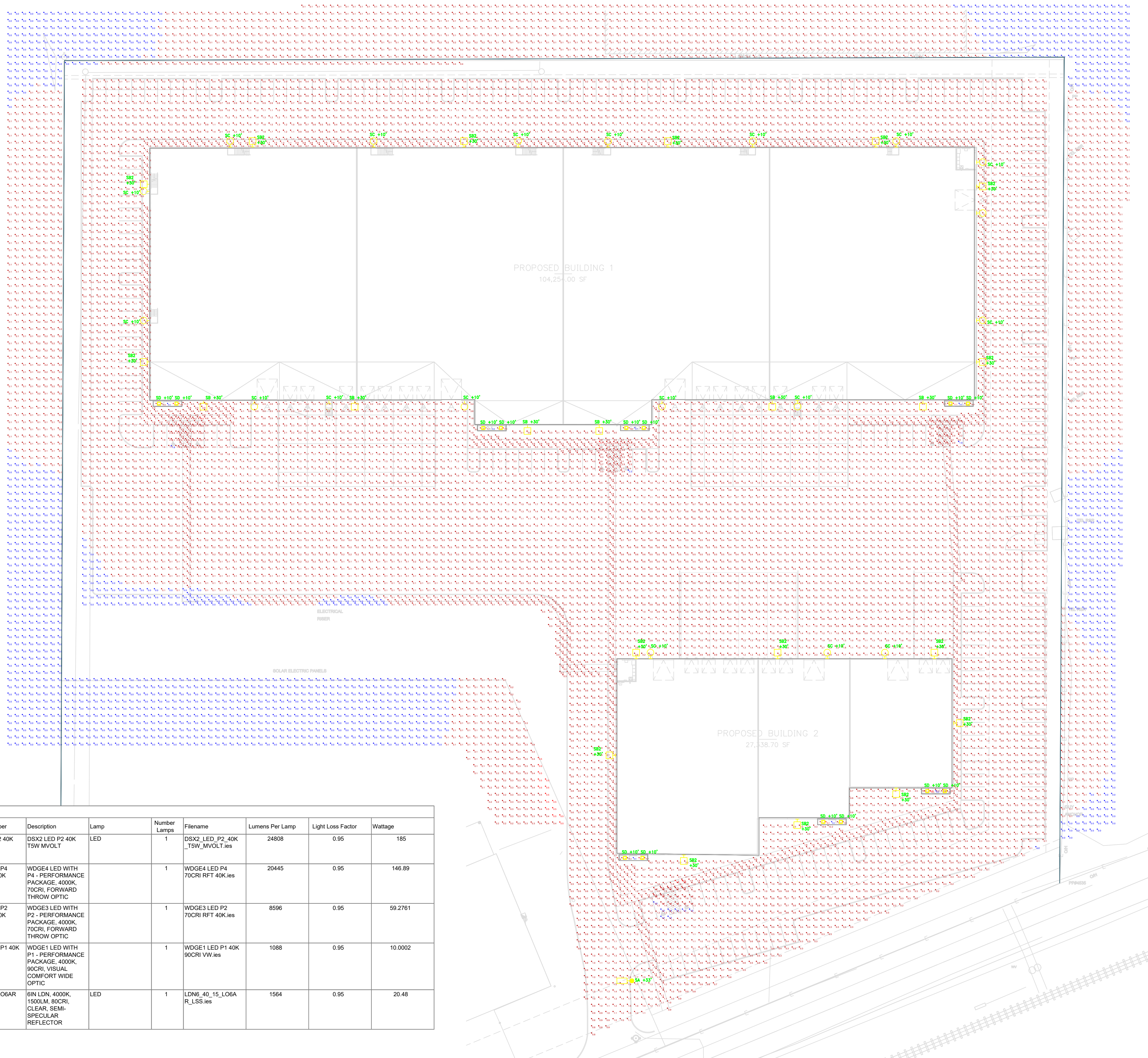
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Job Number: 117013

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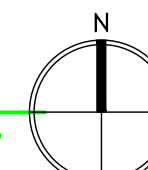
ELC1.00



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
SA	SA	1	Lithonia Lighting	DSX2 LED P2 40K TSW MVOLT	DSX2 LED P2 40K TSW MVOLT	LED	1	DSX2_LED_P2_40K_TSW_MVOLT.ies	24808	0.95	185
SB	SB	6	Lithonia Lighting	WDGE4 LED P4 70CRI RFT 40K	WDGE4 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, FORWARD THROW OPTIC		1	WDGE4_LED_P4_70CRI_RFT_40K.ies	20445	0.95	146.89
SB2	SB2	16	Lithonia Lighting	WDGE3 LED P2 70CRI RFT 40K	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 70CRI, FORWARD THROW OPTIC		1	WDGE3_LED_P2_70CRI_RFT_40K.ies	8596	0.95	59.2761
SC	SC	20	Lithonia Lighting	WDGE1 LED P1 40K 90CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 90CRI, VISUAL COMFORT WIDE OPTIC		1	WDGE1_LED_P1_40K_90CRI_VW.ies	1088	0.95	10.0002
SD	SD	14	Lithonia Lighting	LDN6 40/15 LOGAR LSS	6IN LDN, 4000K, 1500LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR	LED	1	LDN6_40_15_LOGAR_LSS.ies	1564	0.95	20.48

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ADA Parking 1	+	3.0 fc	4.5 fc	1.8 fc	2.5:1	1.7:1
ADA Parking 2	+	3.7 fc	5.7 fc	2.2 fc	2.6:1	1.7:1
ADA Parking 3	+	2.8 fc	4.1 fc	1.9 fc	2.2:1	1.5:1
ADA Parking 4	+	1.5 fc	1.9 fc	1.3 fc	1.5:1	1.2:1
MAIN ENTRIES(1)	+	14.2 fc	15.8 fc	9.5 fc	1.7:1	1.5:1
MAIN ENTRIES(2)	+	14.0 fc	16.1 fc	8.6 fc	1.9:1	1.6:1
MAIN ENTRIES(3)	+	13.9 fc	16.0 fc	8.5 fc	1.9:1	1.6:1
MAIN ENTRIES(4)	+	14.6 fc	17.7 fc	8.5 fc	2.1:1	1.7:1
MAIN ENTRIES(5)	+	14.9 fc	18.0 fc	8.7 fc	2.1:1	1.7:1
MAIN ENTRIES(6)	+	14.8 fc	17.8 fc	8.8 fc	2.0:1	1.7:1
MAIN ENTRIES(7)	+	14.8 fc	17.6 fc	8.5 fc	2.1:1	1.7:1
Overall Site Lighting	+	1.0 fc	14.9 fc	0.0 fc	N/A	N/A
Property Line Light	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
Tresspass	+	1.8 fc	8.8 fc	0.0 fc	N/A	N/A
Site Pedestrian Pathway	+	1.8 fc	8.8 fc	0.0 fc	N/A	N/A

1 SITE LIGHTING PHOTOMETRIC
SCALE: 1"=40'-0"




6915 SW MACADAM AVE.
SUITE 200
PORTLAND, OREGON 97219
PHONE: 503.892.1188
FAX: 503.892.1190
CONTACT: HANK BARLEEN
engineering@mke-inc.com

MKE
MKE & ASSOCIATES, INC.
CONSULTING ENGINEERS
MECHANICAL AND ELECTRICAL SYSTEMS

Architectural Review - March 2020

D-Series Size 2 LED Area Luminaire



Specifications
 Length: 40" (101.6 cm)
 Width: 15" (38.1 cm)
 Height 1: 7-1/4" (18.4 cm)
 Height 2: 3.5"
 Weight: 35lbs


Introduction
 The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information
 EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBX

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 P8 P10 P13 P11 P14 P12	30K 3000K 40K 4000K 50K 5000K	T1S Type I Short T2S Type II Short T3S Type III Short T4S Type IV Short T5S Type V Short T6S Type VI Short T7S Type VII Short T8S Type VIII Short T9S Type IX Short T10S Type X Short T11S Type XI Short T12S Type XII Short T13S Type XIII Short T14S Type XIV Short T15S Type XV Short T16S Type XVI Short T17S Type XVII Short T18S Type XVIII Short T19S Type XIX Short T20S Type XX Short	MVOLT 120V 120V 208V 240V 277V 347V 480V	Shipped included SPA Square pole mounting RPA Round pole mounting WPA Wall bracket SPA8MA Square pole universal mounting adapter RPA8MA Round pole universal mounting adapter KMAA DDBXD Max arm mounting bracket adapter (specify finish) ¹

Accessories
 NLTAR2 High AIR generation 2 enabled
 PIRHN Network, Bi-Level motion/ambient sensor
 PER NEMA 3R wet location only (no controls)¹
 PER5 Five-wire receptacle only (no controls)^{1,2,3}
 PER7 Seven-wire receptacle only (no controls)^{1,2,3}
 DMG 0-10V dimming control with external control (no controls)¹
 DS Dual switching^{1,4}

D-Series Size 2 LED Wall Luminaire



Specifications
 Width: 18-1/2" (46.7 cm)
 Depth: 10" (25.4 cm)
 Height: 7-5/8" (19.4 cm)

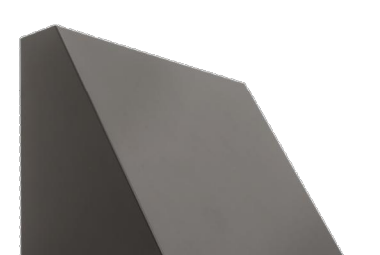
Introduction
 This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL, DLL equipped luminaires meet the A+ specification for luminaire to photocentral interoperability.

Ordering Information
 EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting
DSXW2 LED	20C 20 LEDs (two engines) 30C 30 LEDs (three engines)	350 350 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000K 40K 4000K 50K 5000K	T2S Type II Short T3M Type III Short T4M Type IV Medium T5M Type V Medium T6M Type VI Medium T7M Type VII Medium	MVOLT 120V 208V 240V 277V 347V 480V	Shipped included (blank) Surface mounting bracket PER Photocentric cut, button type PER5 NEMA 3R wet location only (control ordered separately) PER7 Five-wire receptacle only (control ordered separately) PER7 Seven-wire receptacle only (control ordered separately) DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) PRR 180° motion/ambient light sensor, <15° mrg lght PRR 180° motion/ambient light sensor, 15-30° mrg lght PRR1CV Motion/ambient sensor, 8-15° mounting height, ambient sensor enabled at 16" PRR1CV Motion/ambient sensor, 15-30° mounting height, ambient sensor enabled at 16"

Accessories
 NLTAR2 High AIR generation 2 enabled
 PIRHN Network, Bi-Level motion/ambient sensor
 PER NEMA 3R wet location only (no controls)¹
 PER5 Five-wire receptacle only (no controls)^{1,2,3}
 PER7 Seven-wire receptacle only (no controls)^{1,2,3}
 DMG 0-10V dimming control with external control (no controls)¹
 DS Dual switching^{1,4}

WDGE1 LED Architectural Wall Sconce



Specifications
 Depth (D1): 5.5"
 Depth (D2): 1.5"
 Height: 8"
 Width: 9"
 Weight: 9 lbs (without options)

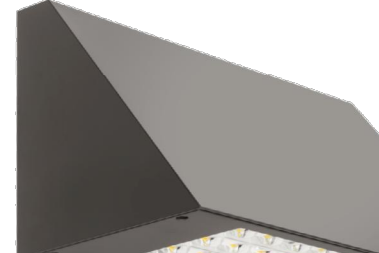
Introduction
 The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

Ordering Information
 EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	—	—	1,200	2,000	—	—	—	—
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	—
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	—	—	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Accessories
 E0WH Emergency battery backup, CEC compliant (40V, 0°C min)
 DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)
 DMG 0-10V dimming wires pulled outside fixture for use with an external control, ordered separately
 BCE Bottom conduct entry for premium back box (PBWB). Total of 4 entry points.

WDGE3 LED Architectural Wall Sconce



Specifications
 Depth (D1): 8"
 Depth (D2): 1.5"
 Height: 9"
 Width: 19.5"
 Weight: 18.5 lbs (without options)


Introduction
 The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Ordering Information
 EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE3 LED	P1 P2 P3 P4 P5	30K 3000K 40K 4000K 50K 5000K	70CRI	R3 Type 2 R2 Type 3 R4 Type 4 RFT Forward Throw	MVOLT 120V 208V 240V 277V 347V 480V	Shipped separately SRM Surface mounting bracket RWB Surface-mounted back box PBWB Premium surface-mounted back box (top, left, right, condal entry)

Accessories
 E1SWH Emergency battery backup, CEC compliant (15W, 5°C min)
 E2WH Emergency battery backup, CEC compliant (15W, 20°C min)
 PE Photocentric, Button Type
 DMG 0-10V dimming wires pulled outside fixture for use with an external control, ordered separately
 BCE Bottom conduct entry for premium back box (PBWB). Total of 4 entry points.
 SPO10K 10k Surge pack

WDGE4 LED Architectural Wall Sconce



Specifications
 Depth (D1): 10"
 Depth (D2): 2"
 Height: 9"
 Width: 25"
 Weight: 30.5 lbs (without options)

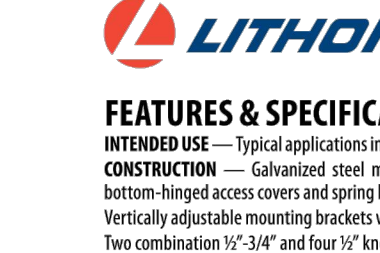
Introduction
 The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Ordering Information
 EXAMPLE: WDGE4 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE4 LED	P1 P2 P3 P4 P5	30K 3000K 40K 4000K 50K 5000K	70CRI	R3 Type 2 R2 Type 3 R4 Type 4 RFT Forward Throw	MVOLT 120V 208V 240V 277V 347V 480V	Shipped included SRM Surface mounting bracket RWB Surface-mounted back box PBWB Premium surface-mounted back box (top, left, right, condal entry)

Accessories
 E1SWH Emergency battery backup, CEC compliant (15W, 5°C min)
 E2WH Emergency battery backup, CEC compliant (15W, 20°C min)
 PE Photocentric, Button Type
 DS Dual switching (comes with 2 drivers and 2 light engines)
 DMG 0-10V dimming wires pulled outside fixture for use with an external control, ordered separately
 BCE Bottom conduct entry for premium back box (PBWB). Total of 4 entry points.
 SPO10K 10k Surge pack

LDN6 6" OPEN and WALLWASH LED Non-IC New Construction Downlight



FEATURES & SPECIFICATIONS
 INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
 CONSTRUCTION — Galvanized steel mounting/plaster frame, galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.
 OPTICS — LEDs are bonded to a 3-PLY 55CM 86 CRI minimum, 90 CRI optional. LED light source concealed with diffusing optical lens.
 ELECTRICAL — Multi-watt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.
 LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling).
 WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.lithonia.com/support/customer-support/terms-and-conditions

Ordering Information
 EXAMPLE: LDN6 35/15 LOGAR LSS MVOLT E210

Series	Color Temperature	Lumens	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27 2700K 30 3000K 35 3500K 40 4000K 50 5000K	85 500 lumens 105 750 lumens 10 1000 lumens 40 4000 lumens 50 5000 lumens	L66 Downlight LWS Wallwash	AL Clear WR White BR Black	MVOLT Multi-volt 120 120V 277 277V 347 347V

Options
 E210 0-10V dimmed driver with smooth and flicker-free deep dimming performance down to 10%
 E21 0-10V dimmed LED driver with smooth and flicker-free deep dimming performance down to 1%
 E10WCP Emergency battery pack, 10W Constant Power with integral test switch.
 E10WCPN Emergency battery pack, 10W Constant Power with remote test switch.
 NPP10K 10k Surge pack
 NPP10K2 Emergency battery pack with 0-10V dimming for non-dimmable drivers (E210, E21, ER controls fixtures on emergency circuit.)

REGISTERED PROFESSIONAL ARCHITECT
 Not for Construction
 EXPIRES 12-31-20

Client:
Lu Pacific Development
 11325 SW Tualatin-Sherwood Rd
 Tualatin, OR 97062

Project:
Lu Pacific Development Building
 1005 SW Herman Road
 Tualatin, OR 97062

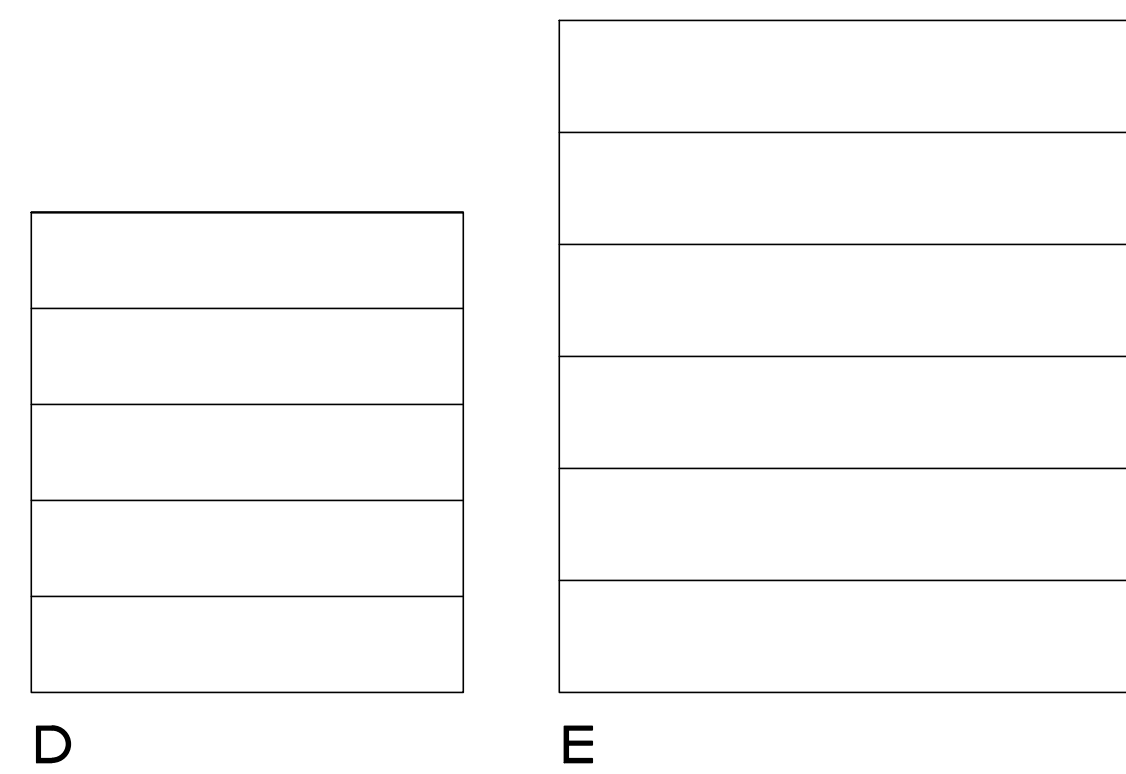
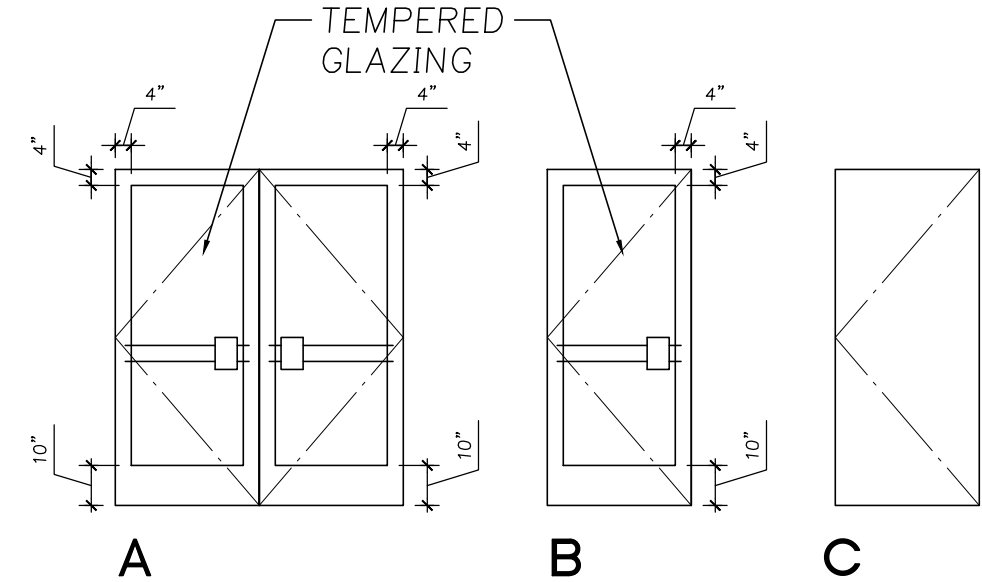
Sheet Title:
LIGHT FIXTURE CUT SHEETS

Revisions:

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 Date: 9 March 2020
 Drawn by: Checked by: TQL
 Job Number: 117013
 Sheet

6915 SW MACADAM AVE, SUITE 200
 PORTLAND, OREGON 97219
 PHONE: 503.892.1188
 FAX: 503.892.1190
 CONTACT: HANK BARLEEN
 engineering@mkc-inc.com
MKE ASSOCIATES, INC.
 CONSULTING ENGINEERS
 MECHANICAL AND ELECTRICAL SYSTEMS

Door Types



Door Schedule

MARK	NOMINAL SIZE			Type	DOOR		FRAME		GLAZING	HRDW.	REMARKS
	WIDTH	HEIGHT	THICK		MAT'L	FINISH	MAT'L	FINISH			
101A	3'-0"	7'-0"	1 3/4"	B	AL	CLR	AL	CLR	---	1	---
101B	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
101C	14'-0"	16'-0"	1 3/4"	E	STL	P	---	---	---	1	---
101D	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
101E	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
101F	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
101G	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
101H	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
101I	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
101J	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
102A	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
102B	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
102C	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
102D	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
102E	14'-0"	16'-0"	1 3/4"	E	STL	P	---	---	---	1	---
102F	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
102G	6'-0"	7'-0"	1 3/4"	A	AL	CLR	AL	CLR	---	1	---
102H	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
102I	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---

Door Schedule

MARK	NOMINAL SIZE			Type	DOOR		FRAME		GLAZING	HRDW.	REMARKS
	WIDTH	HEIGHT	THICK		MAT'L	FINISH	MAT'L	FINISH			
103A	6'-0"	7'-0"	1 3/4"	A	AL	CLR	AL	CLR	---	1	---
103B	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
103C	14'-0"	16'-0"	1 3/4"	E	STL	P	---	---	---	1	---
103D	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
103E	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
103F	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
103G	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
103H	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
103I	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
104A	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
104B	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
104C	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
104D	9'-0"	10'-0"	1 3/4"	D	STL	P	---	---	---	1	---
104E	3'-0"	7'-0"	1 3/4"	B	AL	CLR	AL	CLR	---	1	---
104F	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
104G	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
104H	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
104I	14'-0"	16'-0"	1 3/4"	E	STL	P	---	---	---	1	---
104J	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---
105	3'-0"	7'-0"	1 3/4"	C	HM	P	HM	P	---	2	---

LEGEND
 AL ALUMINUM P PAINT
 HM HOLLOW METAL STL STEEL
 CLR CLEAR ANODIZED

Keynotes

- CONCRETE TILT-UP WALL
- SLAB ON GRADE
- TS COLUMN - SEE STRUCTURAL
- ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING
- 6"x6" DOWNSPOUT TYPICAL
- STOREFRONT DOOR
- HOLLOW METAL PERSONNEL DOOR WITH TRANSOM ABOVE WITH HOLLOW METAL FRAME
- 6"Ø CONCRETE-FILLED PIPE BOLLARD, TYPICAL AT END OF DOCK WALLS
- SAW CUT CONTROL JOINT
- CONCRETE TRUCK APRON - SEE STRUCTURAL
- CONCRETE RETAINING WALL WITH 3'-6" CONCRETE GUARDRAIL WHERE CHANGE IN GRADE IS OVER 30"
- CONSTRUCTION JOINT
- DRIVE-IN OVERHEAD DOOR
- PAINTED F.R. PLYWOOD TELEPHONE BOARD
- ELECTRICAL TRANSFORMER AND PANEL - SEE ELECTRICAL
- SPRINKLER RISER
- LADDER TO PLATFORM
- ROOF HATCH



Client:
 Lu Pacific Development

11325 SW Tualatin-Sherwood Rd
 Tualatin, OR 97062

Project:
 Lu Pacific Development Building

1005 SW Herman Road
 Tualatin, OR 97062

Sheet Title:
 Building 1 Floor Plan

Revisions:

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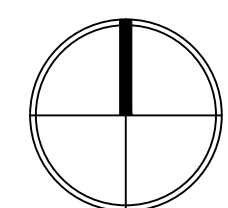
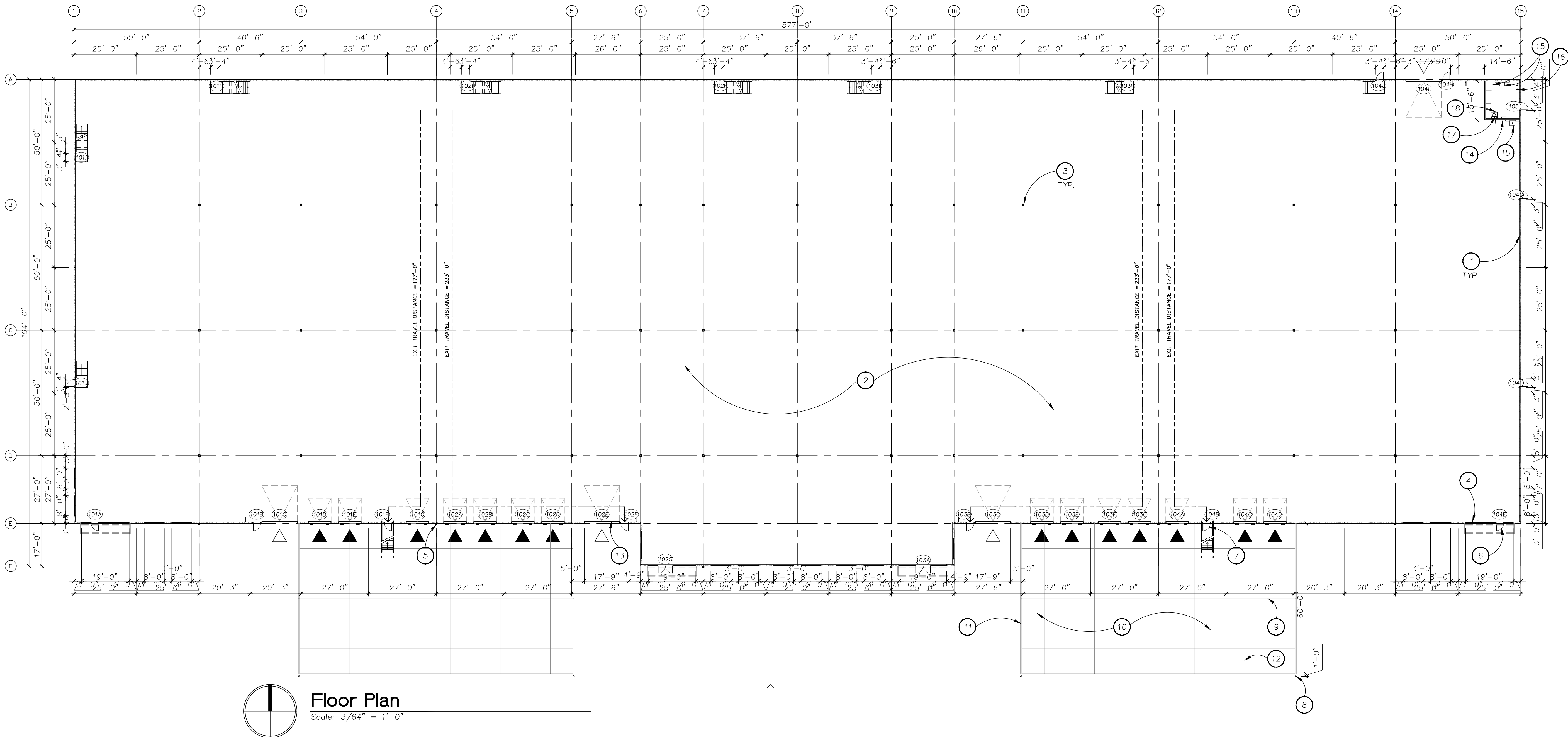
Date: April 2020

Drawn by: Checked by:

TQL

Job Number: 117013

Sheet



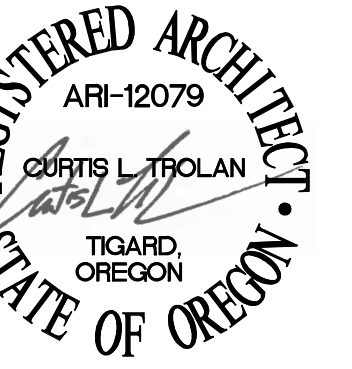
Floor Plan

Scale: 3/64" = 1'-0"

P:\117013\117013.dwg 11/15/2019 11:54 AM GCL 11

Keynotes

1. BUILT-UP ROOFING SYSTEM, TYPICAL
2. ROOF HATCH
3. CRICKET
4. PARAPET TYPICAL
5. RIDGE
6. SCUPPER AND 6"x6" DOWNSPOUT
7. VALLEY



Client:

Lu Pacific
Development

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:

Lu Pacific
Development
Building

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:

Building 1
Roof Plan

Revisions:

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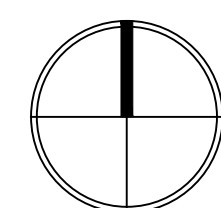
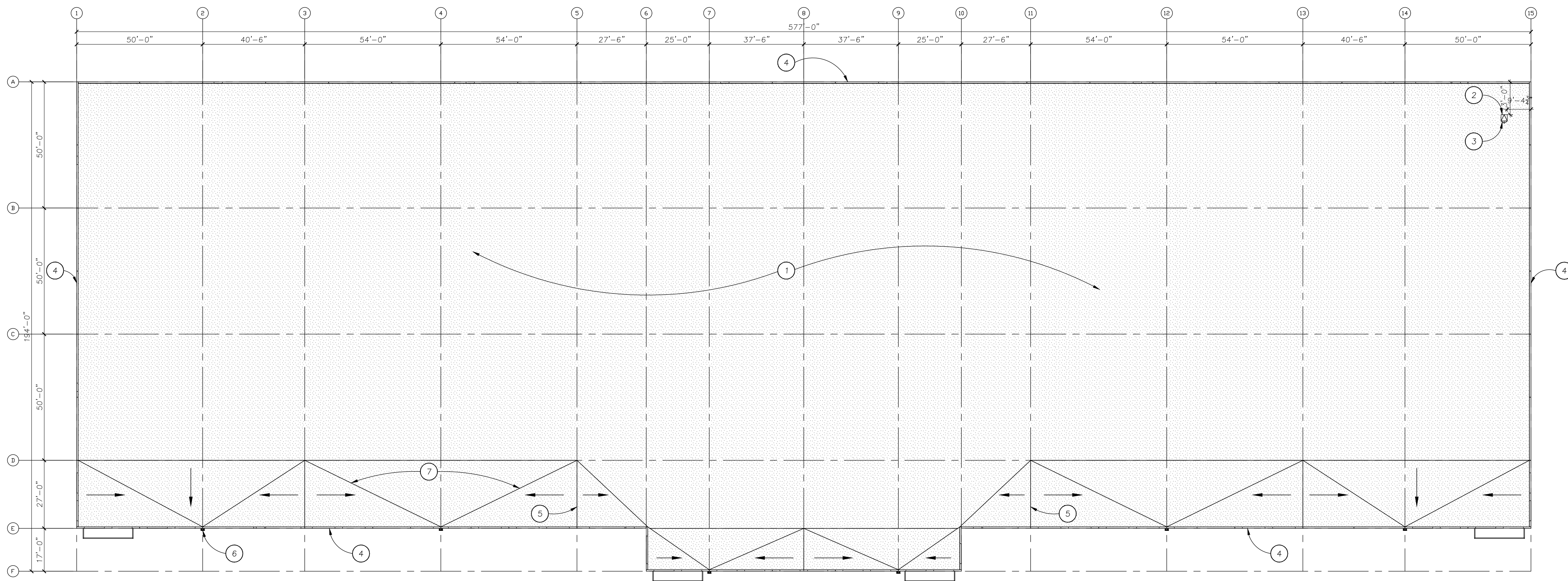
Date: April 2020

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TQL

Job Number: 117013

Sheet



Roof Plan

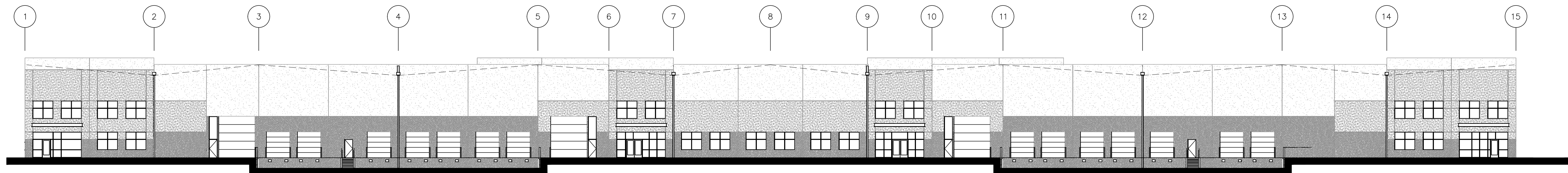
Scale: 3/64" = 1'-0"

Paint

- P1 MILLER PAINT 8683W TINDERBOX
- P2 MILLER PAINT 8684M OAK FLATS
- P3 MILLER PAINT 8676N, TURNED EARTH

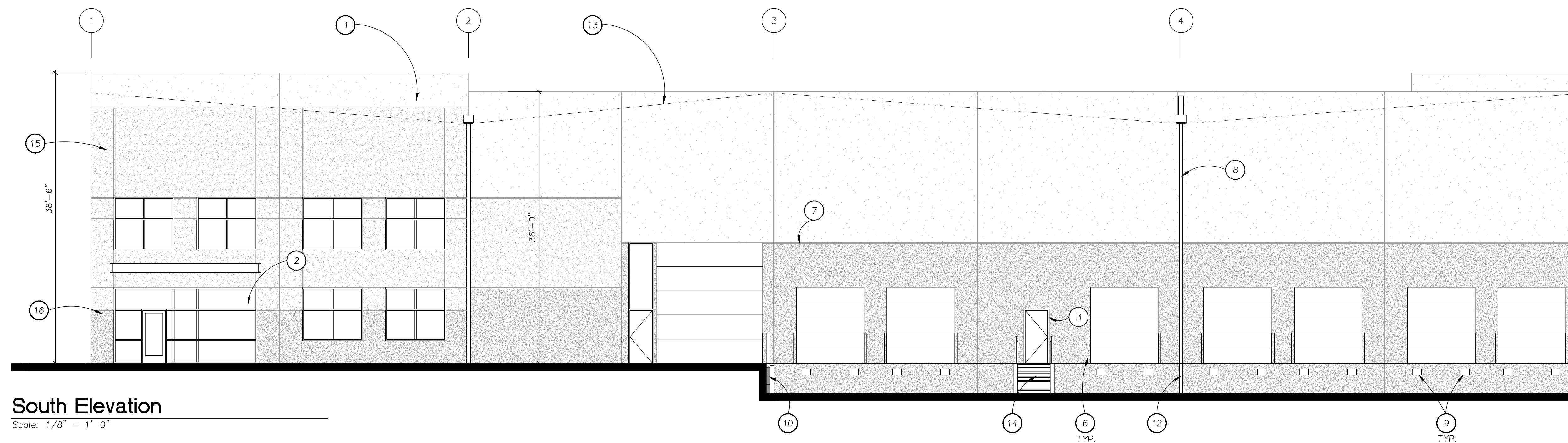
Keynotes

- 1. CONCRETE WALL PANEL, PAINTED P1
- 2. ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 3. HOLLOW METAL PERSONNEL DOOR, PAINTED P2
- 4. OVERHEAD DOOR, PAINTED P2
- 5. HOLLOW METAL PERSONNEL DOOR WITH TRANSOM ABOVE, PAINTED P2
- 6. DOOR ARMOR, PAINTED
- 7. 3/4"x1/2" "V" GROOVE REVEAL
- 8. SCUPPER AND DOWNSPOUT, PAINTED TO MATCH ADJACENT WALL COLOR
- 9. DOCK BUMPERS
- 10. CONCRETE RETAINING WALL, PAINTED P3
- 11. BUILDING ADDRESS IN 12" HIGH CONTRASTING NUMBERS
- 12. SHROUD
- 13. ROOF LINE BEYOND
- 14. METAL STAIR
- 15. CONCRETE WALL PANEL, PAINTED P2
- 16. CONCRETE WALL PANEL, PAINTED P3



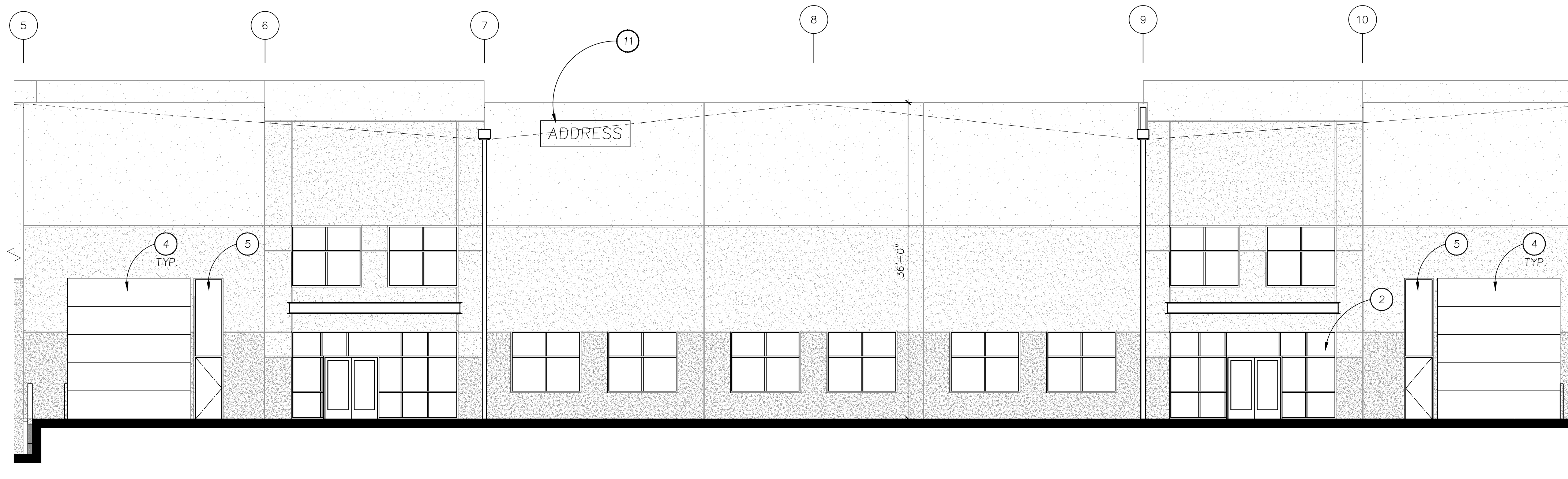
South Elevation - Overall

Scale: 3/64" = 1'-0"



South Elevation

Scale: 1/8" = 1'-0"



South Elevation

Scale: 1/8" = 1'-0"



Client:
Lu Pacific Development

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
Lu Pacific Development Building

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
Building 1 Elevations

Revisions:

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Date: April 2020

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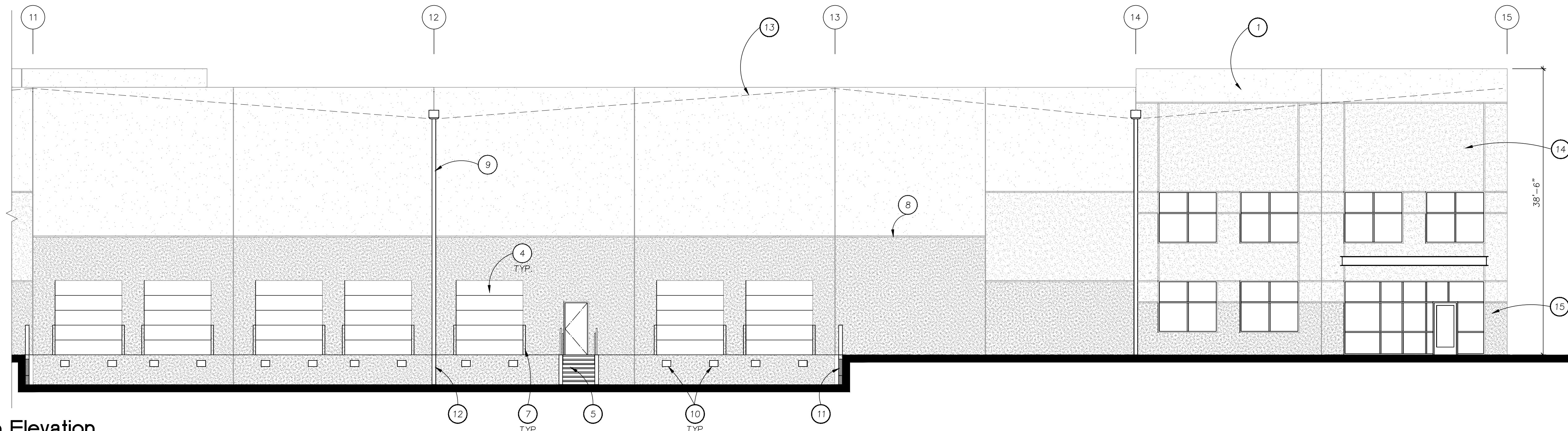
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Paint

- P1 MILLER PAINT 8683W TINDERBOX
- P2 MILLER PAINT 8684M OAK FLATS
- P3 MILLER PAINT 8676N, TURNED EARTH

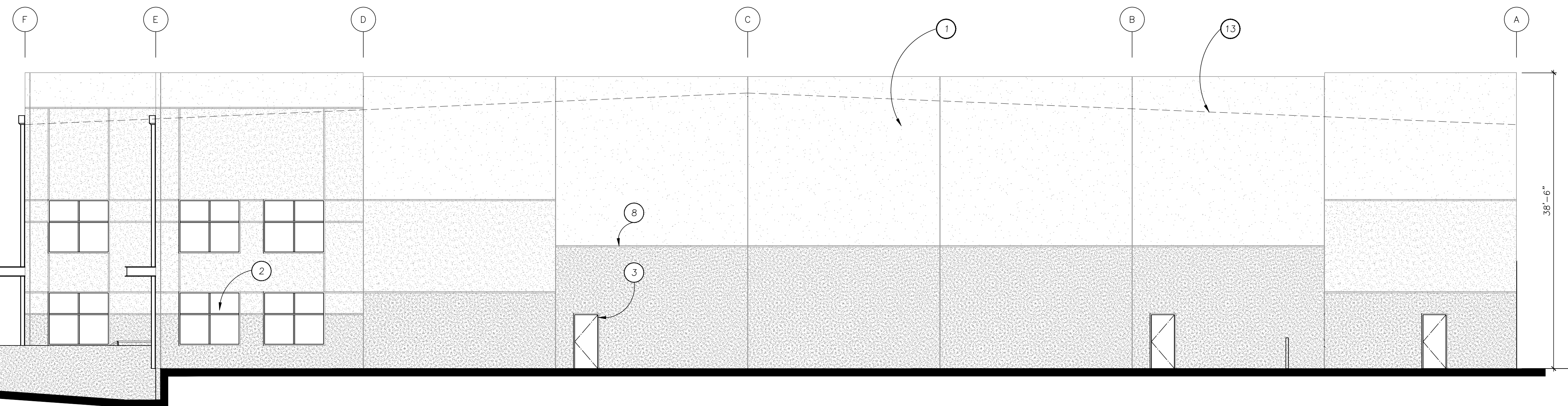
Keynotes

- 1. CONCRETE WALL PANEL, PAINTED P1
- 2. ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 3. HOLLOW METAL PERSONNEL DOOR, PAINTED P2
- 4. OVERHEAD DOOR, PAINTED P2
- 5. METAL STAIR
- 6. BOLLARD, PAINTED HAZARD YELLOW
- 7. DOOR ARMOR, PAINTED
- 8. 3/4"x1 1/2" "V" GROOVE REVEAL
- 9. SCUPPER AND DOWNSPOUT, PAINTED TO MATCH ADJACENT WALL COLOR
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- 14. CONCRETE WALL PANEL, PAINTED P2
- 15. CONCRETE WALL PANEL, PAINTED P3



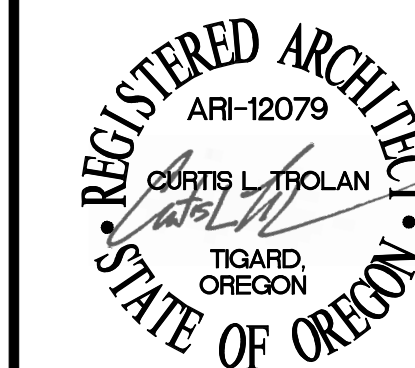
South Elevation

Scale: 1/8" = 1'-0"



East Elevation

Scale: 1/8" = 1'-0"



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Building 1
Elevations**

Revisions:

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Date: April 2020

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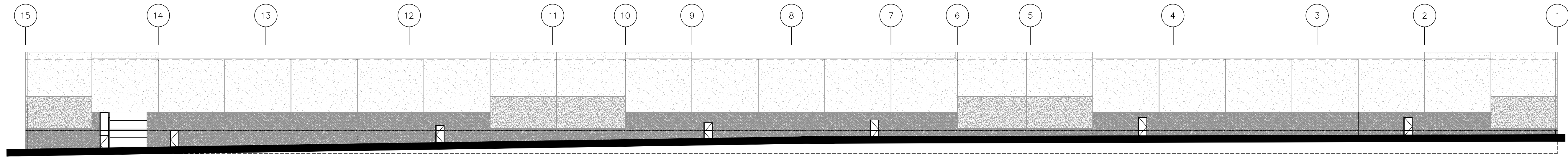
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Paint

- P1 MILLER PAINT 8683W TINDERBOX
- P2 MILLER PAINT 8684M OAK FLATS
- P3 MILLER PAINT 8676N, TURNED EARTH

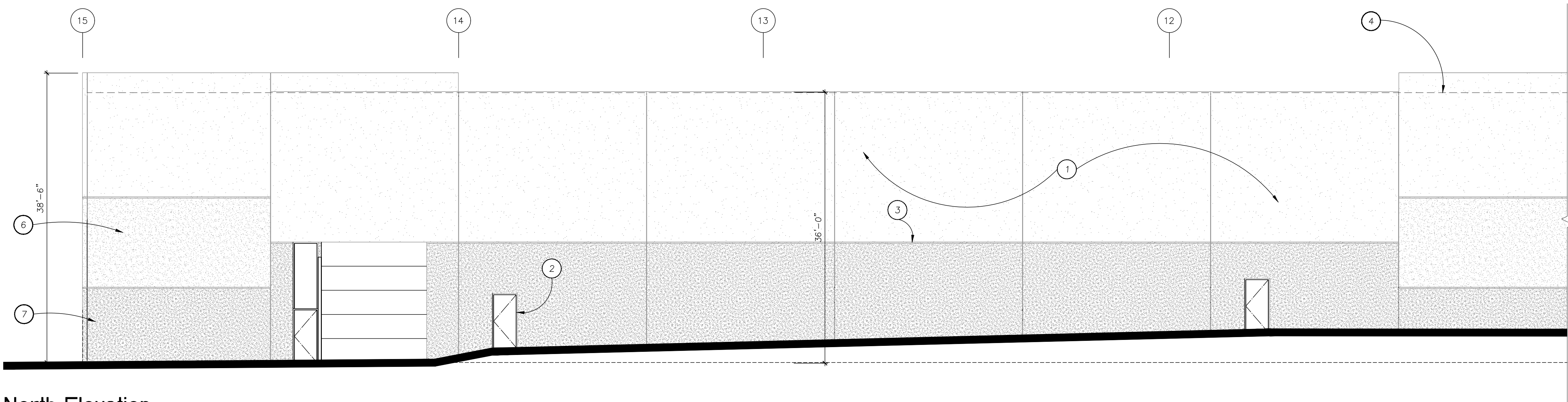
Keynotes

- 1. CONCRETE WALL PANEL, PAINTED P1
- 2. HOLLOW METAL PERSONNEL DOOR, PAINTED P2
- 3. 3/4"x1/2" "V" GROOVE REVEAL
- 4. ROOF LINE BEYOND
- 5. METAL STAIR
- 6. CONCRETE WALL PANEL, PAINTED P2
- 7. CONCRETE WALL PANEL, PAINTED P3



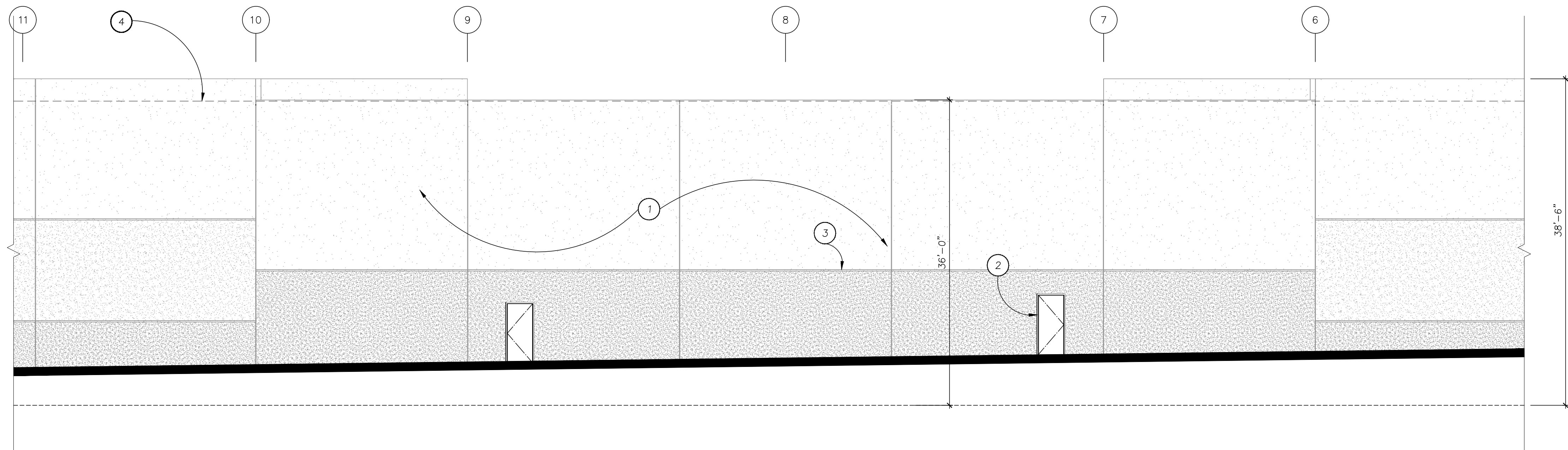
North Elevation - Overall

Scale: 3/64" = 1'-0"



North Elevation

Scale: 1/8" = 1'-0"



North Elevation

Scale: 1/8" = 1'-0"



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
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Sheet Title:
**Building 1
Elevations**

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Date: April 2020

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Job Number: 117013

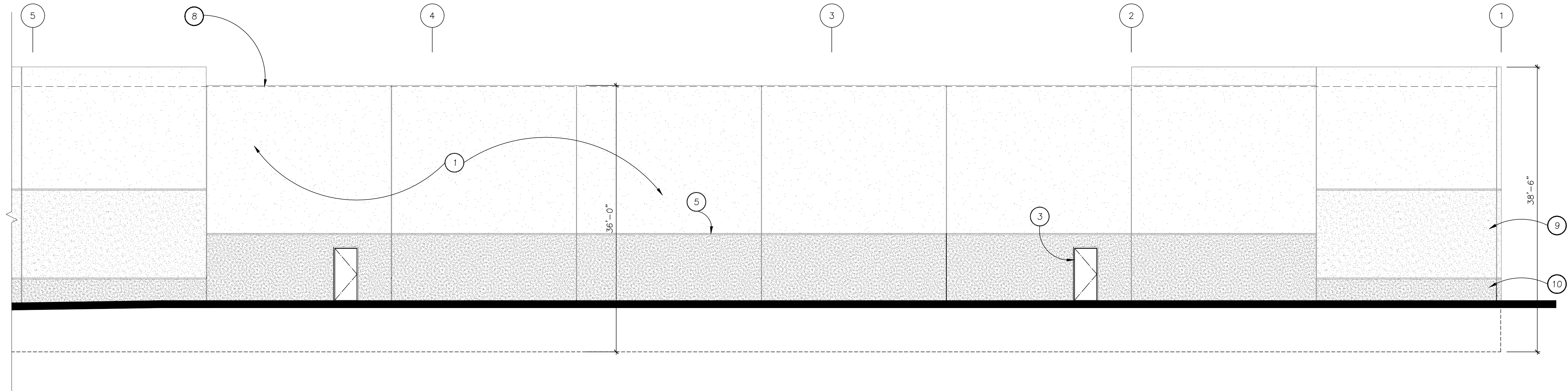
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Paint

- P1 MILLER PAINT 8683W TINDERBOX
- P2 MILLER PAINT 8684M OAK FLATS
- P3 MILLER PAINT 8676N, TURNED EARTH

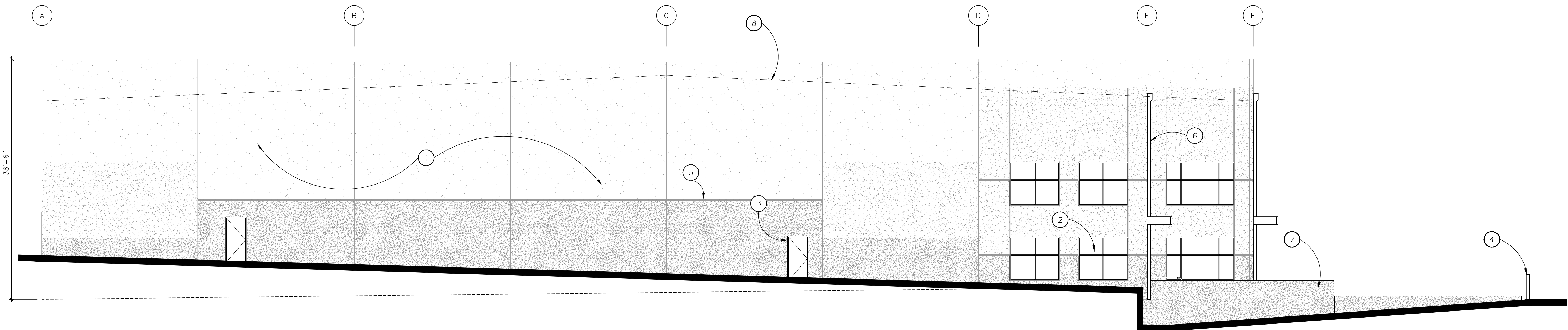
Keynotes

- 1. CONCRETE WALL PANEL, PAINTED P1
- 2. ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 3. HOLLOW METAL PERSONNEL DOOR, PAINTED P2
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- 7. CONCRETE RETAINING WALL, PAINTED P3
- 8. ROOF LINE BEYOND
- 9. CONCRETE WALL PANEL, PAINTED P2
- 10. CONCRETE WALL PANEL, PAINTED P3



North Elevation

Scale: 1/8" = 1'-0"



West Elevation

Scale: 1/8" = 1'-0"



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Building 1
Elevations**

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Date: April 2020

Drawn by: Checked by:

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Job Number: 117013

Sheet

Keynotes

1. BUILT-UP ROOFING SYSTEM, TYPICAL
2. ROOF HATCH
3. CRICKET
4. PARAPET TYPICAL
5. RIDGE
6. SCUPPER AND 6"x6" DOWNSPOUT
7. VALLEY

**MILDREN
DESIGN
GROUP**

ARCHITECTURE | INTERIORS
7650 SW Beveland Street, Suite 120
Tigard, Oregon 97223 - 8692
O 503.244.0562



Client:

Lu Pacific
Development

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:

Lu Pacific
Development
Building

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:

Building 2
Roof Plan

Revisions:

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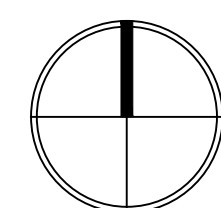
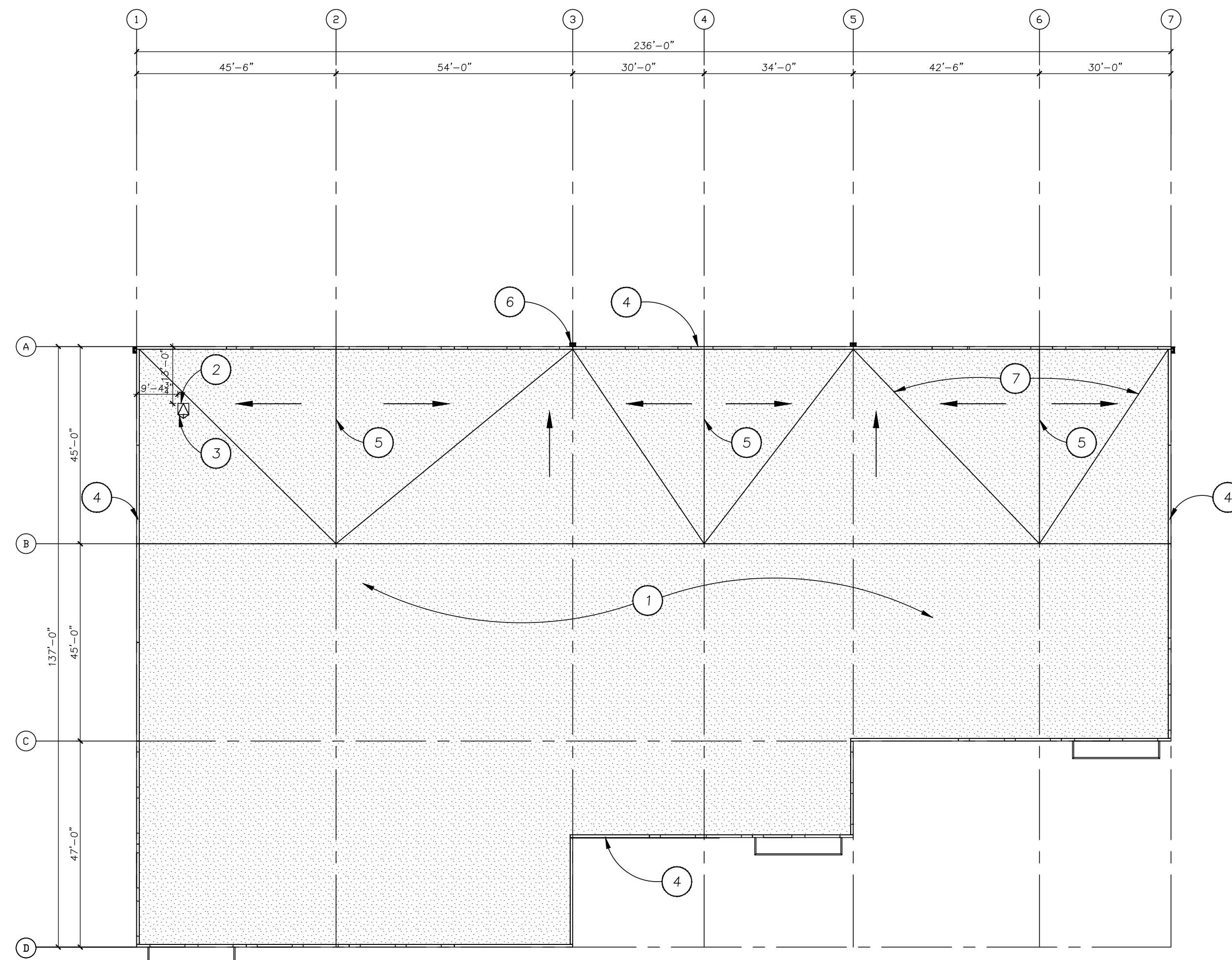
Date: April 2020

Drawn by: Checked by:

TQL

Job Number: 117013

Sheet



Roof Plan

Scale: 3/64" = 1'-0"

Paint

- P1 MILLER PAINT 8683W TINDERBOX
- P2 MILLER PAINT 8684M OAK FLATS
- P3 MILLER PAINT 8676N, TURNED EARTH

Keynotes

- 1. CONCRETE WALL PANEL, PAINTED P1
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- 12. ROOF LINE BEYOND
- 13. CONCRETE WALL PANEL, PAINTED P2
- 14. CONCRETE WALL PANEL, PAINTED P3



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Building 2
Elevations**

Revisions:

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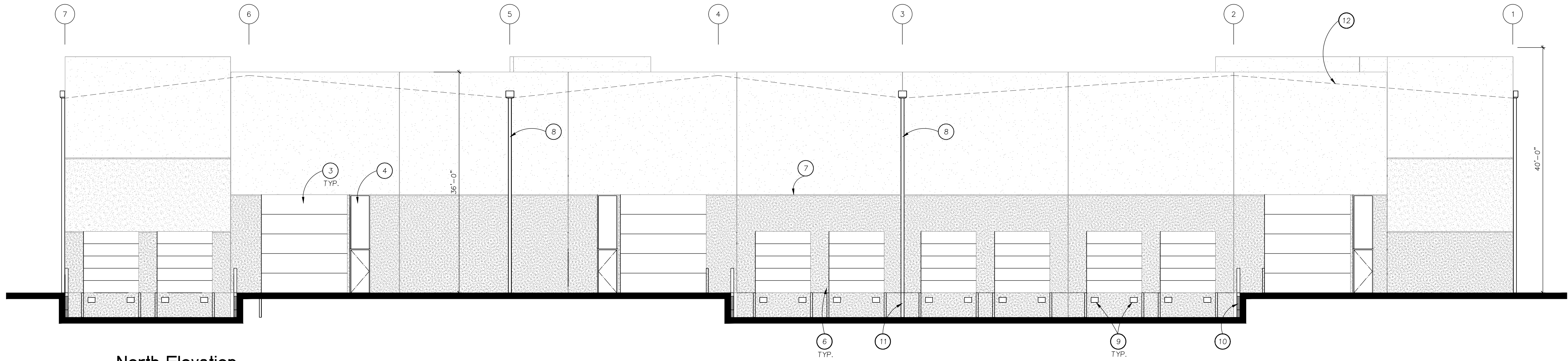
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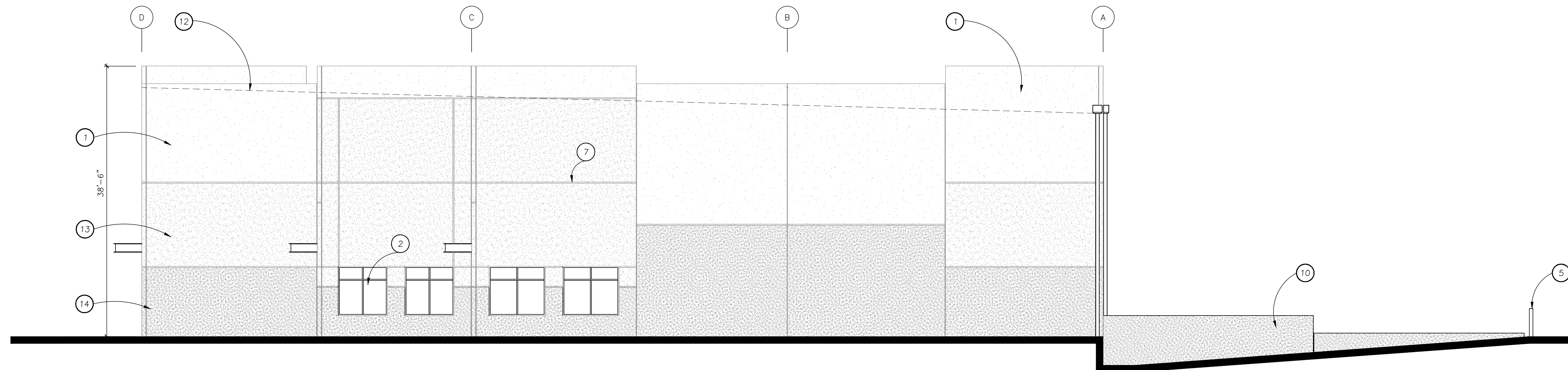
Job Number: 117013

Sheet



North Elevation

Scale: 1/8" = 1'-0"



East Elevation

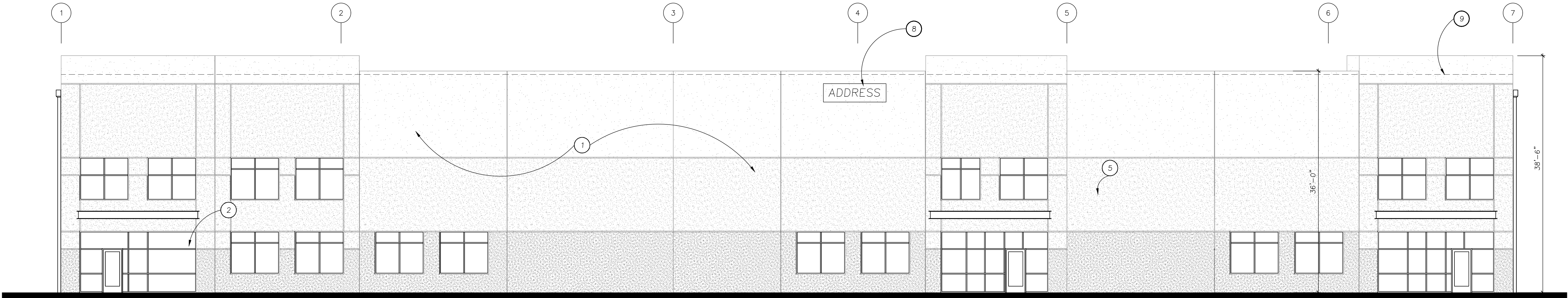
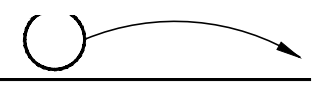
Scale: 1/8" = 1'-0"

Paint

- P1 MILLER PAINT 8683W TINDERBOX
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- P3 MILLER PAINT 8676N, TURNED EARTH

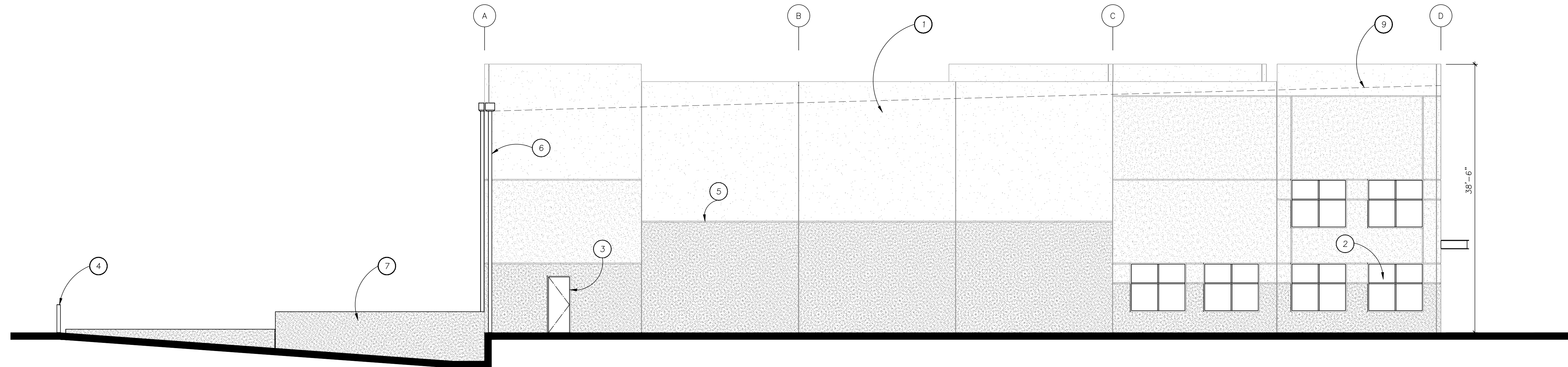
Keynotes

- 1. CONCRETE WALL PANEL, PAINTED P1
- 2. ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 3. HOLLOW METAL PERSONNEL DOOR, PAINTED P2
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- 8. BUILDING ADDRESS IN 12" HIGH CONTRASTING NUMBERS
- 9. ROOF LINE BEYOND



South Elevation

Scale: 1/8" = 1'-0"



West Elevation

Scale: 1/8" = 1'-0"



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
**Building 2
Elevations**

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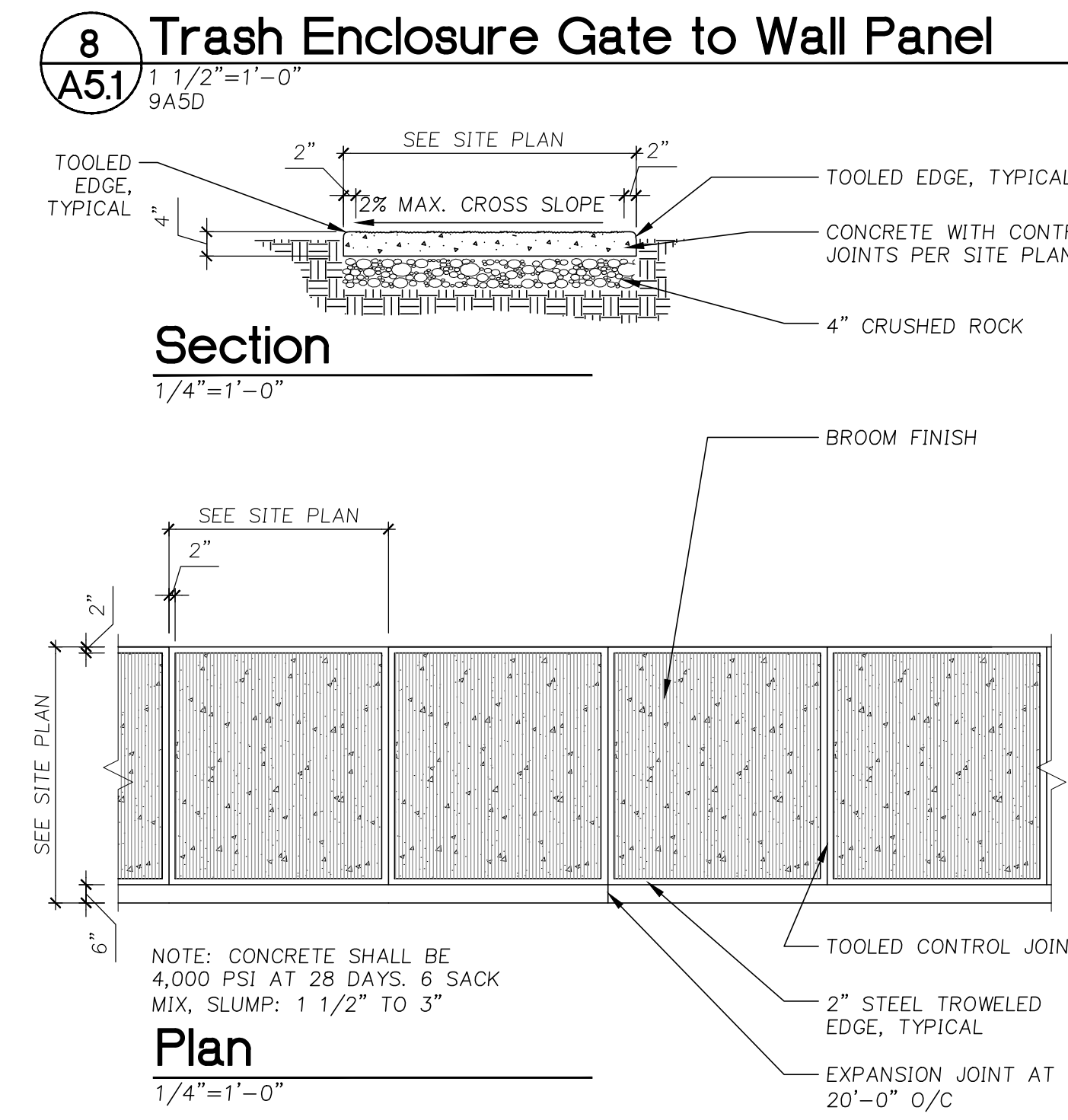
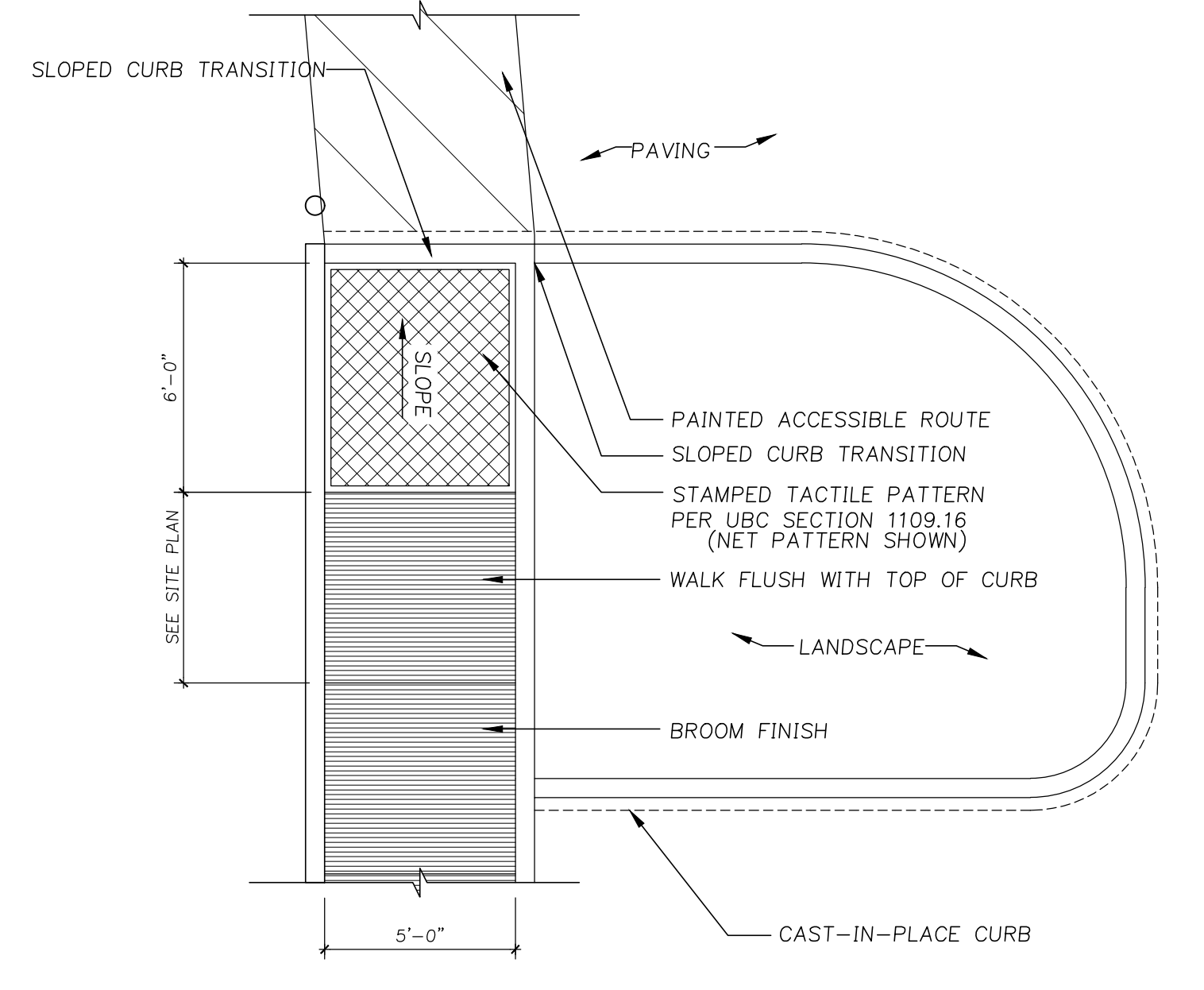
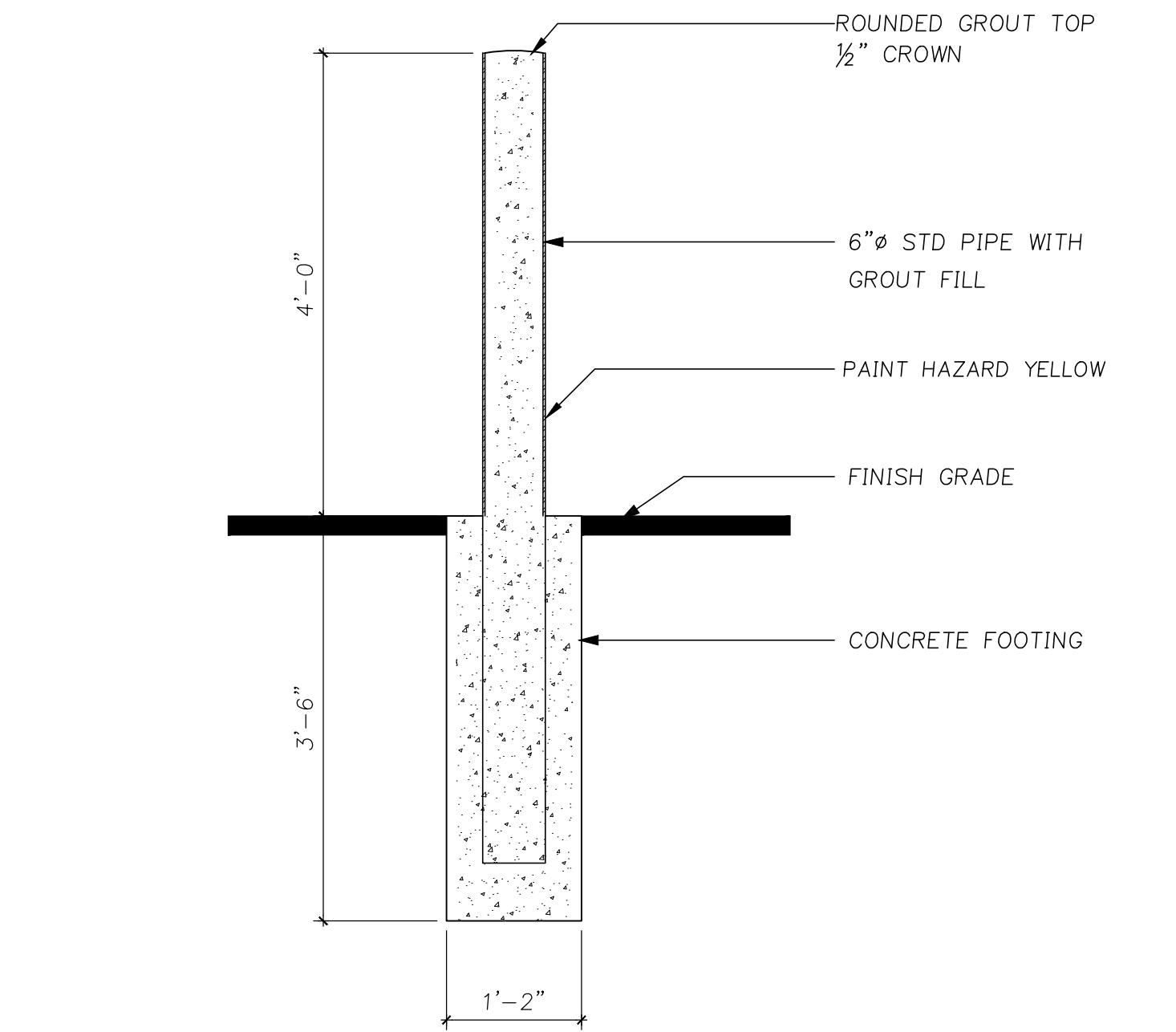
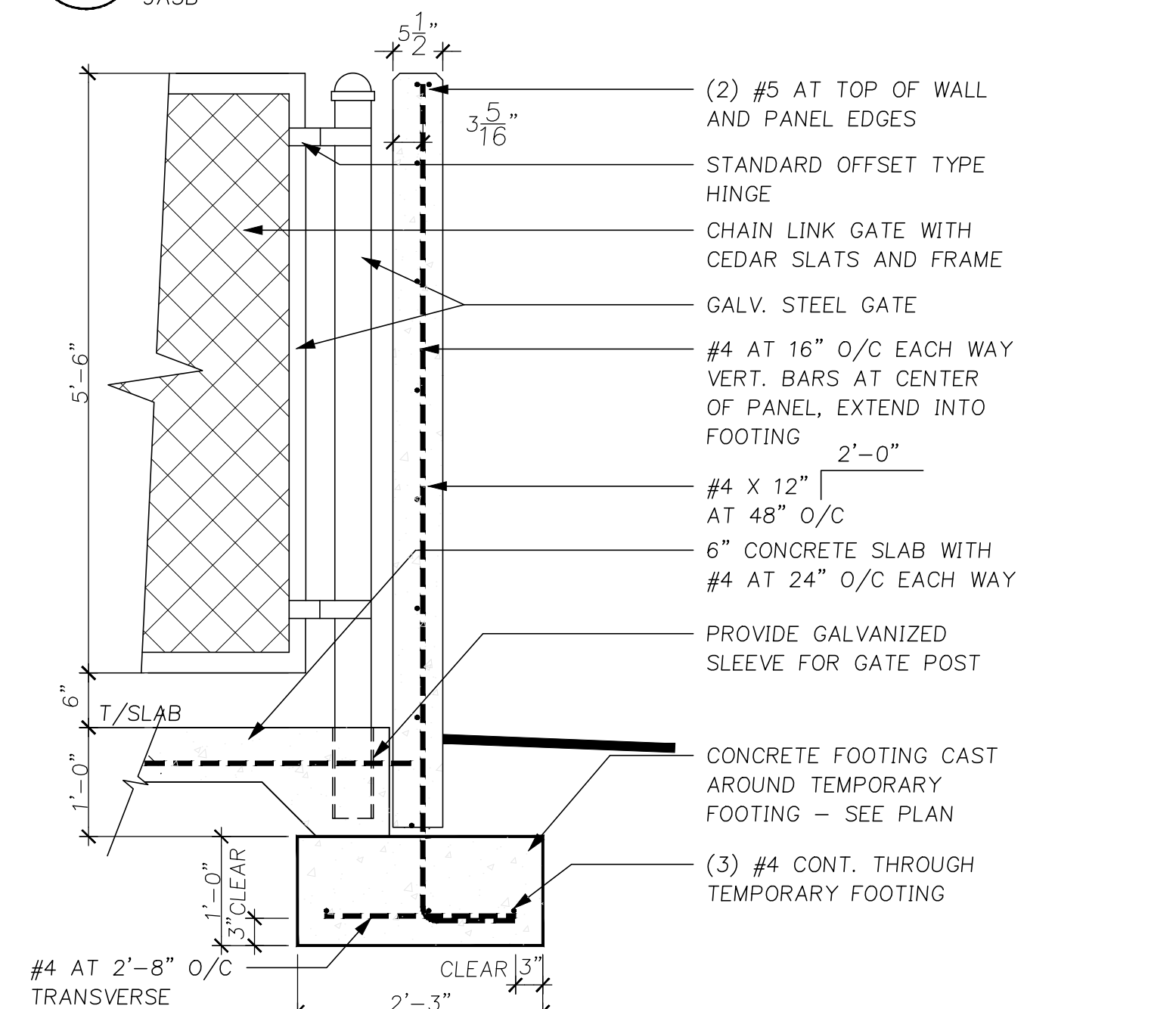
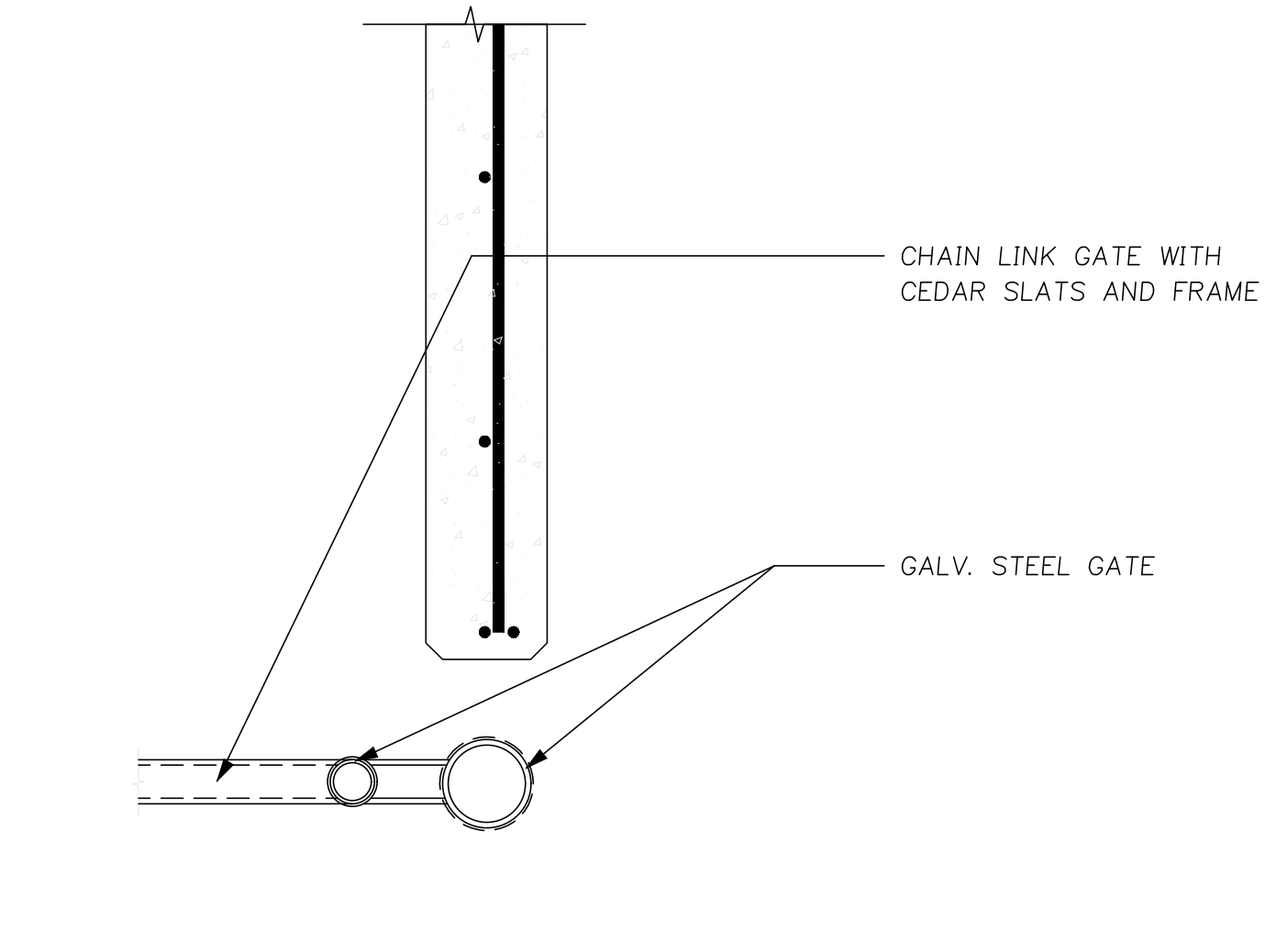
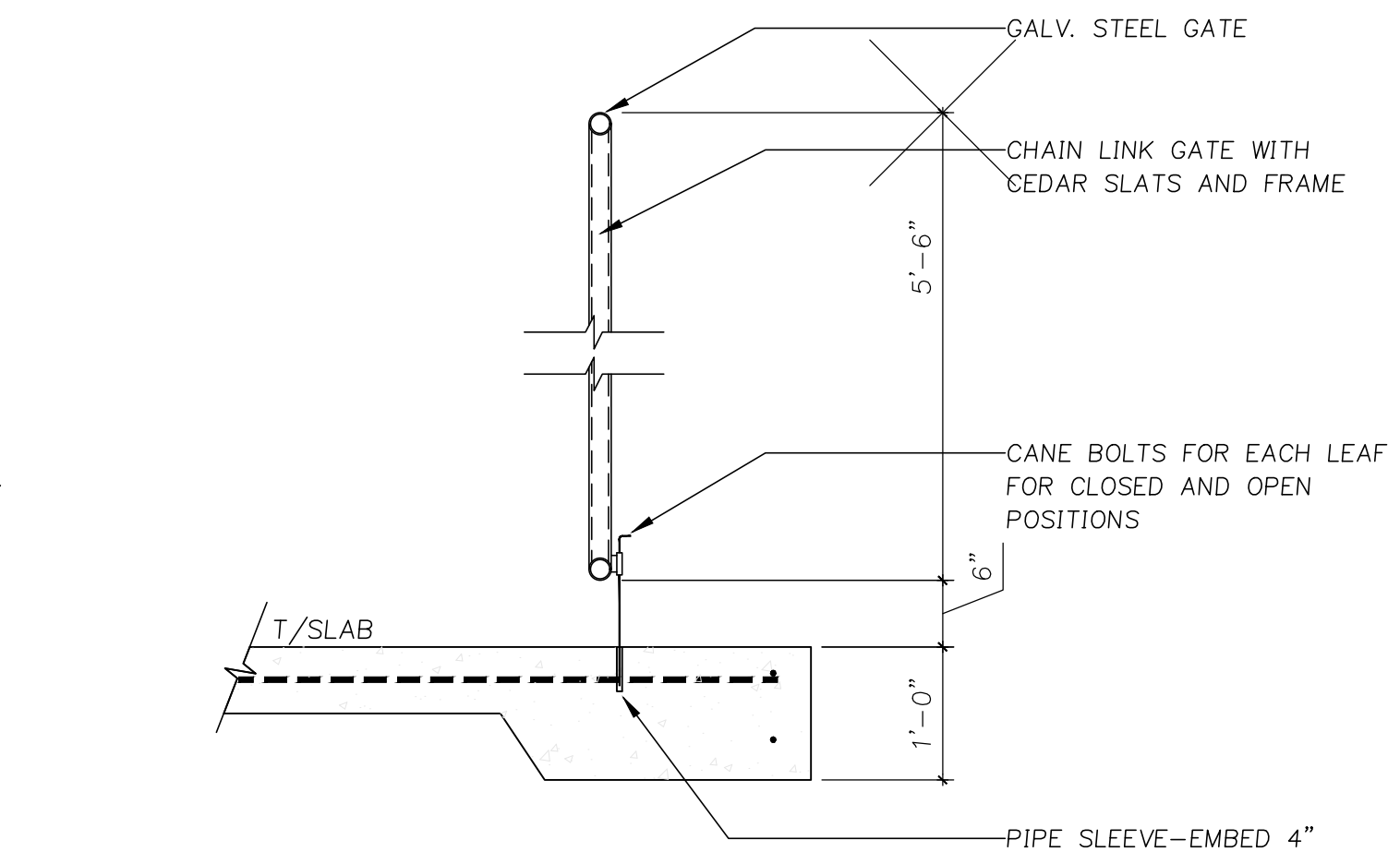
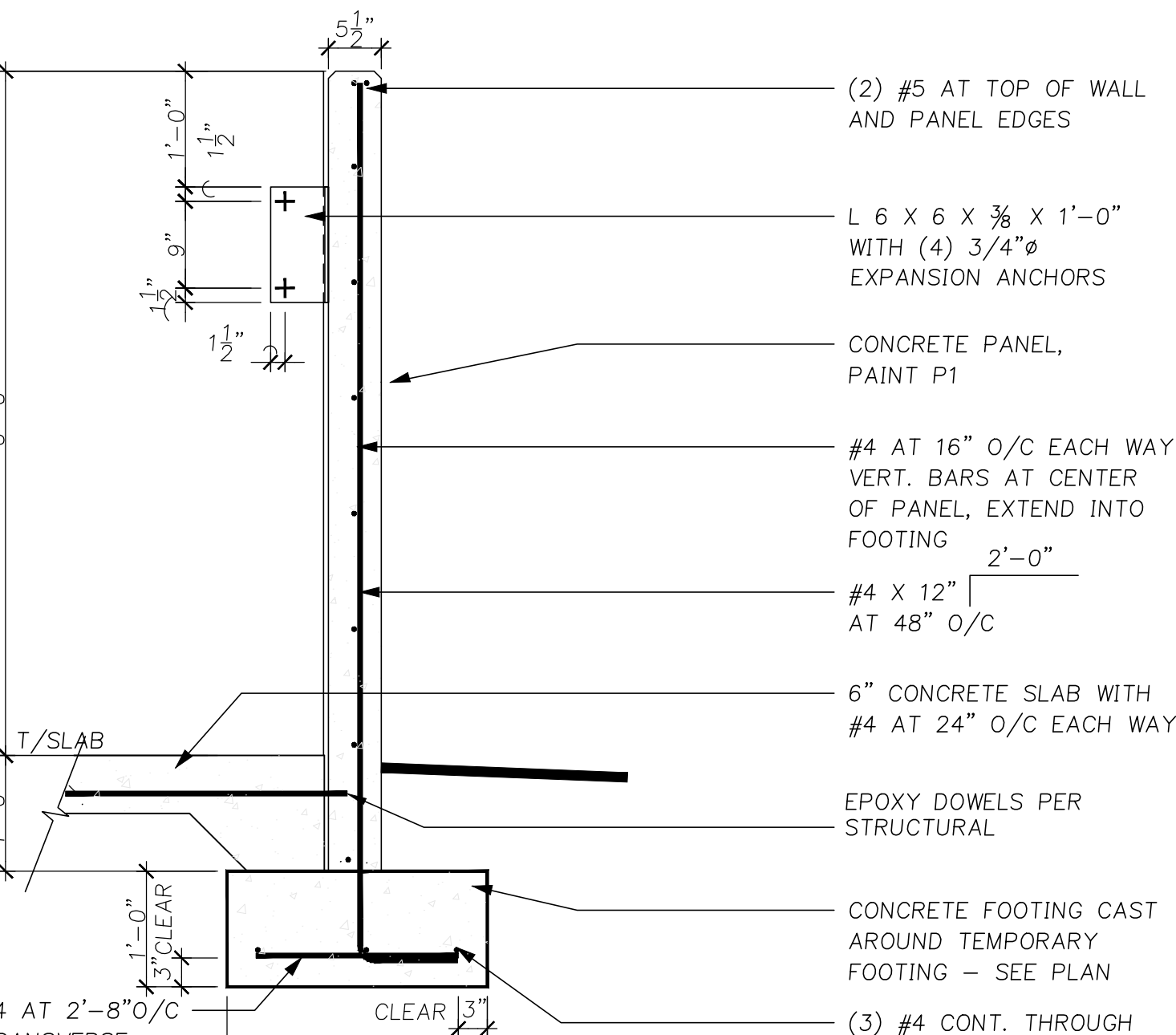
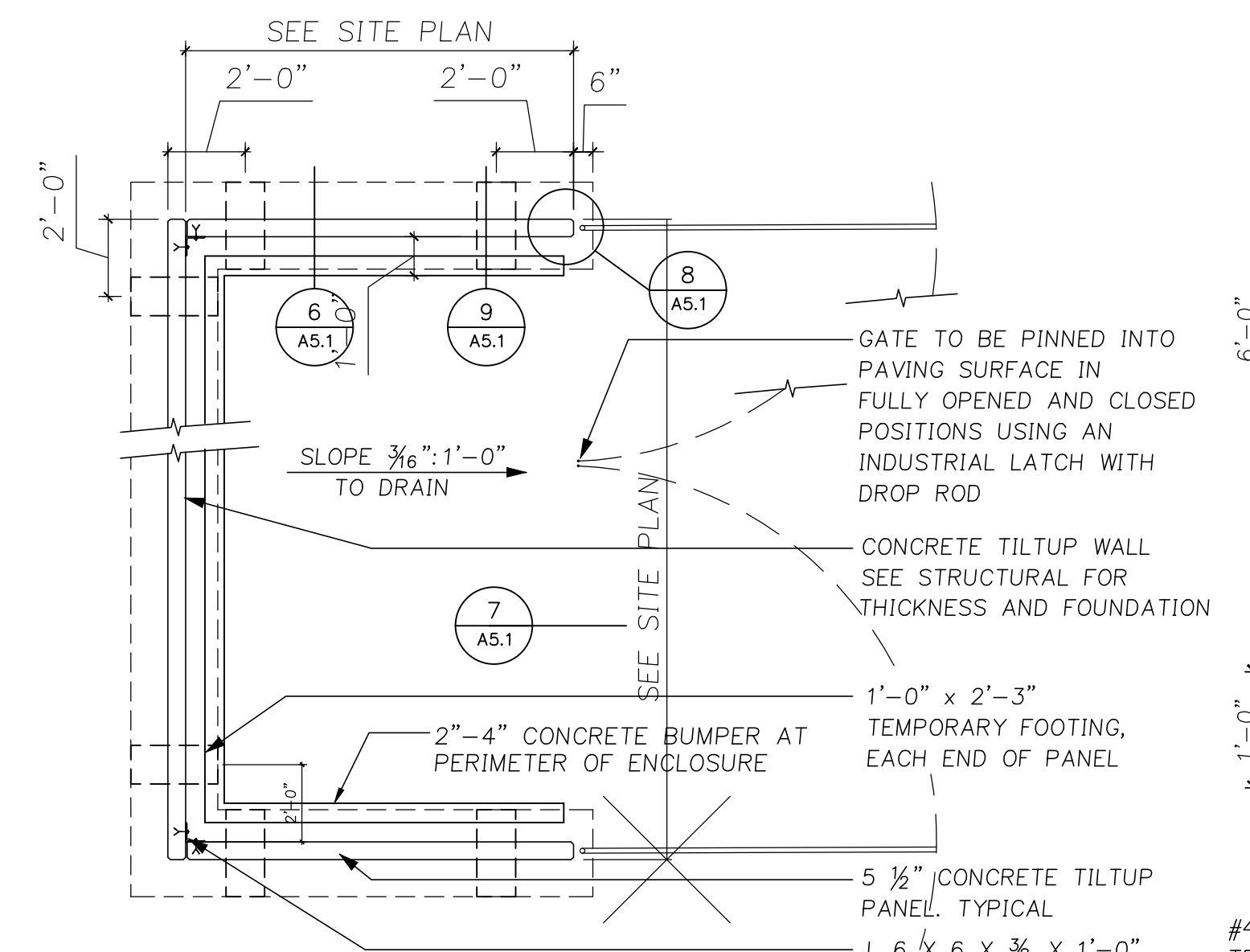
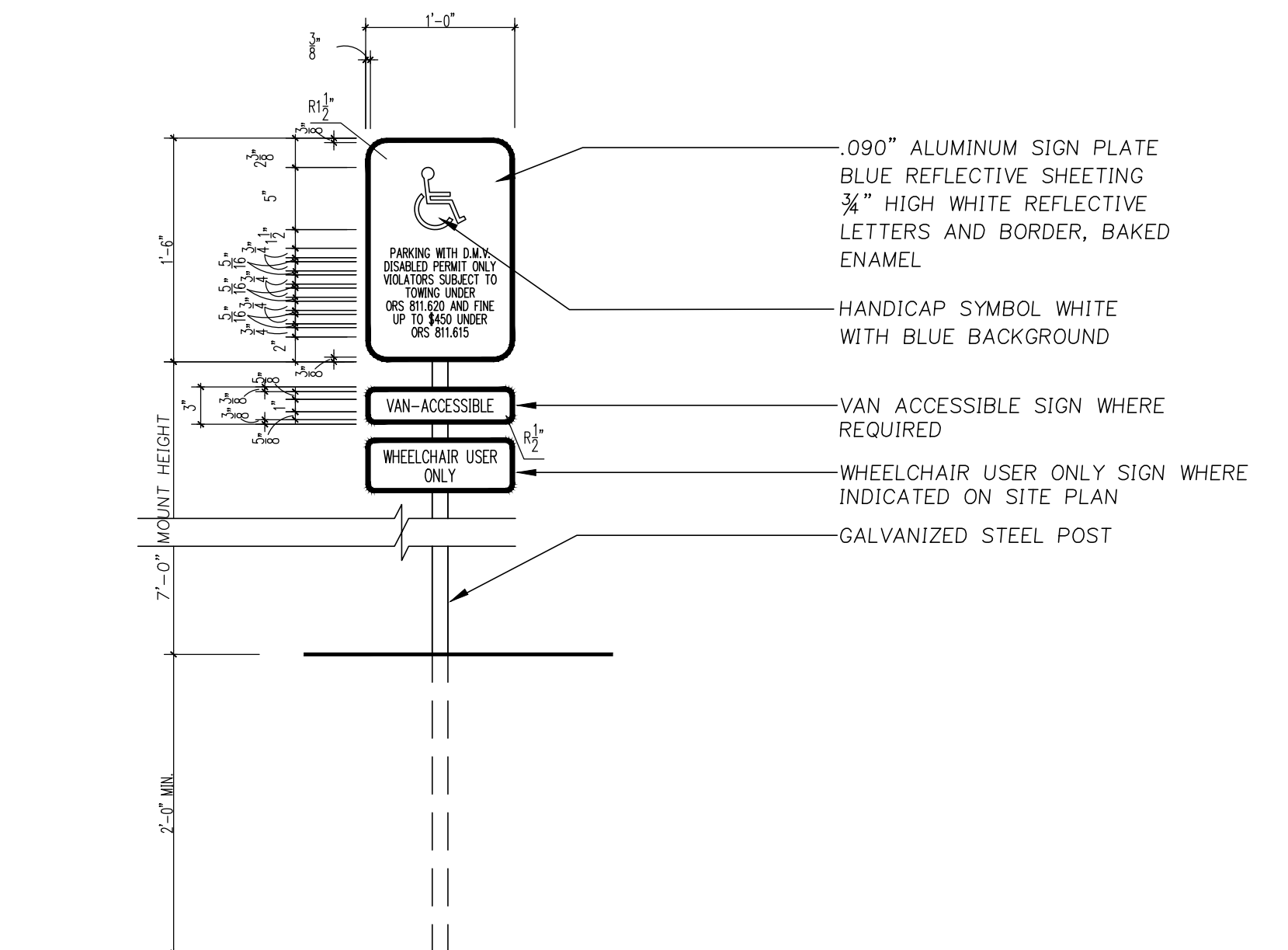
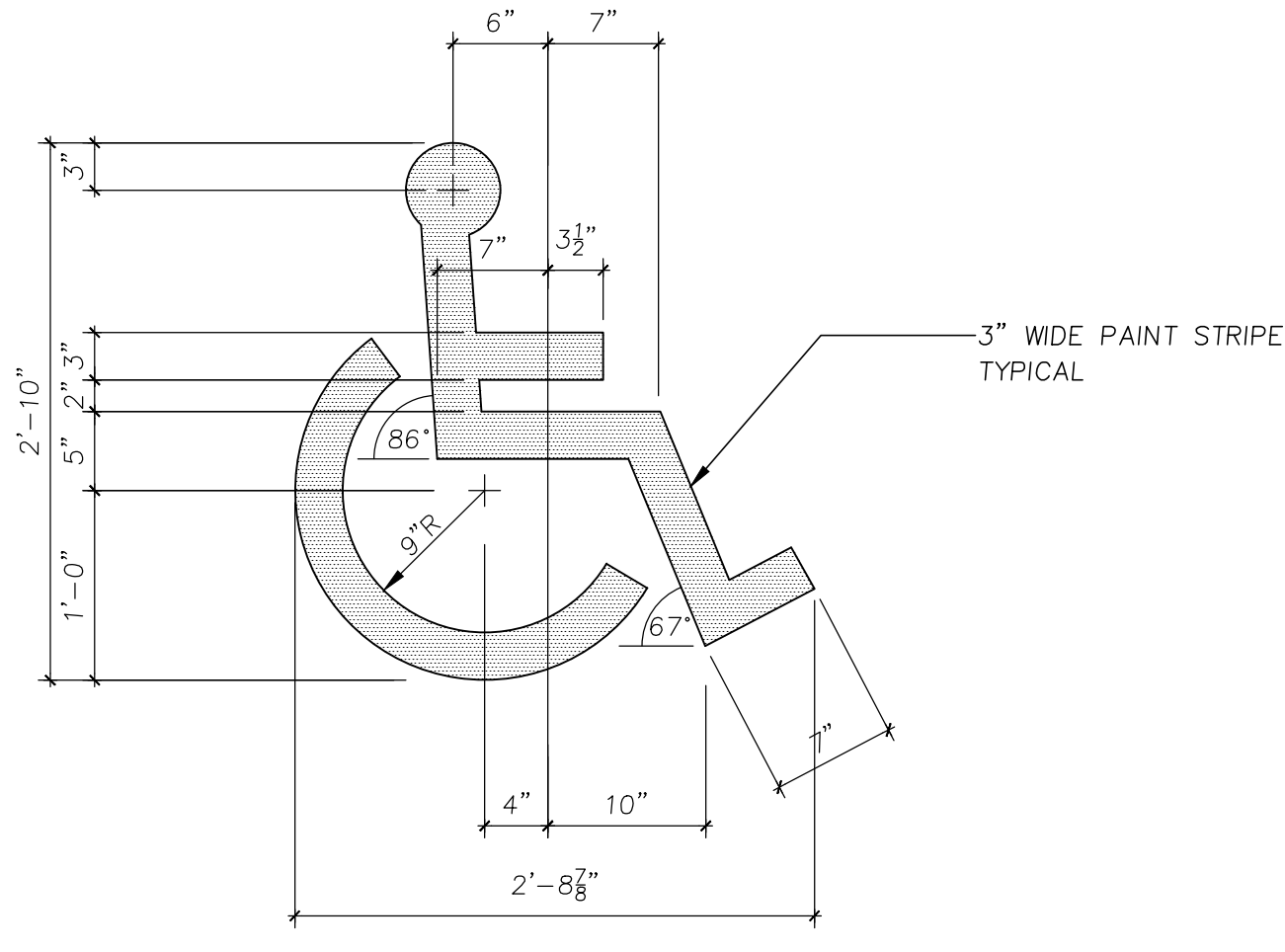
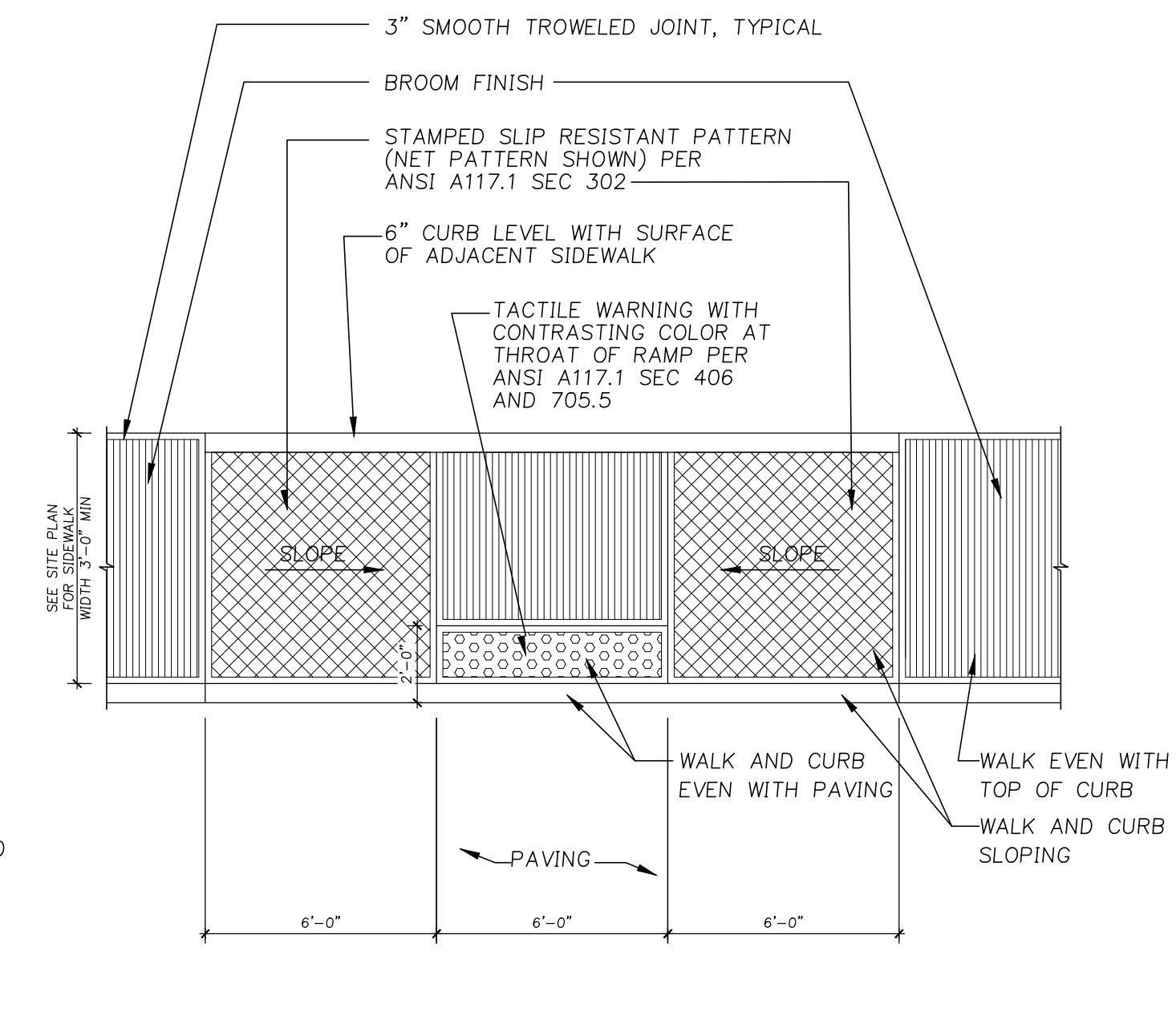
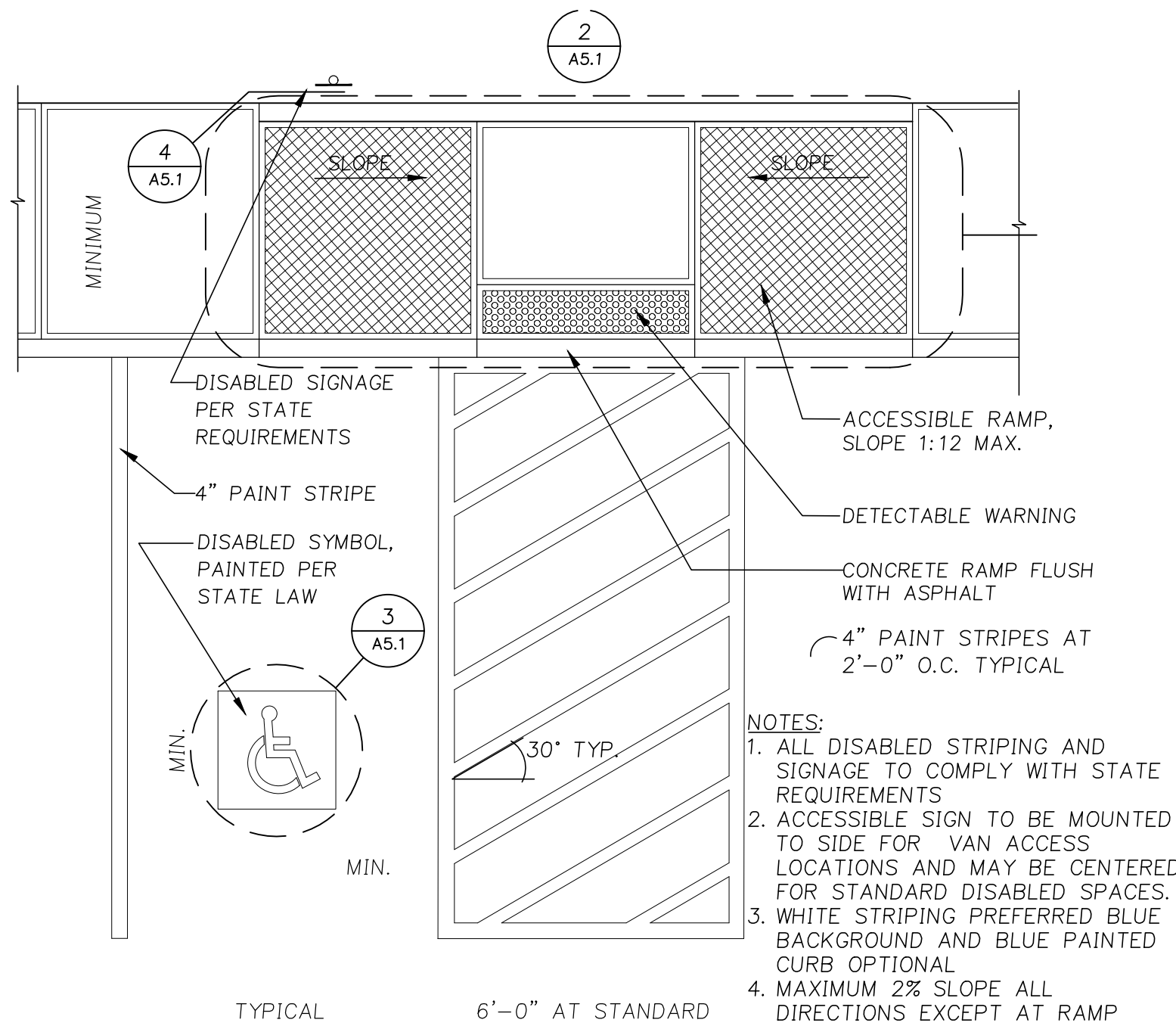
Date: April 2020

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TQL

Job Number: 117013

Sheet



Client:
**Lu Pacific
Development**

11325 SW Tualatin-Sherwood Rd
Tualatin, OR 97062

Project:
**Lu Pacific
Development
Building**

1005 SW Herman Road
Tualatin, OR 97062

Sheet Title:
Site Details

Revisions:

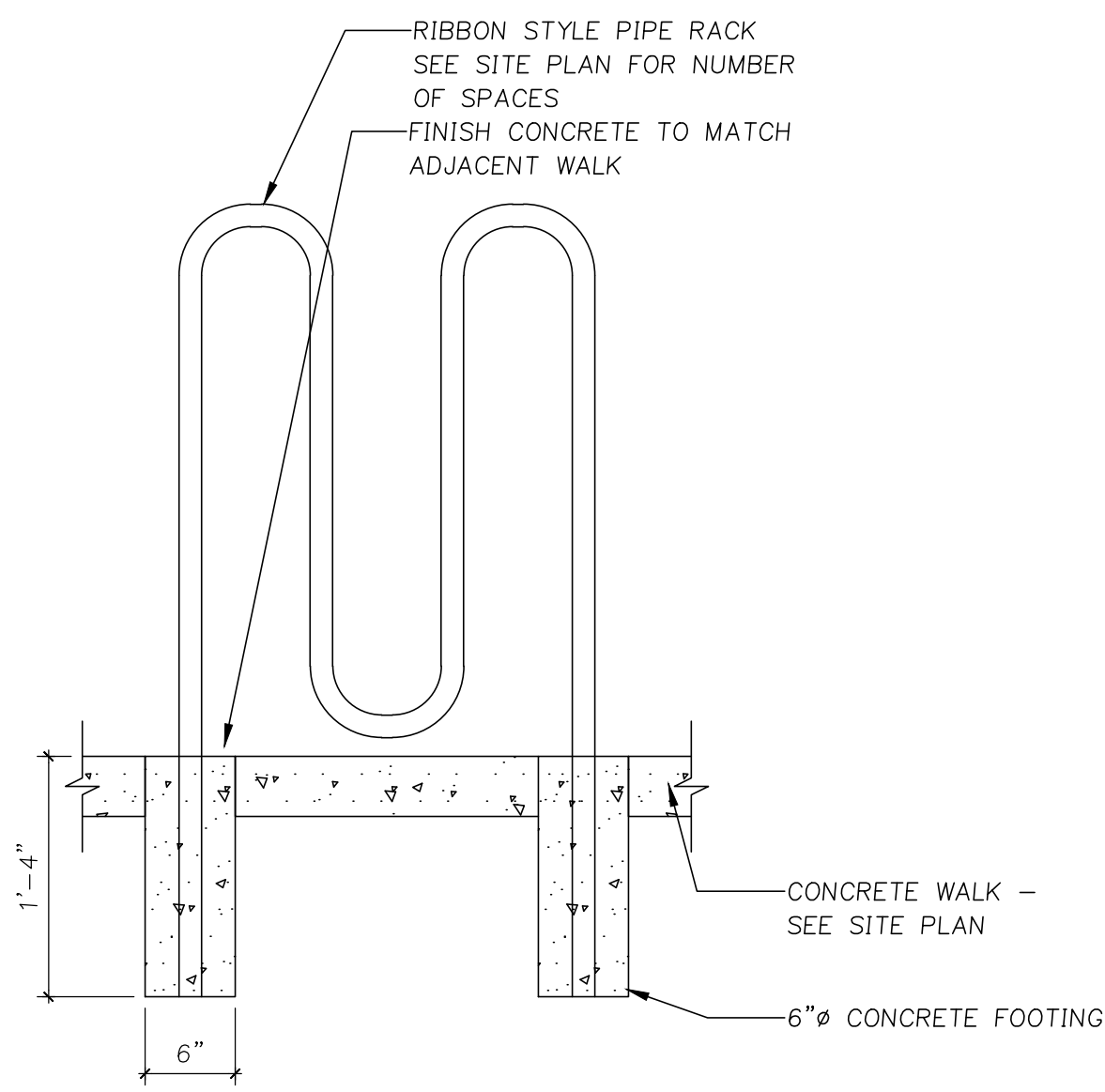
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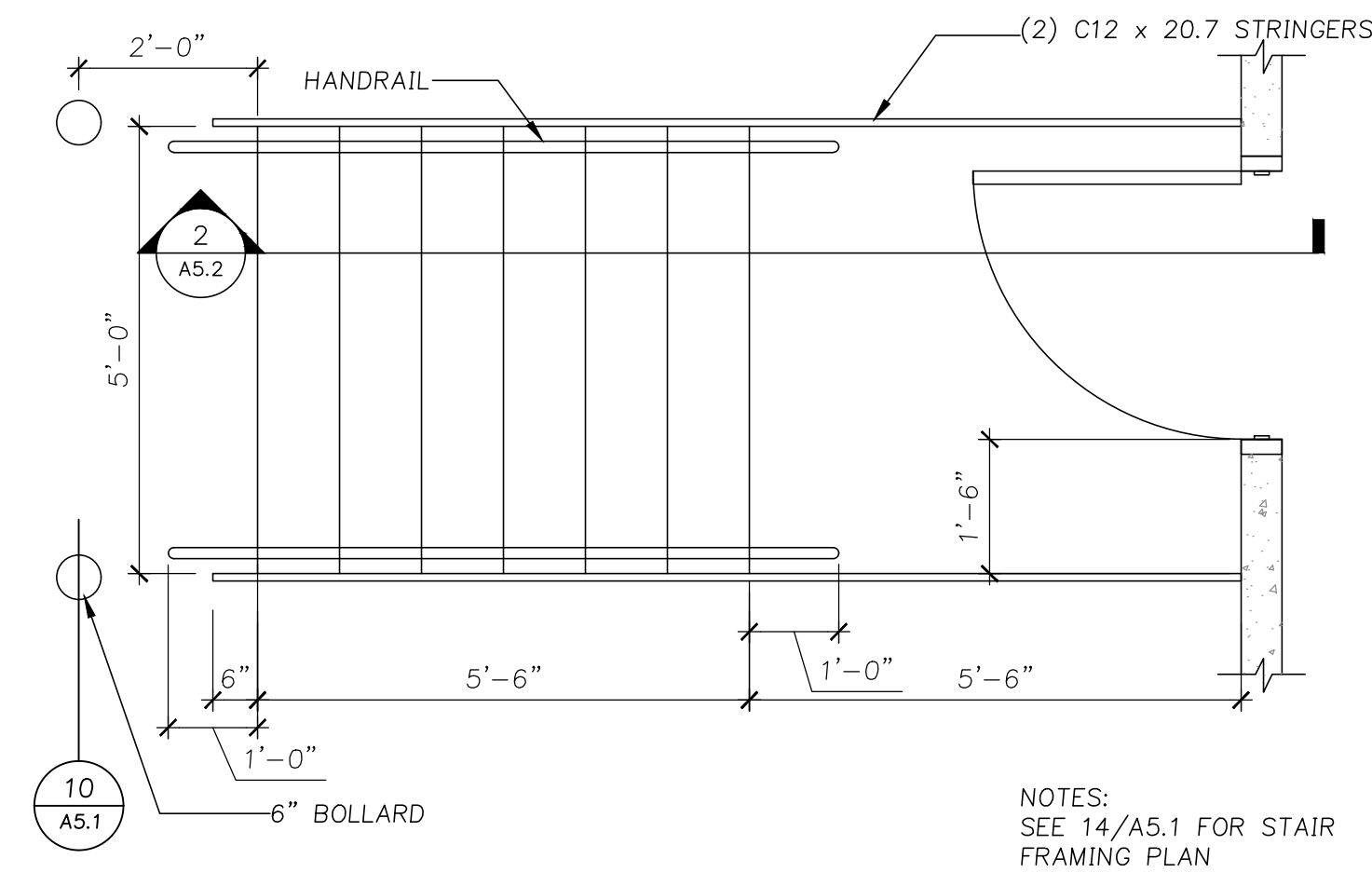
Date: April 2020
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TQL
Job Number: 117013
Sheet

A5.1

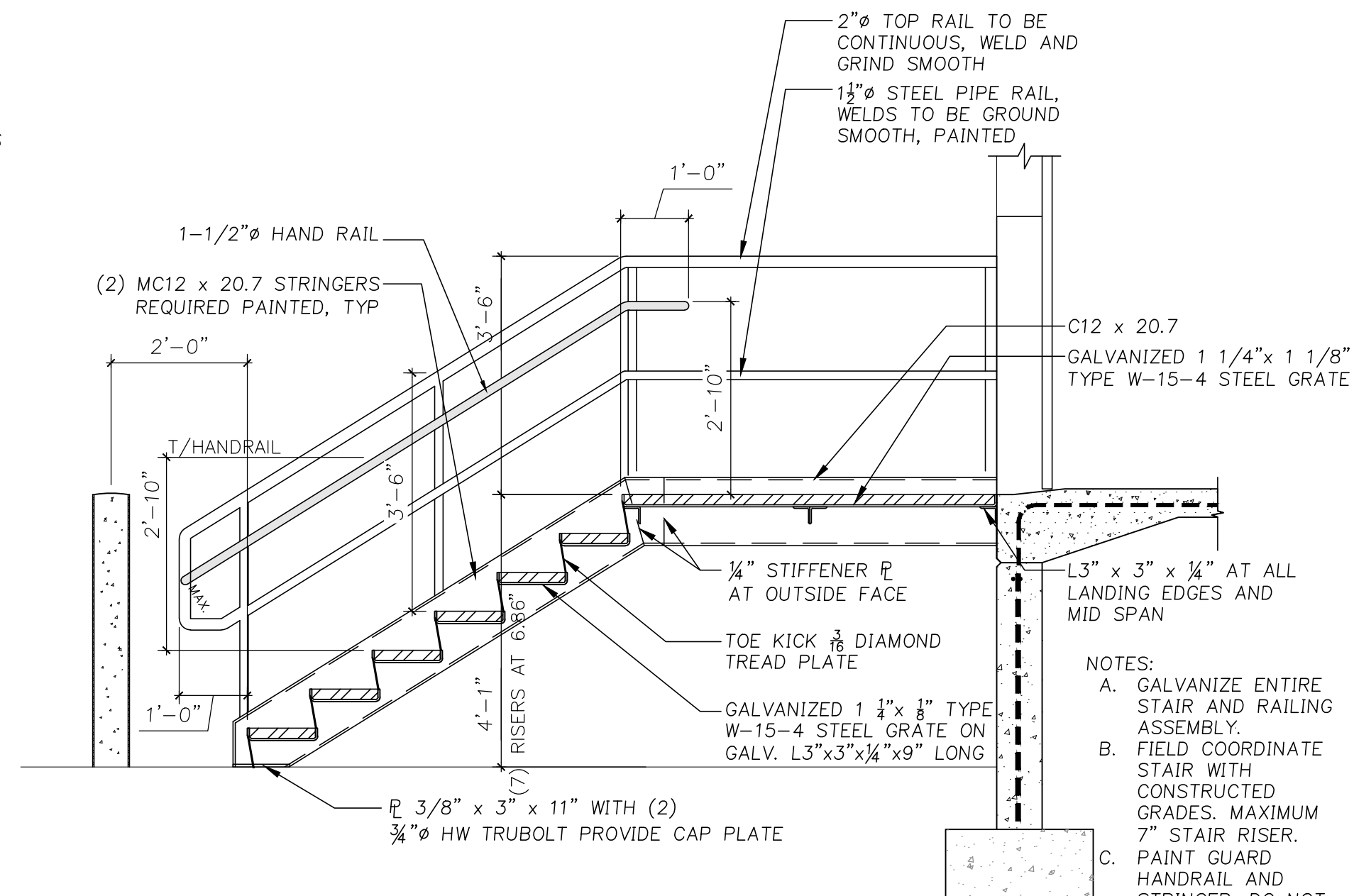
Architectural Review - April 2020



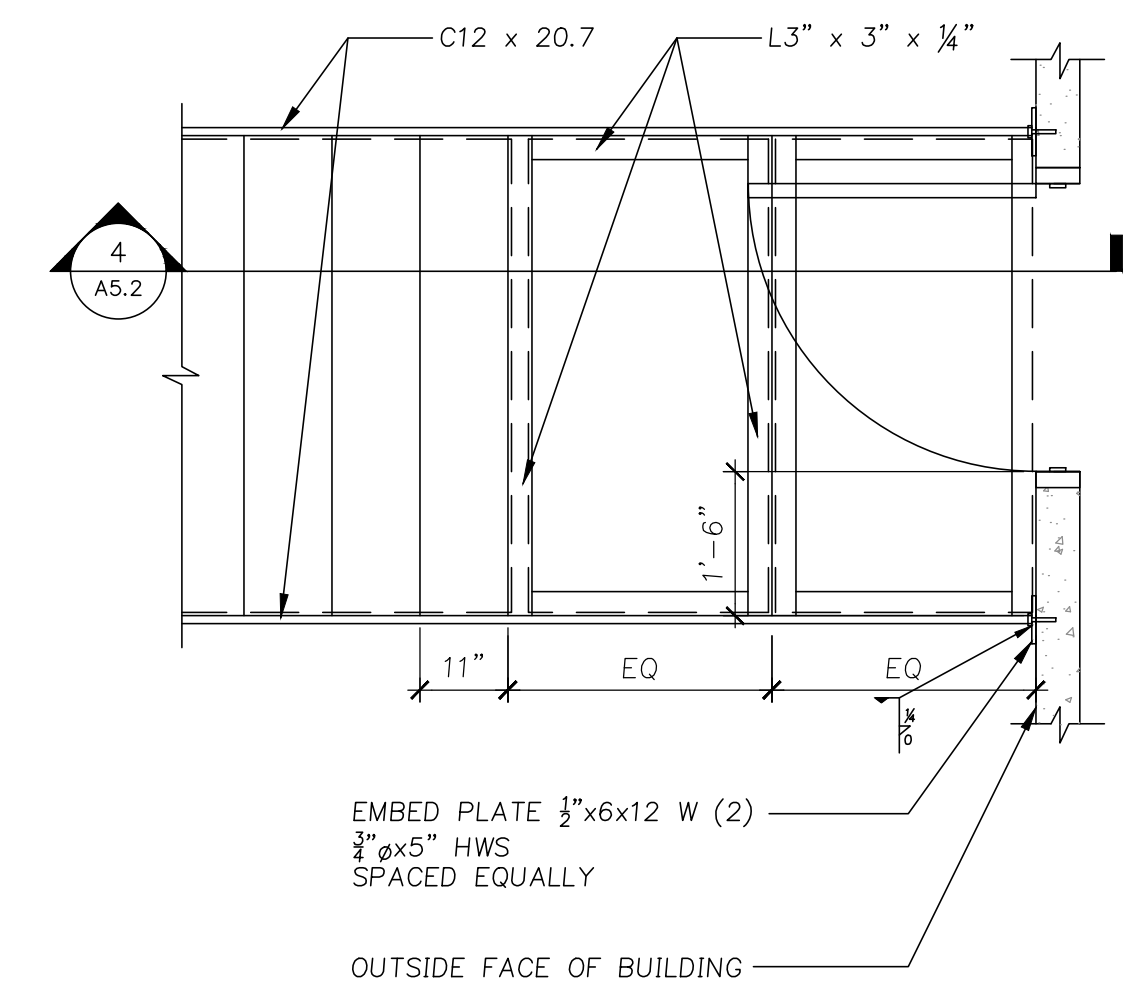
1 Bicycle Rack
A5.2 1'-0"=1'-0" 15e1



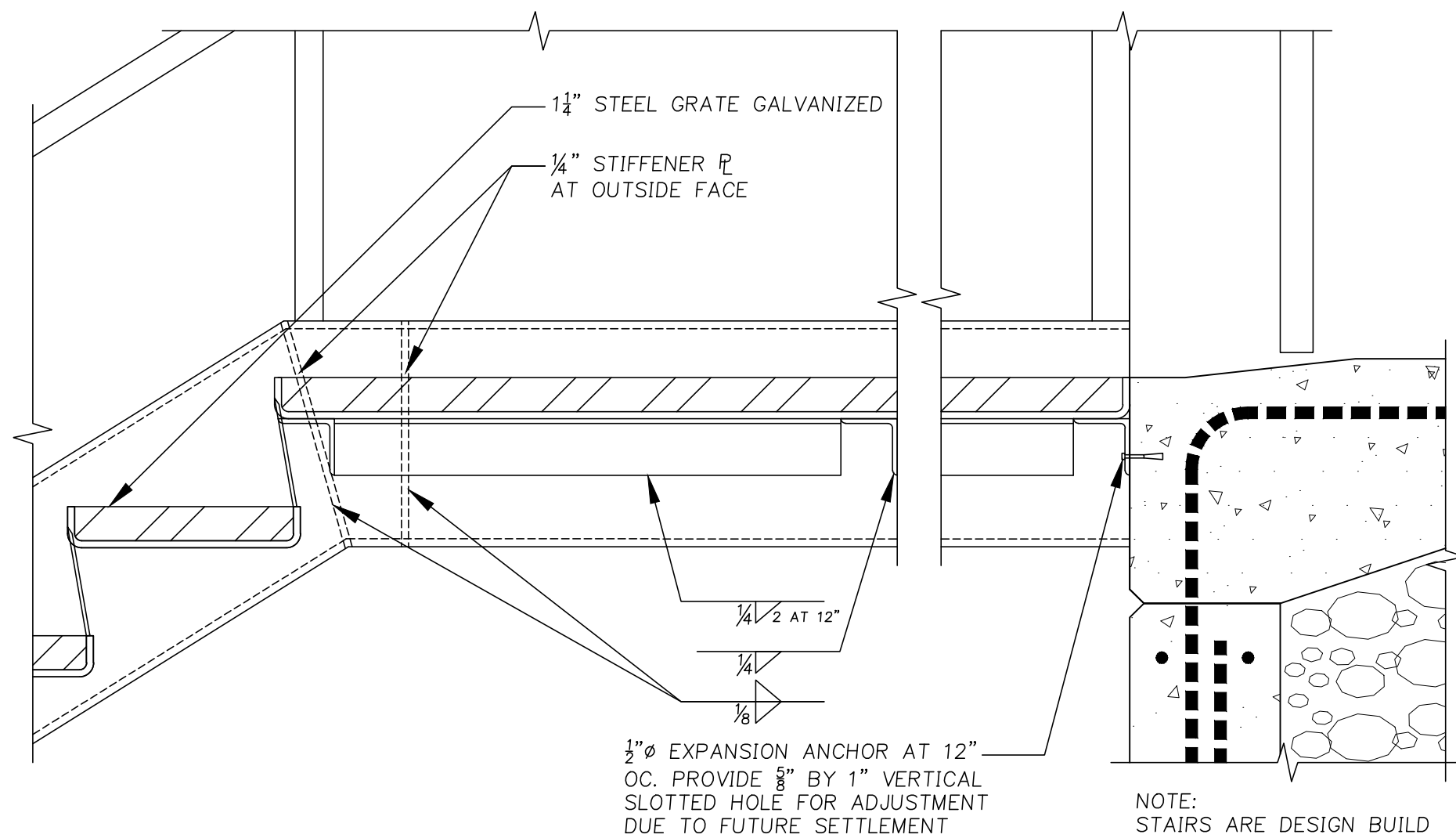
2 Metal Stair Plan
A5.2 1/2"=1'-0" 5b2



3 Metal Stair Section
A5.2 1/2"=1'-0" 5b1-r2



4 Metal Stair Plan
A5.2 1/2"=1'-0"



5 Metal Stair Section
A5.2 1/2"=1'-0"

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Sheet Title:
Site Details

Revisions:

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Date: April 2020
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