





**GENERAL NOTES**

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED – DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF TUALATIN.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CWS FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF TUALATIN FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- NOTIFY CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 48-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 – 209.155.

**CONSTRUCTION NOTES****DEMOLITION**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

**UTILITIES**

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

**STORM AND SANITARY**

- BEGIN LAYING STORM DRAIN PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 1 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

**WATER**

- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
- ALL WATER AND FIRE PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKS PER DETAIL.
- ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

**EARTHWORKS**

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

**PAVING**

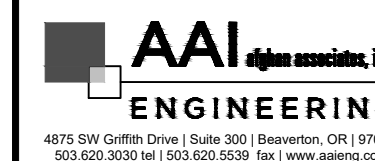
- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

**MATERIAL NOTES**

- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
- STORM SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE SCH 80; AS INDICATED IN THE PLANS.
- PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

**PRELIMINARY  
PLAN ONLY-NOT  
FOR  
CONSTRUCTION**

ISSUED DATE  
1 09/13/2019 ARCHITECTURAL REVIEW SET  
2



AAI ENGINEERING  
4875 SW Gifford Street, Suite 200, Beaverton, OR 97005  
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BUILDING EXPANSION

**JAE OREGON**

11555 SW LEVETON DR  
TUALATIN, OR

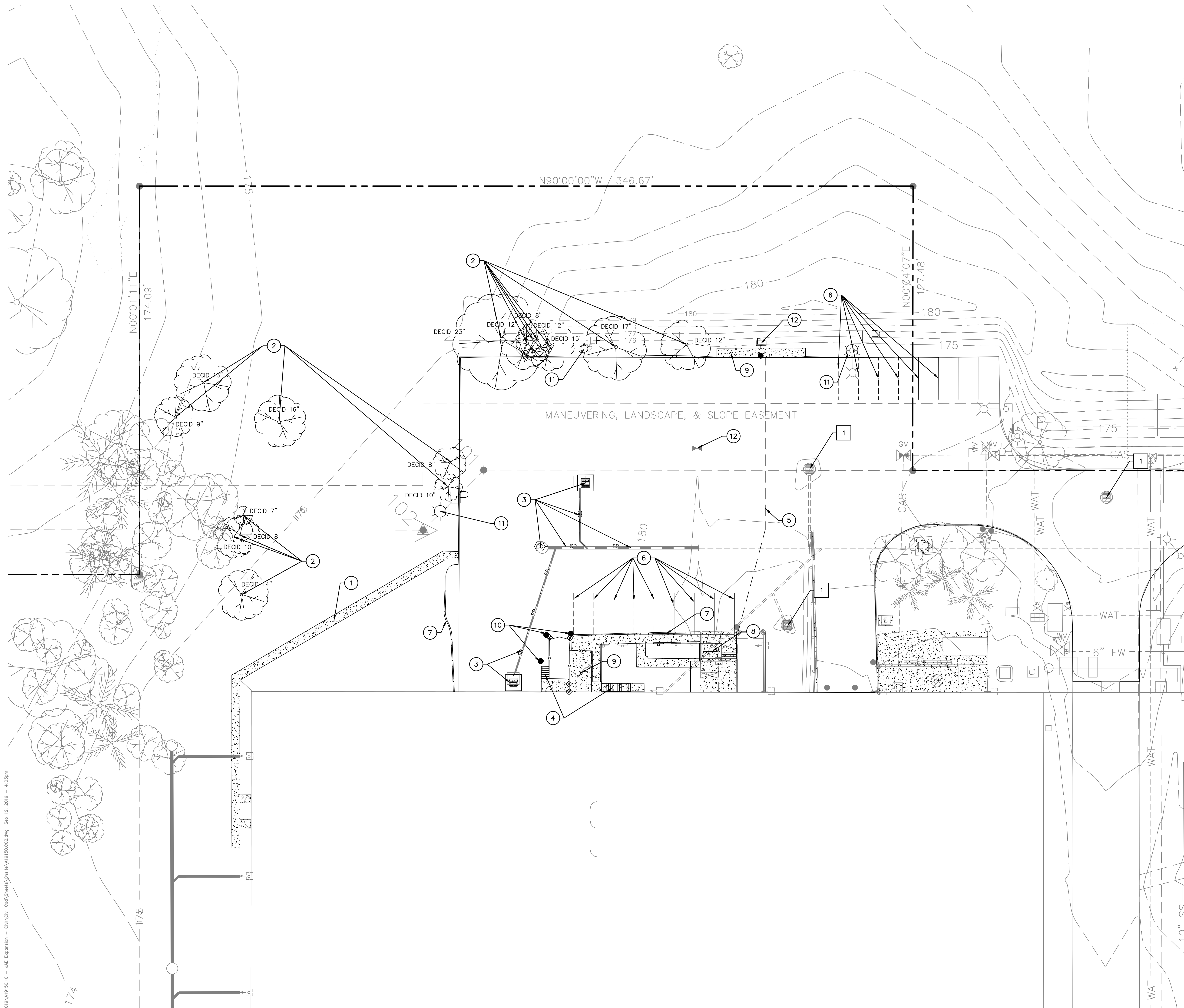
GENERAL NOTES

**C0.1**

JOB NO. 190170.01

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**SHEET NOTES**

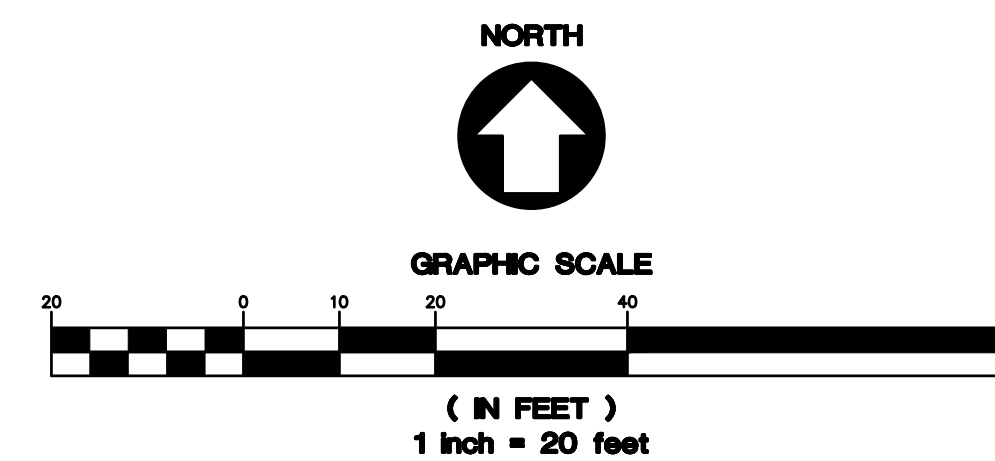
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN. SEE ARCHITECTURAL PLANS FOR TREE PROTECTION.

**[X] PROTECTION NOTES**

- 1 PROTECT EXISTING CATCH BASIN

**[X] DEMOLITION NOTES**

- 1 REMOVE EXISTING SIDEWALK
- 2 REMOVE EXISTING TREE
- 3 REMOVE EXISTING STORM STRUCTURES
- 4 REMOVE EXISTING STAIRS
- 5 SAWCUT AND REMOVE EXISTING AC
- 6 REMOVE EXISTING STRIPING
- 7 REMOVE EXISTING CURBING
- 8 REMOVE EXISTING ELECTRICAL STRUCTURE
- 9 REMOVE EXISTING CONCRETE
- 10 REMOVE EXISTING BOLLARD
- 11 REMOVE EXISTING LIGHTPOST
- 12 REMOVE EXISTING GAS VALVE. CONTRACTOR TO VERIFY VALVE IS NOT CONNECTED TO AN EXISTING GAS VALVE.



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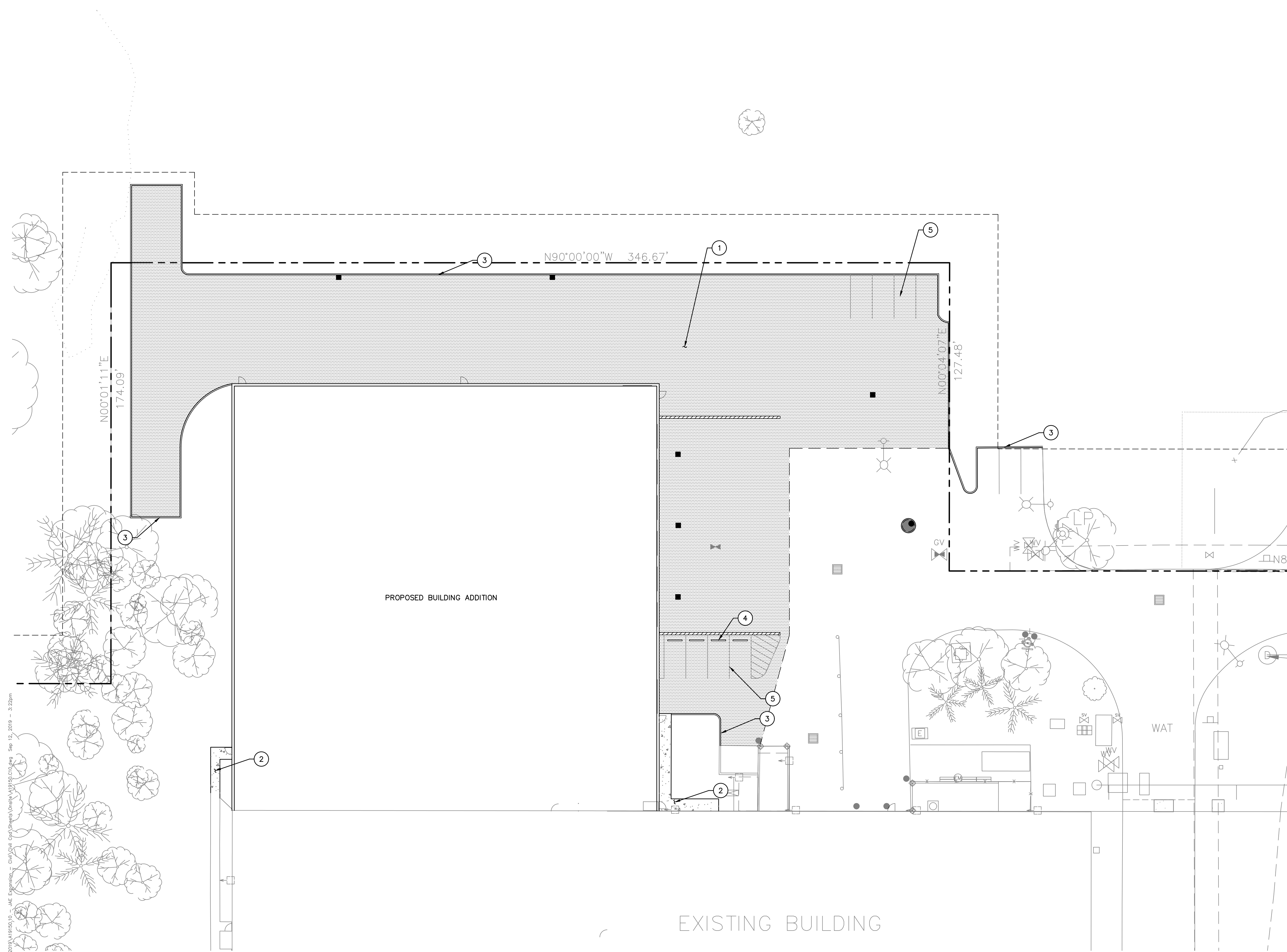
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EXISTING CONDITIONS

**C0.2**  
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**SHEET NOTES**

1. SEE SHEET C0.1 FOR GENERAL NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

**(X) CONSTRUCTION NOTES**

1. INSTALL ASPHALT SURFACE PER DETAIL 1/C4.0
2. INSTALL CONCRETE SIDEWALK 2/C4.0
3. INSTALL CURB PER DETAIL 3/C4.0
4. INSTALL WHEEL STOPS PER DETAIL 4/C4.0
5. INSTALL STRIPING, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

**LEGEND**

PROPERTY LINE	
ASPHALT SURFACING	
PROPOSED SIDEWALK	

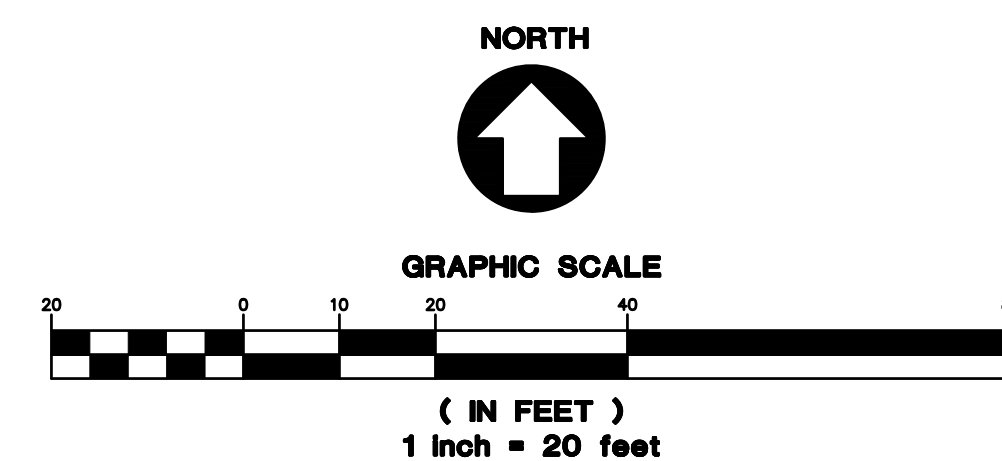
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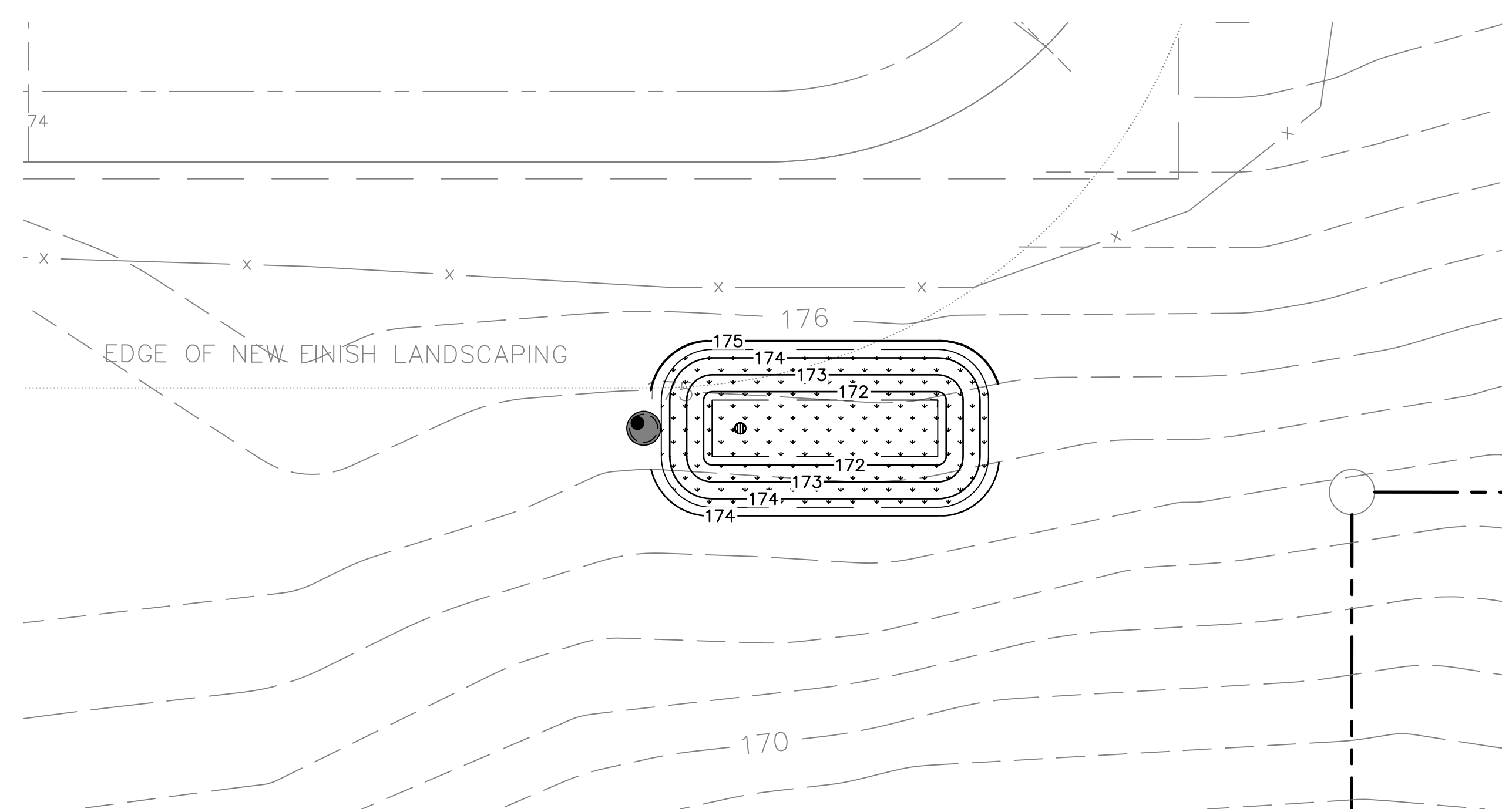
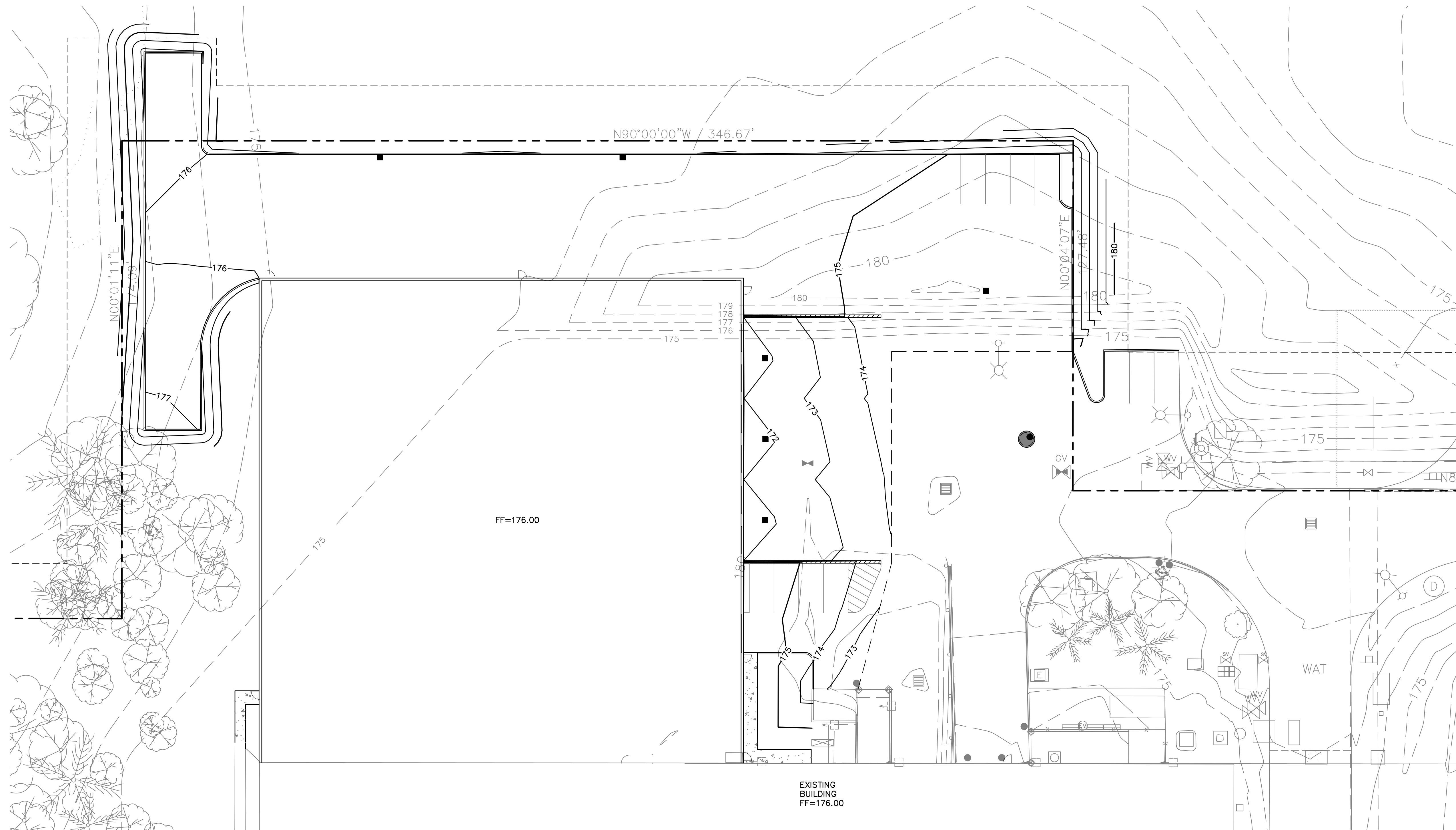


HARDSCAPE PLAN

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**SHEET NOTES**

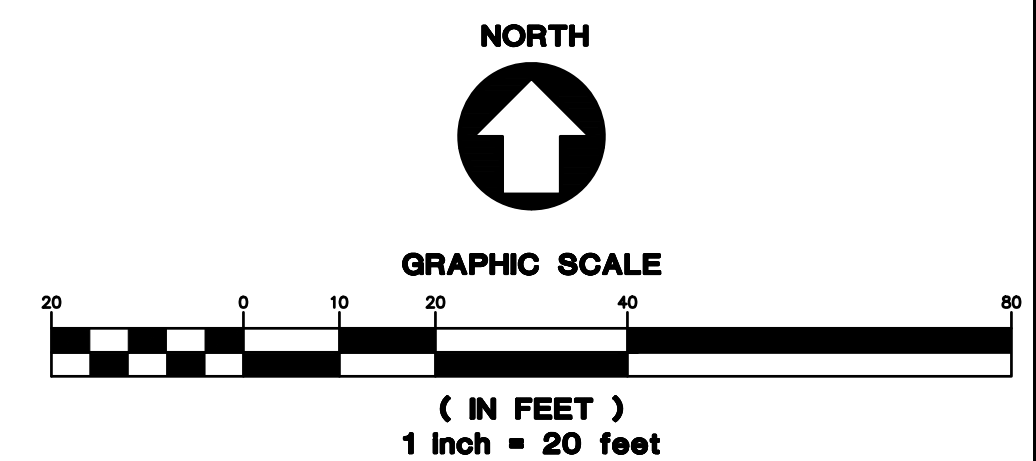
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
3. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
4. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
5. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
6. FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
7. GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

**GRADING LABEL LEGEND**

CALLOUT	DESCRIPTION
XX.XX	SPOT ELEVATION
XX.XX	DESCRIPTION LISTED BELOW.
BS	BOTTOM OF STAIRS
BW	FINISHED GRADE AT BOTTOM OF WALL
DS	DOOR SILL
EX	EXISTING GRADE
FF	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
G	GROUND
SW	SIDEWALK
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF STAIRS
TW	FINISHED GRADE AT TOP OF WALL

**LEGEND**

EXISTING CONTOUR MINOR	---	102
EXISTING CONTOUR MAJOR	---	100
PROPOSED CONTOUR MINOR	---	102
PROPOSED CONTOUR MAJOR	---	100



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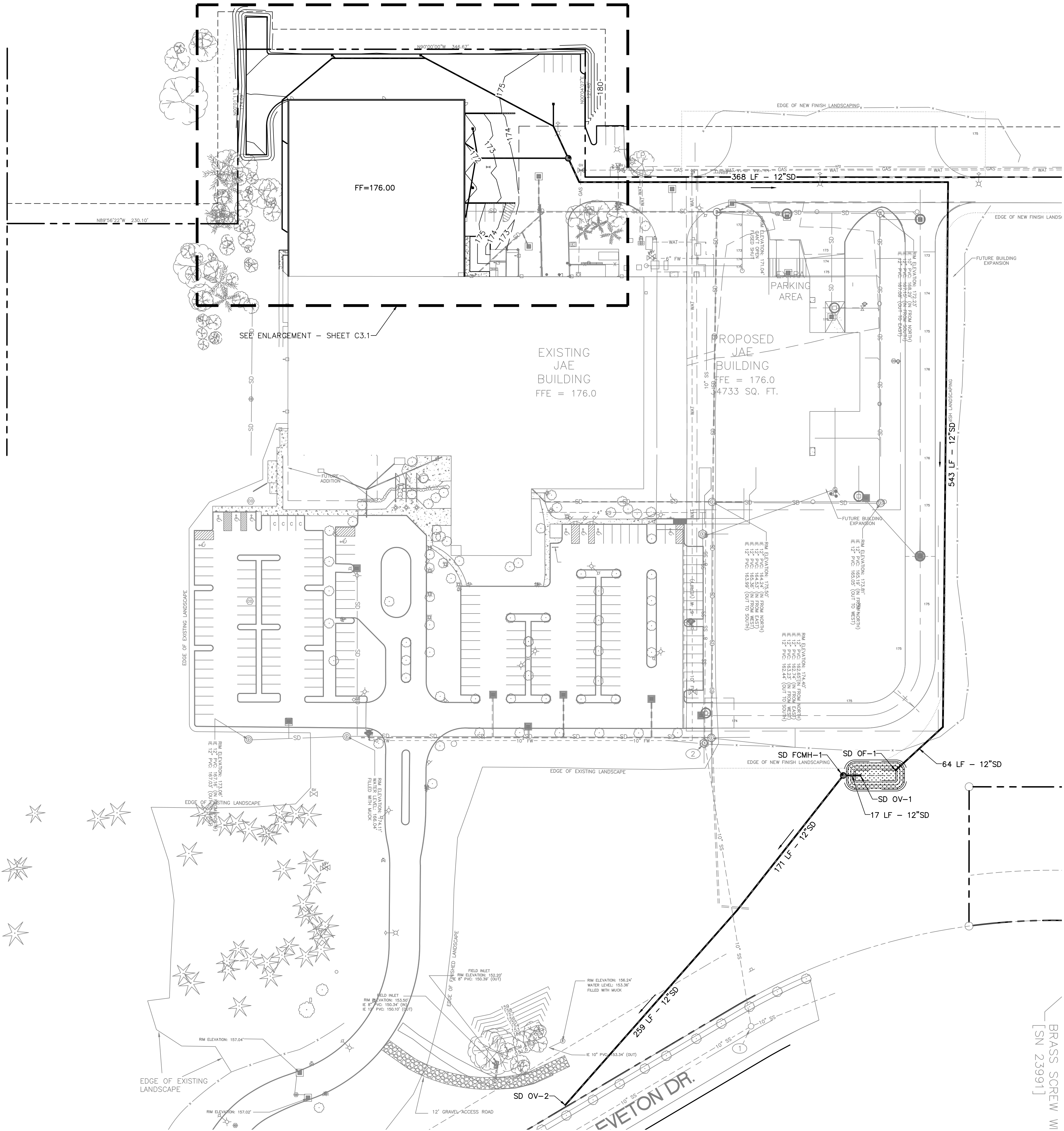
GRADING PLAN

**C2.0**

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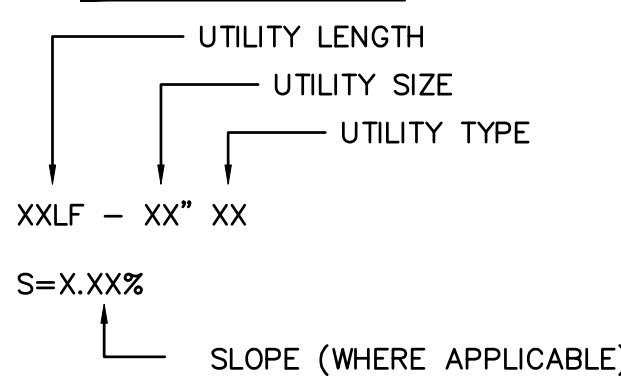


**SHEET NOTES**

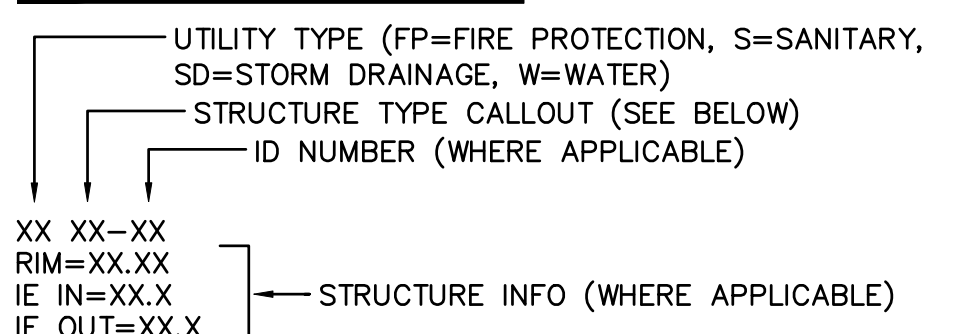
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
3. PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL B/C4.0.
4. ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
5. THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
6. CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
7. DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
8. UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
9. INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
10. CONTRACTOR TO VERIFY SANITARY AND WATER SIZING WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.

**LABEL LEGEND**

**PIPE LABELS**



**STRUCTURE LABELS**



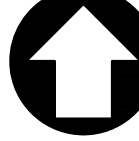
**STRUCTURE TYPES**

CALLOUT	DESCRIPTION
CB	CATCH BASIN, PER DETAIL 6/C4.0
FCMH	FLOW CONTROL MANHOLE PER DETAIL 10/C4.0
OF	OUTFALL PER DETAIL 1/C4.1
OV	OVERFLOW PER DETAIL 9/C4.0
RD	ROOF DRAIN CONNECTION
WQM	WATER QUALITY MANHOLE PER DETAILS 250,260/C4.1

**LEGEND**



NORTH



GRAPHIC SCALE



( IN FEET )  
1 inch = 50 feet

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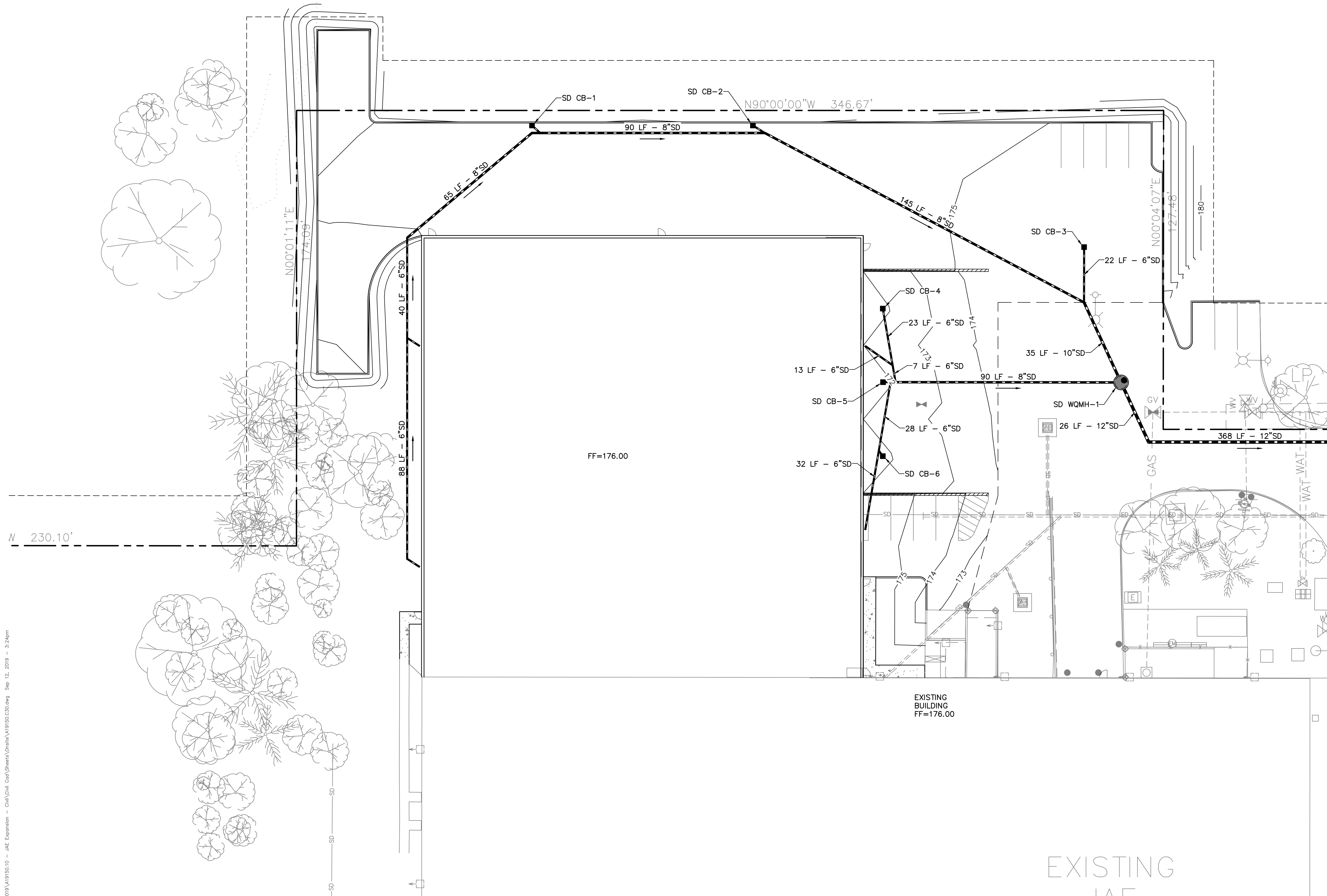
BUILDING EXPANSION  
**JAE OREGON**  
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TUALATIN, OR

UTILITY PLAN

**C3.0**  
JOB NO. 190170.01

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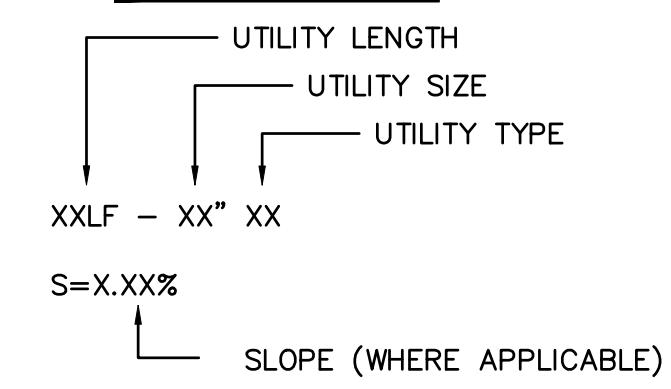


**SHEET NOTES**

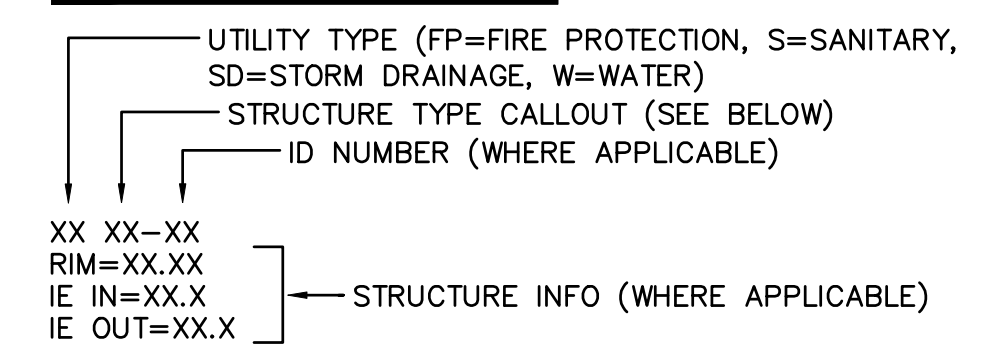
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL X/SHEETNUMBER.
- INSTALL THRUST BLOCKS ON FIRE AND WATER LINES PER DETAIL X/SHEETNUMBER.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
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**LABEL LEGEND**

**PIPE LABELS**



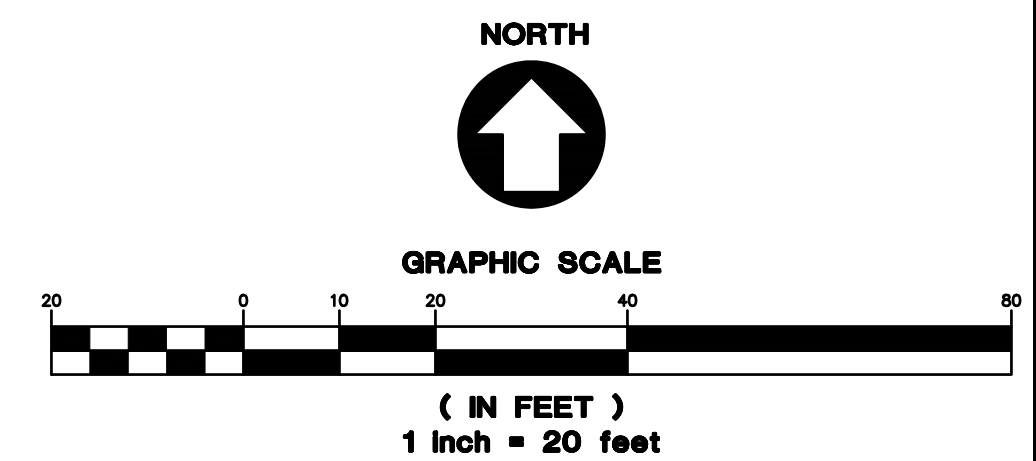
**STRUCTURE LABELS**



**STRUCTURE TYPES**

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OV	OVERFLOW PER DETAIL 9/C4.0
RD	ROOF DRAIN CONNECTION
WQMH	WATER QUALITY MANHOLE PER DETAILS 250,260/C4.1

**LEGEND**



**PRELIMINARY  
 PLAN ONLY-NOT  
 FOR  
 CONSTRUCTION**

ISSUED DATE: 1 09/13/2019 ARCHITECTURAL REVIEW SET 2



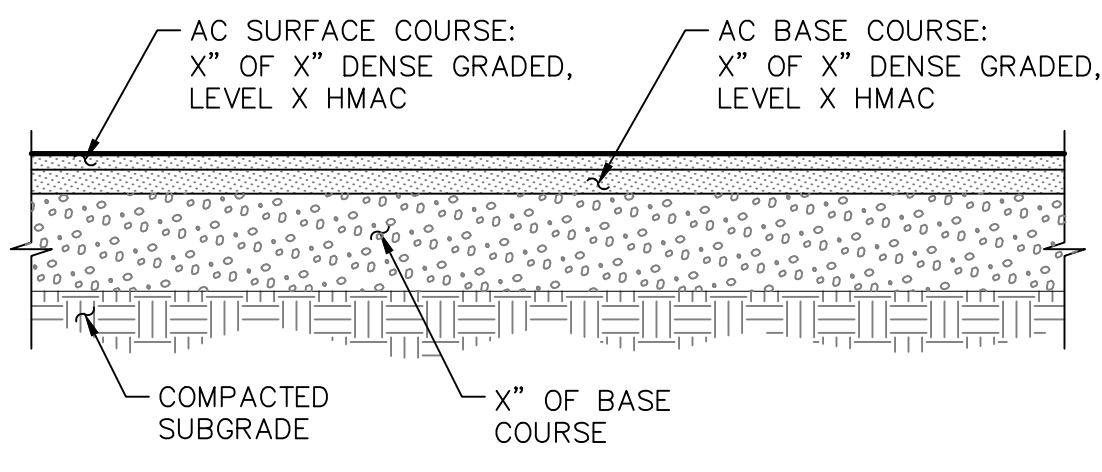
15895 SW 72ND AVE SUITE 200  
 PORTLAND, OREGON 97224  
 TEL: 503.228.1288  
 FAX: 503.228.1870  
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BUILDING EXPANSION  
**JAE OREGON**  
 11555 SW LEVETON DR  
 TUALATIN, OR

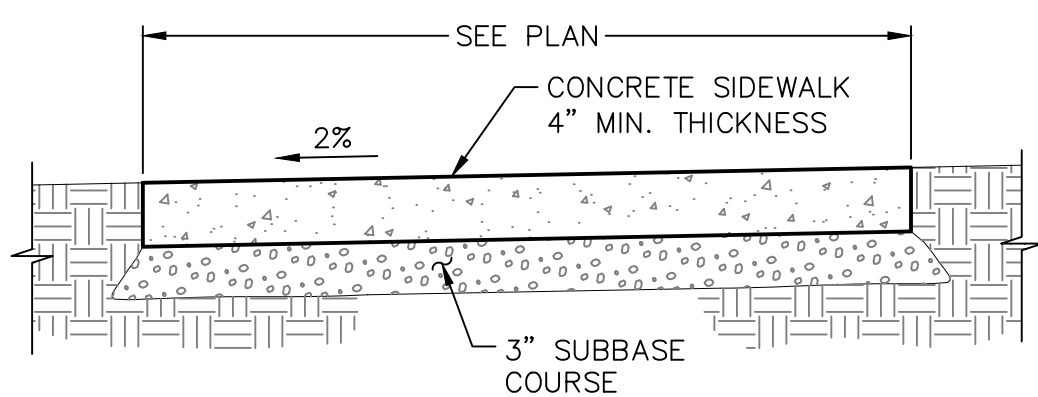
UTILITY ENLARGEMENT

**C3.1**  
 JOB NO. 190170.01  
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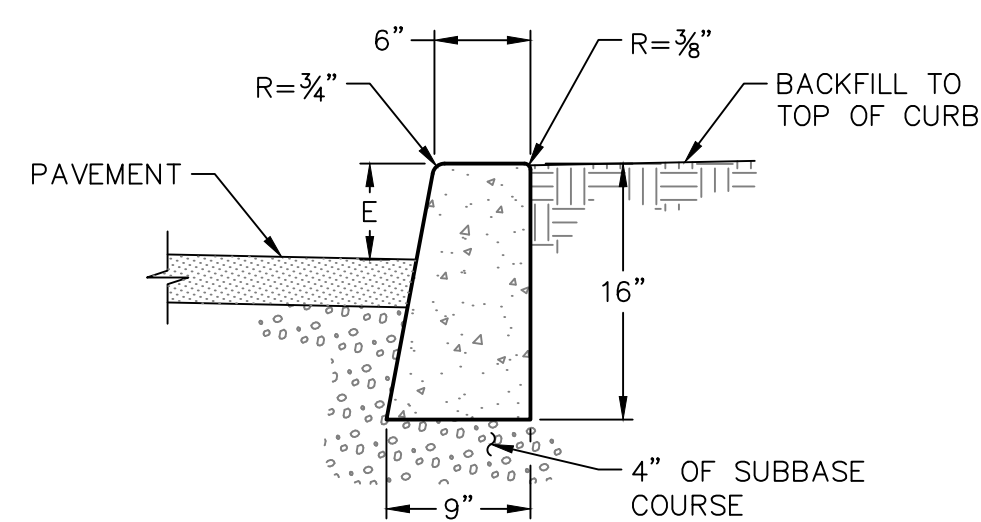


**1 ASPHALT PAVEMENT SECTION**  
SCALE: NTS



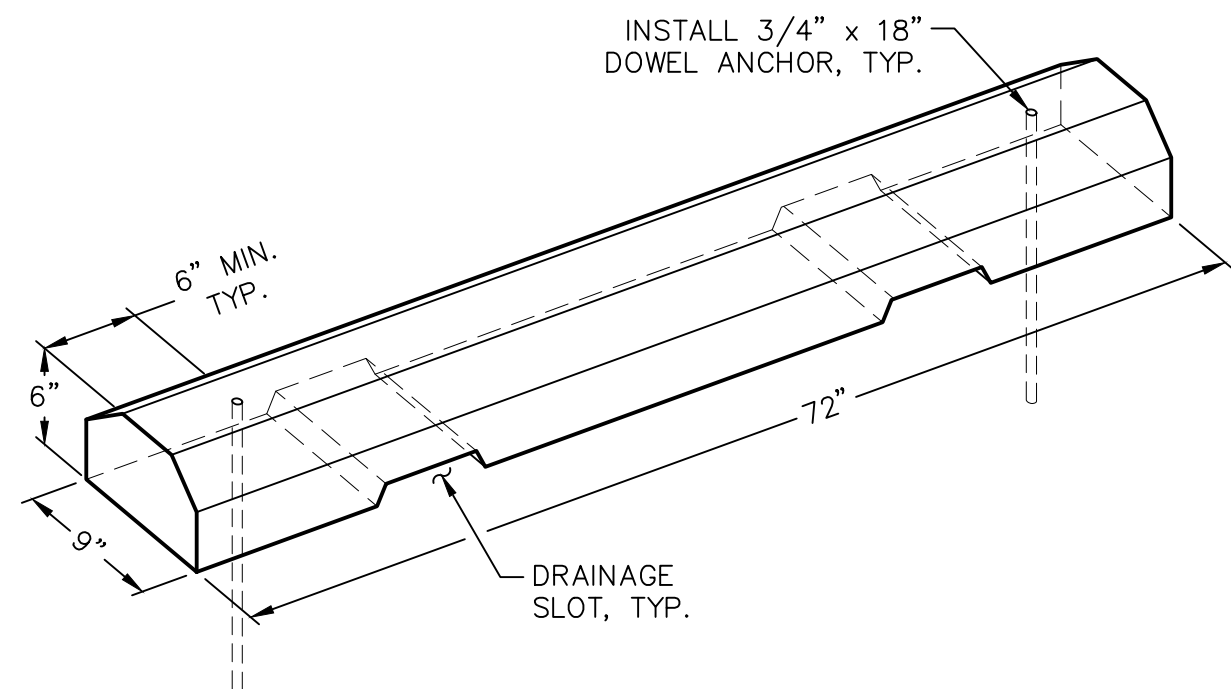
- NOTES:**  
1. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.

**2 CONCRETE SIDEWALK**  
SCALE: NTS



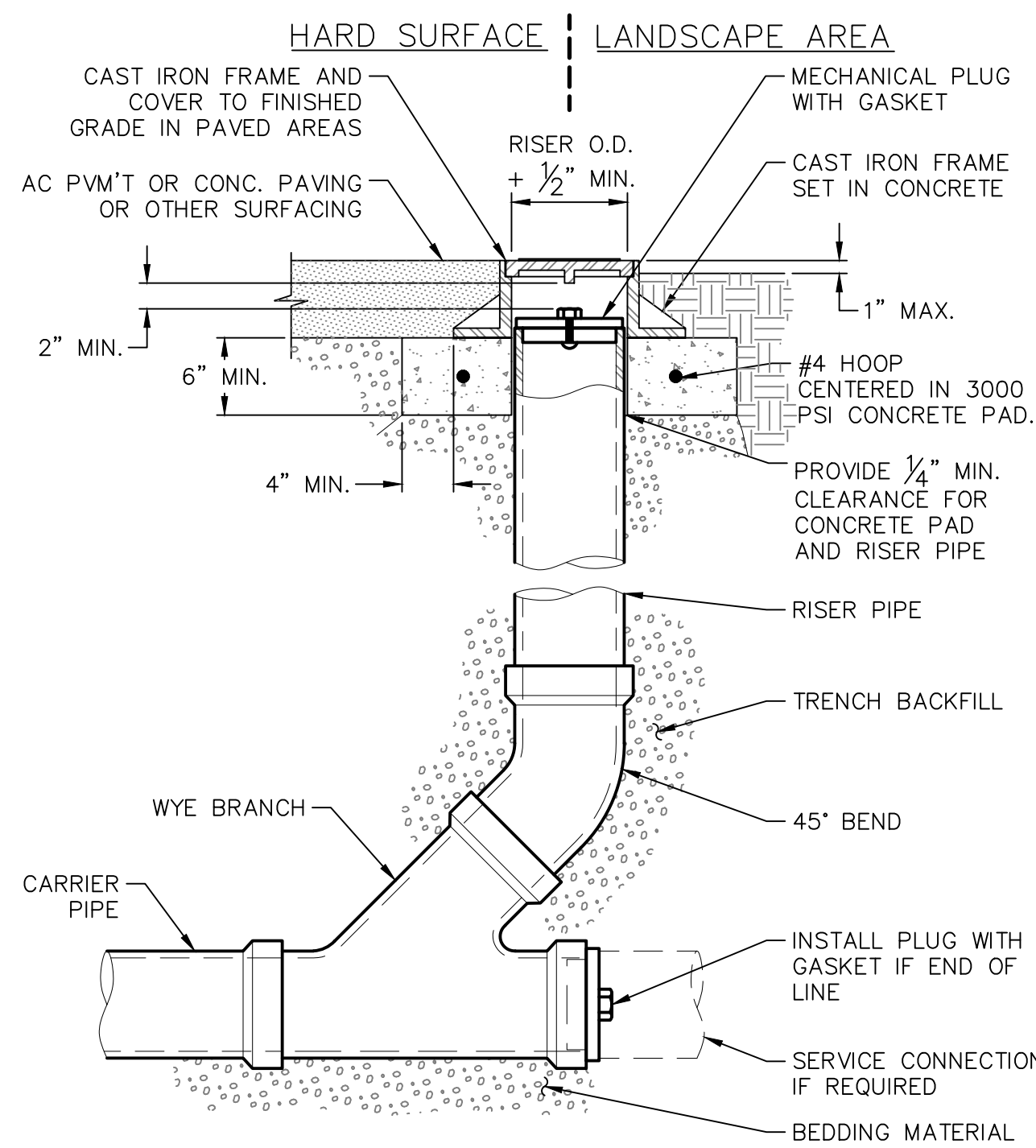
- NOTES:**  
1. CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.  
2. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.  
3. TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.  
4. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

**3 CONCRETE CURB - STANDARD**  
SCALE: NTS



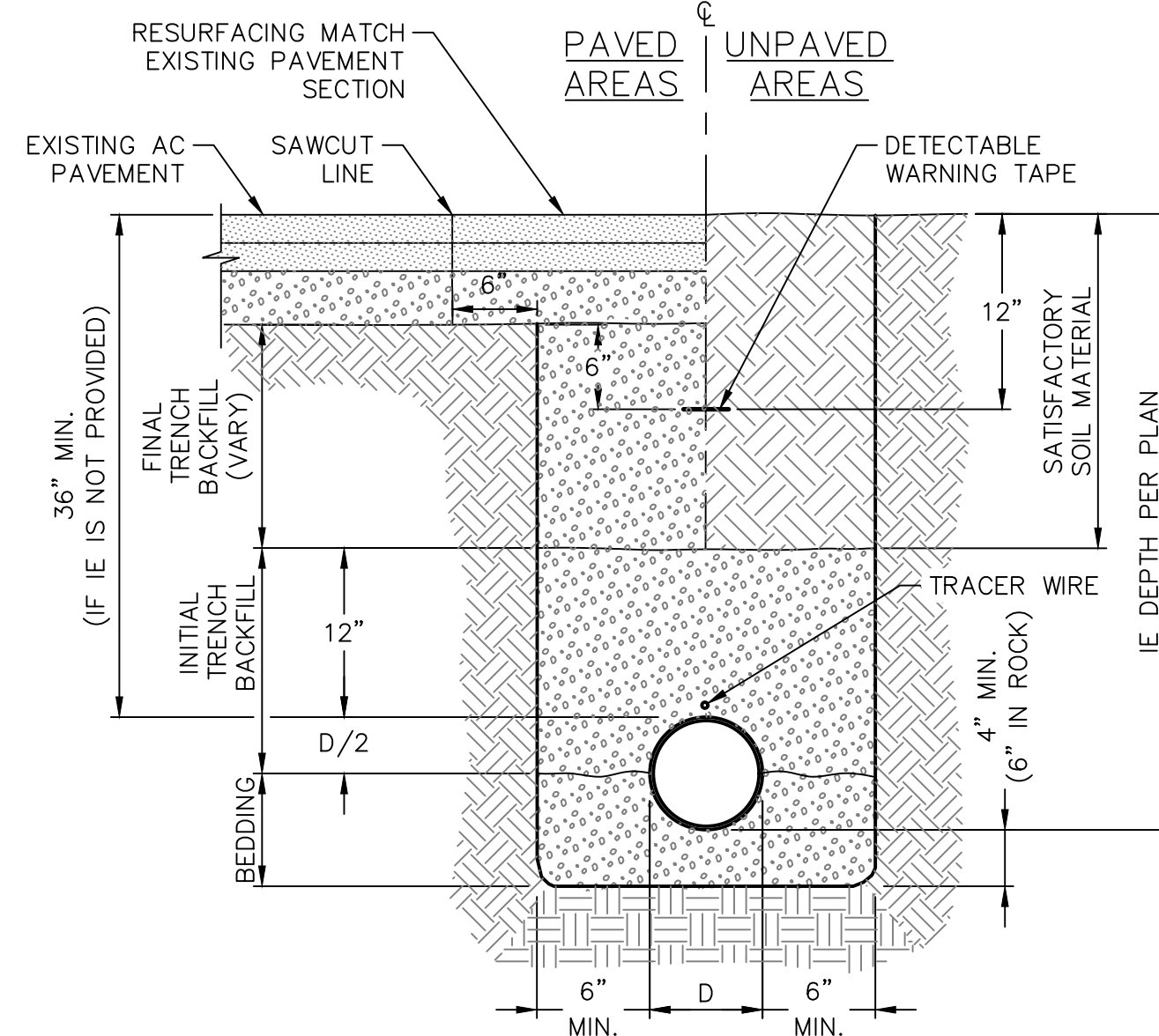
- NOTES:**  
1. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

**4 PRECAST CONCRETE WHEEL STOP**  
SCALE: NTS

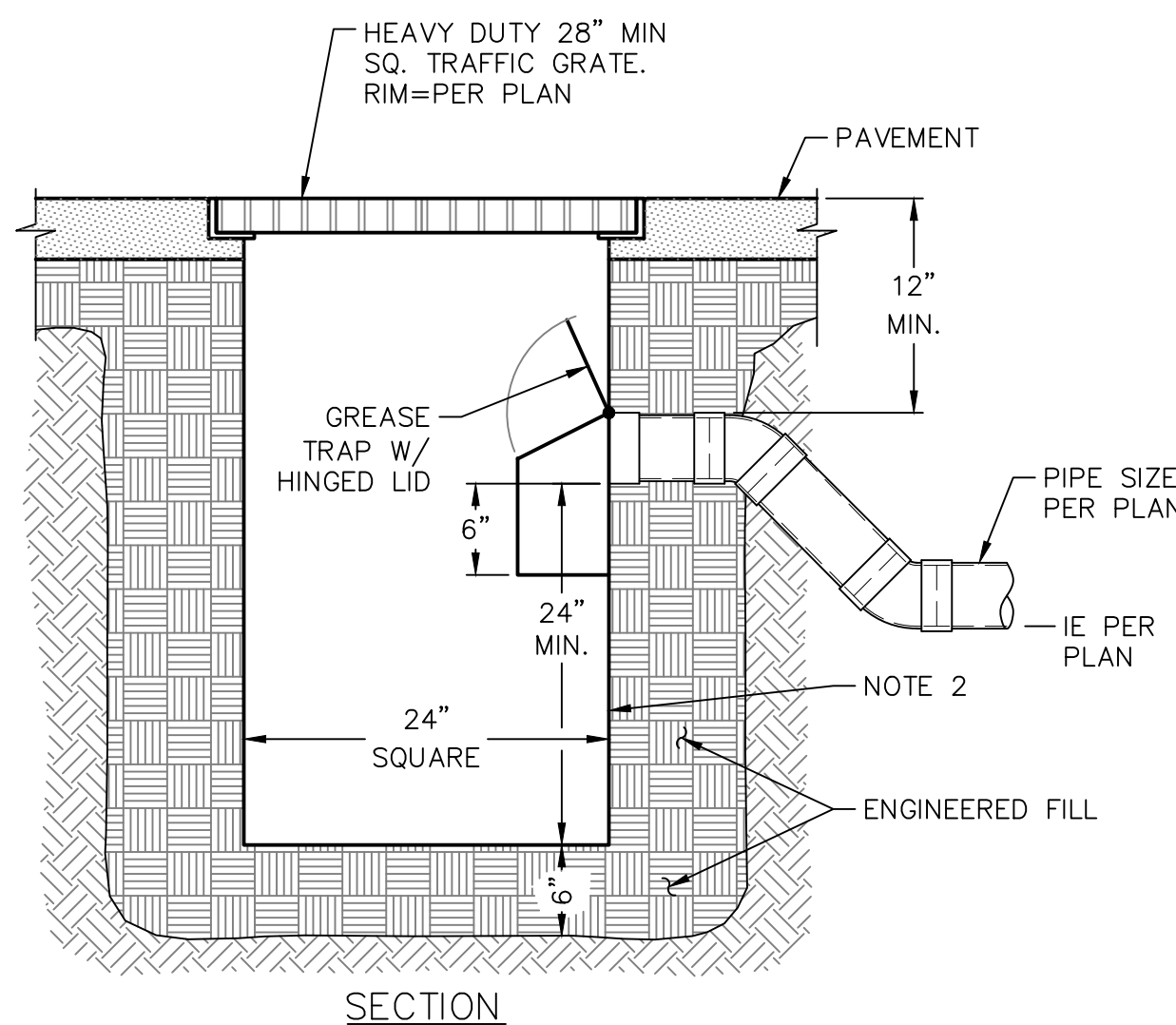


- NOTES:**  
1. LAY PERFORATED DRAIN PIPE ON MIN. 0.5% GRADIENT, WIDENING EXCAVATION AS REQUIRED. MAINTAIN PIPE ABOVE 2:1 SLOPE AS SHOWN.  
2. CONNECT TO FOUNDATION DRAIN STUBOUT SHOWN ON PLANS.

**7 PERIMETER FOUNDATION DRAIN**  
SCALE: NTS

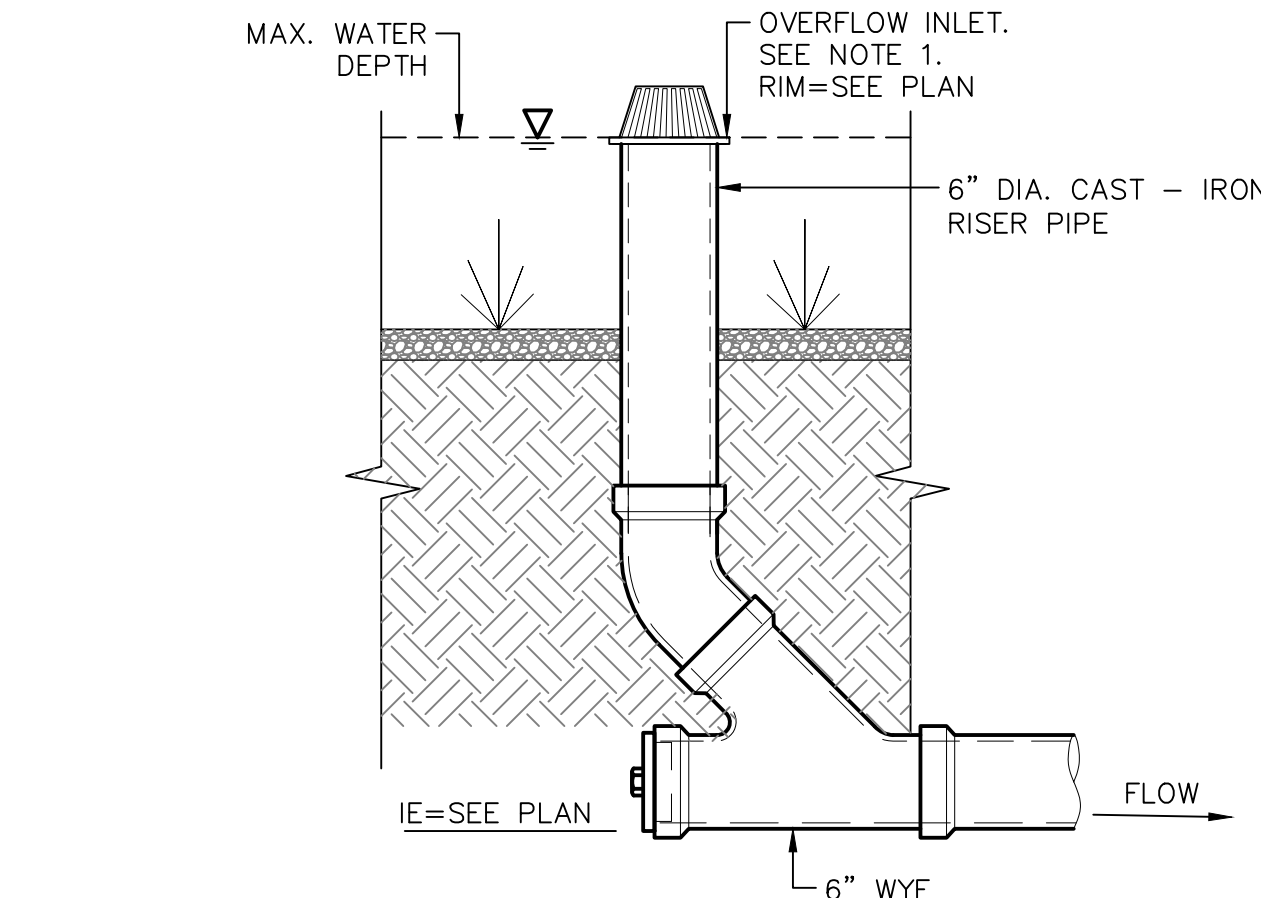


**8 TYPICAL PIPE BEDDING AND BACKFILL**  
SCALE: NTS



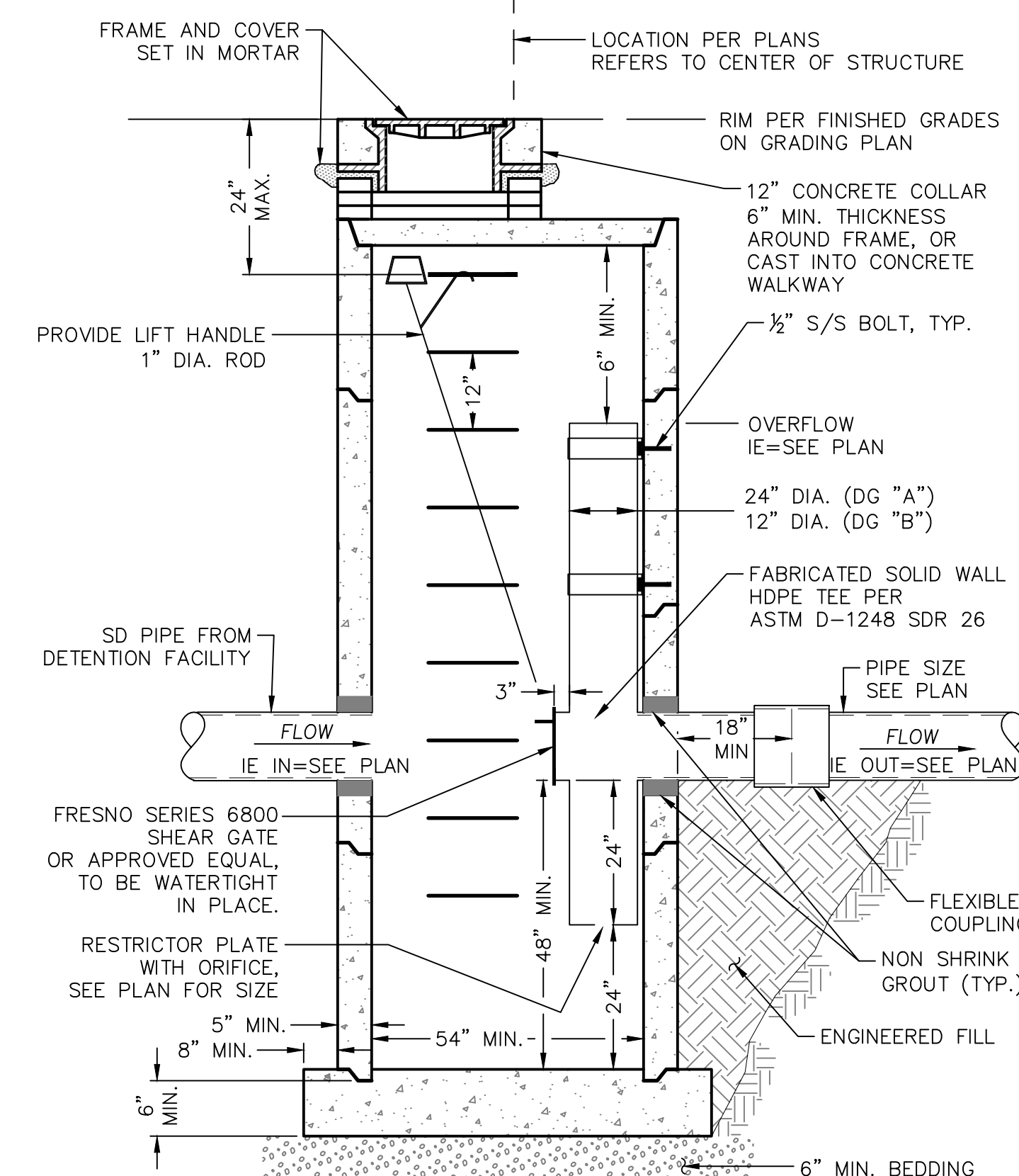
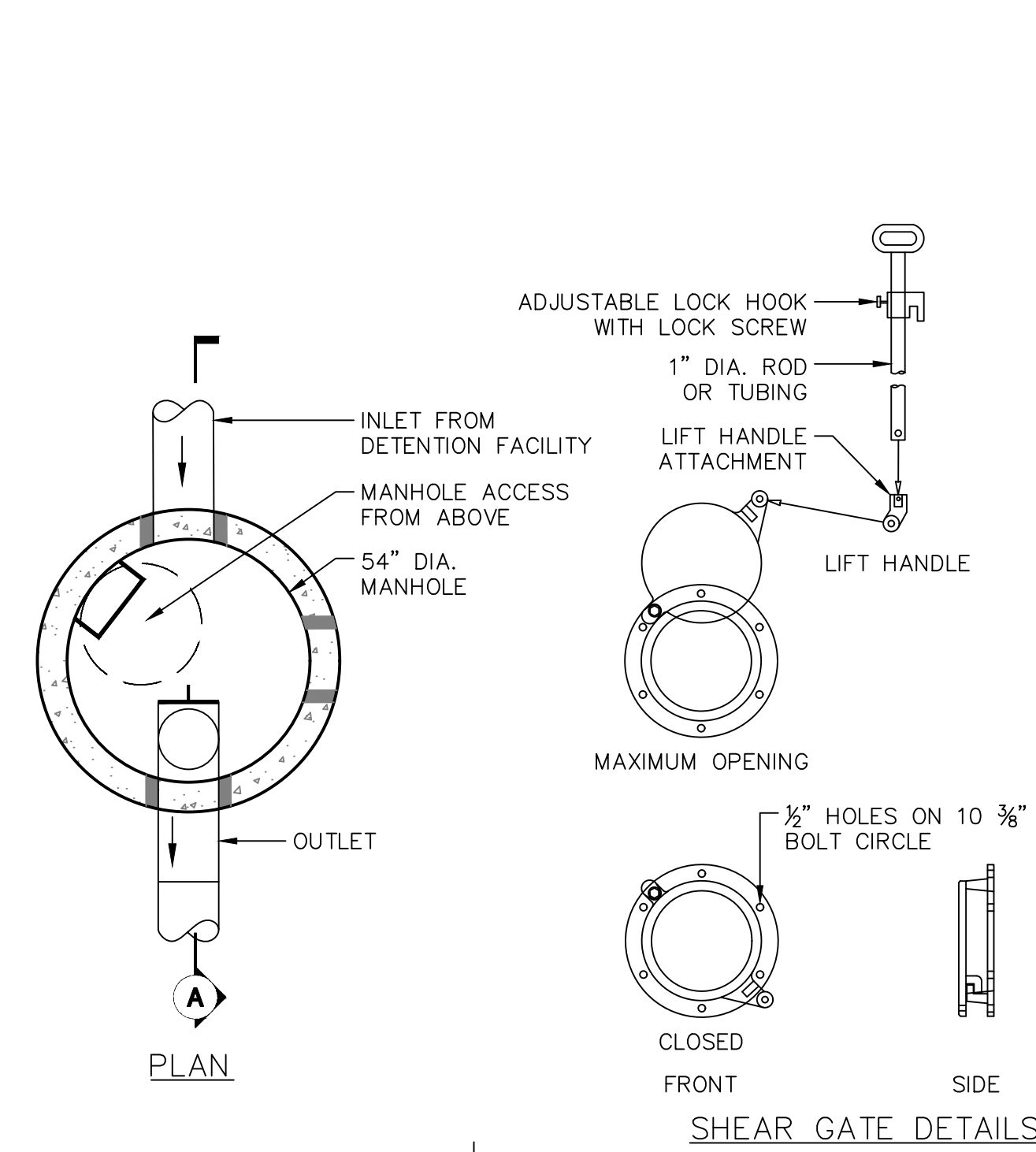
- NOTES:**  
1. CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTOR'S COMPACTION EQUIPMENT.  
2. 1/4" STEEL PLATE, BITUMINOUS COATED. AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

**6 TRAPPED CATCH BASIN**  
SCALE: NTS



- NOTES:**  
1. OVERFLOW INLET WITH ATRIUM GRATE. ATRIUM GRATE SHALL BE 6" DIAMETER FROM NDS OR APPROVED EQUAL.

**9 OVERFLOW INLET**  
SCALE: NTS



**10 FLOW CONTROL MANHOLE**  
SCALE: NTS

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4815 SW Corbett Drive, Suite 200, Beaverton, OR 97005  
503.620.3030 (M) 503.620.5530 (F) www.aaieng.com

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INTERIORS

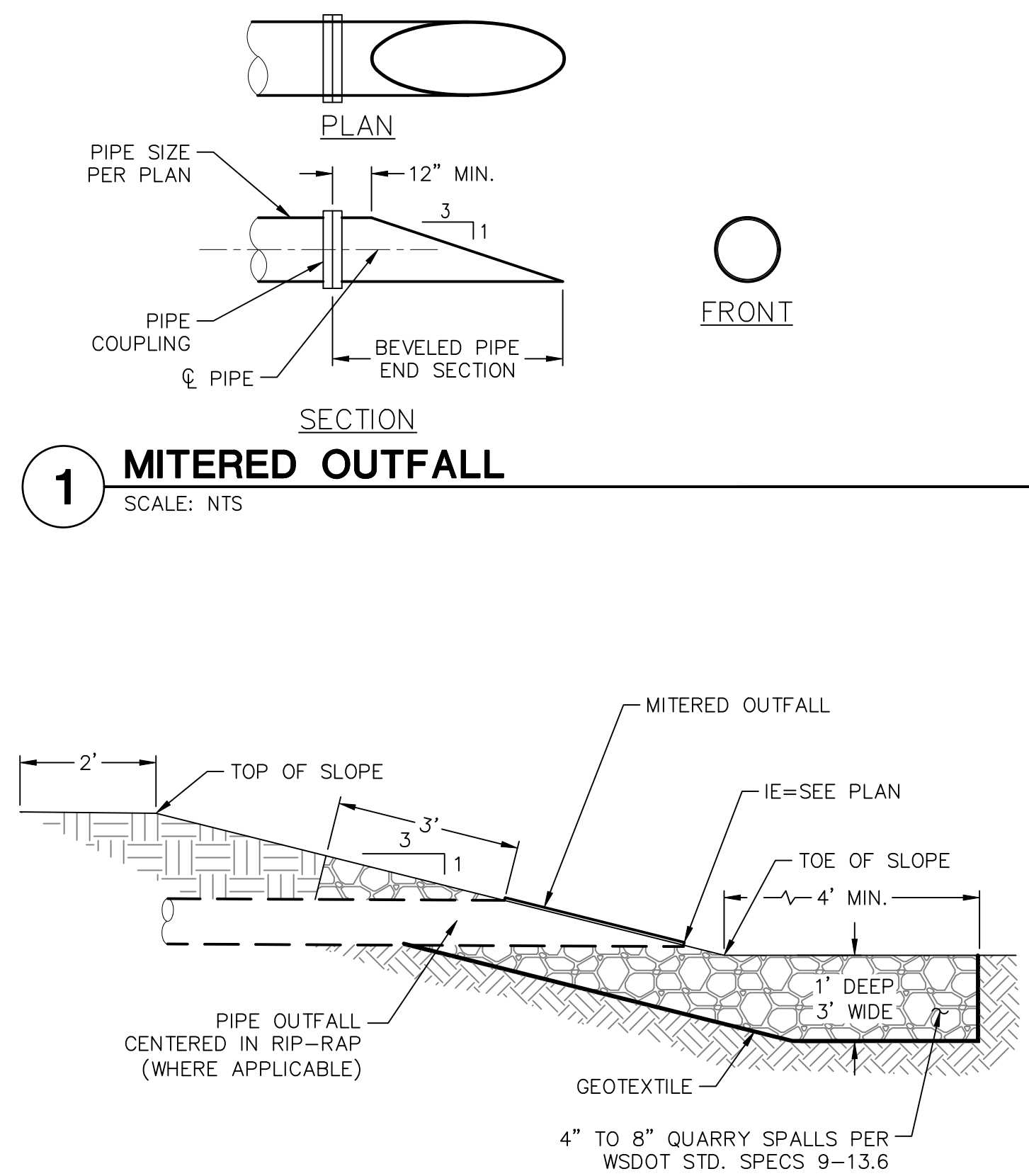
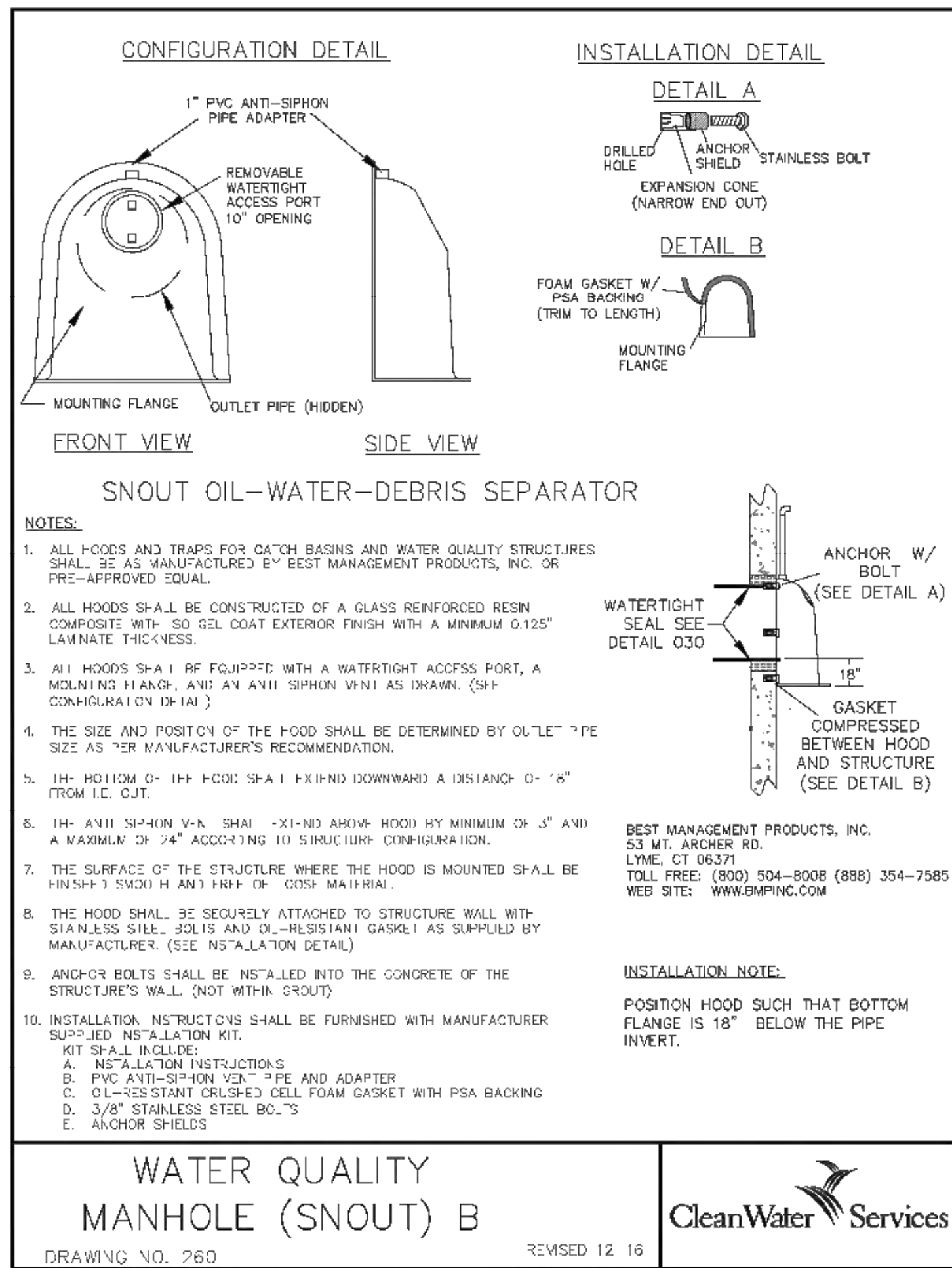
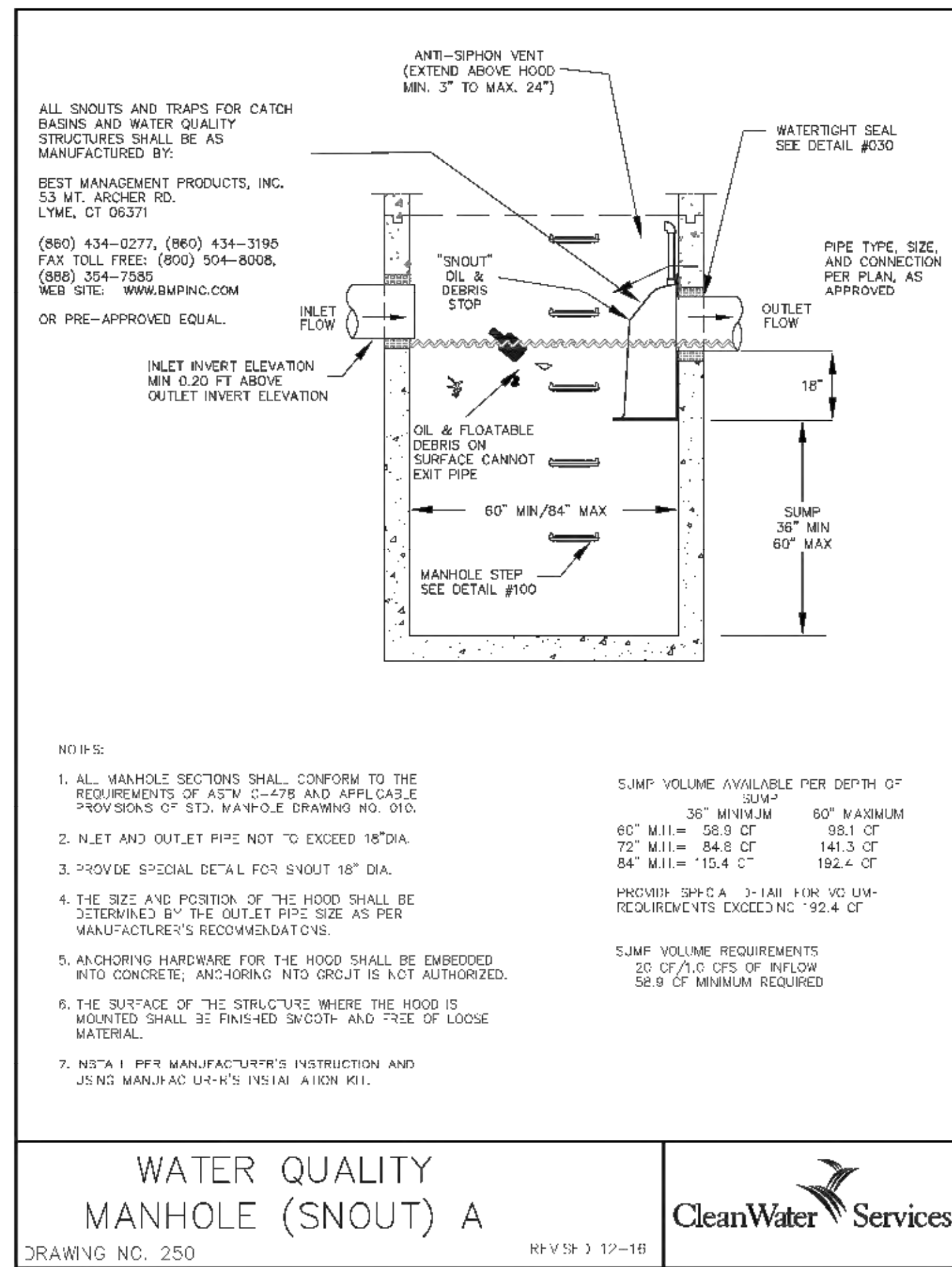
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BUILDING EXPANSION  
JAE OREGON  
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DETAILS

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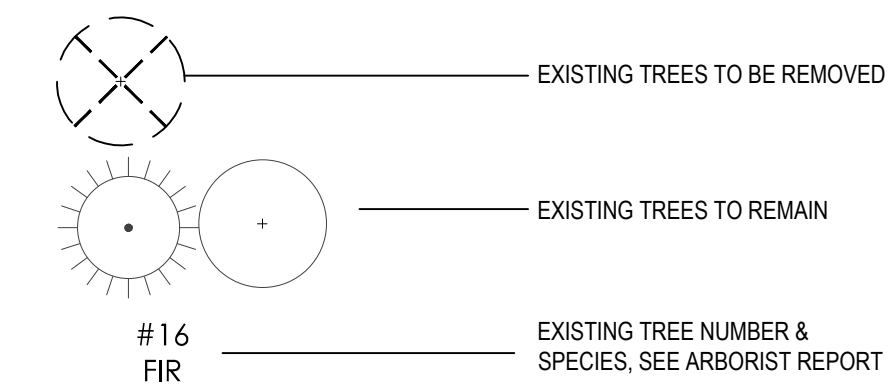
DETAILS

C4.1 JOB NO. 190170.01

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**LEGEND**

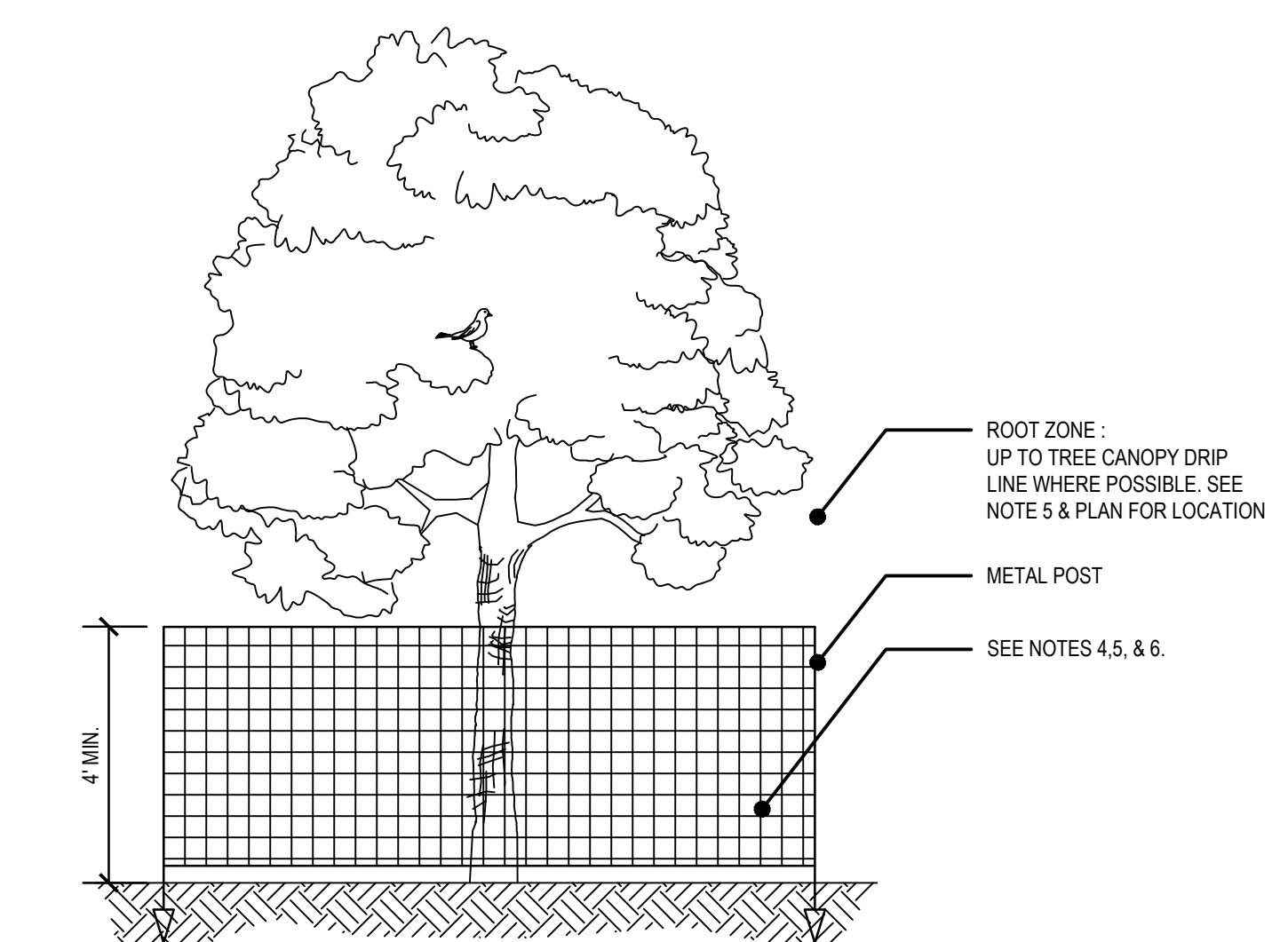
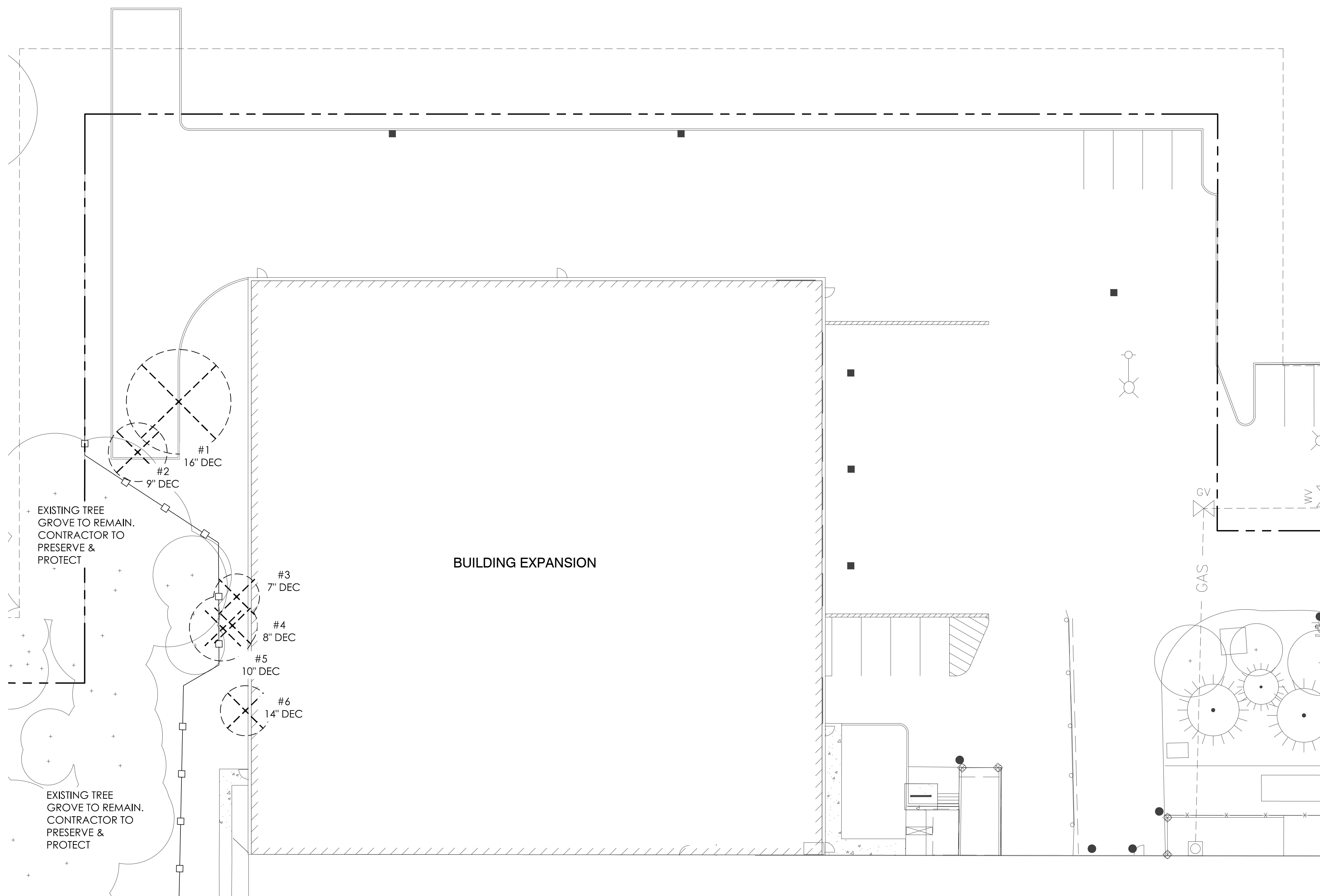


**TREE PROTECTION FENCE**



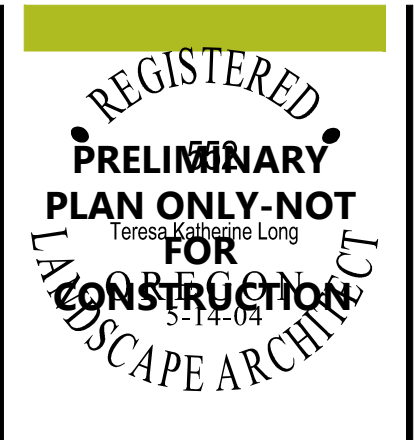
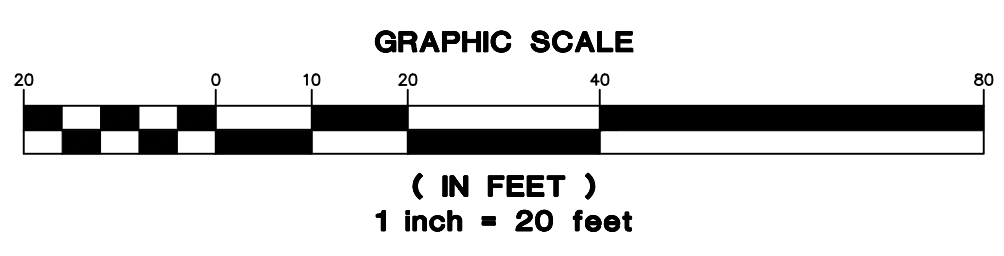
**TREE PROTECTION NOTES:**

- BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT ARBORIST FOR ASSISTANCE.
- REFER TO SECTION 34.200 TREE REMOVAL, 34.270 TREE PROTECTION DURING CONSTRUCTION & 73.250 TREE PRESERVATION OF THE TUALATIN CITY CODE.
- NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
- INSTALL FENCE ON TREE SIDE OF EXISTING CURB FOR ALL TREES TO BE PRESERVED. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
- FENCING SHALL BE 4-FOOT HIGH, ORANGE CONSTRUCTION FENCE WITH METAL POSTS AND BE SECURED TO THE GROUND WITH 6-FOOT METAL POSTS. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
- NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
- WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
- DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY THE PROJECT ARCHITECT.
- AFTER CONSTRUCTION IS COMPLETE, PROJECT ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.

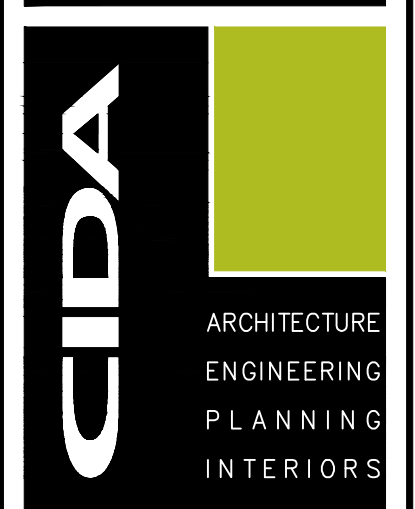


**1 TREE PROTECTION FENCING DETAIL**  
N.T.S.

**TREE PROTECTION PLAN - BUILDING EXPANSION AREA**  
SCALE 1" = 20'



ISSUED DATE  
1 09/13/2019 ARCHITECTURAL REVIEW SET  
2

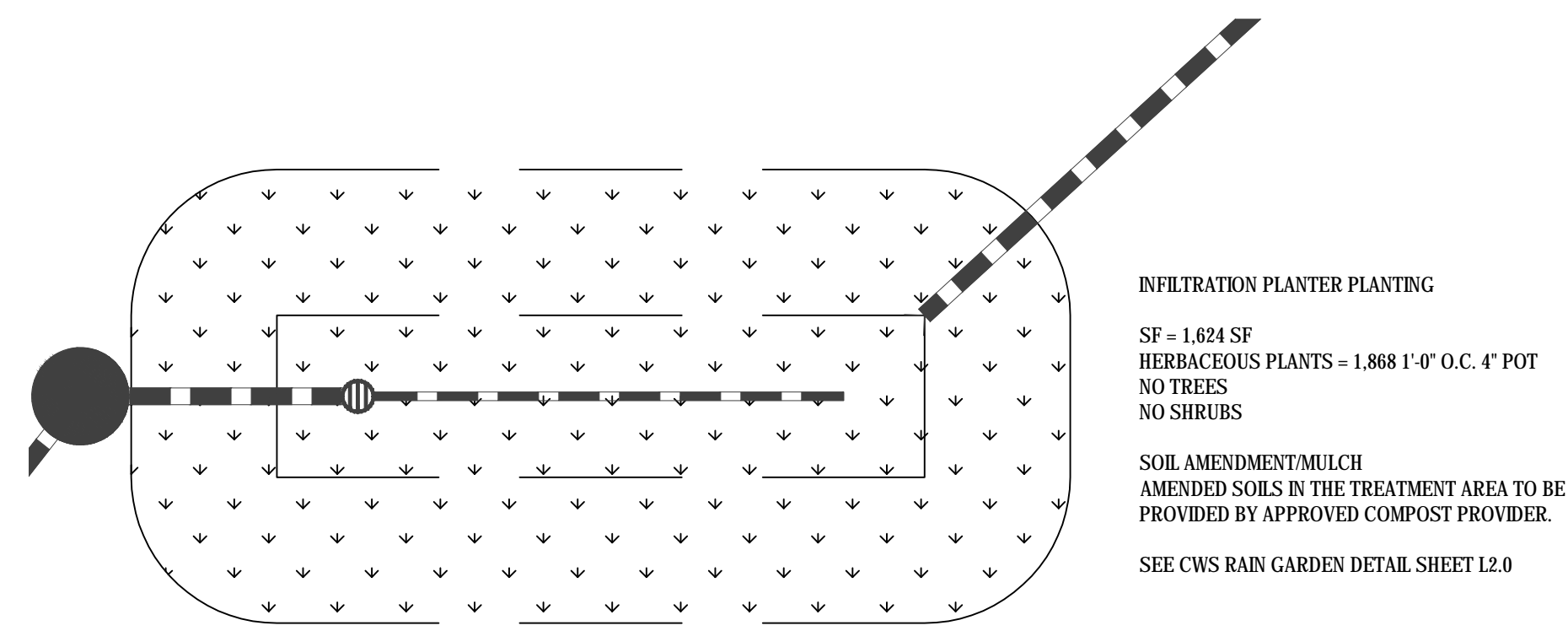


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BUILDING EXPANSION  
**JAE OREGON**  
11555 SW LEVETON DR  
TUALATIN, OR

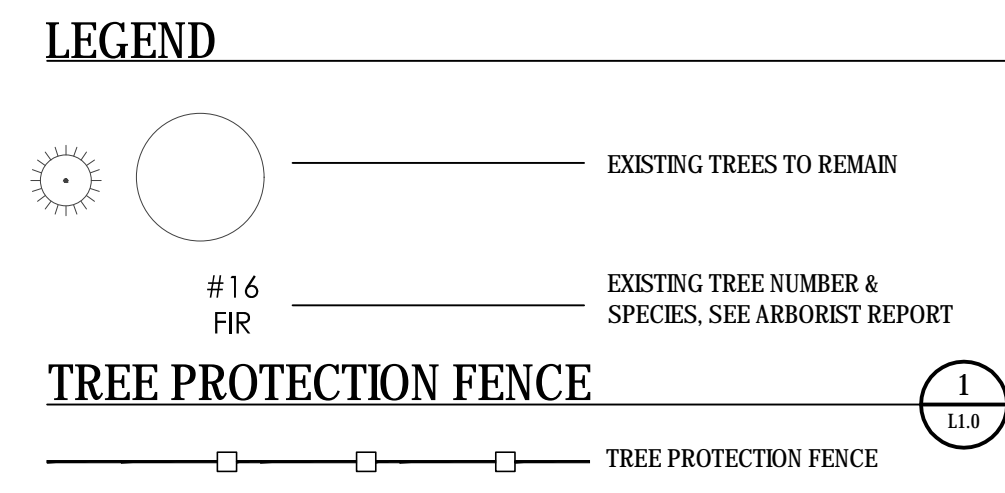
TREE PROTECT.  
PLAN  
**L1.0**  
JOB NO. 190170.01  
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**1**  
 L1.1  
**INFILTRATION PLANTER**  
 SCALE 1" = 10'

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	FP	4	FRAXINUS PENNSYLVANICA 'PATMORE' WELL BRANCHED AND LIMBED TO 8'-0"	PATMORE ASH	1.5" CAL.	
	GI	3	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE' WELL BRANCHED AND LIMBED TO 8'-0"	THORNLESS HONEY LOCUST	1.5" CAL.	
	GK	8	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	1.5" CAL.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	GS	80	GAULTHERIA SHALLOW	SALAL	1 GAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	FL	60	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	4" POT	24" o.c.
	MN	80	MAHONIA NERVOSA	OREGON GRAPE	1 GAL.	36" o.c.
		12,421 SF	EROSION CONTROL SEED MIX SUNMARK NATIVE EROSION CONTROL SEED MIX APPLICATION RATE: 1LB. PER 1,000 SF			



**LANDSCAPE REQUIREMENTS**

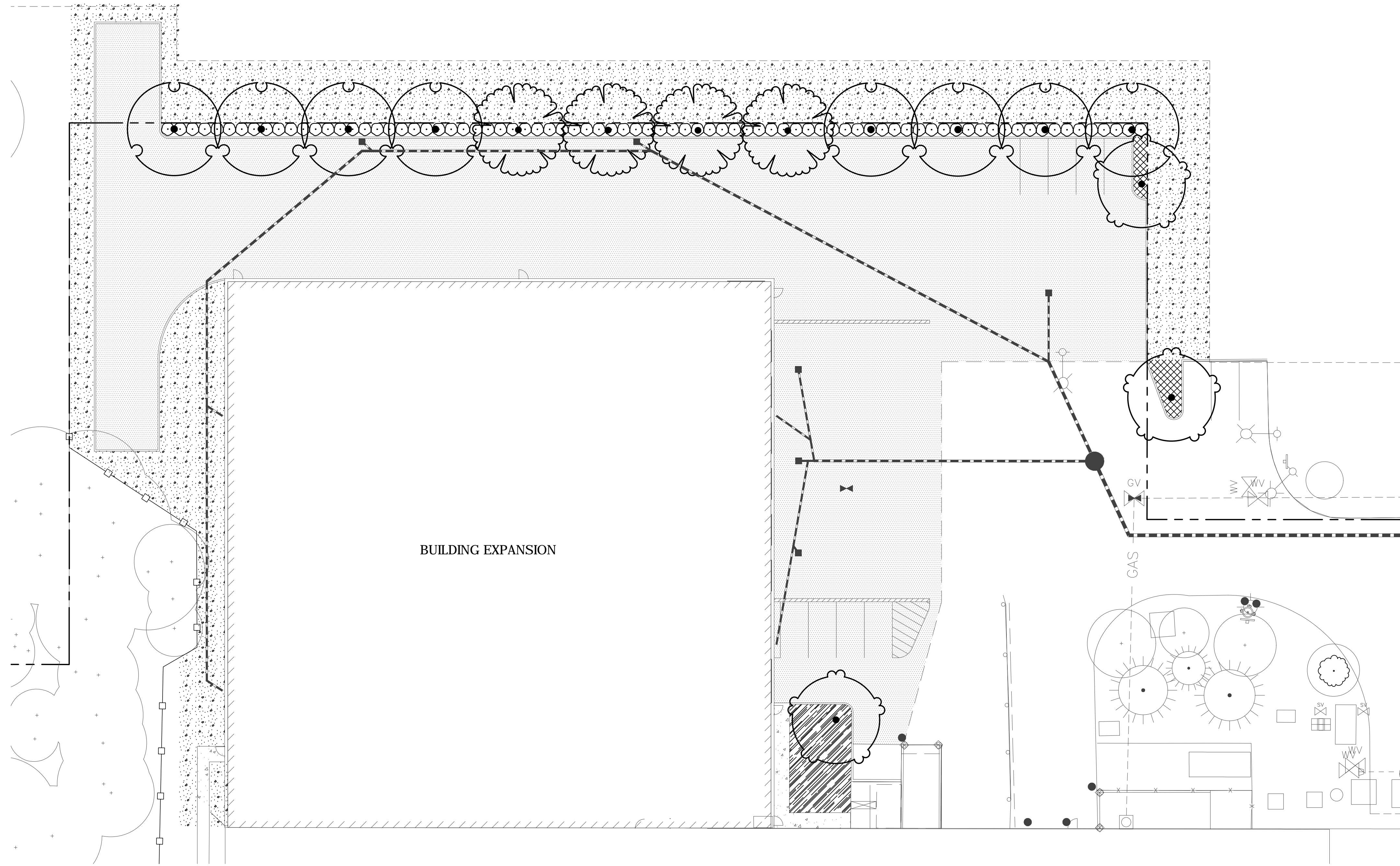
TOTAL SITE AREA	= 1,082,290 SF (24.85 ACRES)
LANDSCAPE AREA REQUIRED 15% OF SITE	= 162,343 SF
LANDSCAPE ARE PROPOSED 61.2% OF SITE	= 661,957 SF
PERMETER PKG. LOT LANDSCAPING REQ.	= 5'-0" MIN LANDSCAPE STRIP
PERMETER PKG. LOT LANDSCAPING PROPOSED	= 5'-0" LANDSCAPE STRIP
INTERIOR PKG. LOT ISLAND REQ = 25 SF	
PER PKG. STALL = 25 x 8 STALL	= 200 SF
INTERIOR PKG. LOT LANDSCAPE PROPOSED	= 1,769 SF
INTERIOR PKG. LOT TREES REQUIRED	= 2
INTERIOR PKG. LOT TREES PROPOSED	= 2

**GENERAL NOTES**

- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.

**PLANTING NOTES**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF XXXXXX STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF XXXXXXX STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.



**NORTH**  
**LANDSCAPE PLAN**  
 SCALE 1" = 20'

REGISTERED  
**PRELIMINARY**  
**PLAN ONLY-NOT**  
 FOR CONSTRUCTION  
 LANDSCAPE ARCHITECT

ISSUED DATE: 1 09/13/2019  
 ARCHITECTURAL REVIEW SET  
 2

**AAI**  
 ENGINEERING

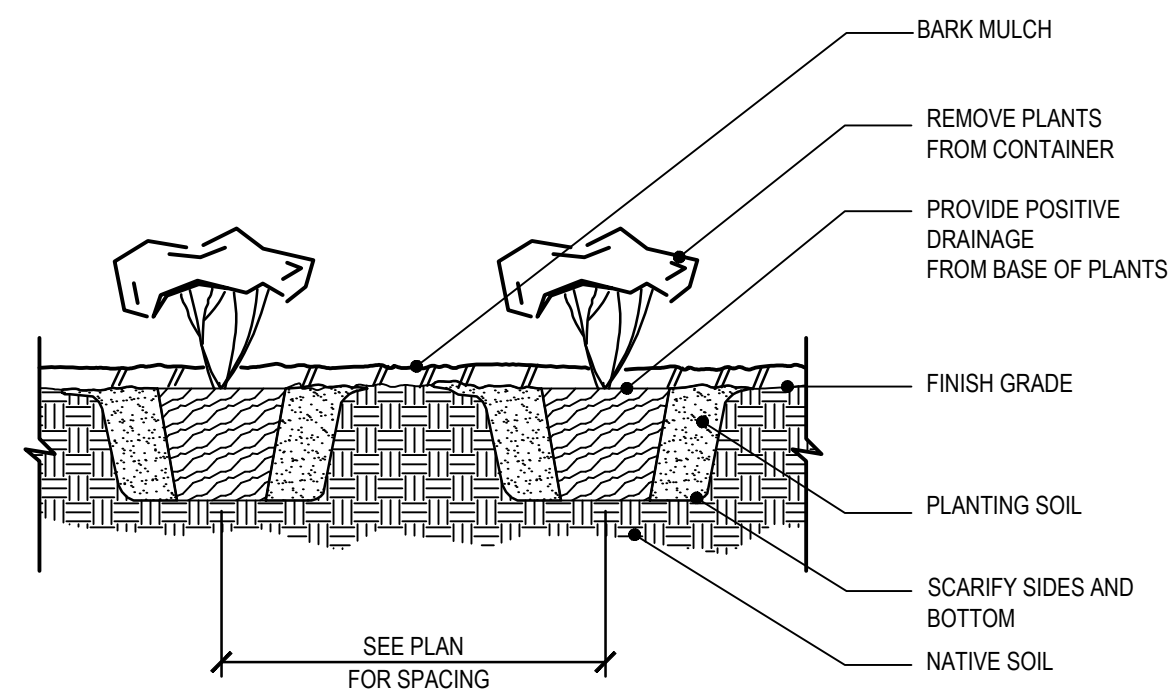
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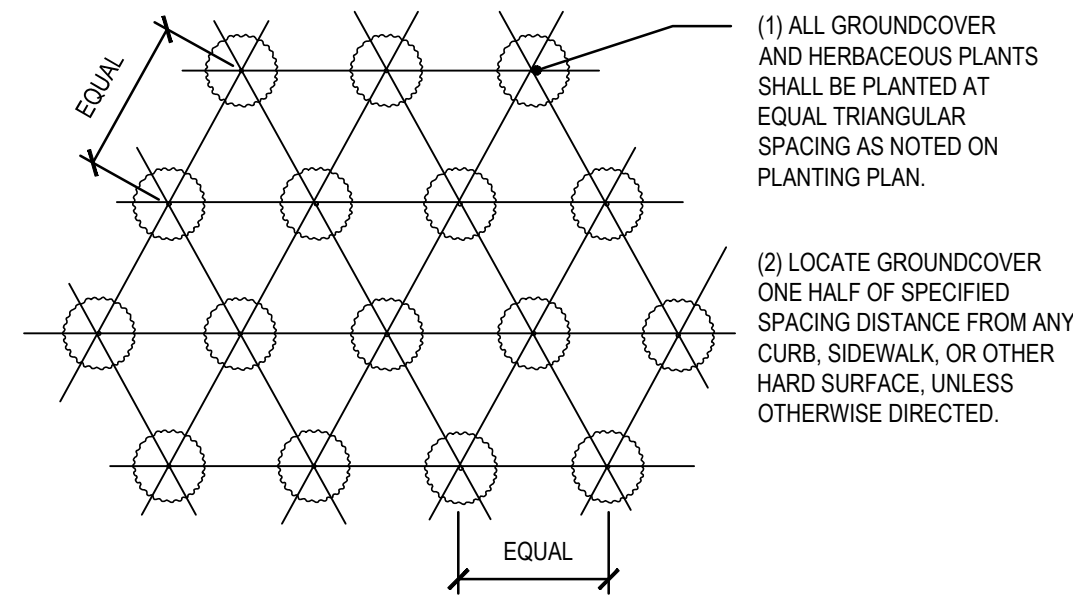
**LANDSCAPE PLAN**  
**L1.1**  
 JOB NO. 190170.01  
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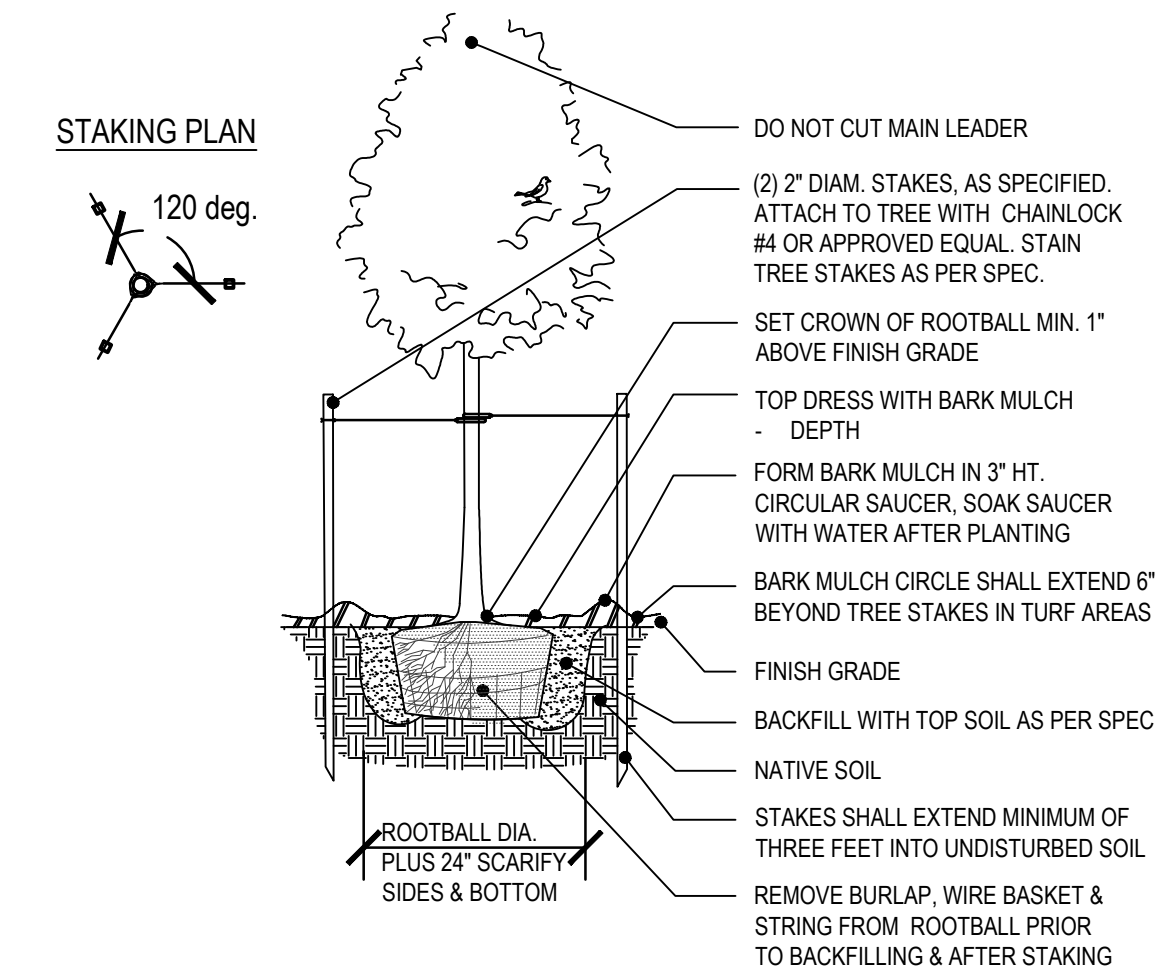




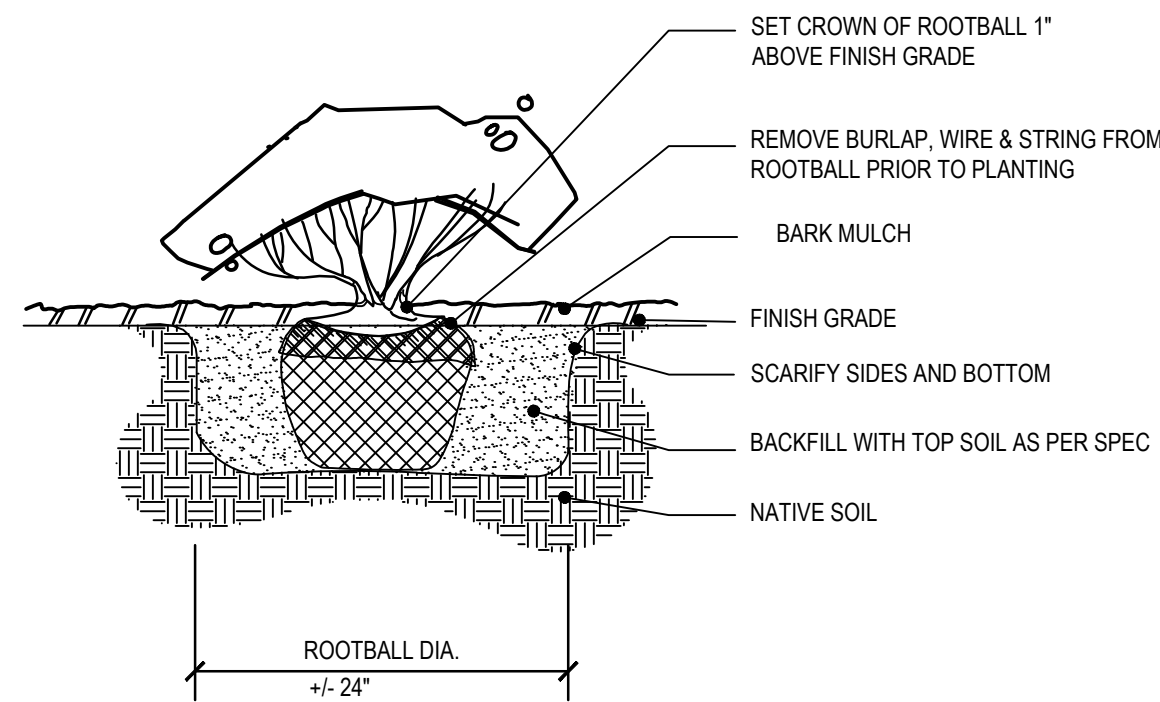
**1** GROUNDCOVER & HERBACEOUS PLANT PLANTING DETAIL  
L2.0 SCALE: NTS



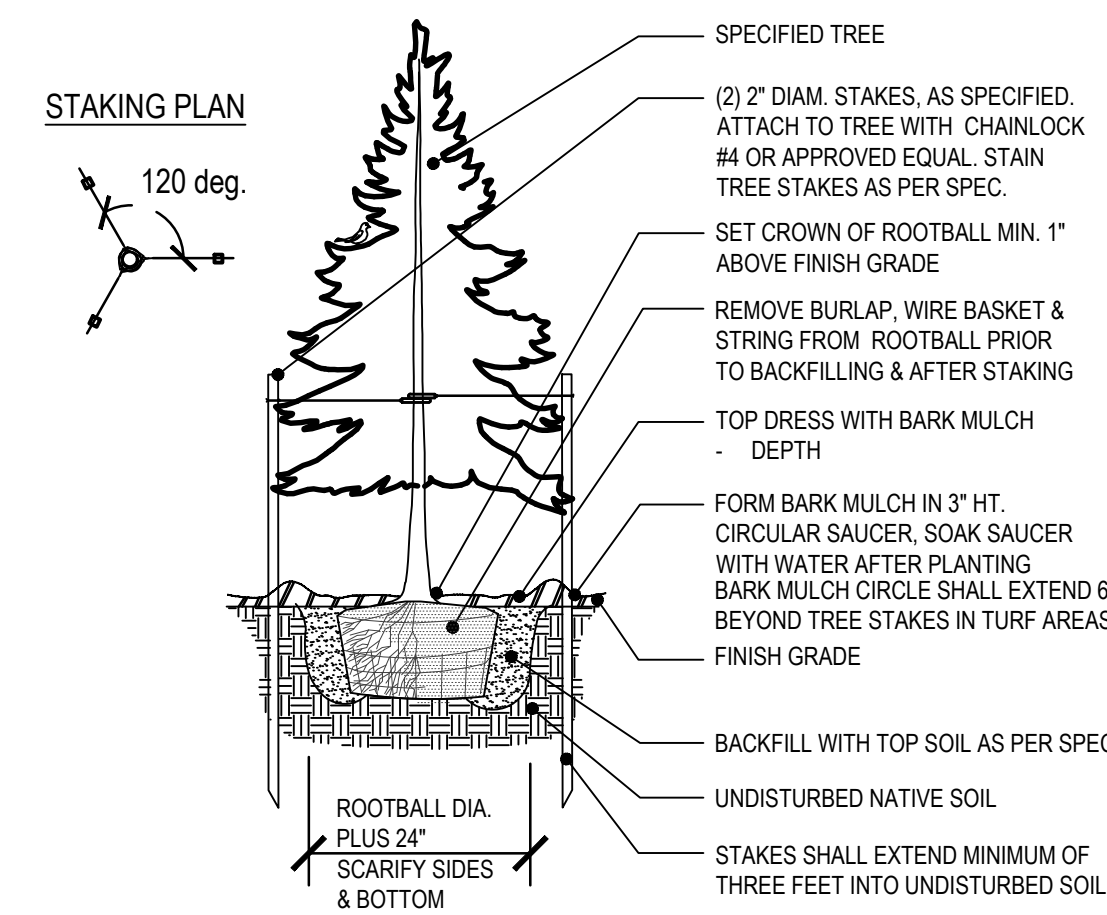
**2** GROUNDCOVER & HERBACEOUS PLANT PLANTING PLAN  
L2.0 SCALE: NTS



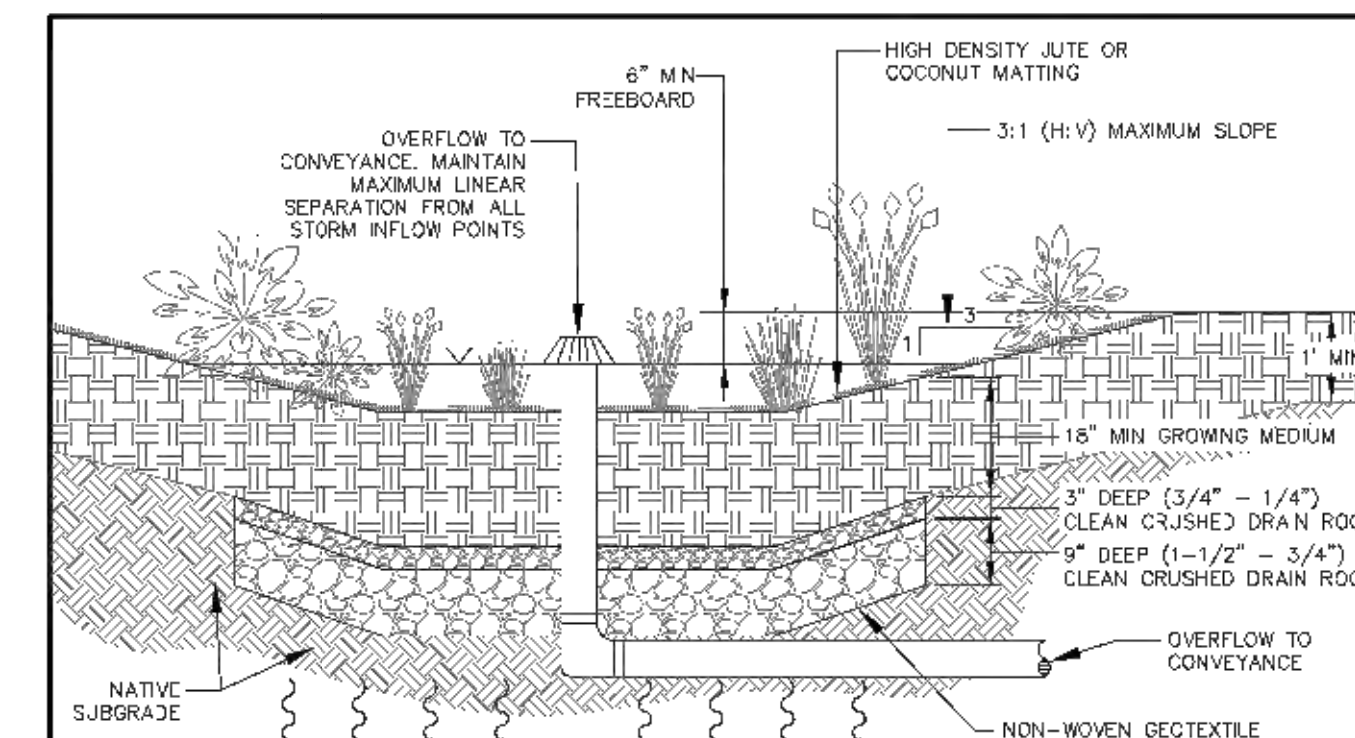
**3** DECIDUOUS TREE PLANTING DETAIL  
L2.0 SCALE: NTS



**4** SHRUB PLANTING  
L2.0 SCALE: NTS



**5** CONIFER TREE PLANTING DETAIL  
L2.0 SCALE: NTS

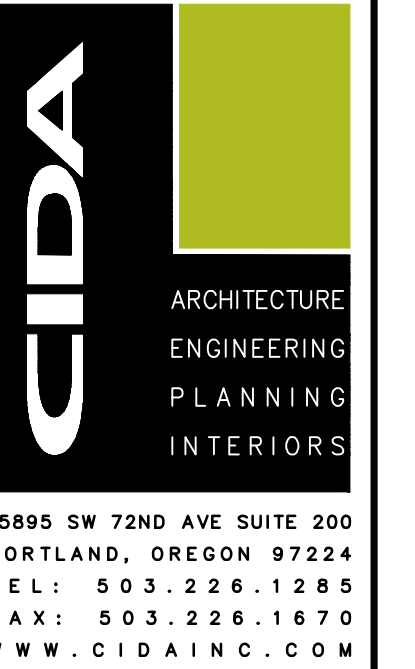


- NOTES:
1. PROVIDE WATER QUALITY AND/OR QUANTITY SYSTEM
  2. PROVIDE OVERFLOW CONVEYANCE SYSTEM, OVERFLOW CONVEYANCE HEIGHT TO ALLOW 6\"/>

NON-STRUCTURAL PLANTER/RAIN GARDEN DRAWING NO. 19/1	LIDA HANDBOOK REVISED 06-16	CleanWater Services
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ISSUED DATE: 09/13/2019 ARCHITECTURAL REVIEW SET



BUILDING EXPANSION  
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TUALATIN, OR

LANDSCAPE  
DETAILS  
**L2.0**  
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Landscape Construction Specifications

General

1. Municipal, County, State and Federal laws, regarding uses and regulations governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
2. The Contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The location of utilities, structures, services shown on these plans are approximate only. Any discrepancies between these plans and the actual field conditions shall be reported to the Owner's representative.
3. The Contractor shall locate and protect all existing utilities, features and plants on and adjacent to the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
4. The Contractor shall obtain all necessary valid licenses, permits, and insurance required to perform the work indicated herein before commencing work, and shall be responsible for coordinating work with all parties involved, including jurisdictional agencies.
5. The Contractor shall use all means necessary to protect the public at all times during the construction process.
6. In the event of conflict between pertinent codes, regulations, structural notes, and/or requirements, or the referenced standards of these Specifications, the provisions of the more stringent shall govern.
7. Weather Limitations: Soil work shall be performed only when the weather conditions do not detrimentally affect the quality of work.

Mandatory Site Inspection Schedule

1. Schedule for Mandatory site inspection procedures. The mandatory site inspections include but are not limited to the following:

Pre-Construction Site Meeting

Contractor shall be notified a minimum of 48 hours prior to meeting to review site conditions, proposed construction and construction schedule, and review construction specifications prior to commencement of construction operations.

Rough Grading Inspection

Contractor shall notify Owner's Representative a minimum 48 hours prior to request for inspection of rough soil grades. All rough grading operations shall be completed per specifications and prepared for inspection. No topsoil placement or backfilling in areas to be landscaped should occur until written approval by Owner's Representative has been issued.

Open Trench Irrigation Inspection

Contractor shall notify Owner's Representative 24 hours prior to inspection for written approval of irrigation trench depths, piping conditions, and pressure testing. (Refer to Irrigation Specification for inspection procedures)

Plant Material Inspection

Plant material quality and layout inspection and written approval shall occur with 24 hours notice to Owner's Representative prior to installation of any plant material. (Refer to Planting Specification for inspection procedures)

Final Landscape Areas and Irrigation Performance Inspection

Contractor shall notify Owner's Representative 48 hours prior to inspection for approval of landscape and irrigation work. Irrigation operations and coverage shall be inspected. Plant quality and layout shall be inspected. Written approval shall be issued upon inspection approval of specified construction. (Refer to relative specification sections)

Erosion Control

1. Provide and maintain positive drainage patterns throughout the construction process, and as directed by the Owner's Representative if weather or construction activity creates drainage conflicts detrimental to construction process or environmental conditions. Comply with jurisdictional requirements.
2. Maintain erosion measures throughout the landscaping process. Restore erosion control measures disturbed by landscaping operations. Remove only upon approval of Owner's Representative.

Invasive Weed Control Prior to Construction

1. Verify and identify conditions requiring eradication of invasive weeds and grasses prior to existing soil surface disturbance as directed by Owner's Representative. Stockpiled topsoil shall be treated to eradicate weeds prior to soil ripping and stockpiling. Weed eradication shall include herbicide and non-herbicide methods only administered by a currently licensed applicator. Eradication shall include and is not limited to elimination of the following invasive species from areas to be landscaped:

Cirsium arvense (Canadian Thistle) Lotus corniculatus (Bird's foot Trefoil)  
 Convolvulus spp. (Morning Glory) Lythrium salicaria (Purple Loosestrife)  
 Cytisus scoparius (Scotch Broom) Melilotus spp. (Sweet Clover)  
 Dipsacus sylvestris (Common Teasel) Myriophyllum spicatum (Eurasian Milfoil)  
 Equisetum spp. (Horsetail) Phalaris arundinaceae (Reed Canary Grass)  
 Festuca arundinaceae (Tall Fescue) Rubus discolor (Himalayan Blackberry)  
 Hedera helix (English Ivy) Solanum spp. (Nightshade)  
 Holcus canatus (Velvet Grass) Trifolium spp. (Clovers)  
 Lolium spp. (Rye Grasses)

Rough Grade Inspection

1. Conditions and quality of rough grade shall be inspected and approved by Owner's Representative prior to the commencement of specified work in areas to be landscaped. The contractor shall then be responsible for completion of activities specified herein, and defined on the plan.
2. In all plant bed areas the sub-grade shall be free of unsuitable material such as stumps, roots, rocks, concrete, asphalt, or metals, for a minimum depth of 24 inches, and in all lawn or seeded areas the sub-grade shall be free of unsuitable material for a minimum depth of 12 inches
3. The Owner's Representative, at their discretion, shall direct further rough grading or soil preparation if specified activities have not created a surface satisfactory for further work to commence. Compensation for additional surface work created by conditions unknown at the outset and as directed in writing by the Owner's Representative shall be negotiated at the time of the directive, and prior to the commencement of particular construction activities.

Finish Grading

1. Verify that rough grade in landscape areas is sufficiently below proposed final grade for planting beds and lawn areas to allow for placement of topsoil mix. Refer to grading plans for finish grade references. Verify that grades provide positive drainage at all landscape areas, and slope away from structures at a minimum of 2% slope. Final grades in all landscape areas shall be crowned at center to facilitate proposed drainage.
- 2.

Topsoil Placement and Soil Preparation

1. Contractor shall submit certified topsoil analysis report for owner's approval prior to plant installation.
2. Contractor is responsible for any amendments to soil PH, fertility and/or drainage conditions necessary to ensure proper growing conditions for proposed planting.
3. Topsoil shall be friable soil from existing stockpiled material or imported, with added soil amendments as specified. It shall not be delivered while in a frozen or muddy condition. Protect from erosion at all times. Utilize existing stockpiled topsoil only under the direction of the Owner's Representative. Do not place topsoil in areas that have not been cleared of weeds listed herein. Topsoil shall meet the following requirements:
  - a. Free of roots and rocks larger than 1/2 inch.
  - b. Free of subsoil, debris, large weeds, foreign matter and any other material deleterious to plant material health.
  - c. Acidity range (pH) of 5.5 to 7.5.
  - d. Containing a minimum of 4 percent and a maximum of 25 percent inorganic matter with decaying matter of 25 percent content by volume or less.
  - e. Textural gradations shall be sand: 45-75%, silt: 15-35%, clay: 05-20%.
4. Commercial fertilizer shall be an organic base, complete fertilizer containing in available form by within a minimum of 10N 10P 5K - with 50 percent of the available nitrogen in slow-release formula, Webfoot Organic Delux, or approved equal.a
5. Compost shall be yard debris compost meeting industry and jurisdictional standards.
6. Contractor shall remove all debris, rocks one inch in diameter or larger, sticks, mortar, concrete, asphalt, paper, contaminated soil and any material harmful to plant life, in all planting areas.
7. Contractor shall rototill subgrade six (6) inches deep before placing topsoil. Specified imported topsoil shall be placed at a minimum depth of 12" in all planting areas. Do not place material during wet conditions. Do not work saturated soils in any manner. floated to a level, sloped or rounded grade between any existing or constructed point on the site, such as curbs, walls, walks, paving and the like. Final soil grades in planting beds shall be 2" below adjacent paving and curbs for mulch application.
8. Distribute following soil amendments to all landscape areas in even layers and power rototill or spade to a minimum depth of six (6) inches into topsoil, as follows:
 

Planting Beds:

  - a. Compost: Apply nine cubic yards per 1000 sq. ft.
  - b. Commercial Fertilizer: Apply 50 pounds per 1000 sq. ft.
9. Preparation of backfill planting soil mix shall be as follows:
 

Thoroughly blend and mix the following proportion of materials while in a moist condition:

  - Three cubic yards topsoil
  - 1 1/2 cubic yards compost
  - 1 1/2 cubic yards medium bark,
  - 10 pounds commercial fertilizer
  - Five pounds bonemeal
10. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus materials. Any paved area or surfaces stained or soiled from landscaping materials shall be cleaned with a power sweeper using water under pressure. Building surfaces shall be washed with proper equipment and materials as approved by the Owner's representative.

Seed Installation

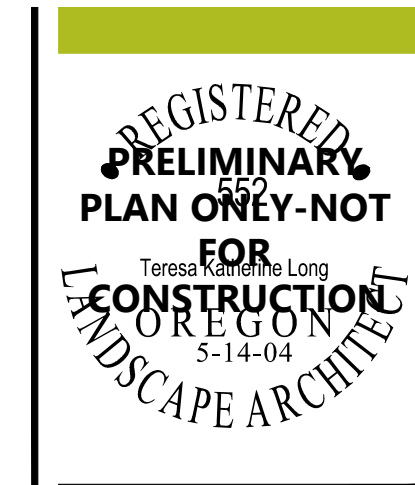
1. Seeding operations shall occur only between March 15 and October 15.
2. Seeding is not permitted during cold weather (less than 32 degrees F), hot weather (greater than 80 degrees F), when soil temperature is less than 55 degrees F, when ground is saturated, or when wind velocity is greater than 10 mph.
3. Contractor shall float rough graded seedbed. Do not disturb natural drainage patterns. Remove rocks, clumps, or debris at surface. Lightly scarify surface.
4. Contractor shall apply 10 pounds commercial fertilizer per 1,000 square feet of surface area before spreading seed.
5. Lawn Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Northwest Supreme Lawn Mix" grass seed per 1,000 square feet.
6. Fieldgrass Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Diamond Green" grass seed per 1,000 square feet.
7. The Contractor shall protect and maintain the seeded area by fencing, watering, feeding, reseeding, mowing and repairing as necessary to establish a thick, uniform stand of grass acceptable to the Owner's representative. Contractor to maintain lawn for a minimum of 3 mowings.

Trees, Shrubs, & Groundcover Installation

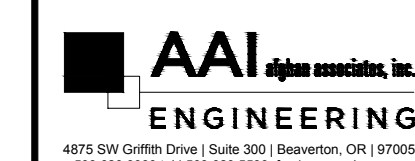
1. Contractor shall guarantee materials and workmanship in general landscape areas for one year from date of conditional acceptance. Plant material shall be in accordance with American Standard for Nursery Stock (ANSI Z60.1), shall comply with State and Federal laws with respect to inspection for insect infestation and plant diseases and shall be free of insect pests and plant diseases.
2. Plant materials shall have a minimum of 6 inches of prepared soil under the root ball, and a minimum of 6 inches on each side of the root ball. Tree roots or root ball shall have a minimum of 12 inches of plant soil under the root ball and a minimum of 12 inches on each side of the root ball, or roots. Final grade should maintain root ball slightly above surrounding grade (not to exceed one inch) for bark mulch installation.
3. Root control barrier shall be installed in trenches, alongside hardscape structures and utility lines such as sidewalks, curbs, pavement, walls, and concrete located within 5 feet of new trees measured from the trunk. Root barrier is to be 40 - 60 mil HDPE, minimum 18" deep and extend 10' in either direction measured from the center of the trunk.
4. Mulch all planting beds after planting, final raking, grading and leveling of the planting beds with a layer of Hem/Fir medium screened bark mulch as specified on the plans.
5. Balled and burlapped trees, boxed trees or bare root trees shall be either guyed or staked as detailed on the plans.
6. Remove all dead or dying branches and criss-crossing branches from trees. Do not cut leader.
7. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus material. All paved areas or surfaces stained or soiled from landscape material shall be cleaned with a water-pressure power sweeper. Building surfaces shall be washed with proper equipment and materials as approved by the Owner.
8. River Rock Mulch: River rock mulch shall be minimum 3/4" to maximum 1-1/2" diameter washed round river rock, uniform in size. All fines shall be screened from the aggregate within a one-quarter inch (1/4") tolerance. Color shall be white to light brown. Contractor shall provide the owner with samples of river rocks for approval prior to installation.

Maintenance

1. Contractor shall maintain general landscape areas for one year after accepted completion of project.
2. Maintenance shall include; all grade resettlement, weeding, policing and removal of plant material debris during maintenance period. Remove and replace dead plant material as needed at no cost to owner for maintenance period. Seasonal leaf fall removal is outside the scope of this maintenance specification.
3. Any unsatisfactory condition arising during this maintenance period shall be brought to the attention of the Owner's Representative immediately.



ISSUED DATE  
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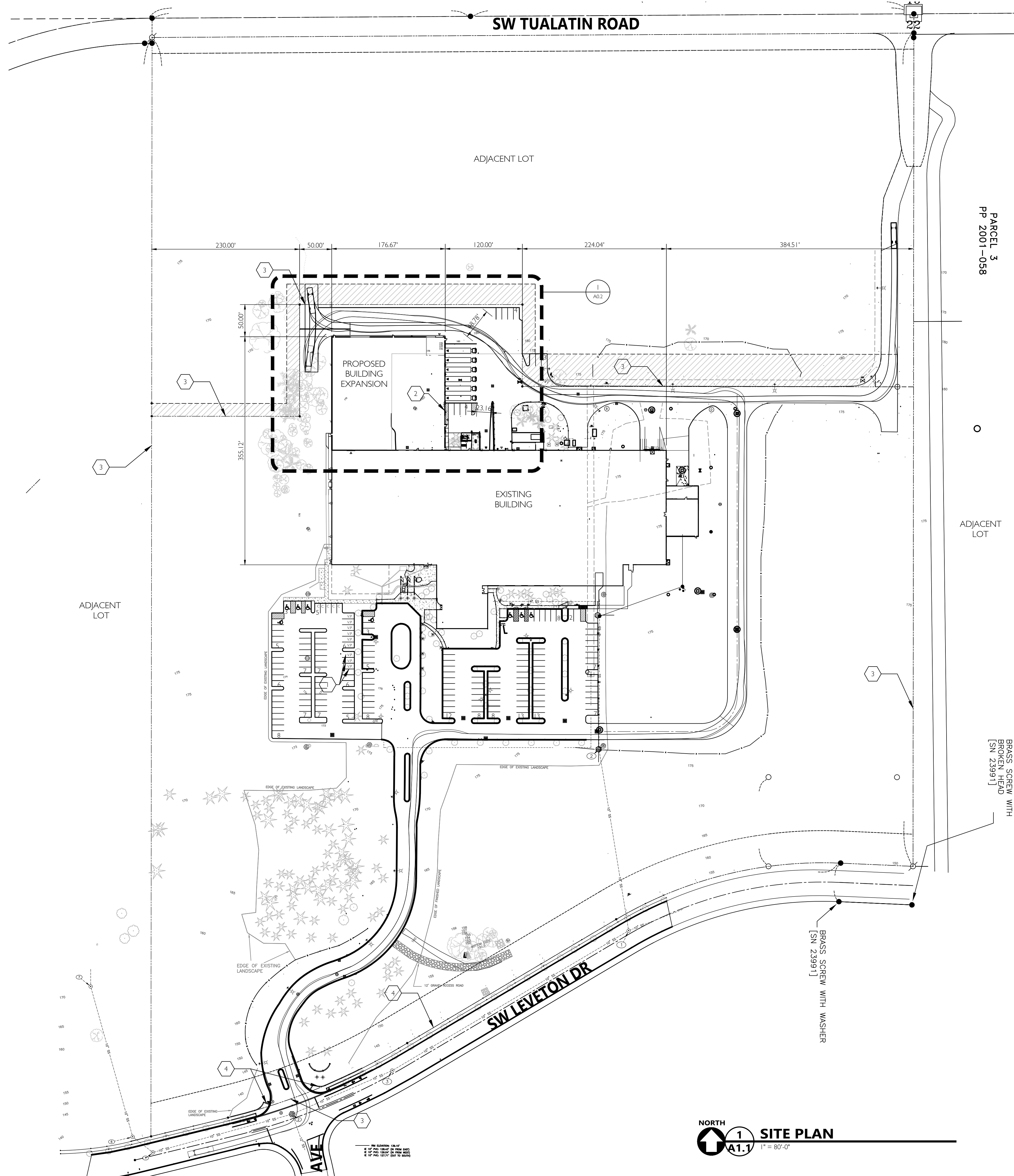


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BUILDING EXPANSION  
**JAE OREGON**  
 11555 SW LEVETON DR  
 TUALATIN, OR

LANDSCAPE &  
 IR SPECS  
**L3.0**  
 JOB NO. 190170.01  
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### GENERAL NOTES

- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- TYPICAL CURB RADIUS = 3' UNLESS NOTED OTHERWISE.
- PRIOR TO SITE CLEARING, GRADING OR CONSTRUCTION IN THE VEGETATED CORRIDOR, WATER QUALITY AND SENSITIVE AREAS SHALL BE SURVEYED, STAKED AND TEMPORARILY FENCED. VEGETATED CORRIDOR SHALL REMAIN FENCED AND UNDISTURBED DURING CONSTRUCTION.

### LEGAL DESCRIPTION

TAX LOT: 25122BA00200 - 2010-009 PARTITION PLAT LOT 2  
 QUARTER SECTION, TOWNSHIP, RANGE: NE 1/4 NW 1/4 SECTION 22 T2S R1W W.M.  
 ADDRESS: 11555 SW LEVETON DRIVE  
 TUALATIN, OR 97062  
 WASHINGTON COUNTY OREGON

SITE AREA: 24.85 ACRES  
 BUILDING AREA:  
 EXISTING  
 1ST FLOOR 119,814 SF  
 MEZANINE 6,882 SF  
 NEW 1ST FLOOR 31,211 SF  
 TOTAL 151,021 SF

LANDSCAPE AREA:  
 REQUIRED: 162,343.5 SF (15.0%)  
 PROPOSED: 611,957 SF (61.2%)

PARKING PROVIDED:	TYPE	SIZE	PROVIDED
TOTAL PROVIDED PARKING: 177 STALLS	STANDARD	9' X 18.5'	164 STALLS
	COMPACT	8.5' X 15'	5 STALLS
	H/C ACCESSIBLE	9' X 18.5'	8 STALLS

### KEYNOTES

- 1 NEW VANPOOL PARKING
- 2 NEW BIKE PARKING INSIDE BUILDING
- 3 PROPERTY LINE
- 4 REBUILD IE: SIDEWALK FOR ADA ACCESSIBILITY COMPLIANCE
- 5 FIRE TRUCK TURN AROUND AREA

### LEGEND

- FIRE HYDRANT
- LIGHT POLE
- CATCH BASIN
- SANITARY SEWER LINE
- SANITARY LINE
- DOCK HIGH
- DRIVE IN
- ACCESSIBLE PARKING
- COMPACT VEHICLE PARKING
- VANPOOL PARKING
- EXISTING
- DOWNSPOUT
- IE: CONIFEROUS TREE
- IE: DECIDUOUS TREE
- SIGN POLE
- PROPERTY BOUNDARY
- PROPERTY EASEMENT
- MANEUVERING, LANDSCAPE AND SLOPE EASEMENT

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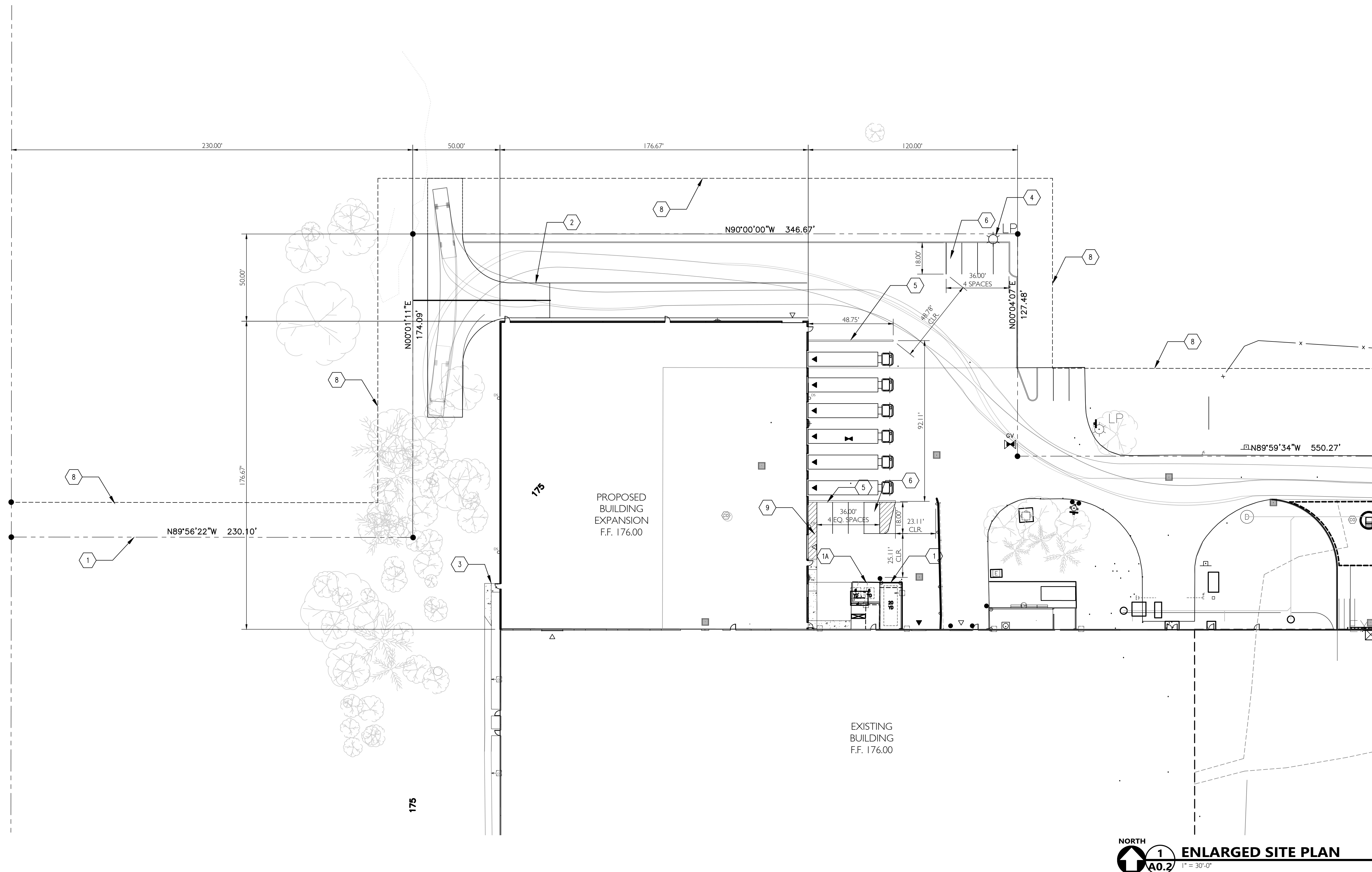
SITE PLAN

**A0.1**

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- EXISTING CONDITIONS BASED ON BOUNDARY SURVEY BY WEDDLE SURVEYING INC., JULY 2004 AND SEPTEMBER, 2019.

**LEGEND**

- PROPERTY BOUNDARY LINE
- - - - MANEUVERING, LANDSCAPE AND SLOPE EASEMENT EXISTING
- (E) TRANSFORMER
- (E) ELECTRIC VAULT
- (E) CLEANOUT
- (E) ELECTRIC PANEL
- CATCH BASIN
- DOCK HIGH DOOR
- DRIVE-IN DOOR
- LP LIGHT POLE
- BM BUILDING MOUNTED LIGHT FIXTURE

**KEY NOTES**

- 1 (E) COVERED TRASH ENCLOSURE TO REMAIN
- 1A (E) TRASH ENCLOSURE TO REMAIN
- 2 FIRE TRUCK TURN AROUND
- 3 NEW SIDEWALK
- 4 NEW LIGHT POLE
- 5 NEW RETAINING WALL
- 6 NEW PARKING
- 7 PROPERTY LINE
- 8 MANEUVERING, LANDSCAPE AND SLOPE EASEMENT
- 9 ACCESSIBLE ROUTE STRIPING

NORTH  
**1**  
**A0.2** ENLARGED SITE PLAN  
 1" = 30'-0"

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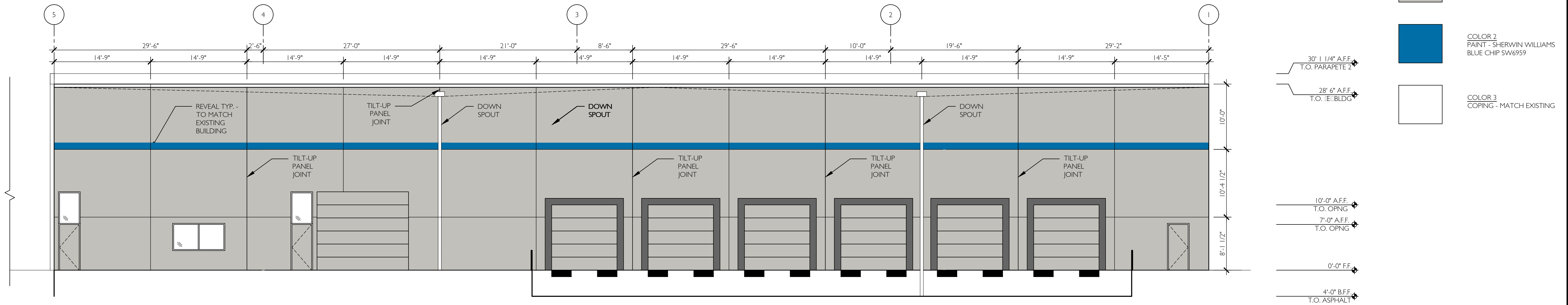
ENLARGED SITE PLAN

**A0.2**

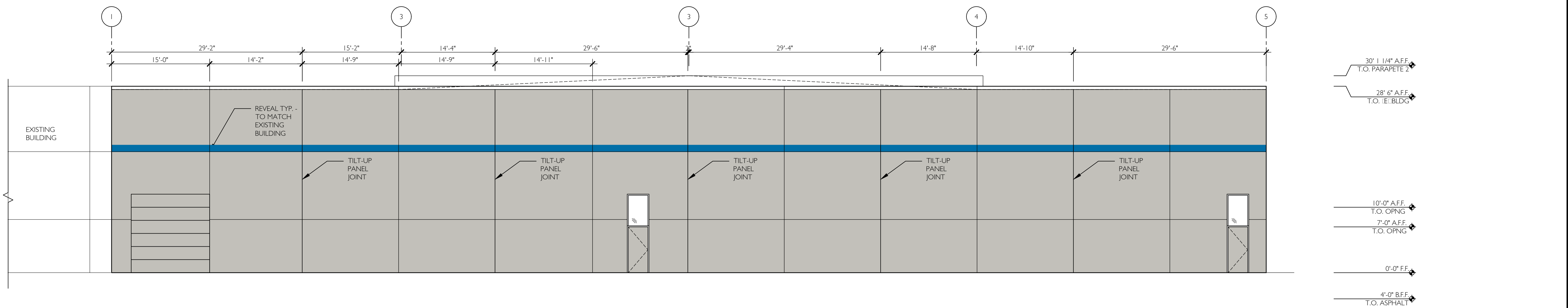
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**1 EAST ELEVATION**  
1/8" = 1'-0"



**2 NORTH ELEVATION**  
1/8" = 1'-0"

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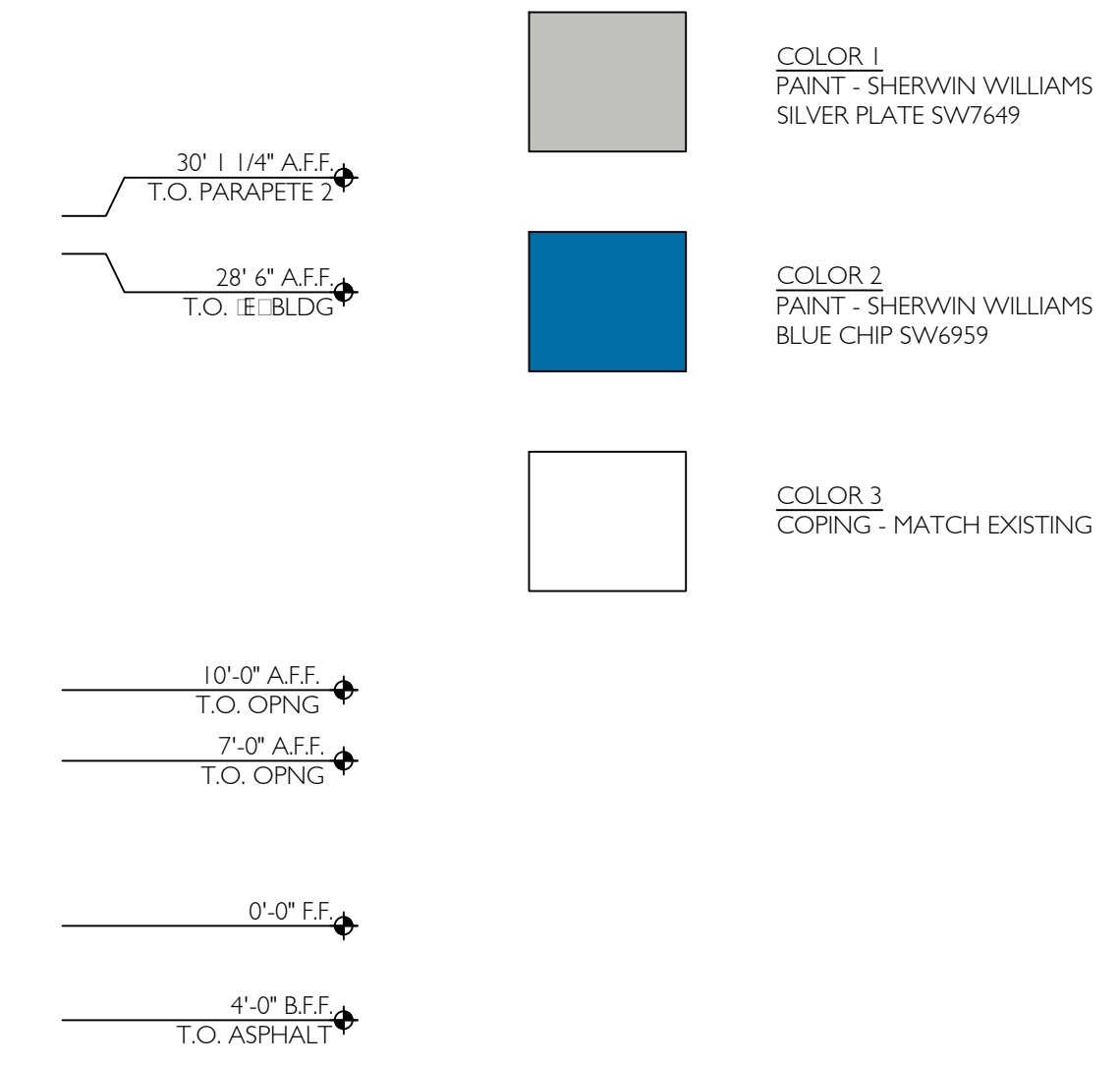
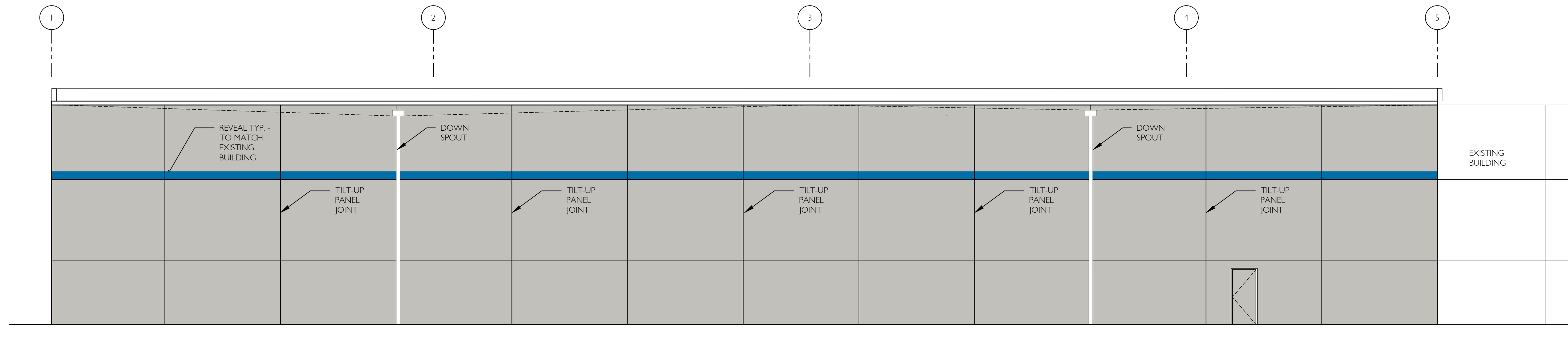
BUILDING EXPANSION  
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BUILDING ELEVATIONS

**A2.1**

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**1 WEST ELEVATION**  
**A2.2** 1/8" = 1'-0"

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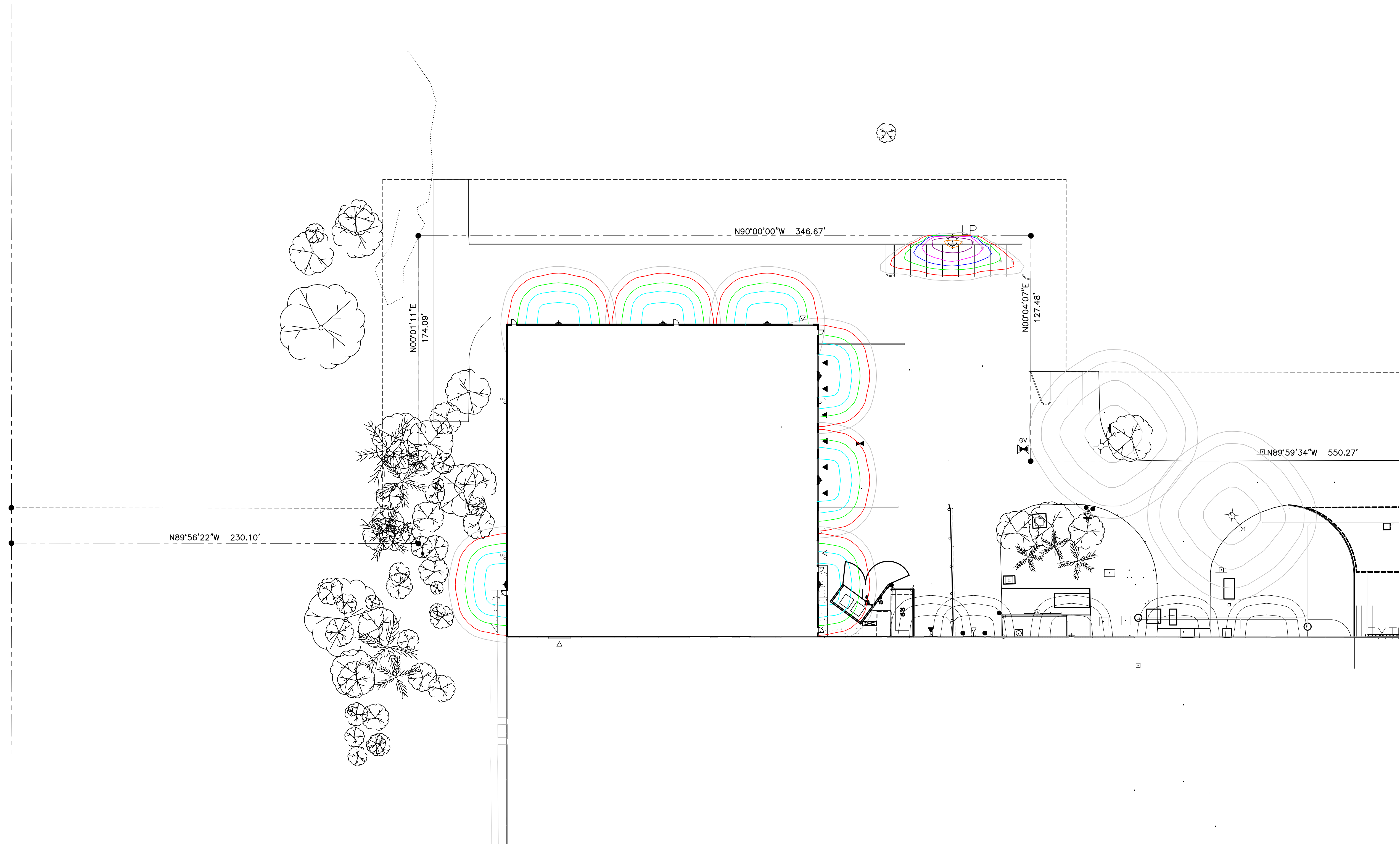
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**A2.2**

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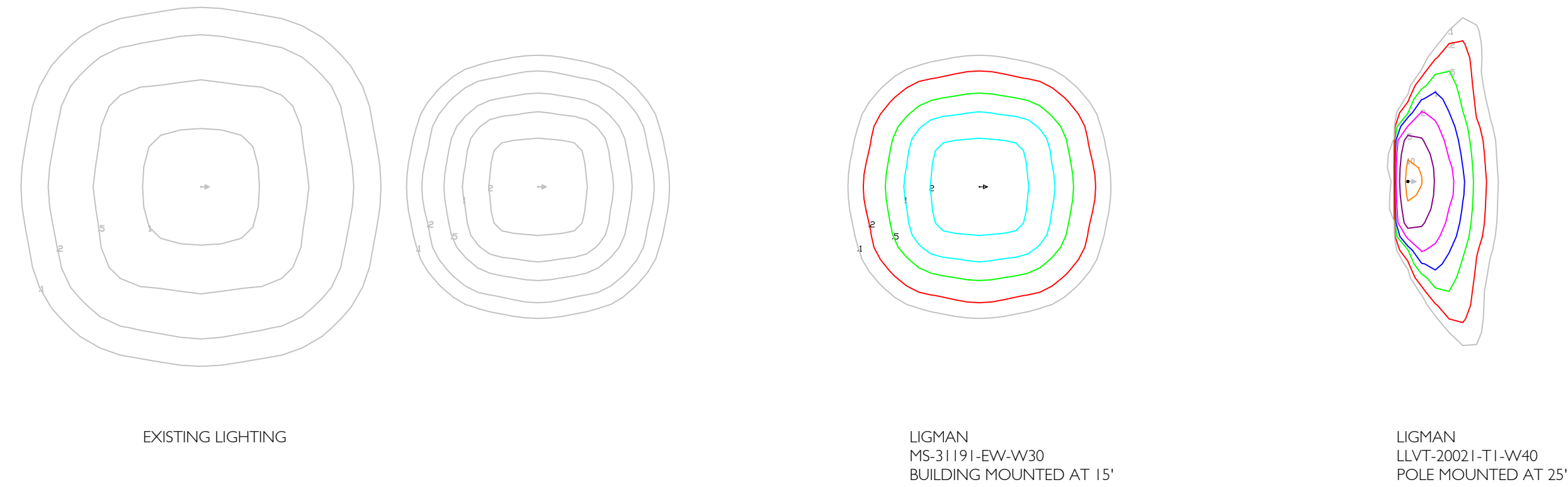




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- EXISTING CONDITIONS BASED ON BOUNDARY SURVEY BY WEDDLE SURVEYING INC. JULY 2004 AND SEPTEMBER, 2019.
- LIGHT LOCATION AND MOUNTING HEIGHTS TO BE VERIFIED BY CONTRACTOR

**LIGHTING LEGEND**



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SITE LIGHTING PLAN

**SL1**

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