

GENERAL NOTES

1. CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
2. PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
3. PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
4. WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED – DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
5. BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
6. CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
7. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF TUALATIN.
8. THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
9. ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
11. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
12. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CWS FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
14. TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF TUALATIN FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
16. NOTIFY CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
17. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
18. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 48-HOUR NOTICE IS REQUIRED.
19. EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 – 209.155.

CONSTRUCTION NOTES

DEMOLITION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
2. EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
3. ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
4. ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
5. CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
6. SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

UTILITIES

1. ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
2. CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
3. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
4. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

STORM AND SANITARY

1. BEGIN LAYING STORM DRAIN PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM PIPE USING A LASER.
2. ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 1 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

WATER

1. ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
2. ALL WATER AND FIRE PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKS PER DETAIL.
3. ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

EARTHWORKS

1. CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
2. TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
3. SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

PAVING

1. SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

MATERIAL NOTES

1. GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
2. STORM SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
3. PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE SCH 80; AS INDICATED IN THE PLANS.
4. PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
5. CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

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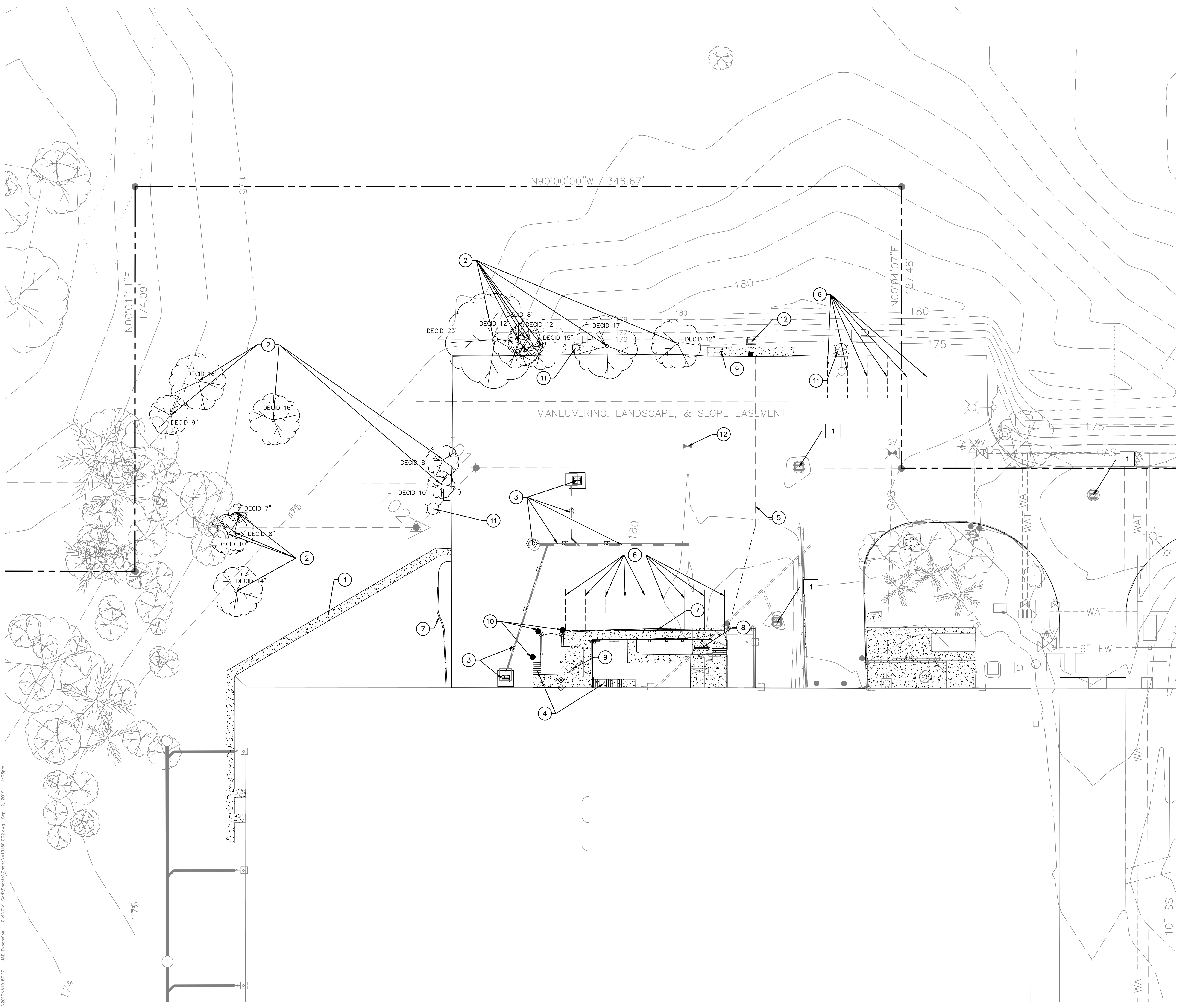
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TUALATIN, OR

GENERAL NOTES

C0.1

JOB NO. 190170.01

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SHEET NOTES

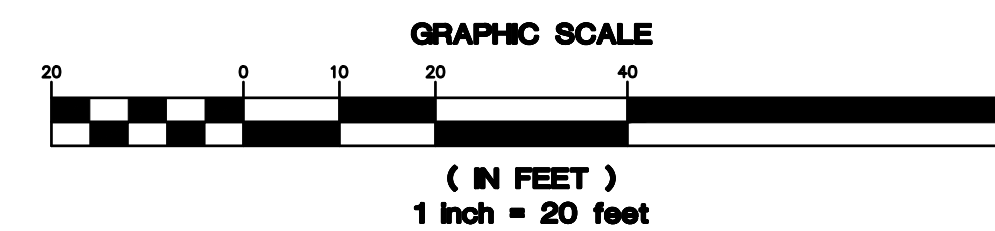
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN. SEE ARCHITECTURAL PLANS FOR TREE PROTECTION.

X PROTECTION NOTES

- 1 PROTECT EXISTING CATCH BASIN

X DEMOLITION NOTES

- 1 REMOVE EXISTING SIDEWALK
- 2 REMOVE EXISTING TREE
- 3 REMOVE EXISTING STORM STRUCTURES
- 4 REMOVE EXISTING STAIRS
- 5 SAWCUT AND REMOVE EXISTING AC
- 6 REMOVE EXISTING STRIPING
- 7 REMOVE EXISTING CURBING
- 8 REMOVE EXISTING ELECTRICAL STRUCTURE
- 9 REMOVE EXISTING CONCRETE
- 10 REMOVE EXISTING BOLLARD
- 11 REMOVE EXISTING LIGHTPOST
- 12 REMOVE EXISTING GAS VALVE. CONTRACTOR TO VERIFY VALVE IS NOT CONNECTED TO AN EXISTING GAS VALVE.



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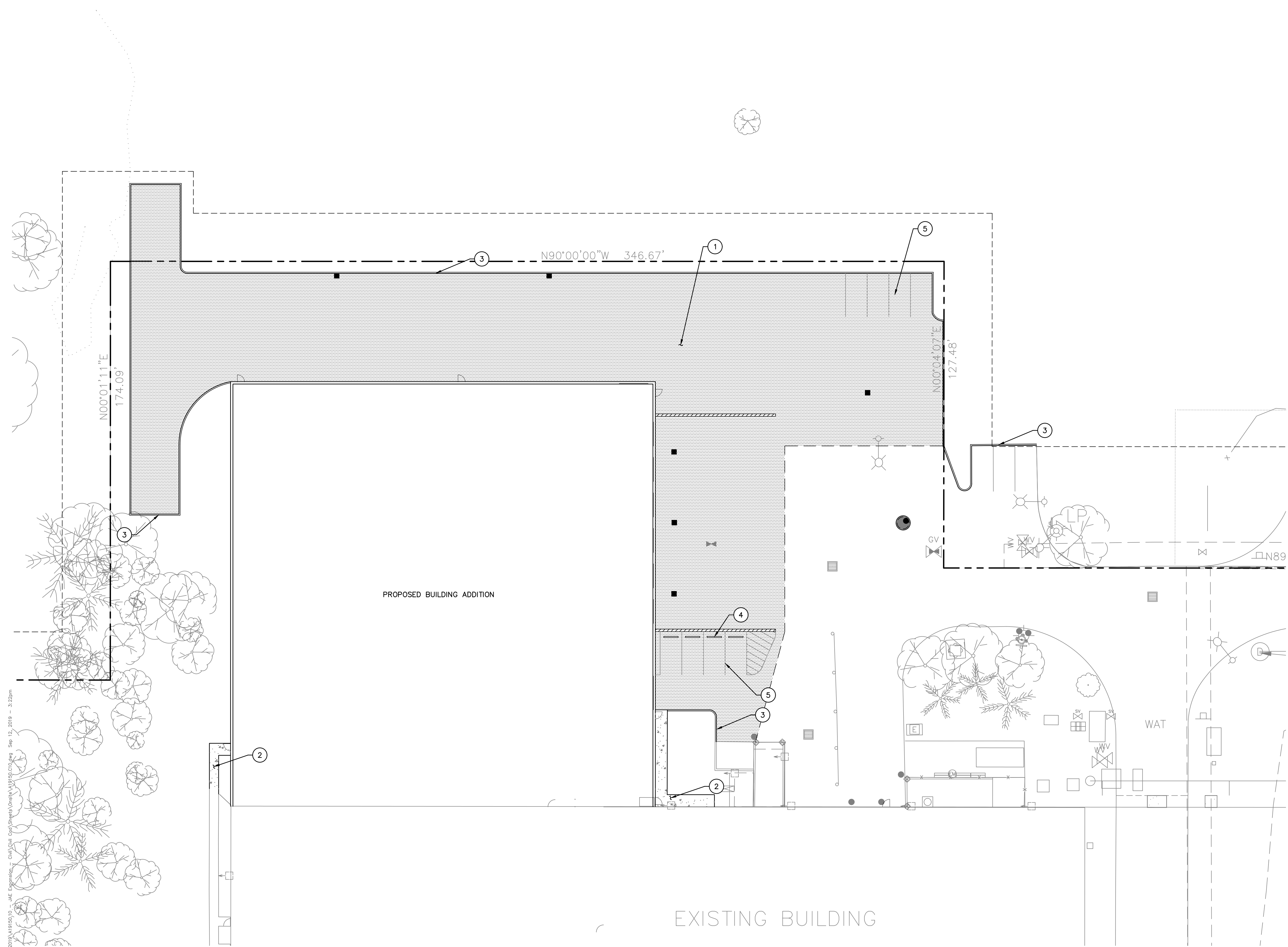
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EXISTING CONDITIONS

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SHEET NOTES

1. SEE SHEET C0.1 FOR GENERAL NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

(X) CONSTRUCTION NOTES

1. INSTALL ASPHALT SURFACE PER DETAIL 1/C4.0
2. INSTALL CONCRETE SIDEWALK 2/C4.0
3. INSTALL CURB PER DETAIL 3/C4.0
4. INSTALL WHEEL STOPS PER DETAIL 4/C4.0
5. INSTALL STRIPING, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

LEGEND

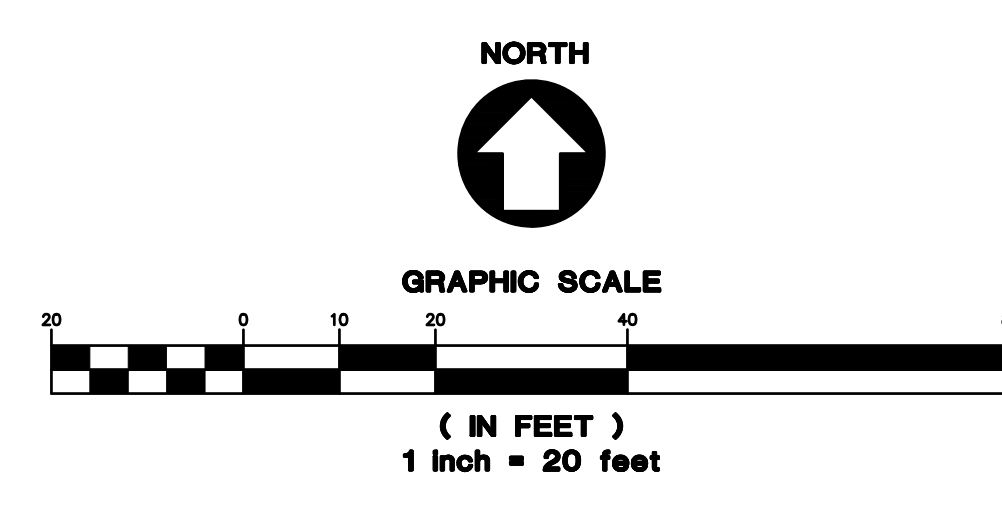
PROPERTY LINE	
ASPHALT SURFACING	
PROPOSED SIDEWALK	

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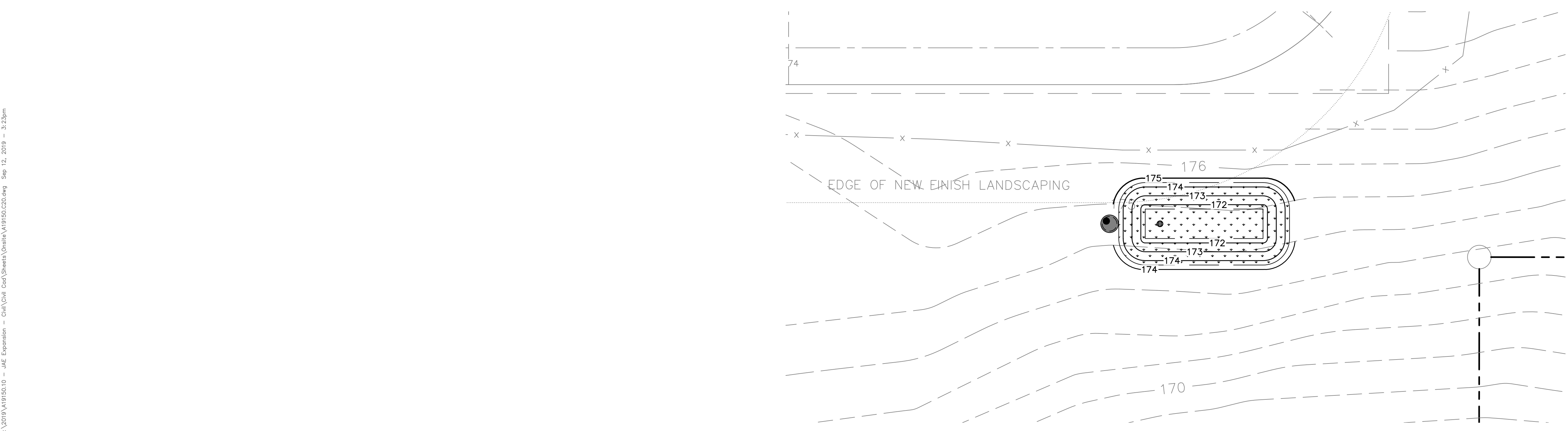
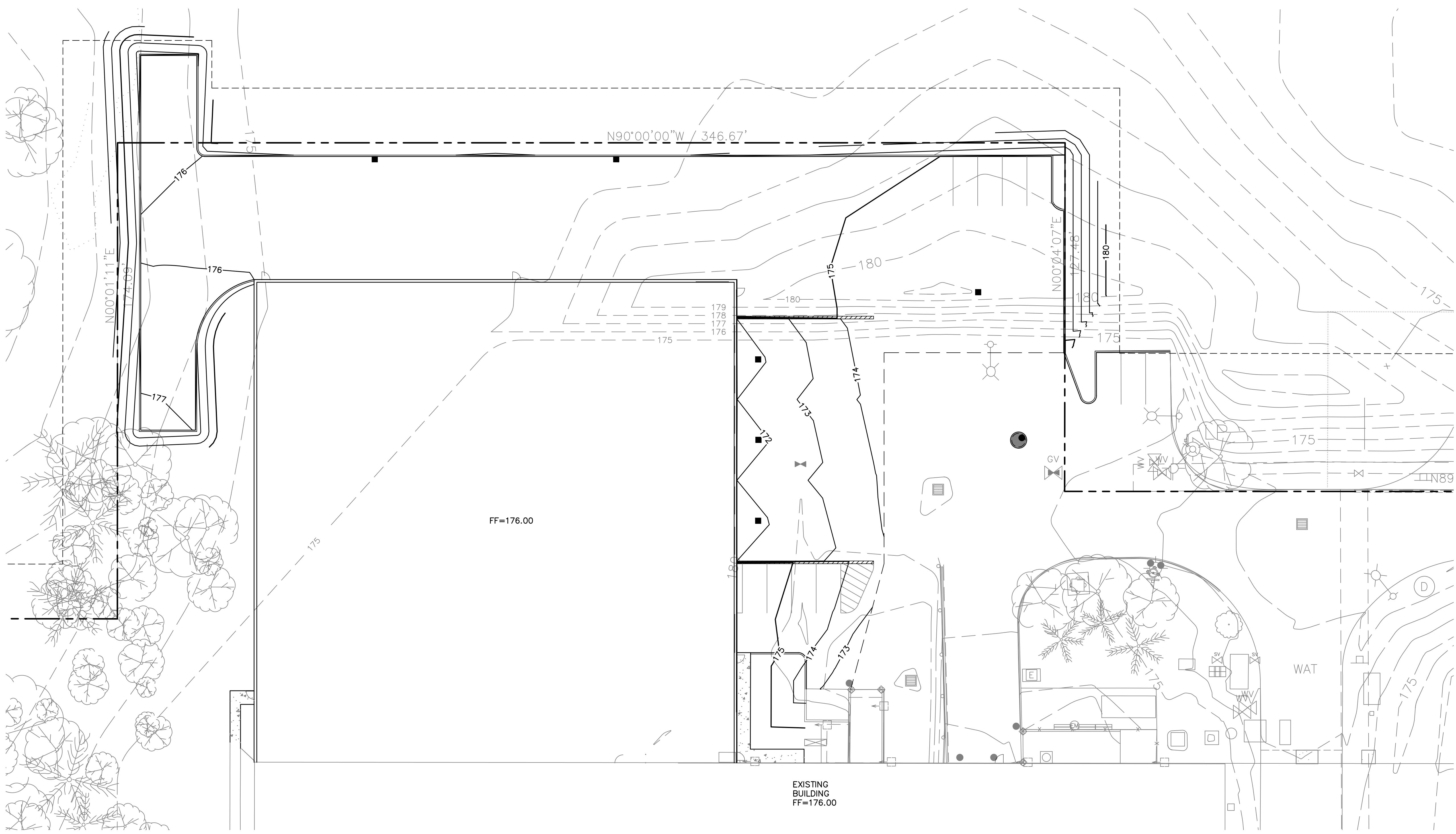


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HARDSCAPE PLAN

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SHEET NOTES

1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
3. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
4. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAAG).
5. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
6. FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
7. GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
XX.XX	SPOT ELEVATION
XX.XX	DESCRIPTION LISTED BELOW.
BS	BOTTOM OF STAIRS
BW	FINISHED GRADE AT BOTTOM OF WALL
DS	DOOR SILL
EX	EXISTING GRADE
FF	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
G	GROUND
SW	SIDEWALK
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF STAIRS
TW	FINISHED GRADE AT TOP OF WALL

LEGEND

EXISTING CONTOUR MINOR	---	102
EXISTING CONTOUR MAJOR	---	100
PROPOSED CONTOUR MINOR	---	102
PROPOSED CONTOUR MAJOR	---	100

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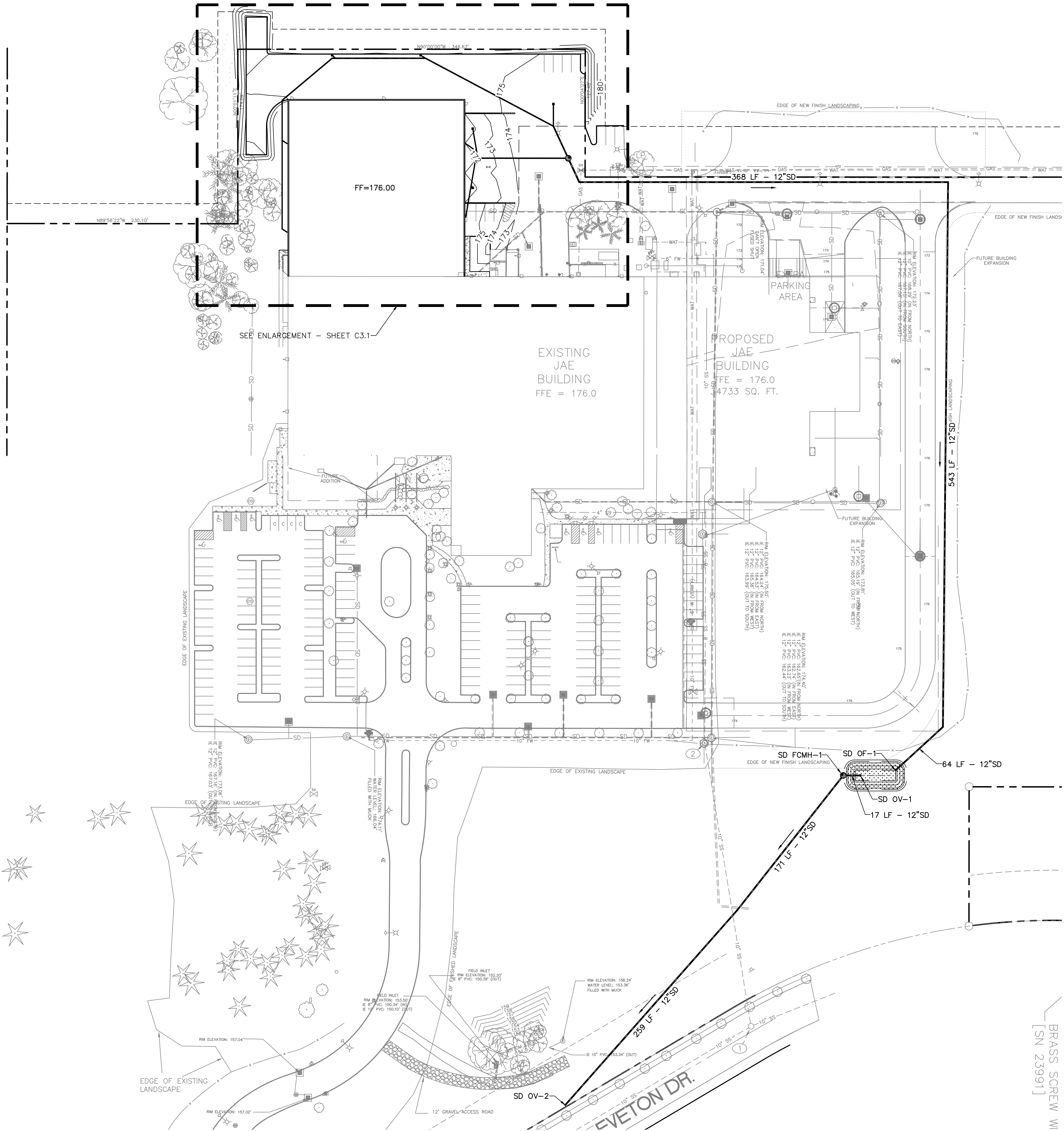
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GRADING PLAN

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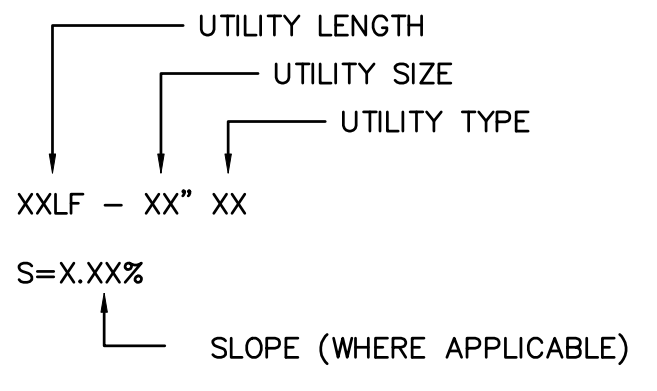


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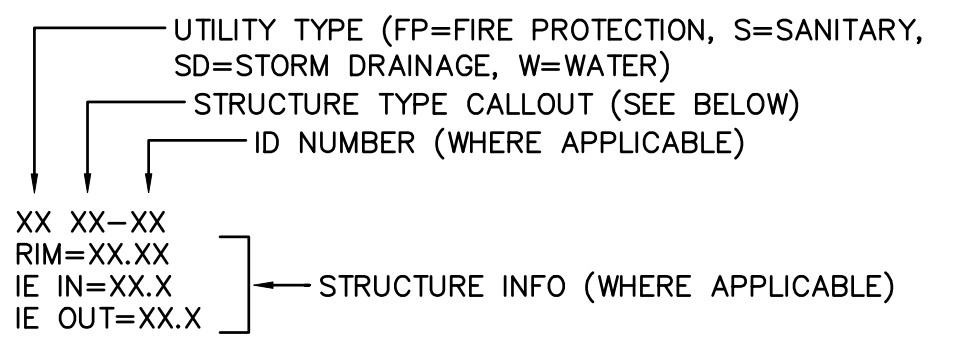
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
3. PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL B/C4.0.
4. ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
5. THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
6. CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
7. DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
8. UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
9. INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
10. CONTRACTOR TO VERIFY SANITARY AND WATER SIZING WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.

LABEL LEGEND

PIPE LABELS



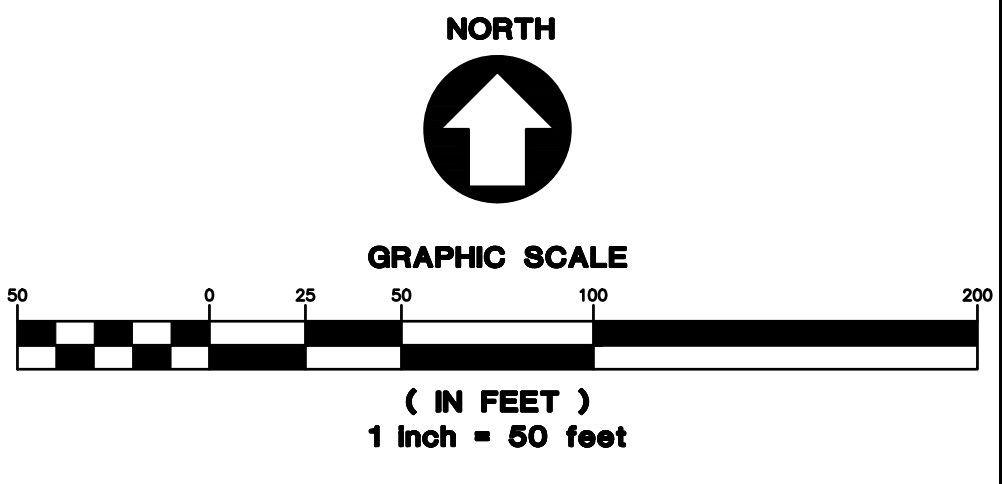
STRUCTURE LABELS



STRUCTURE TYPES

CALLOUT	DESCRIPTION
CB	CATCH BASIN, PER DETAIL 6/C4.0
FCMH	FLOW CONTROL MANHOLE PER DETAIL 10/C4.0
OF	OUTFALL PER DETAIL 1/C4.1
OV	OVERFLOW PER DETAIL 9/C4.0
RD	ROOF DRAIN CONNECTION
WQM	WATER QUALITY MANHOLE PER DETAILS 250,260/C4.1

LEGEND



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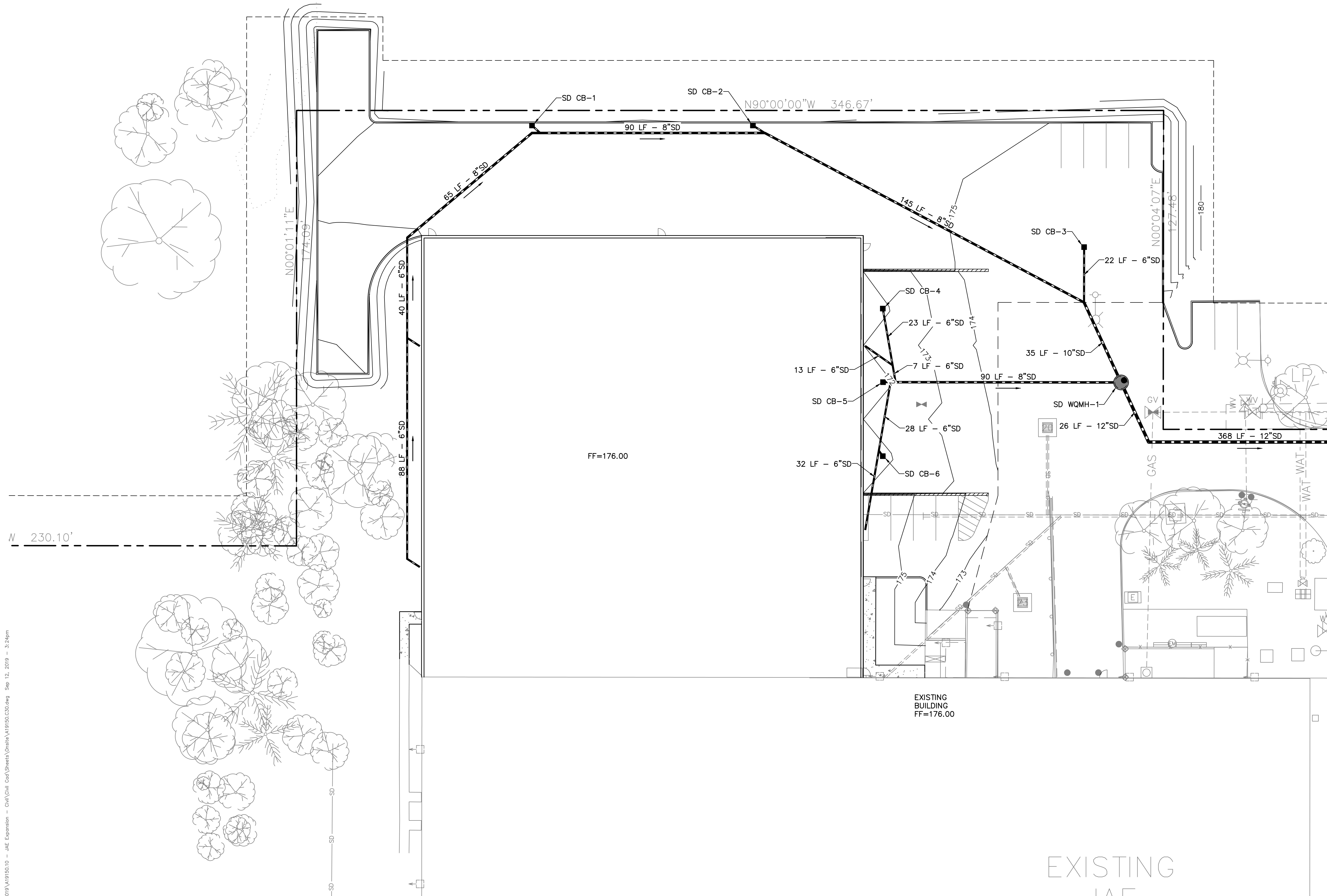
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UTILITY PLAN

C3.0
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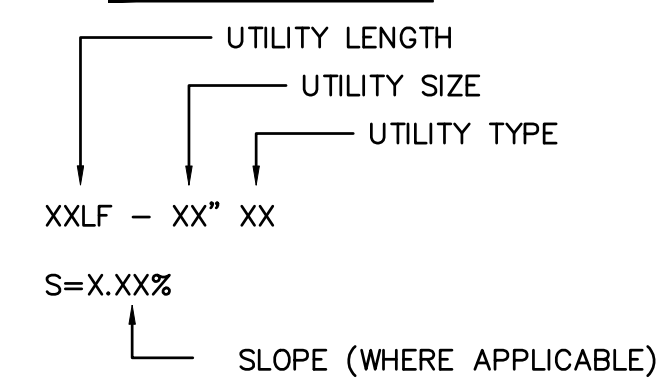


SHEET NOTES

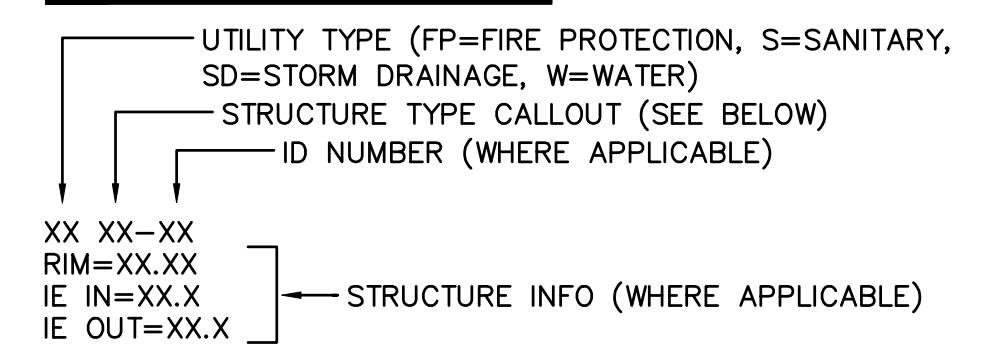
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL X/SHEETNUMBER.
- INSTALL THRUST BLOCKS ON FIRE AND WATER LINES PER DETAIL X/SHEETNUMBER.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
- DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
- CONTRACTOR TO VERIFY SANITARY AND WATER SIZING WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.

LABEL LEGEND

PIPE LABELS



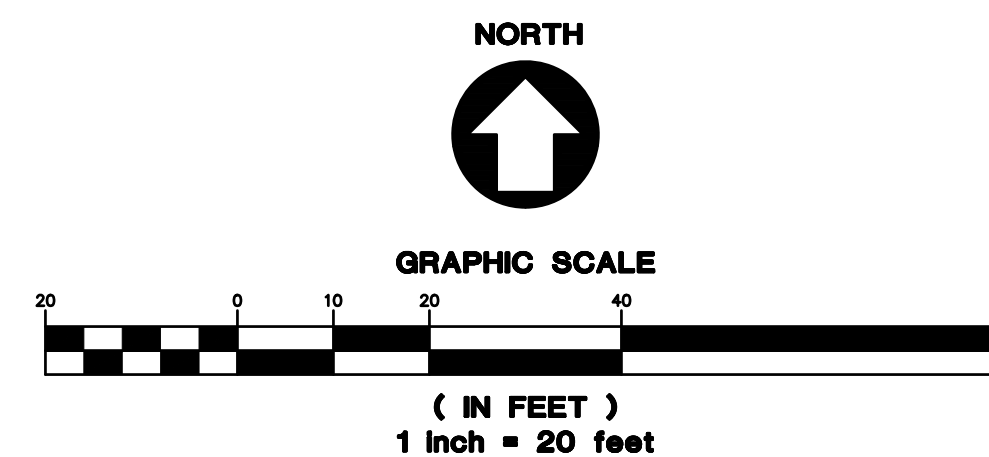
STRUCTURE LABELS



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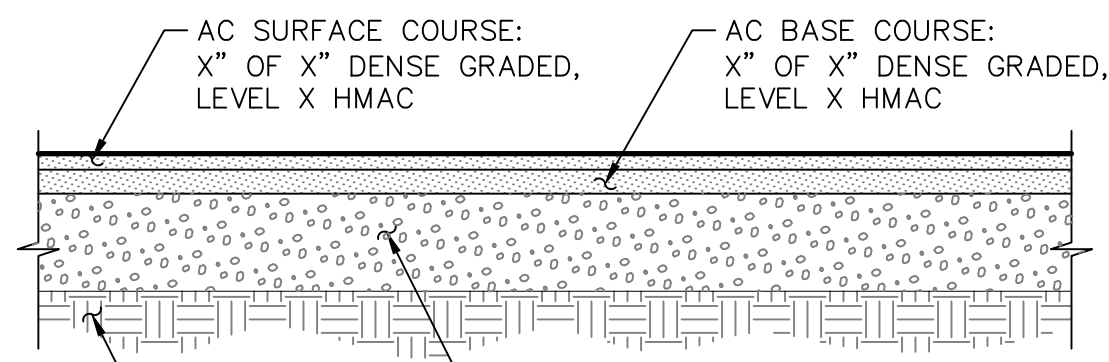
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BUILDING EXPANSION
JAE OREGON
11555 SW LEVETON DR
TUALATIN, OR

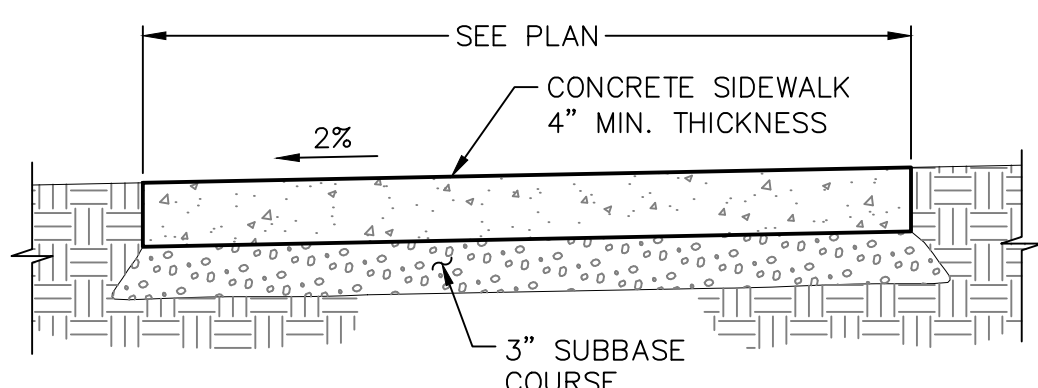
UTILITY ENLARGEMENT

C3.1
JOB NO. 190170.01
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1 ASPHALT PAVEMENT SECTION

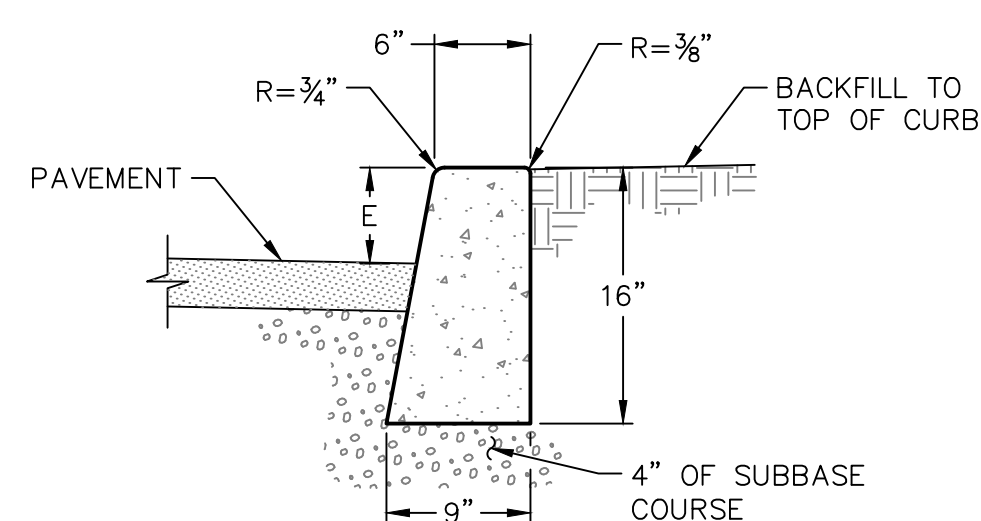
SCALE: NTS



- NOTES:**
1. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.

2 CONCRETE SIDEWALK

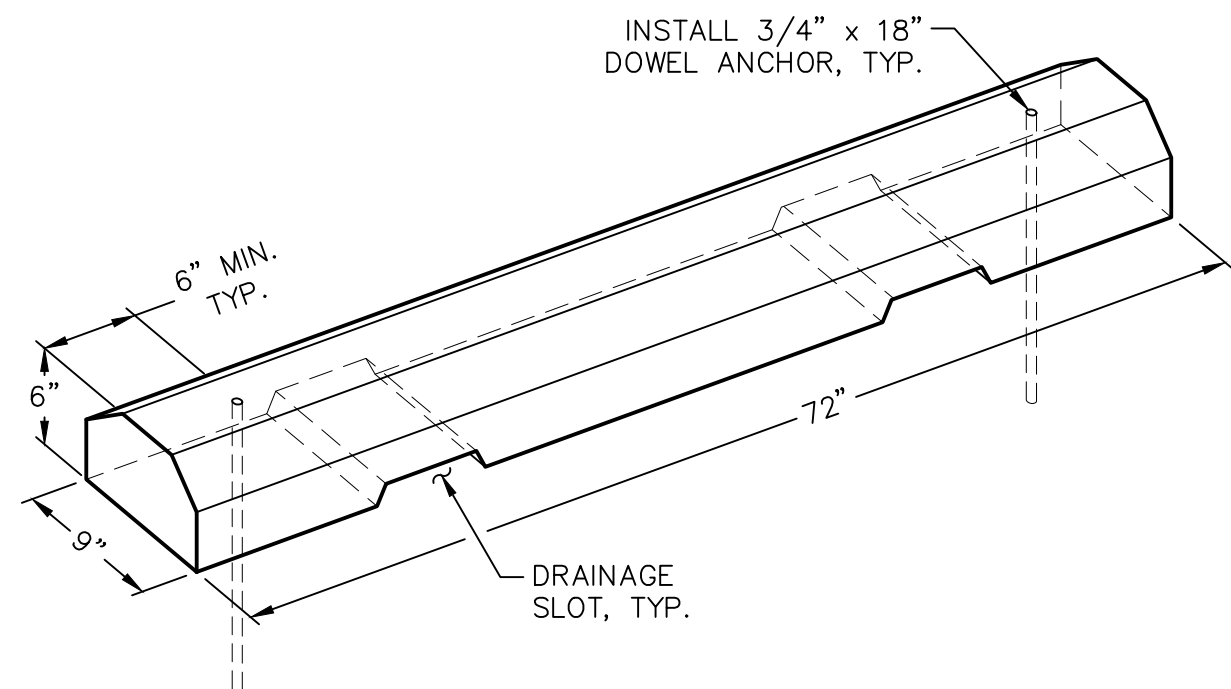
SCALE: NTS



- NOTES:**
1. CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
 2. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
 3. TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
 4. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

3 CONCRETE CURB - STANDARD

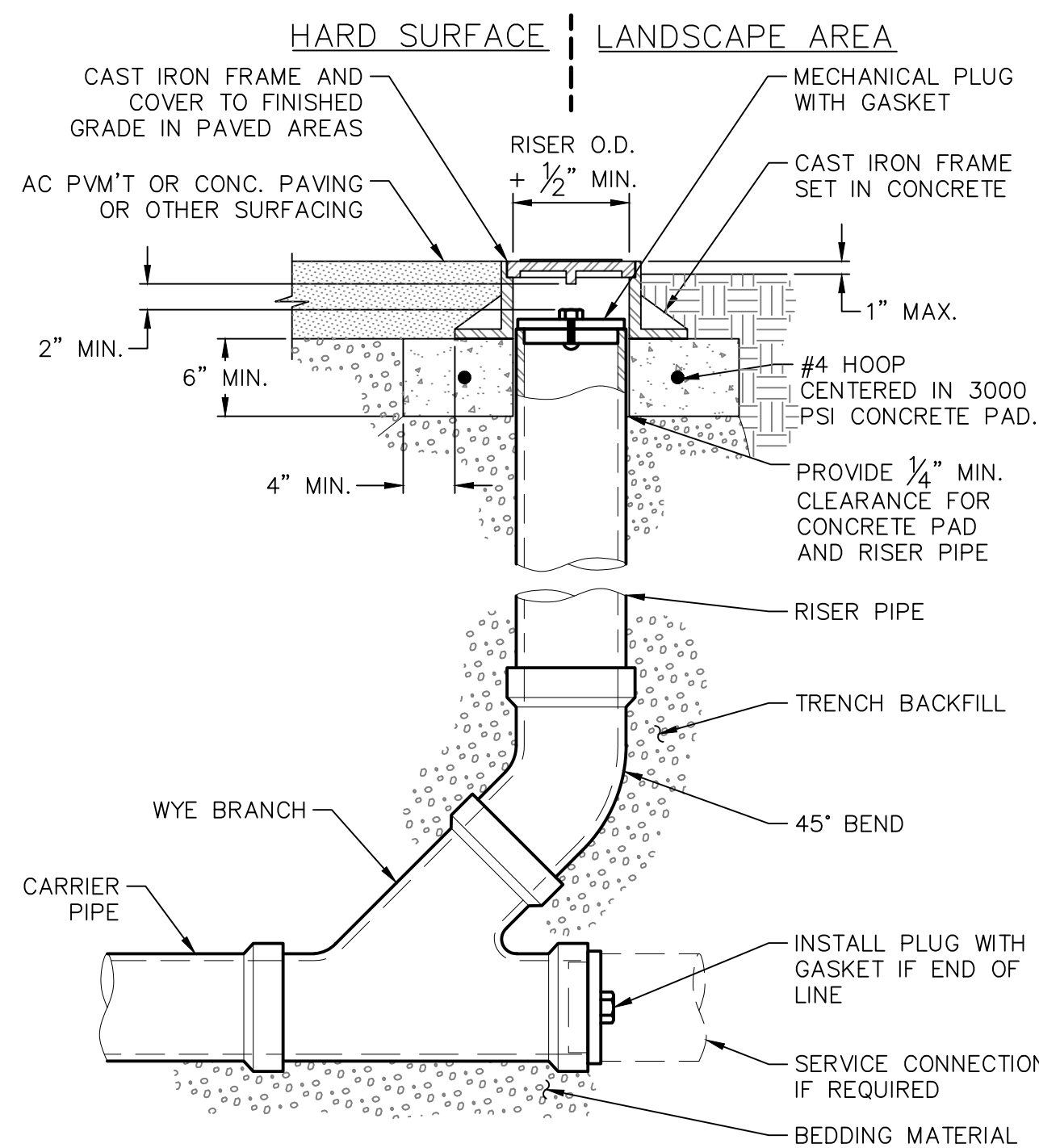
SCALE: NTS



- NOTES:**
1. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

4 PRECAST CONCRETE WHEEL STOP

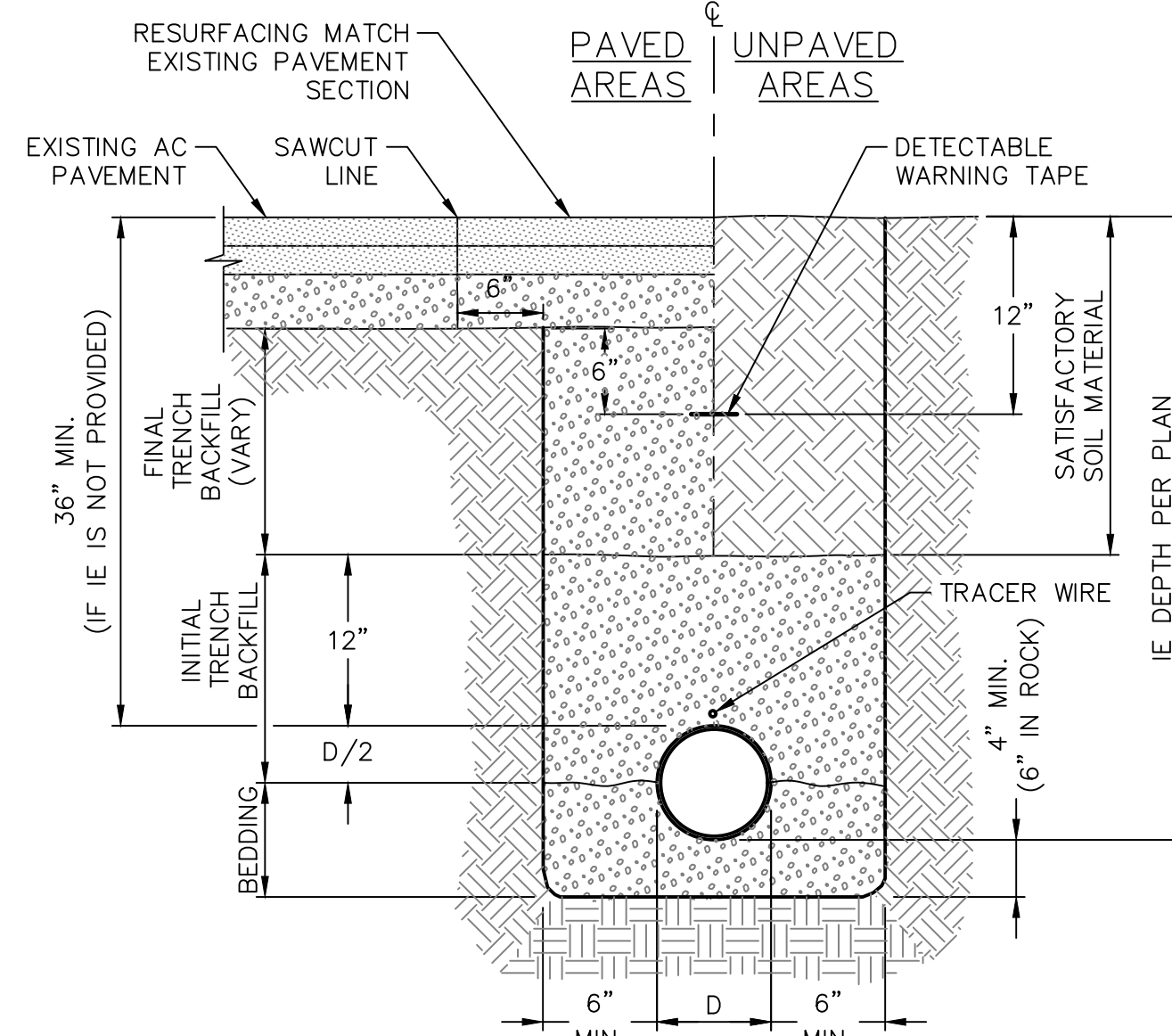
SCALE: NTS



- NOTES:**
1. LAY PERFORATED DRAIN PIPE ON MIN. 0.5% GRADIENT, WIDENING EXCAVATION AS REQUIRED. MAINTAIN PIPE ABOVE 2:1 SLOPE AS SHOWN.
 2. CONNECT TO FOUNDATION DRAIN STUBOUT SHOWN ON PLANS.

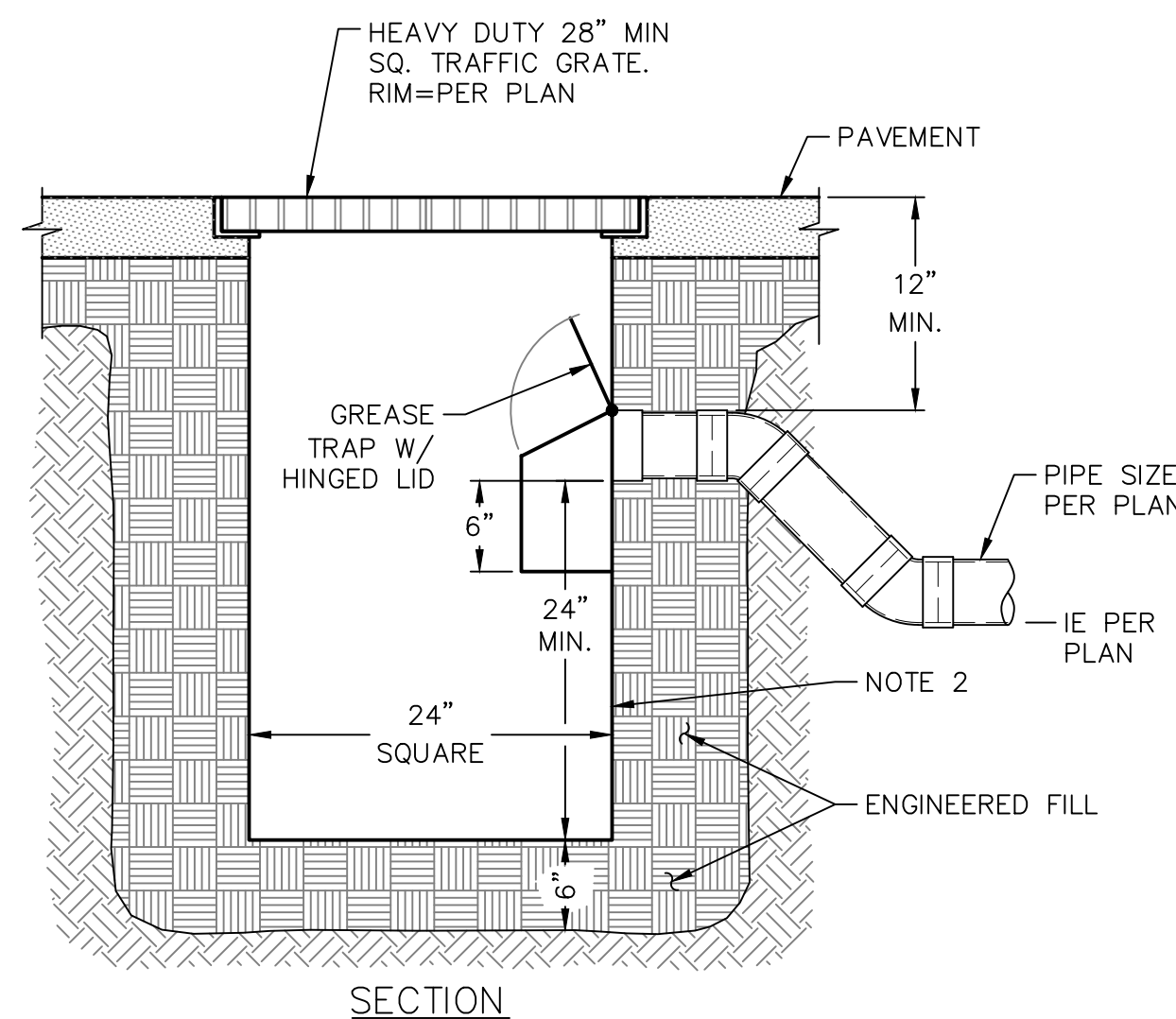
7 PERIMETER FOUNDATION DRAIN

SCALE: NTS



8 TYPICAL PIPE BEDDING AND BACKFILL

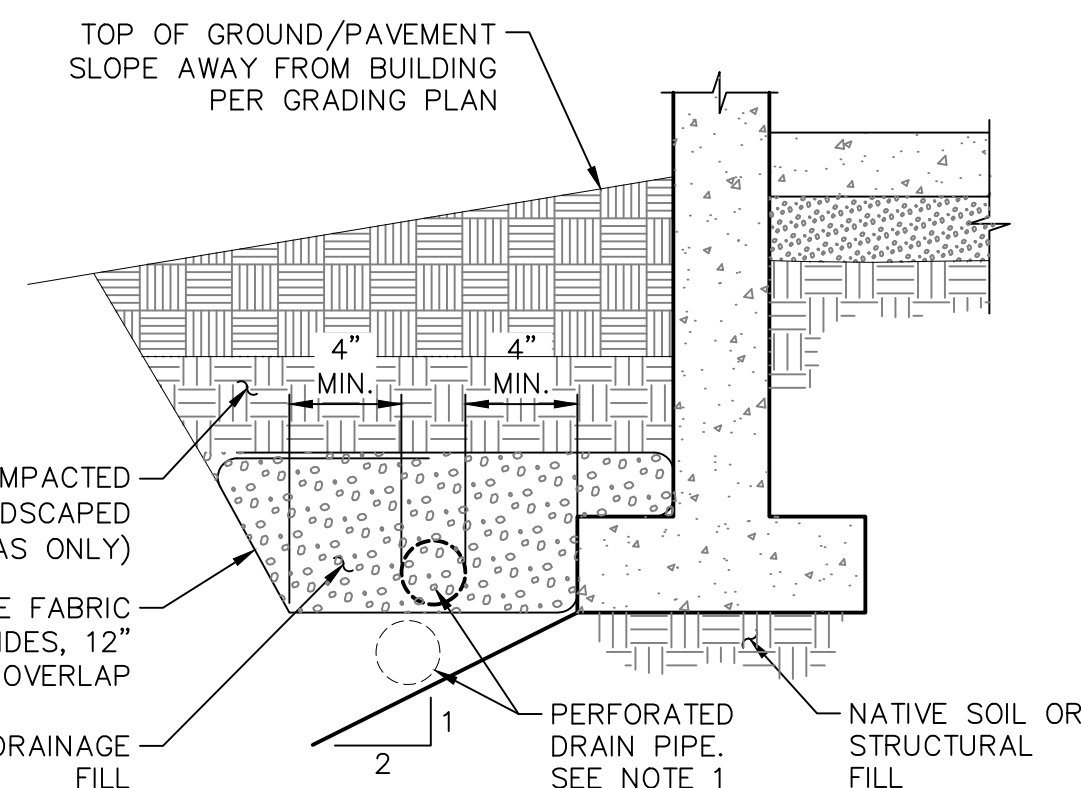
SCALE: NTS



- NOTES:**
1. CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTOR'S COMPACTION EQUIPMENT.
 2. 1/4" STEEL PLATE, BITUMINOUS COATED. AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

6 TRAPPED CATCH BASIN

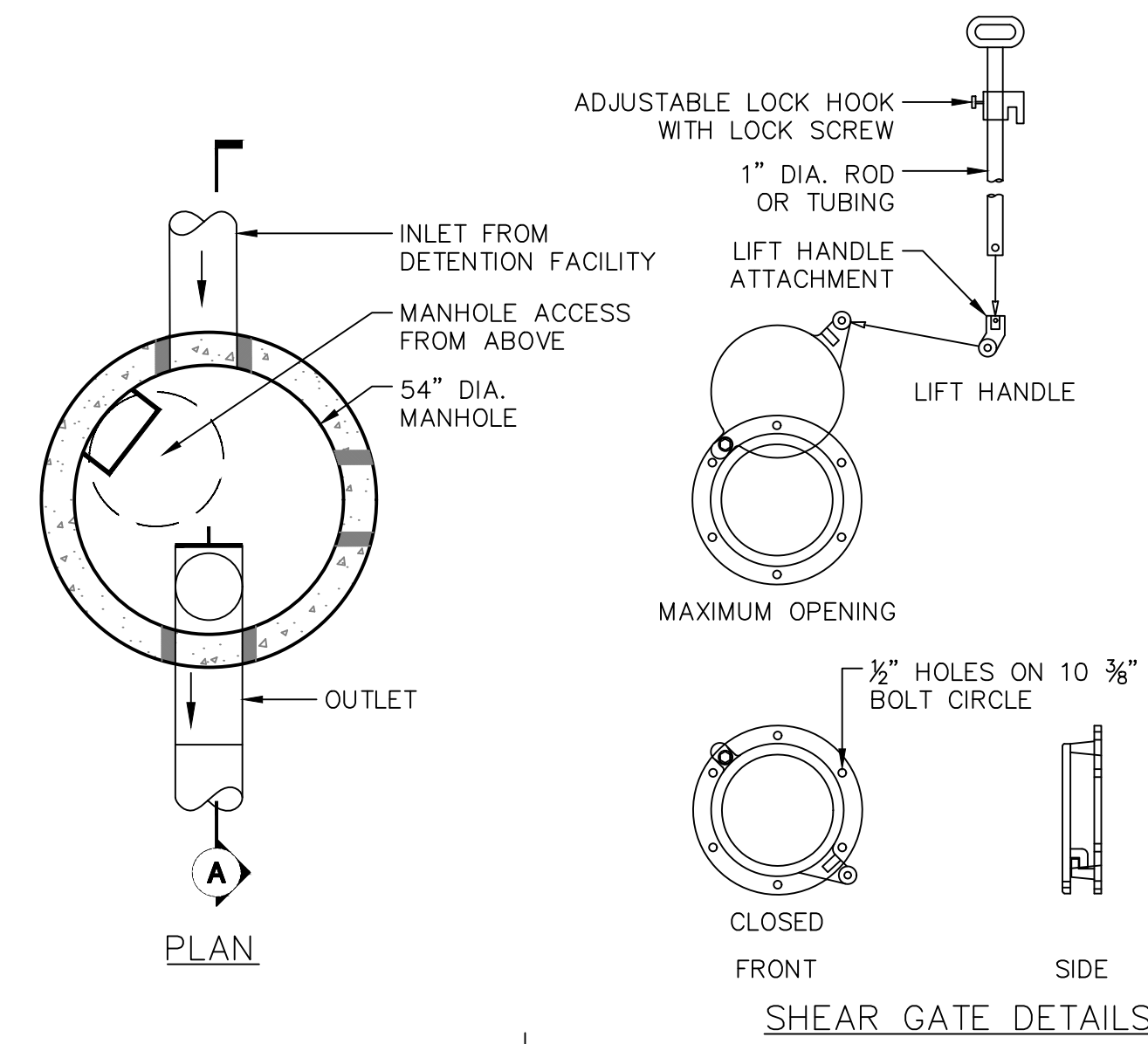
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- NOTES:**
1. OVERFLOW INLET WITH ATRIUM GRATE. ATRIUM GRATE SHALL BE 6" DIAMETER FROM NDS OR APPROVED EQUAL.

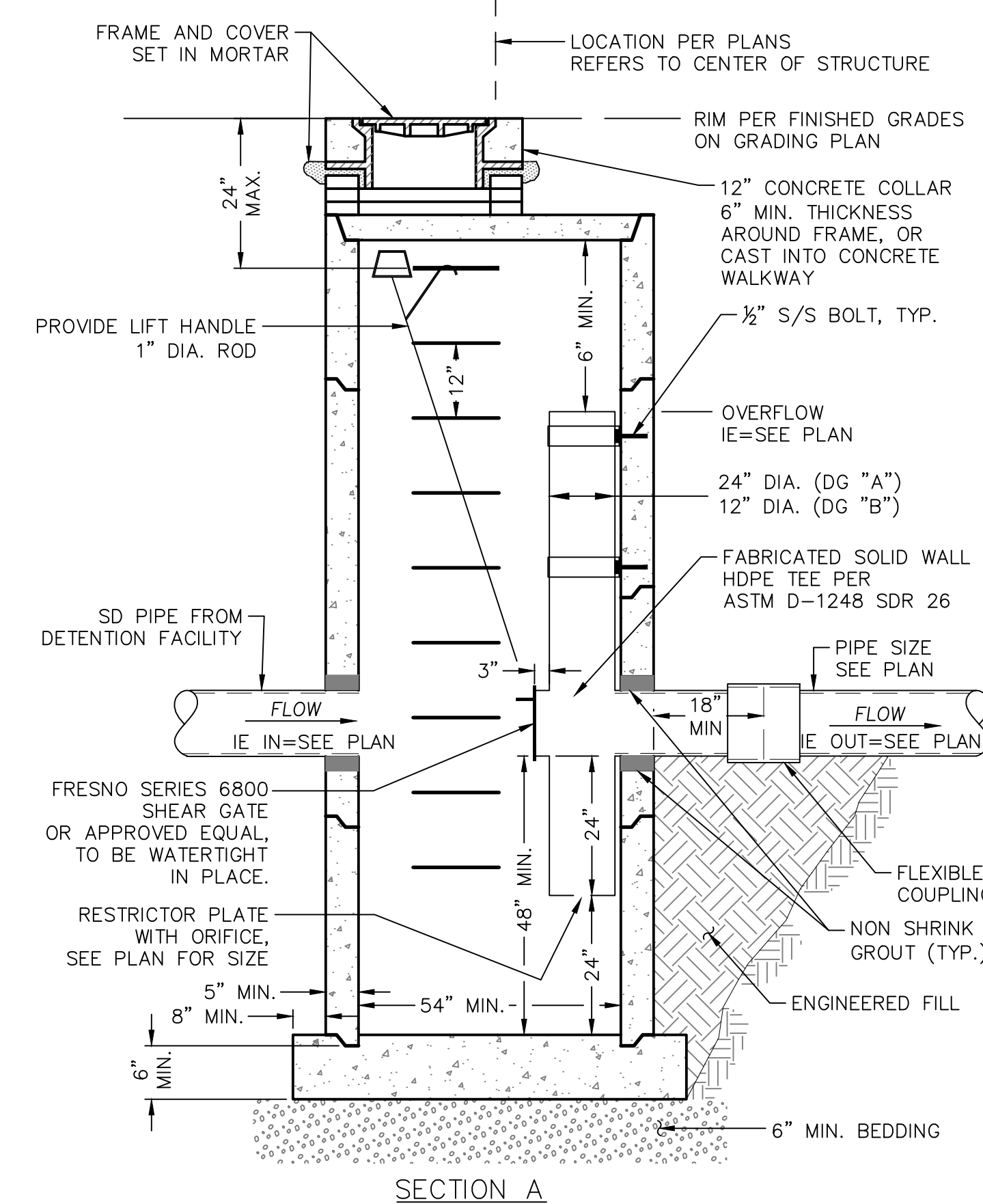
9 OVERFLOW INLET

SCALE: NTS



10 FLOW CONTROL MANHOLE

SCALE: NTS



EROSION AND SEDIMENT CONTROL PLANS

JAE EXPANSION TUALATIN, OREGON

CIDA INC. ARCHITECT

CONTACT: TARA LUND
15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
PH: 503-226-1285

AAI ENGINEERING CIVIL ENGINEER

CONTACT: CRAIG HARRIS, PE
4875 SW GRIFFITH DRIVE, SUITE 300
BEAVERTON, OREGON 97005
PH: 503-352-7678
FAX: 503-620-5539
EMAIL: CRAIGH@AAIENG.COM

JAE OREGON INC. OWNER

CONTACT: ELI SLAUGHTER
11555 SW LEVETON DR
TUALATIN, OR 97062
PH: 503-692-4193
EMAIL: ESLAUGHTER@JAEOREGON.COM

WEDDLE SURVEYING INC. SURVEYOR

CONTACT: ANTHONY B. RYAN
6950 SW HAMPTON ST, SUITE 170,
TIGARD, OREGON 97223
PH: 503-941-9585

NARRATIVE DESCRIPTIONS

EXISTING SITE CONDITIONS

PRIVATE PARKING LOT

DEVELOPED CONDITIONS

EXPANSION WITH ASSOCIATED PARKING AND MANEUVERING AREAS

NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE

- * CLEARING (FEBRUARY 2020)
- * MASS GRADING (FEBRUARY 2020)
- * UTILITY INSTALLATION (FEBRUARY 2020 - MARCH 2020)
- * FINAL STABILIZATION (MAY 2020)

TOTAL SITE AREA = 24.85 ACRES
TOTAL DISTURBED AREA = 1.34 ACRES

SITE SOIL CLASSIFICATIONS:

21B- HILLSBORO LOAM, 3 TO 7 PERCENT SLOPES
21C- HILLSBORO LOAM, 7 TO 12 PERCENT SLOPES

RECEIVING WATER BODIES:

TUALATIN RIVER

PERMITTEE'S SITE INSPECTOR: JONATHAN SWEET

COMPANY/AGENCY: AAI ENGINEERING, INC.
PHONE: 503-620-3030
FAX: 503-620-5539
E-MAIL: JONATHANS@AAIENG.COM
DESCRIPTION OF EXPERIENCE:
CESO# ECO-3-3041925, 4+ YEARS OF DESIGNING AND INSPECTING EROSION CONTROL BMP'S

INSPECTION FREQUENCY:

SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOWMELT, IS OCCURRING. AT LEAST ONCE EVERY 14 DAYS, REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
2. PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	ONCE EVERY MONTH.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.
5. PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS.	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

- * HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS.
- * ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-CN PERMIT REQUIREMENTS.
- * INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-CN PERMIT REQUIREMENTS.
- * RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER LOCATION.

STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:

- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT.
- THE ESCP MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE MEASURES AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION AND SEDIMENT CONTROL REGULATIONS.
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT.
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION.
- IDENTIFY, MARK, AND PROTECT (BY FENCING OFF OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS.
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED.
- EROSION AND SEDIMENT CONTROL MEASURES INCLUDING PERIMETER SEDIMENT CONTROL MUST BE IN PLACE BEFORE VEGETATION IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING PROTECTION FOR ACTIVE STORM DRAIN INLETS AND CATCH BASINS AND APPROPRIATE NON-STORMWATER POLLUTION CONTROLS.
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. DIRECT ALL WASH WATER INTO A PIT OR LEAK-PROOF CONTAINER. HANDLE WASH WATER AS WASTE. CONCRETE DISCHARGE TO WATERS OF THE STATE IS PROHIBITED.
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES AND FOR ALL ROADWAYS INCLUDING GRAVEL ROADWAYS.
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS.
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMP'S SUCH AS: GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMP'S MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES.
- WHEN TRACKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE.
- USE BMP'S TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, LEFTOVER PAINTS, SOLVENTS, AND GLUES FROM CONSTRUCTION OPERATIONS.
- IMPLEMENT THE FOLLOWING BMP'S WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES.
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL.
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE.
- IF A STORMWATER TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR.
- AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMP'S MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS.
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND DURING WET WEATHER.
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL.
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT, AND BEFORE BMP REMOVAL.
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT.
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME.
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS.
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE.
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE.
- PROVIDE PERMANENT EROSION CONTROL MEASURES ON ALL EXPOSED AREAS. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. HOWEVER, DO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AS EXPOSED AREAS BECOME STABILIZED, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. PROPERLY DISPOSE OF CONSTRUCTION MATERIALS AND WASTE, INCLUDING SEDIMENT RETAINED BY TEMPORARY BMP'S.
- IF WATER OF THE STATE IS WITHIN THE PROJECT SITE OR WITHIN 50 FEET OF THE PROJECT BOUNDARY, MAINTAIN THE EXISTING NATURAL BUFFER WITHIN THE 50-FOOT ZONE FOR THE DURATION OF THE PERMIT COVERAGE, OR MAINTAIN LESS THAN THE ENTIRE EXISTING NATURAL BUFFER AND PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL BMP'S.

LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES:

- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NOT LATER THAN SEPTEMBER 1; THE TYPE AND PERCENTAGE OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP I.E. (FILTER BAG).
- ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 - MAY 31.

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200-CN PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200-CN PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200-CN PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

BMP MATRIX FOR CONSTRUCTION PHASES

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)
EROSION PREVENTION						
PRESERVE NATURAL VEGETATION	**X	X	X		X	X
GROUND COVER					X	X
HYDRAULIC APPLICATIONS						
PLASTIC SHEETING		X	X		X	X
DUST CONTROL	X	X	X		X	X
TEMPORARY/ PERMANENT SEEDING BUFFER ZONE		X	X		X	X
OTHER:						
SEDIMENT CONTROL						
SEDIMENT FENCE (PERIMETER)	**X	X	X		X	X
SEDIMENT FENCE (INTERIOR)			X		X	X
STRAW MATS						
FILTER BERM						
INLET PROTECTION	**X	X	X		X	X
DEWATERING						
SEDIMENT TRAP						
NATURAL BUFFER ENCROACHMENT						
OTHER:						
RUN OFF CONTROL						
CONSTRUCTION ENTRANCE						
PIPE SLOPE DRAIN						
OUTLET PROTECTION						
SURFACE ROUGHENING						
CHECK DAMS						
OTHER:						
POLLUTION PREVENTION						
PROPER SIGNAGE	X	X	X		X	X
HAZ WASTE MGMT	X	X	X		X	X
SPILL KIT ON-SITE	X	X	X		X	X
CONCRETE WASHOUT AREA	X	X	X		X	X
OTHER:						

*SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.
**SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

RATIONALE STATEMENT

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

CNA
INITIAL

SHEET INDEX

EROSION AND SEDIMENT CONTROL PLANS

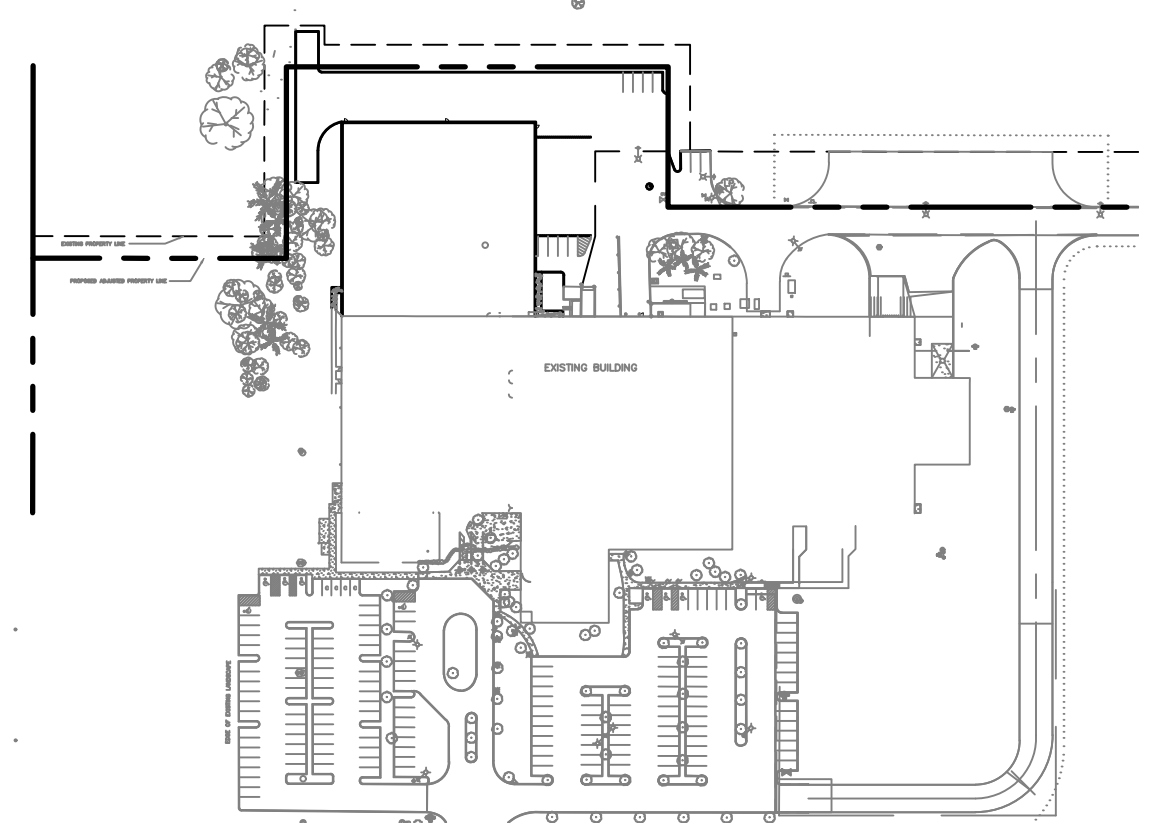
Sheet List Table	
SHEET NUMBER	SHEET TITLE
ESC1.0	EROSION CONTROL COVER SHEET
ESC2.0	CLEARING, DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
ESC3.0	UTILITY, PAVING AND FINAL STABILIZATION
ESC4.0	EROSION AND SEDIMENT CONTROL DETAILS

GRADING QUANTITIES:

OUT = 2154 CY
FILL = 1379 CY
NET FILL = 775 CY

IMPERVIOUS AREA

INCREASE IN IMPERVIOUS AREA (PRIVATE): 38,887 SF



PROJECT LOCATION:

11555 SW LEVETON DRIVE
TUALATIN, OR 97062

PROPERTY DESCRIPTION:

TAX LOT 200
(WASHINGTON COUNTY TAX MAP 251228A
LOCATED IN SW ¼ OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 1 WEST,
WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON)

ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

PRELIMINARY
PLAN ONLY-NOT
FOR
CONSTRUCTION

ISSUED DATE: 09/13/2019
ARCHITECTURAL REVIEW SET: 2

AAI
AAI ENGINEERING

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PORTLAND, OREGON 97224
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BUILDING EXPANSION
JAE OREGON
11555 SW LEVETON DR
TUALATIN, OR

EROSION CONTROL
COVER SHEET

ESC1.0

JOB NO. 190170.01

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EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
3. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
4. THE STORM WATER FACILITY SHALL BE CONSTRUCTED AND LANDSCAPED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
5. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

LEGEND

EXISTING CONTOUR--1 FOOT INTERVALS	---
EXISTING CONTOUR--5 FOOT INTERVALS	---
PROPERTY BOUNDARY	---
NEW CONTOUR--1 FOOT INTERVALS	---
NEW CONTOUR--5 FOOT INTERVALS	---
SEDIMENT FENCE PER DETAIL 875/ESC4.0	---○---
FLOW ARROW	→
INLET PROTECTION PER DETAIL 920/ESC4.0	⊗
CONCRETE WASHOUT PER DETAIL 900/ESC4.0	□
AREAS OF FILL (OTHER AREAS ARE CUT)	FILL

GRADING & UTILITY EROSION & SEDIMENT CONSTRUCTION NOTES

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
 - A. DWARF GRASS MIX (MIN. 100 LBS/AC.
 1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
 2. CREEPING RED FESCUE (20% BY WEIGHT)
 - B. STANDARD HEIGHT GRASS MIX (MIN. 100 LBS/AC.)
 1. ANNUAL RYEGRASS (40% BY WEIGHT)
 2. TUR-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES THE SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING; EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY INCLUDE, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING AND VACUUMING (REQUIRED TO INSURE ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT).
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASHOUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED OF IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMP'S SUCH AS CHECK DAMS, BERMS, SEDIMENT FENCE, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCHBASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

PRELIMINARY PLAN ONLY-NOT FOR CONSTRUCTION

ISSUED DATE: 1 09/13/2019 ARCHITECTURAL REVIEW SET 2



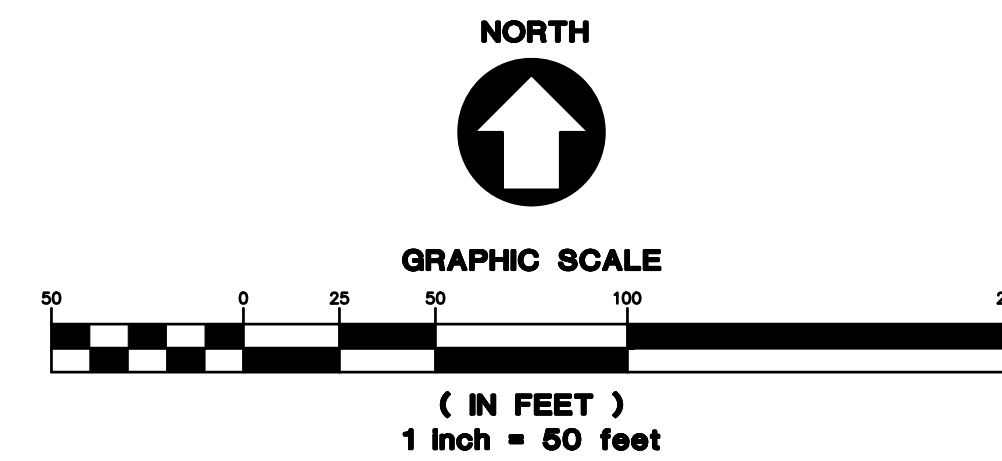
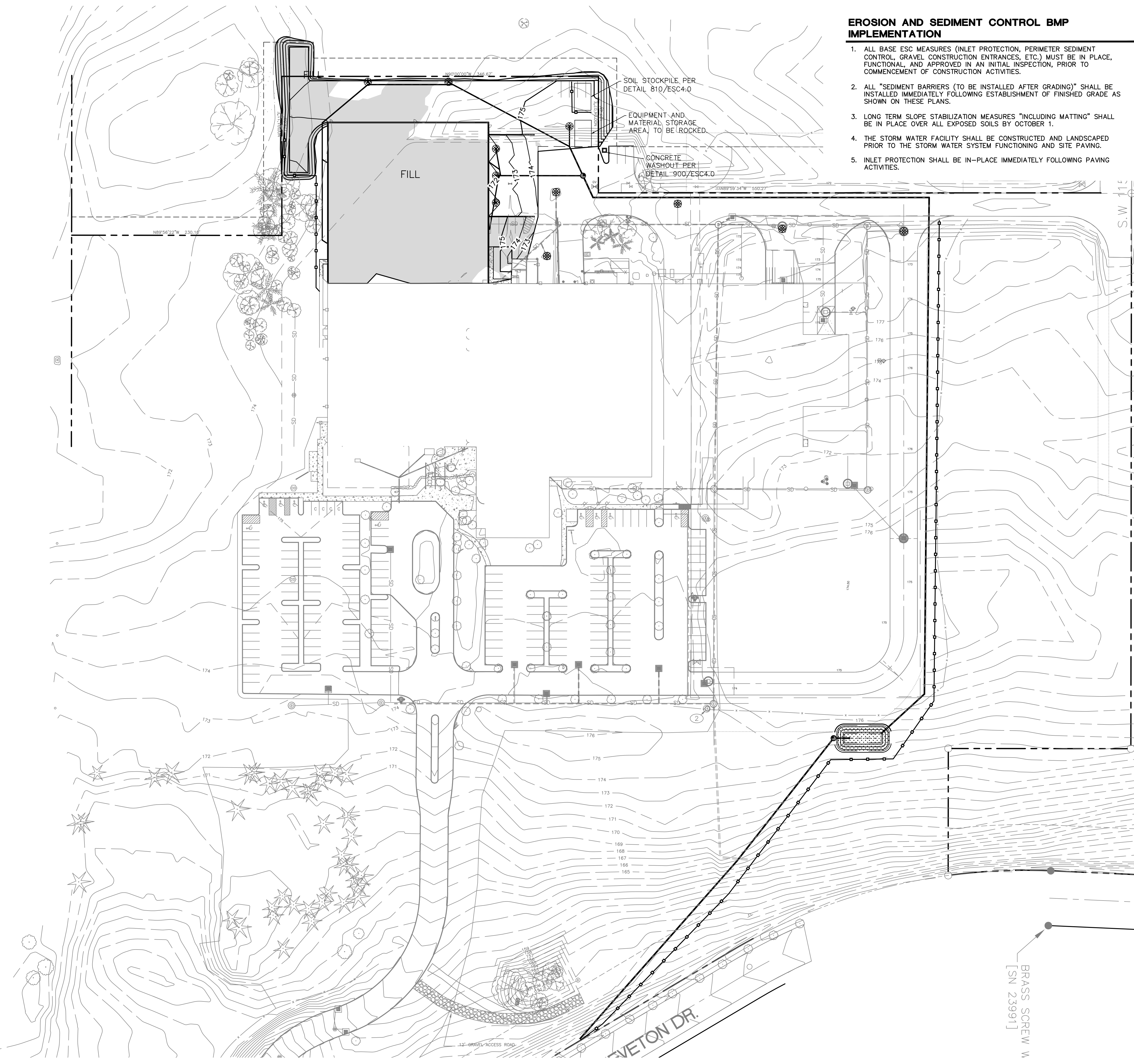
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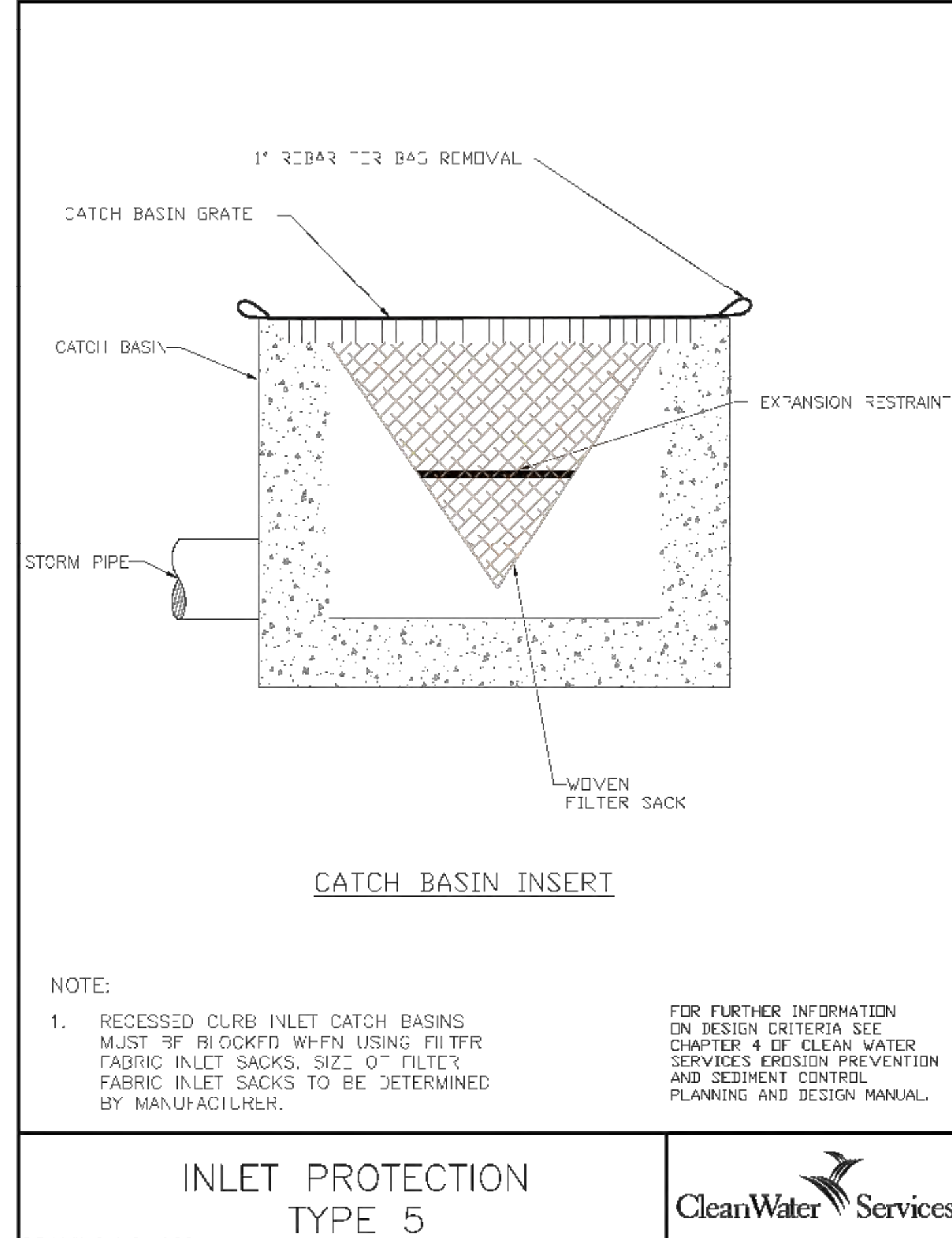
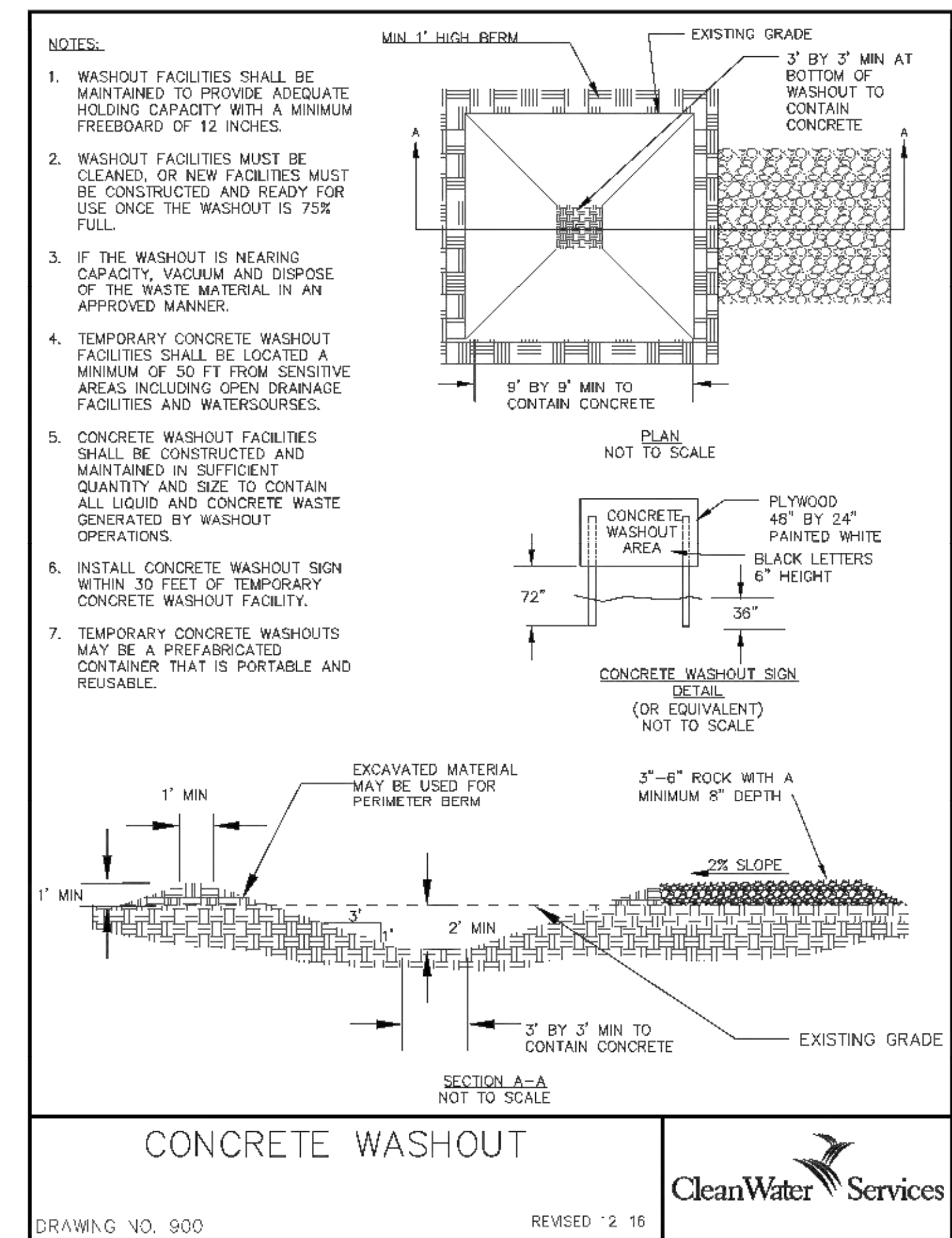
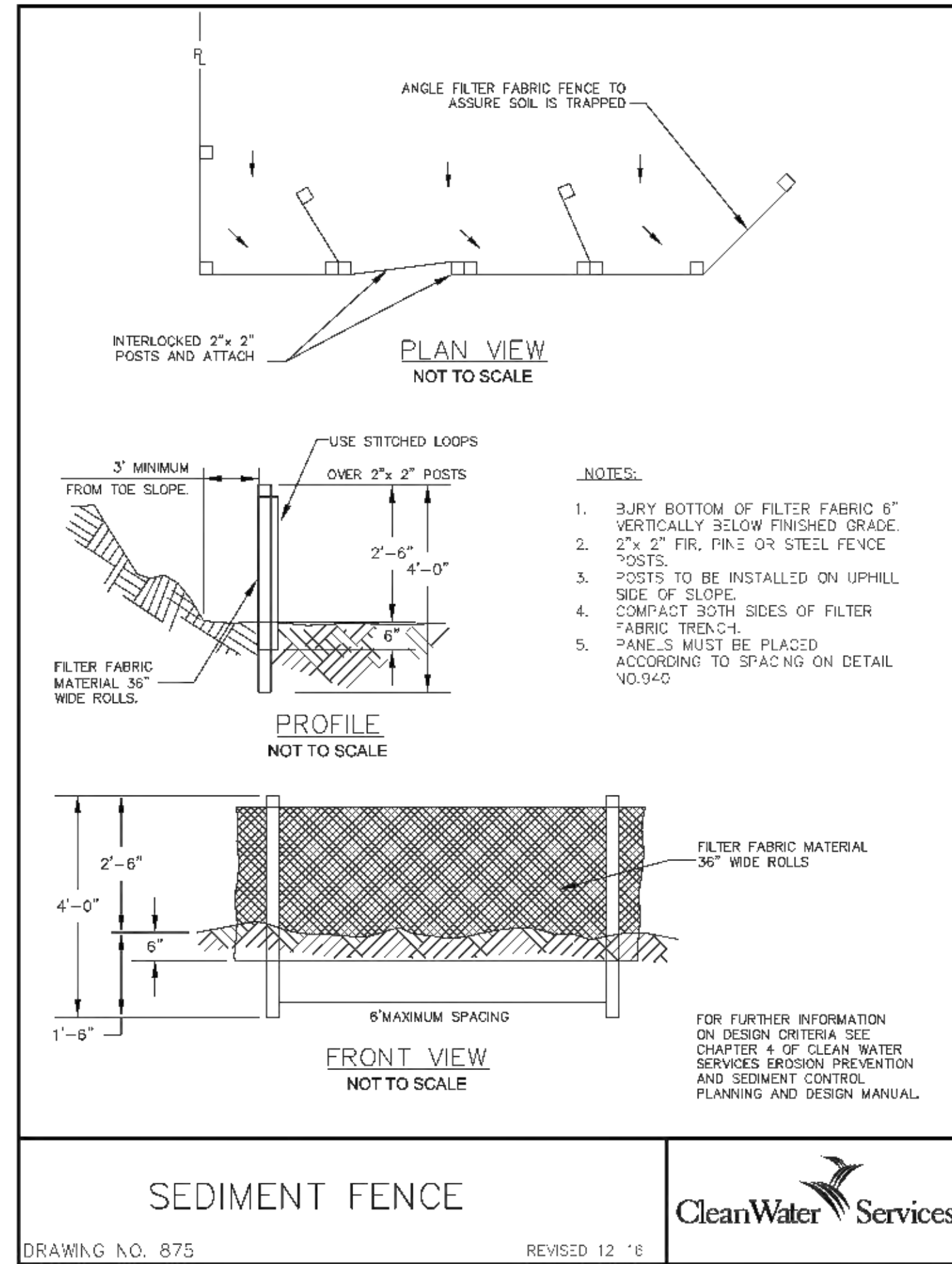
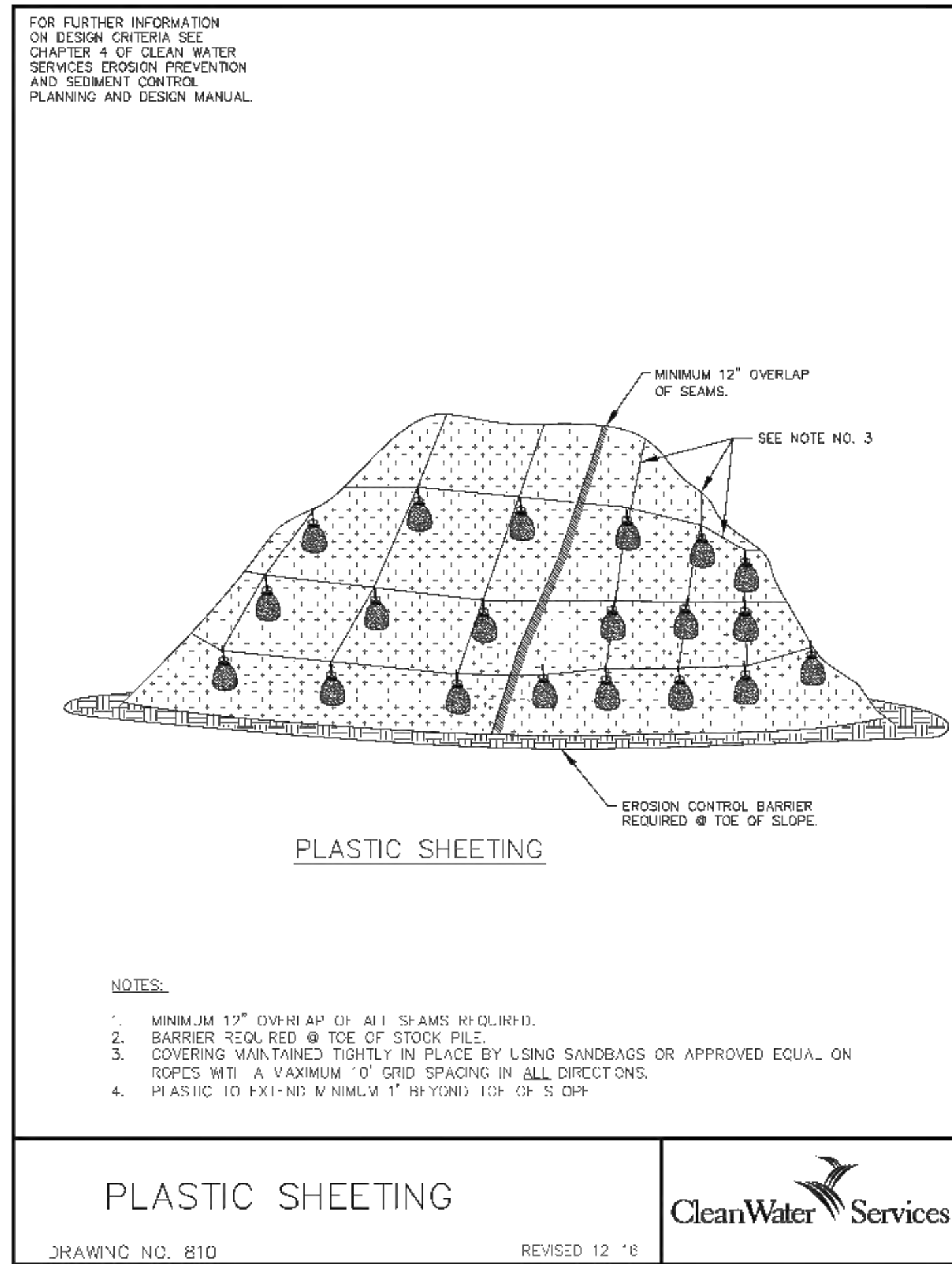
BUILDING EXPANSION
JAE OREGON
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TUALATIN, OR

UTILITY, PAVING AND FINAL STABILIZATION
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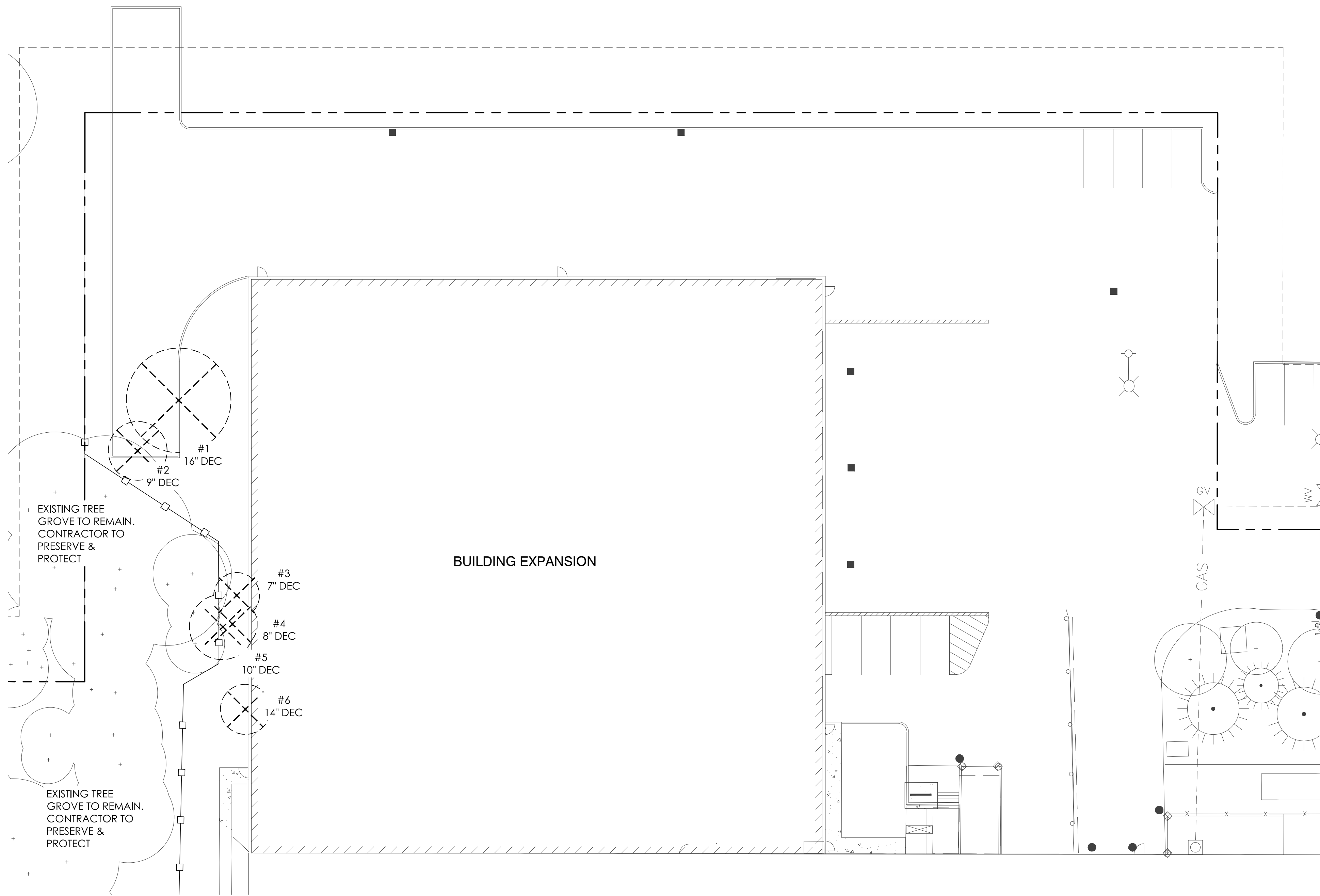
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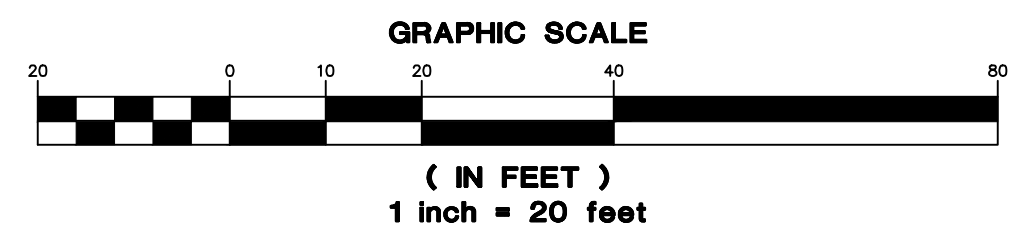




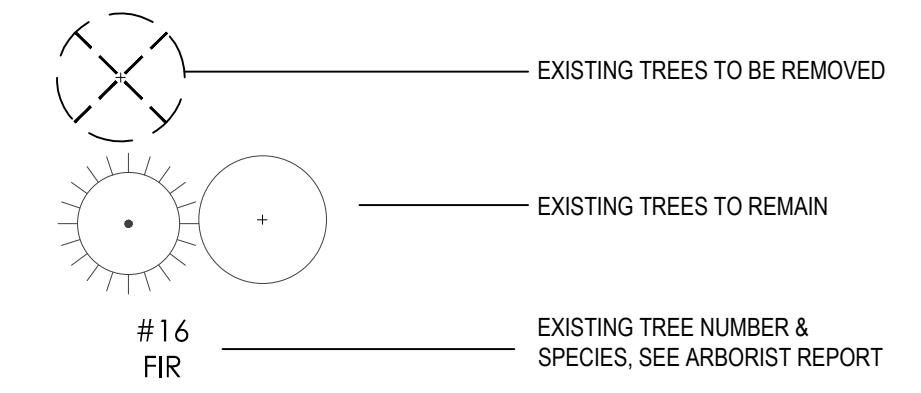
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NORTH
TREE PROTECTION PLAN - BUILDING EXPANSION AREA
 SCALE 1" = 20'

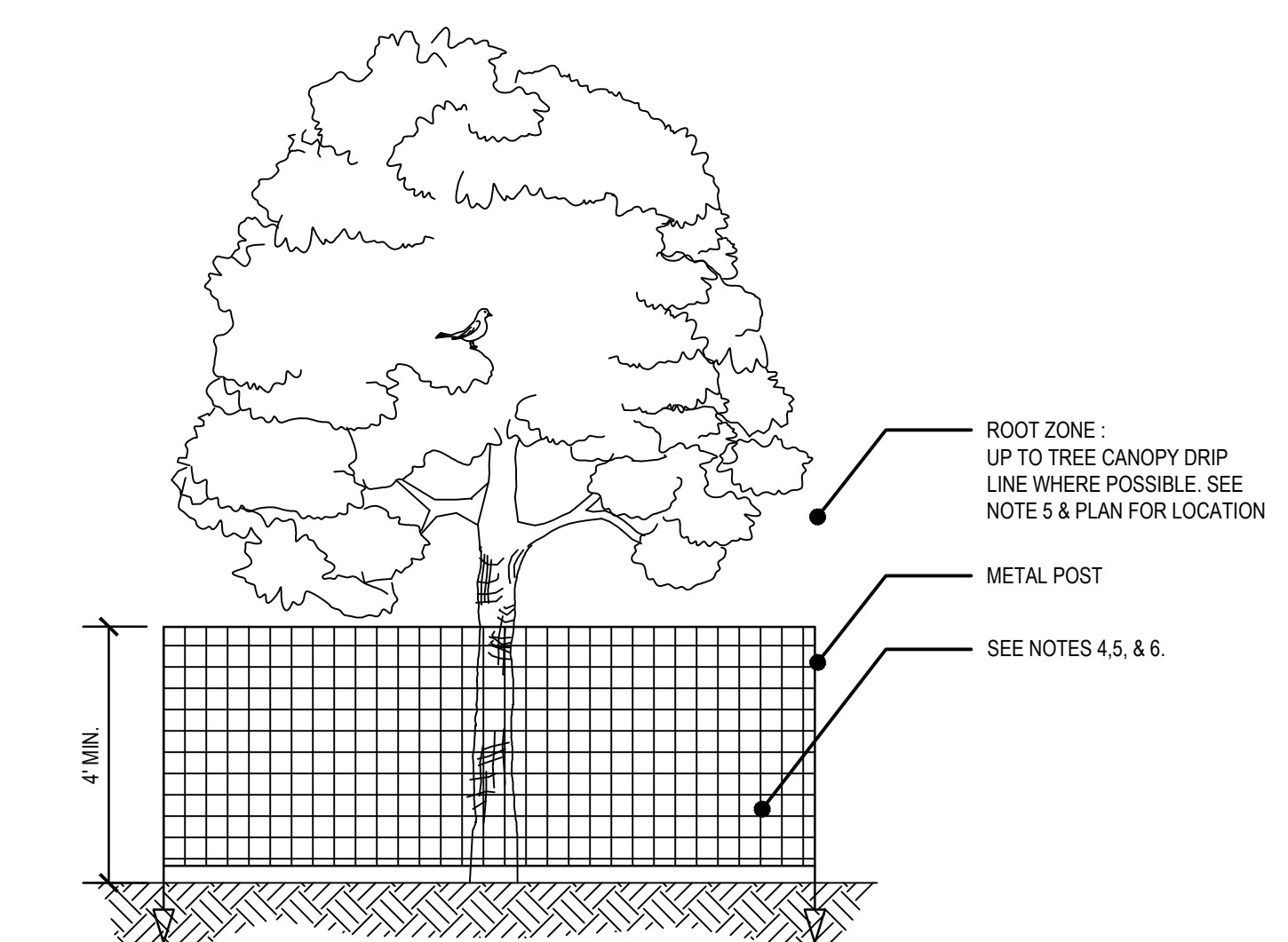


LEGEND



TREE PROTECTION NOTES:

- BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT ARBORIST FOR ASSISTANCE.
- REFER TO SECTION 34.200 TREE REMOVAL, 34.270 TREE PROTECTION DURING CONSTRUCTION & 73.250 TREE PRESERVATION OF THE TUALATIN CITY CODE.
- NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
- INSTALL FENCE ON TREE SIDE OF EXISTING CURB FOR ALL TREES TO BE PRESERVED. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
- FENCING SHALL BE 4-FOOT HIGH, ORANGE CONSTRUCTION FENCE WITH METAL POSTS AND BE SECURED TO THE GROUND WITH 6-FOOT METAL POSTS. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
- NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
- WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
- DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY THE PROJECT ARCHITECT.
- AFTER CONSTRUCTION IS COMPLETE, PROJECT ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.



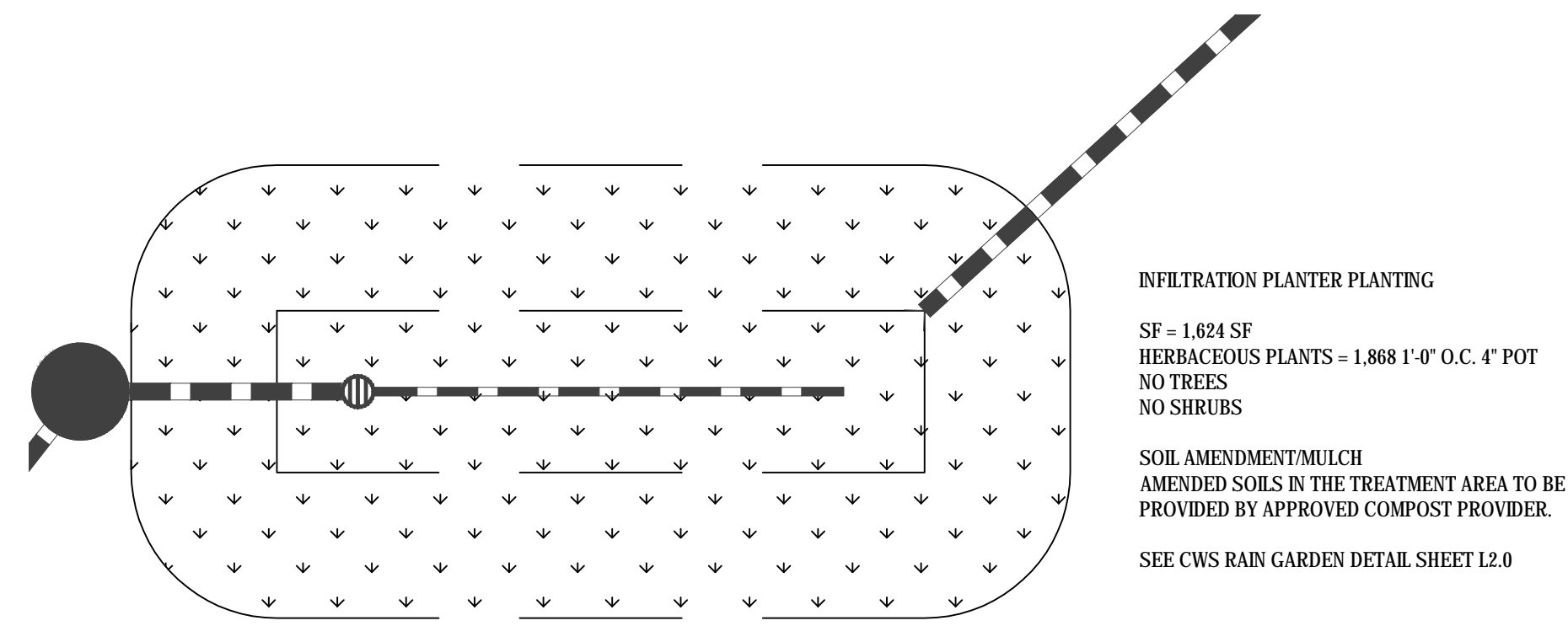
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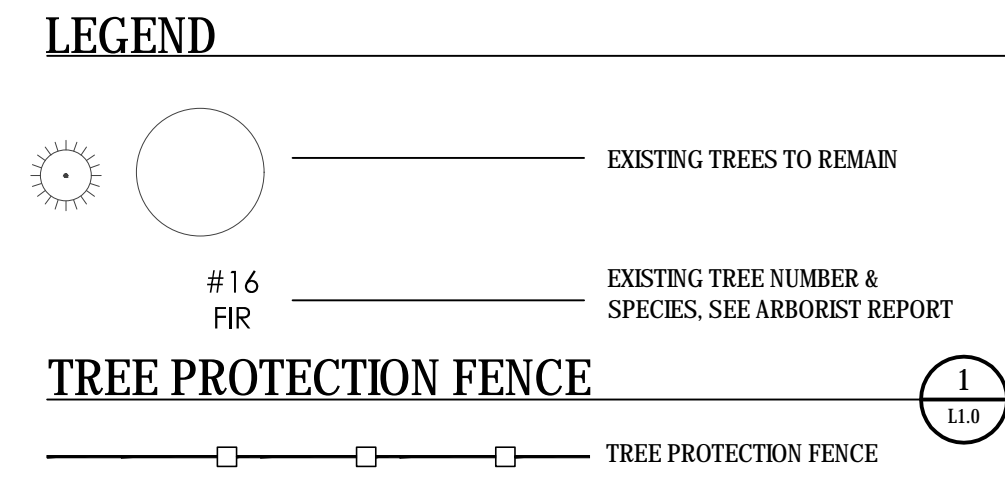
BUILDING EXPANSION
JAE OREGON
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 TUALATIN, OR

TREE PROTECT.
 PLAN
L1.0
 JOB NO. 190170.01
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1 INFILTRATION PLANTER
L1.1 SCALE 1" = 10'

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	FP	4	FRAXINUS PENNSYLVANICA 'PATMORE' WELL BRANCHED AND LIMBED TO 8'-0"	PATMORE ASH	1.5" CAL.	
	GI	3	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE' WELL BRANCHED AND LIMBED TO 8'-0"	THORNLESS HONEY LOCUST	1.5" CAL.	
	GK	8	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	1.5" CAL.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	GS	80	GAULTHERIA SHALLOW	SALAL	1 GAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	FL	60	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	4" POT	24" o.c.
	MN	80	MAHONIA NERVOSA	OREGON GRAPE	1 GAL.	36" o.c.
		12,421 SF	EROSION CONTROL SEED MIX SUNMARK NATIVE EROSION CONTROL SEED MIX APPLICATION RATE: 1LB. PER 1,000 SF			



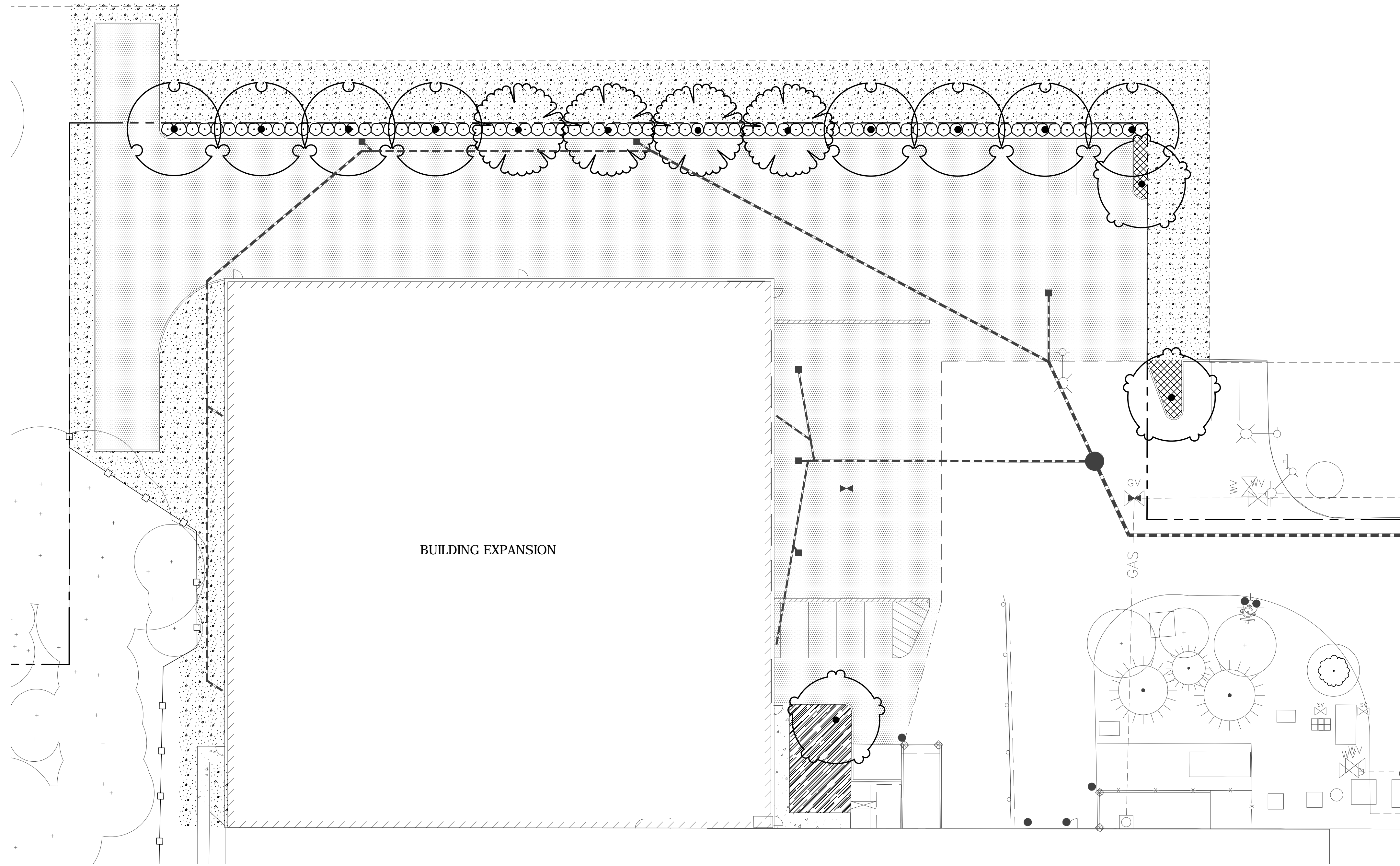
LANDSCAPE REQUIREMENTS	
TOTAL SITE AREA	= 1,082,290 SF (24.85 ACRES)
LANDSCAPE AREA REQUIRED 15% OF SITE	= 162,343 SF
LANDSCAPE ARE PROPOSED 61.2% OF SITE	= 661,957 SF
PERMETER PKG. LOT LANDSCAPING REQ.	= 5'-0" MIN LANDSCAPE STRIP
PERMETER PKG. LOT LANDSCAPING PROPOSED	= 5'-0" LANDSCAPE STRIP
INTERIOR PKG. LOT ISLAND REQ = 25 SF	
PER PKG. STALL - 25 x 8 STALL	= 200 SF
INTERIOR PKG. LOT LANDSCAPE PROPOSED	= 1,769 SF
INTERIOR PKG. LOT TREES REQUIRED	= 2
INTERIOR PKG. LOT TREES PROPOSED	= 2

GENERAL NOTES

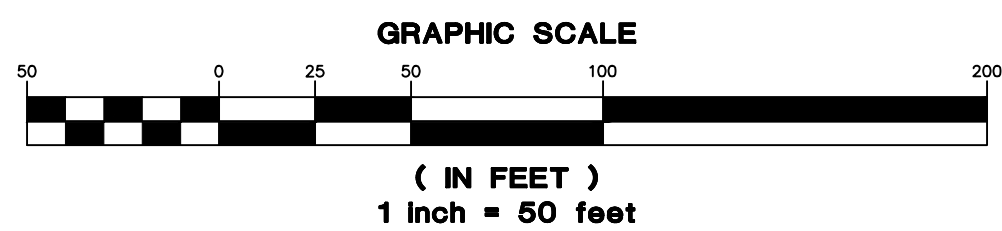
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.

PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF XXXXXX STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES, PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF XXXXXXXX STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.



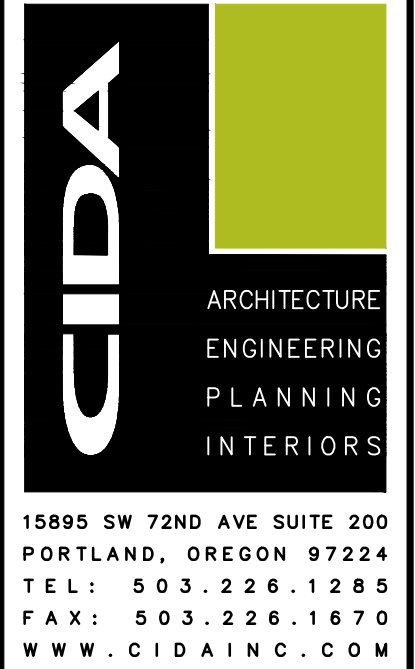
NORTH LANDSCAPE PLAN
SCALE 1" = 20'



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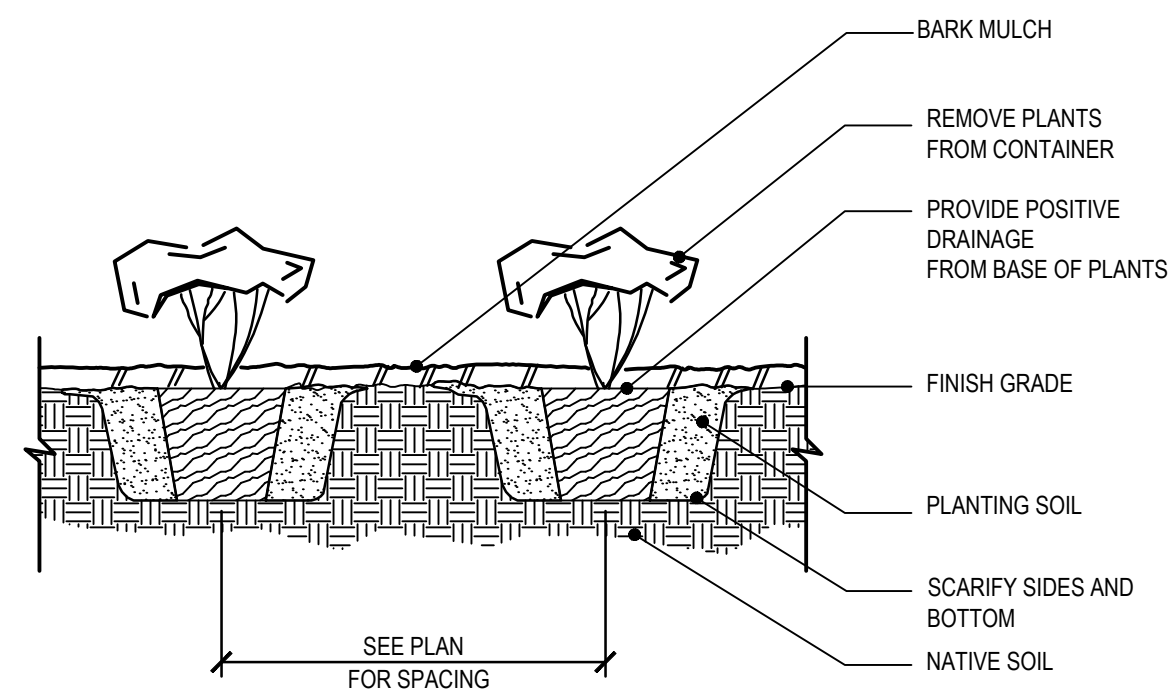


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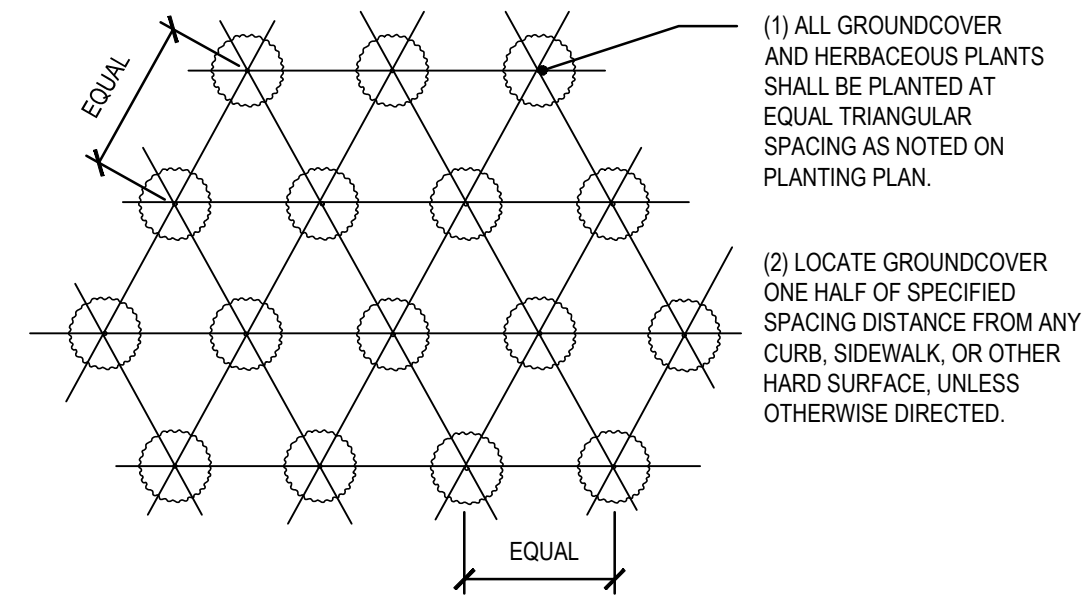


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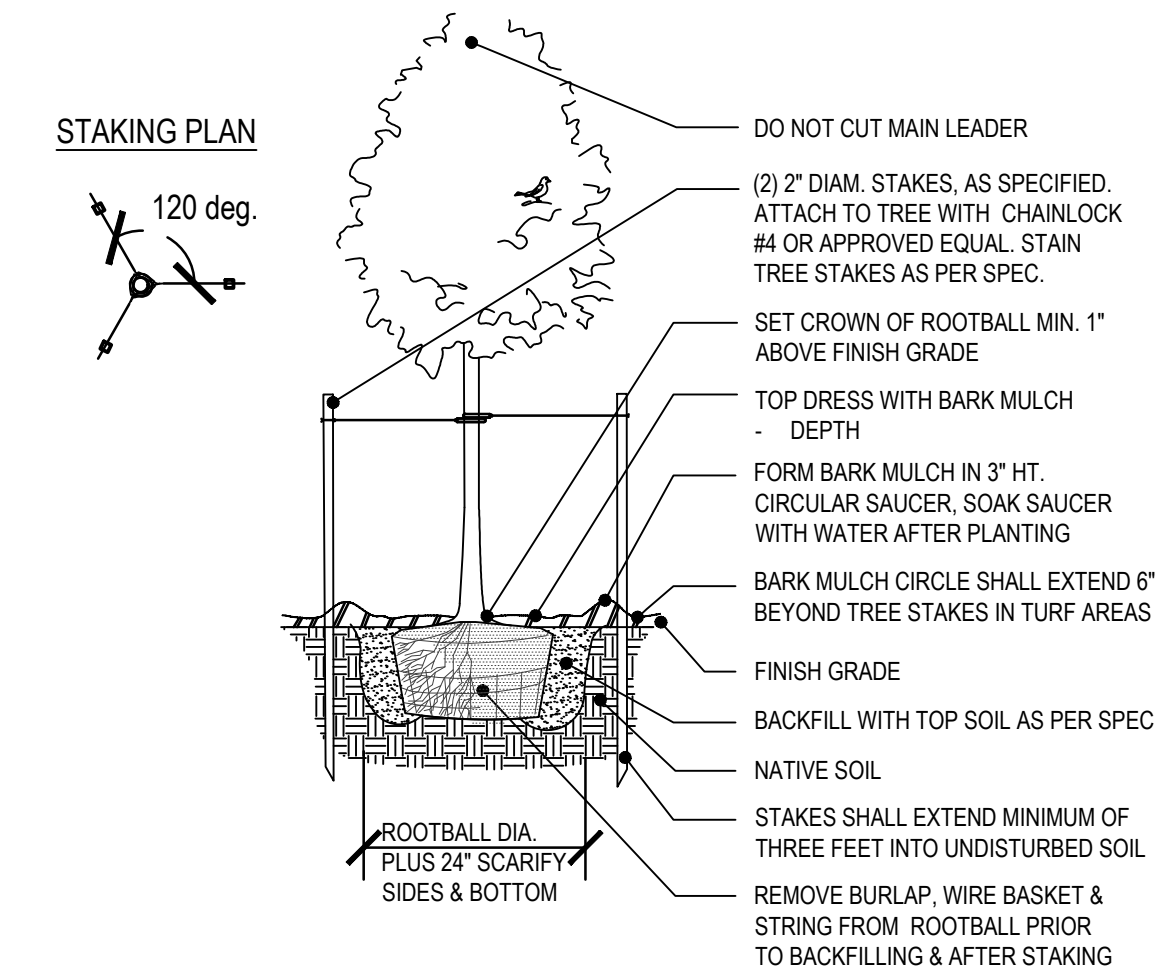
LANDSCAPE PLAN
L1.1
JOB NO. 190170.01
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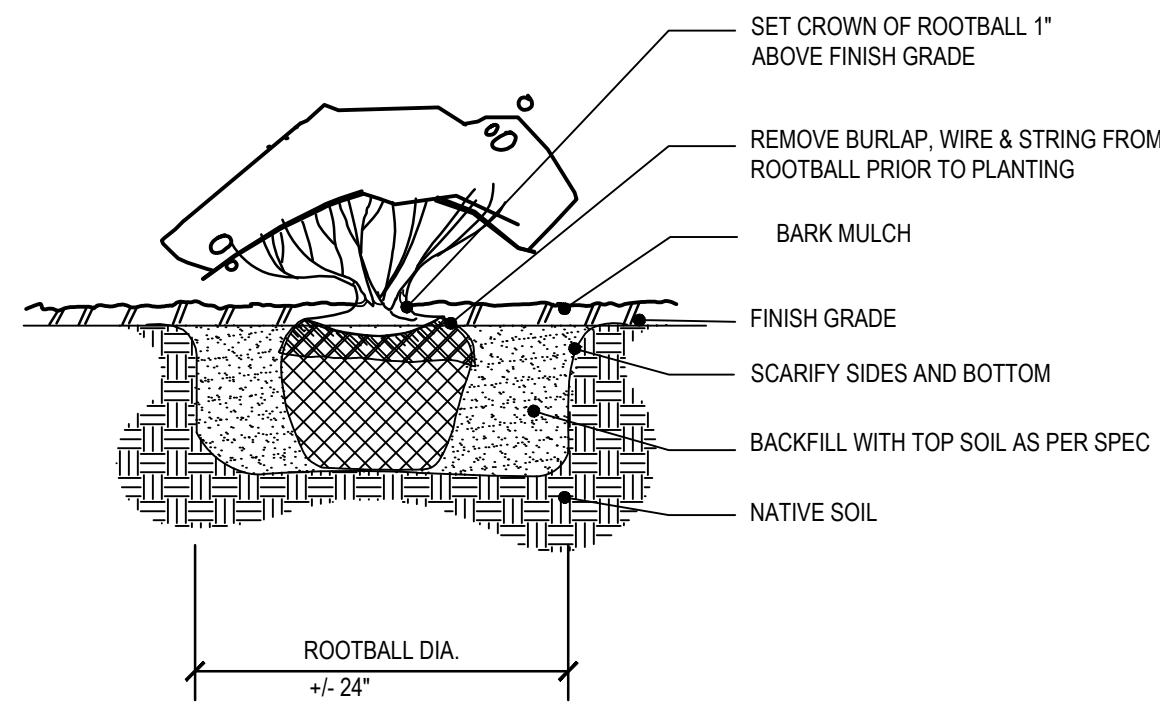
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L2.0 SCALE: NTS



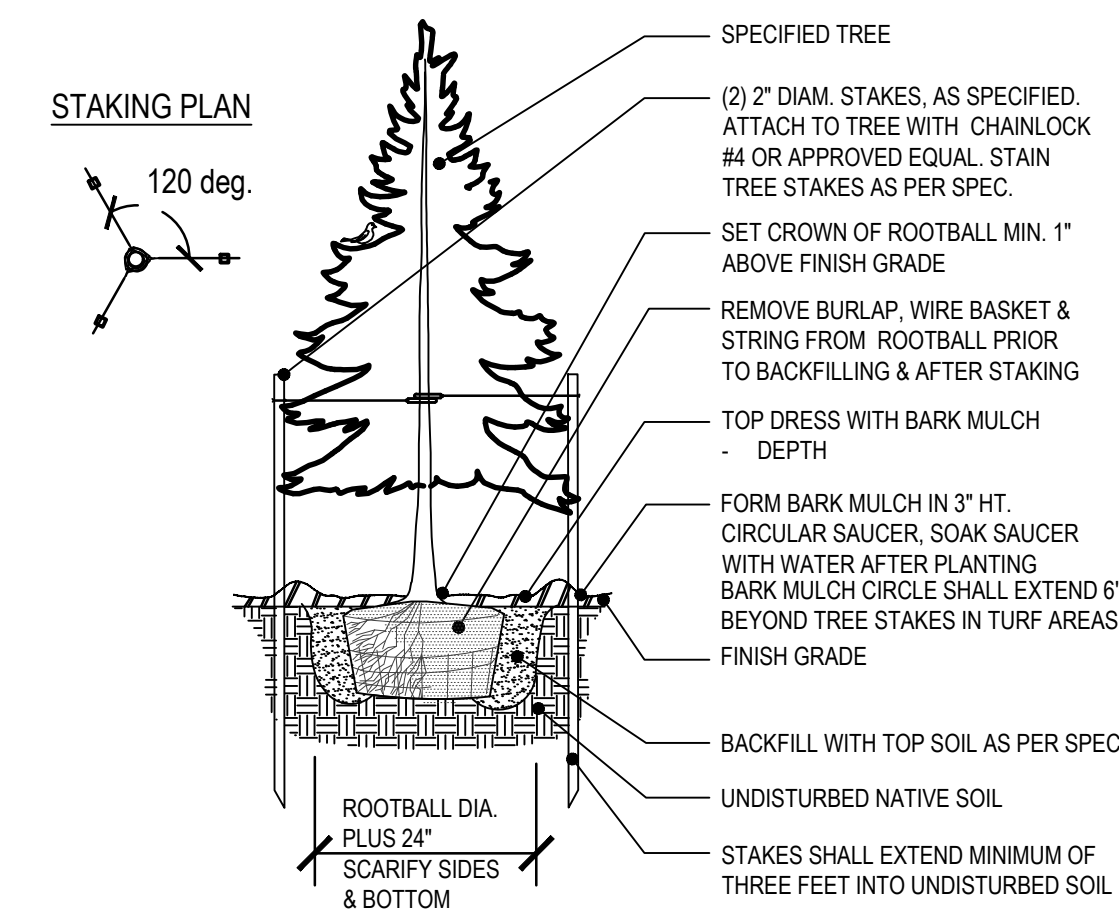
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L2.0 SCALE: NTS



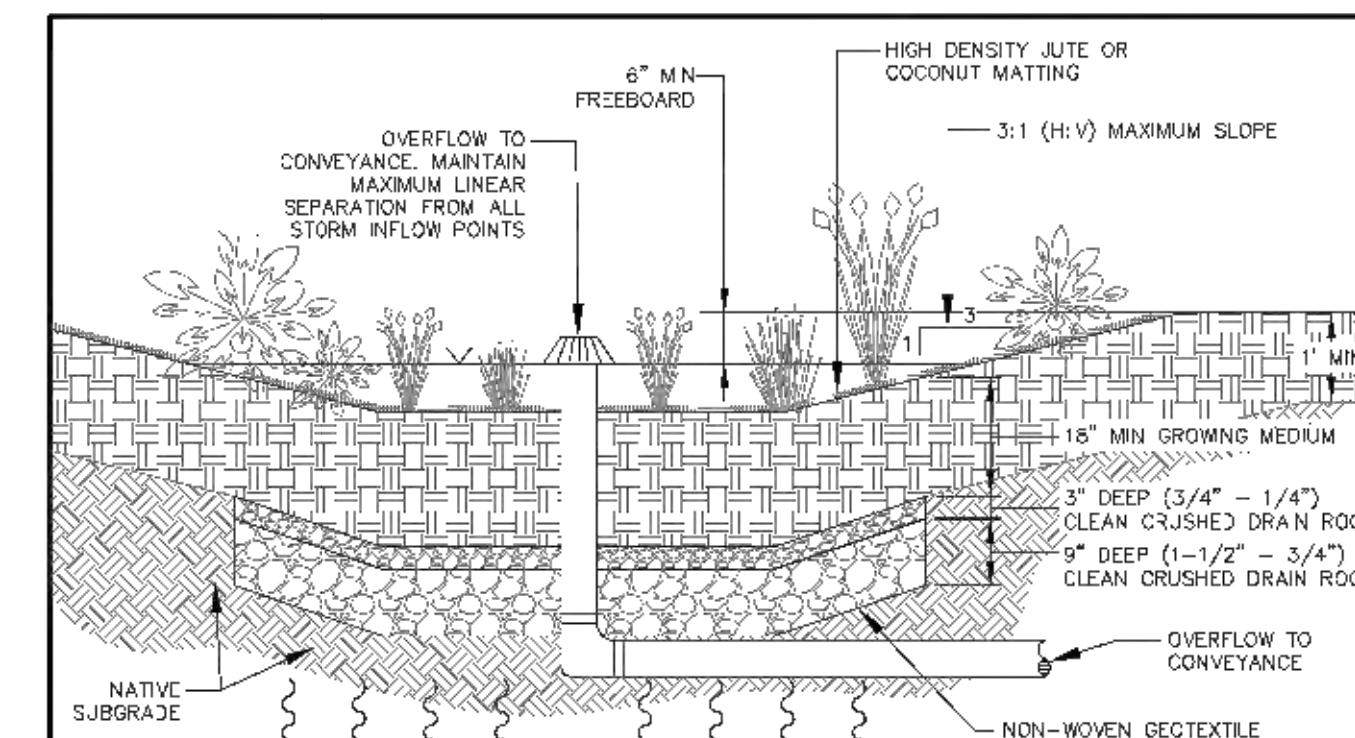
3 DECIDUOUS TREE PLANTING DETAIL
L2.0 SCALE: NTS



4 SHRUB PLANTING
L2.0 SCALE: NTS



5 CONIFER TREE PLANTING DETAIL
L2.0 SCALE: NTS



- NOTES:
1. USE 0 WATER QUALITY AND/OR QUANTITY SYSTEM
 2. PROVIDE OVERFLOW CONVEYANCE SYSTEM, OVERFLOW CONVEYANCE HEIGHT TO ALLOW 6" MAXIMUM PONDING, PIPING TO A MINIMUM OF THE PLUMBING CODE OR SOLVE THE 25 YEAR STORM.
 3. IF USING THE NATIVE SOIL IN TREATMENT FOR SIZING, THE RATE SHALL BE DETERMINED BY ASTM'S ANDING TEST INTO MULTIPLES.
 4. FLOW DISSIPATORS SHOULD BE USED AT ENTRY SLOPE TO THE BASIN IS GREATER THAN 3:1. FLOW DISSIPATORS SHALL BE CONSTRUCTED OUT OF ROCK OR GRAVEL PER DESIGN FLOW VELOCITY AT ENTRY OF THE FACILITY.
 5. PLANTING AREA SHALL HAVE 6" DEEP JUTE OR COCONUT MATTING OVER 15" MINIMUM OF GROWING MEDIUM OR BASE STABILIZATION METHOD AS APPROVED BY THE DISTRICT.
 6. VEGETATION TO BE USED IN THE AREAS OF THE BASIN IS PER APPENDIX "A" OF 2004-2014 "THE WEEDS" REPORT CONDITIONS.
 7. VEGETATION TO BE USED IN OTHER AREAS OF BASIN CONFORMS TO PLANNING DEPARTMENT'S HANDBOOK AS APPROVED BY DISTRICT.

NON-STRUCTURAL PLANTER/RAIN GARDEN DRAWING NO. 19/1	LIDA HANDBOOK REVISED 06-16	CleanWater Services
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Landscape Construction Specifications

General

1. Municipal, County, State and Federal laws, regarding uses and regulations governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
2. The Contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The location of utilities, structures, services shown on these plans are approximate only. Any discrepancies between these plans and the actual field conditions shall be reported to the Owner's representative.
3. The Contractor shall locate and protect all existing utilities, features and plants on and adjacent to the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
4. The Contractor shall obtain all necessary valid licenses, permits, and insurance required to perform the work indicated herein before commencing work, and shall be responsible for coordinating work with all parties involved, including jurisdictional agencies.
5. The Contractor shall use all means necessary to protect the public at all times during the construction process.
6. In the event of conflict between pertinent codes, regulations, structural notes, and/or requirements, or the referenced standards of these Specifications, the provisions of the more stringent shall govern.
7. Weather Limitations: Soil work shall be performed only when the weather conditions do not detrimentally affect the quality of work.

Mandatory Site Inspection Schedule

1. Schedule for Mandatory site inspection procedures. The mandatory site inspections include but are not limited to the following:

Pre-Construction Site Meeting

Contractor shall be notified a minimum of 48 hours prior to meeting to review site conditions, proposed construction and construction schedule, and review construction specifications prior to commencement of construction operations.

Rough Grading Inspection

Contractor shall notify Owner's Representative a minimum 48 hours prior to request for inspection of rough soil grades. All rough grading operations shall be completed per specifications and prepared for inspection. No topsoil placement or backfilling in areas to be landscaped should occur until written approval by Owner's Representative has been issued.

Open Trench Irrigation Inspection

Contractor shall notify Owner's Representative 24 hours prior to inspection for written approval of irrigation trench depths, piping conditions, and pressure testing. (Refer to Irrigation Specification for inspection procedures)

Plant Material Inspection

Plant material quality and layout inspection and written approval shall occur with 24 hours notice to Owner's Representative prior to installation of any plant material. (Refer to Planting Specification for inspection procedures)

Final Landscape Areas and Irrigation Performance Inspection

Contractor shall notify Owner's Representative 48 hours prior to inspection for approval of landscape and irrigation work. Irrigation operations and coverage shall be inspected. Plant quality and layout shall be inspected. Written approval shall be issued upon inspection approval of specified construction. (Refer to relative specification sections)

Erosion Control

1. Provide and maintain positive drainage patterns throughout the construction process, and as directed by the Owner's Representative if weather or construction activity creates drainage conflicts detrimental to construction process or environmental conditions. Comply with jurisdictional requirements.
2. Maintain erosion measures throughout the landscaping process. Restore erosion control measures disturbed by landscaping operations. Remove only upon approval of Owner's Representative.

Invasive Weed Control Prior to Construction

1. Verify and identify conditions requiring eradication of invasive weeds and grasses prior to existing soil surface disturbance as directed by Owner's Representative. Stockpiled topsoil shall be treated to eradicate weeds prior to soil ripping and stockpiling. Weed eradication shall include herbicide and non-herbicide methods only administered by a currently licensed applicator. Eradication shall include and is not limited to elimination of the following invasive species from areas to be landscaped:

Cirsium arvense (Canadian Thistle) Lotus corniculatus (Bird's foot Trefoil)
Convolvulus spp. (Morning Glory) Lythrum salicaria (Purple Loosestrife)
Cytisus scoparius (Scotch Broom) Melilotus spp. (Sweet Clover)
Dipsacus sylvestris (Common Teasel) Myriophyllum spicatum (Eurasian Milfoil)
Equisetum spp. (Horsetail) Phalaris arundinaceae (Reed Canary Grass)
Festuca arundinaceae (Tall Fescue) Rubus discolor (Himalayan Blackberry)
Hedera helix (English Ivy) Solanum spp. (Nightshade)
Holcus canatus (Velvet Grass) Trifolium spp. (Clovers)
Lolium spp. (Rye Grasses)

Rough Grade Inspection

1. Conditions and quality of rough grade shall be inspected and approved by Owner's Representative prior to the commencement of specified work in areas to be landscaped. The contractor shall then be responsible for completion of activities specified herein, and defined on the plan.
2. In all plant bed areas the sub-grade shall be free of unsuitable material such as stumps, roots, rocks, concrete, asphalt, or metals, for a minimum depth of 24 inches, and in all lawn or seeded areas the sub-grade shall be free of unsuitable material for a minimum depth of 12 inches
3. The Owner's Representative, at their discretion, shall direct further rough grading or soil preparation if specified activities have not created a surface satisfactory for further work to commence. Compensation for additional surface work created by conditions unknown at the outset and as directed in writing by the Owner's Representative shall be negotiated at the time of the directive, and prior to the commencement of particular construction activities.

Finish Grading

1. Verify that rough grade in landscape areas is sufficiently below proposed final grade for planting beds and lawn areas to allow for placement of topsoil mix. Refer to grading plans for finish grade references. Verify that grades provide positive drainage at all landscape areas, and slope away from structures at a minimum of 2% slope. Final grades in all landscape areas shall be crowned at center to facilitate proposed drainage.
- 2.

Topsoil Placement and Soil Preparation

1. Contractor shall submit certified topsoil analysis report for owner's approval prior to plant installation.
2. Contractor is responsible for any amendments to soil PH, fertility and/or drainage conditions necessary to ensure proper growing conditions for proposed planting.
3. Topsoil shall be friable soil from existing stockpiled material or imported, with added soil amendments as specified. It shall not be delivered while in a frozen or muddy condition. Protect from erosion at all times. Utilize existing stockpiled topsoil only under the direction of the Owner's Representative. Do not place topsoil in areas that have not been cleared of weeds listed herein. Topsoil shall meet the following requirements:
 - a. Free of roots and rocks larger than 1/2 inch.
 - b. Free of subsoil, debris, large weeds, foreign matter and any other material deleterious to plant material health.
 - c. Acidity range (pH) of 5.5 to 7.5.
 - d. Containing a minimum of 4 percent and a maximum of 25 percent inorganic matter with decaying matter of 25 percent content by volume or less.
 - e. Textural gradations shall be sand: 45-75%, silt: 15-35%, clay: 05-20%.
4. Commercial fertilizer shall be an organic base, complete fertilizer containing in available form by within a minimum of 10N 10P 5K - with 50 percent of the available nitrogen in slow-release formula, Webfoot Organic Delux, or approved equal.a
5. Compost shall be yard debris compost meeting industry and jurisdictional standards.
6. Contractor shall remove all debris, rocks one inch in diameter or larger, sticks, mortar, concrete, asphalt, paper, contaminated soil and any material harmful to plant life, in all planting areas.
7. Contractor shall rototill subgrade six (6) inches deep before placing topsoil. Specified imported topsoil shall be placed at a minimum depth of 12" in all planting areas. Do not place material during wet conditions. Do not work saturated soils in any manner. floated to a level, sloped or rounded grade between any existing or constructed point on the site, such as curbs, walls, walks, paving and the like. Final soil grades in planting beds shall be 2" below adjacent paving and curbs for mulch application.
8. Distribute following soil amendments to all landscape areas in even layers and power rototill or spade to a minimum depth of six (6) inches into topsoil, as follows:

Planting Beds:

 - a. Compost: Apply nine cubic yards per 1000 sq. ft.
 - b. Commercial Fertilizer: Apply 50 pounds per 1000 sq. ft.
9. Preparation of backfill planting soil mix shall be as follows:

Thoroughtly blend and mix the following proportion of materials while in a moist condition:

 - Three cubic yards topsoil
 - 1 1/2 cubic yards compost
 - 1 1/2 cubic yards medium bark,
 - 10 pounds commercial fertilizer
 - Five pounds bonemeal
10. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus materials. Any paved area or surfaces stained or soiled from landscaping materials shall be cleaned with a power sweeper using water under pressure. Building surfaces shall be washed with proper equipment and materials as approved by the Owner's representative.

Seed Installation

1. Seeding operations shall occur only between March 15 and October 15.
2. Seeding is not permitted during cold weather (less than 32 degrees F), hot weather (greater than 80 degrees F), when soil temperature is less than 55 degrees F, when ground is saturated, or when wind velocity is greater than 10 mph.
3. Contractor shall float rough graded seedbed. Do not disturb natural drainage patterns. Remove rocks, clumps, or debris at surface. Lightly scarify surface.
4. Contractor shall apply 10 pounds commercial fertilizer per 1,000 square feet of surface area before spreading seed.
5. Lawn Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Northwest Supreme Lawn Mix" grass seed per 1,000 square feet.
6. Fieldgrass Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Diamond Green" grass seed per 1,000 square feet.
7. The Contractor shall protect and maintain the seeded area by fencing, watering, feeding, reseeding, mowing and repairing as necessary to establish a thick, uniform stand of grass acceptable to the Owner's representative. Contractor to maintain lawn for a minimum of 3 mowings.

Trees, Shrubs, & Groundcover Installation

1. Contractor shall guarantee materials and workmanship in general landscape areas for one year from date of conditional acceptance. Plant material shall be in accordance with American Standard for Nursery Stock (ANSI Z60.1), shall comply with State and Federal laws with respect to inspection for insect infestation and plant diseases and shall be free of insect pests and plant diseases.
2. Plant materials shall have a minimum of 6 inches of prepared soil under the root ball, and a minimum of 6 inches on each side of the root ball. Tree roots or root ball shall have a minimum of 12 inches of plant soil under the root ball and a minimum of 12 inches on each side of the root ball, or roots. Final grade should maintain root ball slightly above surrounding grade (not to exceed one inch) for bark mulch installation.
3. Root control barrier shall be installed in trenches, alongside hardscape structures and utility lines such as sidewalks, curbs, pavement, walls, and concrete located within 5 feet of new trees measured from the trunk. Root barrier is to be 40 - 60 mil HDPE, minimum 18" deep and extend 10' in either direction measured from the center of the trunk.
4. Mulch all planting beds after planting, final raking, grading and leveling of the planting beds with a layer of Hem/Fir medium screened bark mulch as specified on the plans.
5. Balled and burlapped trees, boxed trees or bare root trees shall be either guyed or staked as detailed on the plans.
6. Remove all dead or dying branches and criss-crossing branches from trees. Do not cut leader.
7. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus material. All paved areas or surfaces stained or soiled from landscape material shall be cleaned with a water-pressure power sweeper. Building surfaces shall be washed with proper equipment and materials as approved by the Owner.
8. River Rock Mulch: River rock mulch shall be minimum 3/4" to maximum 1-1/2" diameter washed round river rock, uniform in size. All fines shall be screened from the aggregate within a one-quarter inch (1/4") tolerance. Color shall be white to light brown. Contractor shall provide the owner with samples of river rocks for approval prior to installation.

Maintenance

1. Contractor shall maintain general landscape areas for one year after accepted completion of project.
2. Maintenance shall include; all grade resettlement, weeding, policing and removal of plant material debris during maintenance period. Remove and replace dead plant material as needed at no cost to owner for maintenance period. Seasonal leaf fall removal is outside the scope of this maintenance specification.
3. Any unsatisfactory condition arising during this maintenance period shall be brought to the attention of the Owner's Representative immediately.



ISSUED DATE 1 09/13/2019 ARCHITECTURAL REVIEW SET 2



4135 SW Cornell Street, Suite 200, Beaverton, OR 97005
503.620.3030 ext 1003.620.6500 Fax 1 www.aaieng.com



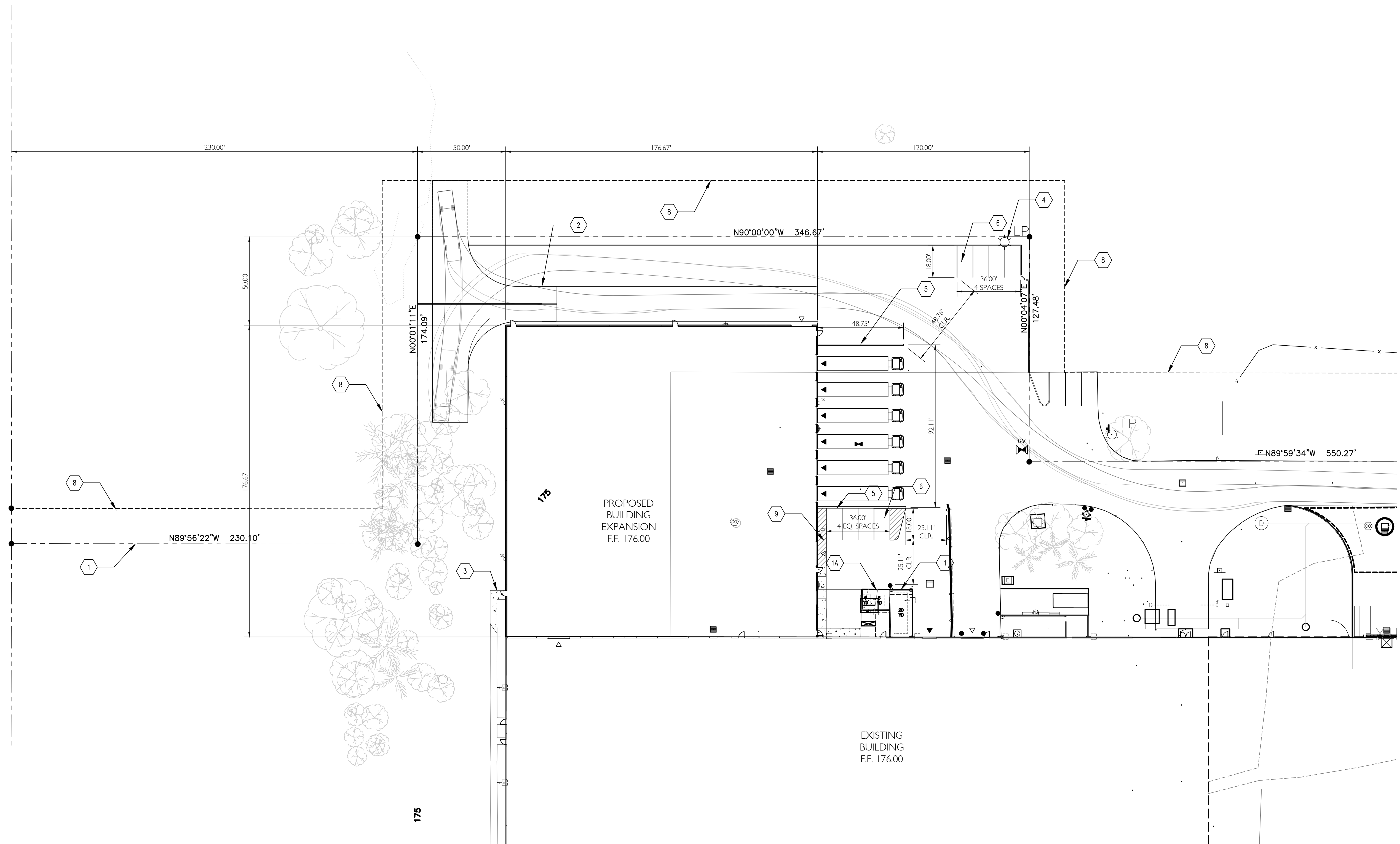
15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1288
FAX: 503.226.1670
WWW.CIDAINC.COM

BUILDING EXPANSION
JAE OREGON
11555 SW LEVETON DR
TUALATIN, OR

LANDSCAPE &
IR SPECS
L3.0

JOB NO. 190170.01

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NORTH
1
A0.2 ENLARGED SITE PLAN
1" = 30'-0"

GENERAL NOTES

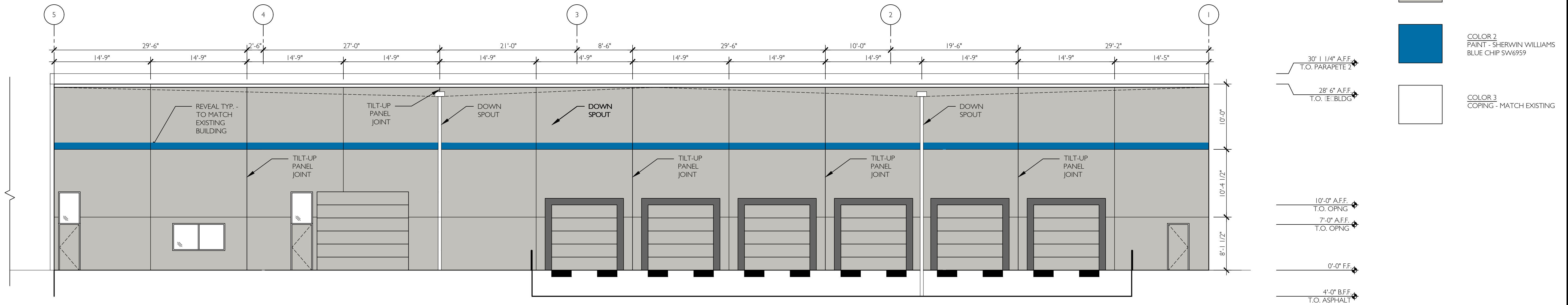
- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- TYPICAL CURB RADIUS = 3' UNLESS NOTED OTHERWISE.
- PRIOR TO SITE CLEARING, GRADING OR CONSTRUCTION IN THE VEGETATED CORRIDOR, WATER QUALITY AND SENSITIVE AREAS SHALL BE SURVEYED, STAKED AND TEMPORARILY FENCED. VEGETATED CORRIDOR SHALL REMAIN FENCED AND UNDISTURBED DURING CONSTRUCTION.
- EXISTING CONDITIONS BASED ON BOUNDARY SURVEY BY WEDDLE SURVEYING INC., JULY 2004 AND SEPTEMBER, 2019.

LEGEND

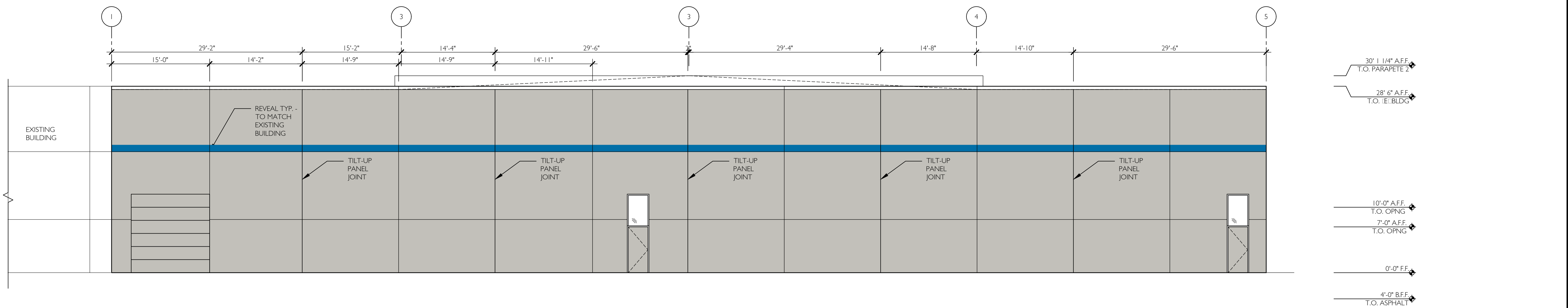
- PROPERTY BOUNDARY LINE
- - - - - MANEUVERING, LANDSCAPE AND SLOPE EASEMENT EXISTING
- (E) TRANSFORMER
- (E) ELECTRIC VAULT
- (E) CLEANOUT
- (E) ELECTRIC PANEL
- CATCH BASIN
- DOCK HIGH DOOR
- DRIVE-IN DOOR
- LP LIGHT POLE
- BUILDING MOUNTED LIGHT FIXTURE

KEY NOTES

- 1 (E) COVERED TRASH ENCLOSURE TO REMAIN
- 1A (E) TRASH ENCLOSURE TO REMAIN
- 2 FIRE TRUCK TURN AROUND
- 3 NEW SIDEWALK
- 4 NEW LIGHT POLE
- 5 NEW RETAINING WALL
- 6 NEW PARKING
- 7 PROPERTY LINE
- 8 MANEUVERING, LANDSCAPE AND SLOPE EASEMENT
- 9 ACCESSIBLE ROUTE STRIPING



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

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