

CITY OF TUALATIN
Community Development Department-Planning Division
Land Use Application—Type II

PROPOSAL NAME MUTUAL MATERIALS TUALATIN

PROPOSAL SUMMARY (Brief description)
NEW WHOLESALE SALES FACILITY & DISTRIBUTION YARD FOR MASONRY, PAVERS, AND SIMILAR BUILDING MATERIALS

PROPERTY INFORMATION

Location (address if available): 10700 SW TUALATIN SHERWOOD ROAD
 Tax Map & Lot #(s): 2S127AA02100 Planning District: _____
 Total site size: 5 ACRES (APPROX.) Developed Undeveloped

APPLICANT/CONTACT INFORMATION

Applicant or Primary Contact Name: MACKENZIE - ATTN: DANIEL REID
 Mailing Address: 1515 SE WATER AVE. #100
 City/State: PORTLAND, OR Zip: 97214
 Phone: 503-224-9560 Email: dreid@mcknze.com

Applicant's Signature: Date: 3/5/19
 I hereby acknowledge that I have read this application and understand the requirements for approving and denying the application, that the information provided is correct, that I am the owner or authorized agent of the owner, and that plans submitted are in compliance with the City of Tualatin Development (TDC) and Municipal (TMC) Codes.

PROPERTY OWNER/DEED HOLDER INFORMATION (Attach list if more than one)

Name: MUTUAL MATERIALS - ATTN: KIMBERLY EIRING
 Mailing Address: 605 NE 119TH AVENUE
 City/State: BELLEVUE, WA Zip: 98005
 Phone: 888-688-8250 Email: keiring@mutualmaterials.com

Property Owner Signature: Date: 4/11/19
 Power of attorney or letter of authorization required if application not signed by the property owner/deed holder.

LAND USE APPLICATION TYPE

- Architectural Review (AR)
- Historic Landmark (HIST)
- Interpretation (INT)
- Minor Variance (MVAR)
- Tree Removal (TCP)
- Other _____

FOR STAFF USE ONLY	
Case No.:	_____
Date Received:	_____
By:	_____
Fee Amount \$:	_____
Received by:	_____

CITY OF TUALATIN FACT SHEET

General

Proposed use: Wholesale sales of building materials and supplies, specifically for the sale of bricks and pavers.	
Site area: 5 acres	Building footprint: 20,500 (including storage bays) sq. ft.
Development area: 4.6 acres	Paved area: 98,510 (remaining impervious) sq. ft.
199,166 Sq. ft.	Development area coverage: 59.8 %

Parking

Spaces required (see TDC 73.400) (example: warehouse @ 0.3/1000 GFA) Wholesale Sales @ 3 /1000 GFA = 13 @ /1000 GFA = @ /1000 GFA = Total parking required: 13 spaces ADA accessible = 1 Van pool = 2 Compact = (max. 35% allowed) = Loading berths =N/A	Spaces provided: Total parking provided: 27 spaces Standard = 15 ADA accessible = 2 Van pool = 2 Compact = 8 provided (30% of total provided) Loading berths = 0
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Bicycles

Covered spaces required: 5	Covered spaces provided: 5
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Landscaping

Landscaping required: 15 % of dvpt. area Square feet	Landscaping provided: 45.3 % of dvpt. area Square feet
Landscaped parking island area required: 675 SF	Landscaped parking island area provided: 1,435 SF

Trash and recycling facility

Minimum standard method: 36 square feet
Other method: square feet

For commercial/industrial projects only

Total building area: 15,900 sq. ft.	2nd floor: sq. ft.
Main floor: 4,200 - office/showroom sq. ft.	3rd floor: sq. ft.
11,700 - storage sq. ft.	4th floor: sq. ft.

For residential projects only

Number of buildings:	Total sq. ft. of buildings: sq. ft.
Building stories:	



First American Title Insurance Company

National Commercial Services

200 SW Market Street Suite 250

Portland, OR 97201

(503)795-7600 - Fax (866)678-0591

Title Officer: **Tina Carleton**

(503)795-7606

tcarleton@firstam.com

(866)678-0591

LOT BOOK SERVICE

Mutual Materials
15791 SE Piazza Ave
Clackamas, OR 97015

Order No.: NCS-953660-OR1

Attn: Kim Eirling
Phone No.: (503)905-2011 - Fax No.:
Email: keirling@mutualmaterials.com

Re:

We have searched our Tract Indices as to the following described property:

and as of March 25, 2019 at 8:00 a.m.

We find that the last deed of record runs to

Mutual Materials Company, a Nevada corporation

We also find the following apparent encumbrances prior to the effective date hereof:

1. Easement, including terms and provisions contained therein:
Recording Information: September 13, 1990 as Fee No. 90049686
In Favor of: Washington County, a political subdivision of the State of
Oregon
For: Drainage
2. The terms and provisions contained in the document entitled "Dedication of Real Property Agreement" recorded April 15, 1991 as Fee No. 91017983.
3. Easements for private access and utility purposes as shown on the recorded plat of Partition Plat No. 2003-040.
4. Restrictions shown on the recorded plat of Partition Plat No. 2003-040.

5. Covenants, conditions, restrictions and easements in the document recorded December 01, 2004 as Fee No. 2004 137530 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.

Document(s) declaring modifications thereof recorded June 09, 2006 as Fee No. 2006 068730

6. An easement for cable, as well as to install new conduits and fiber or replacement technology and incidental purposes, recorded November 17, 2008 as Fee No. 2008 093292 (Case No. 1:99-ml-9313-DFH-TAB).
In Favor of: AT&T Corp. and AT&T Communications - East, Inc. (formerly AT&T Communications, Inc.)
Affects: As described therein
7. We find no outstanding voluntary liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in the subject property.
8. Unrecorded leases or periodic tenancies, if any.

We have also searched our General Index for Judgments and State and Federal Liens against the Grantee(s) named above and find:

NONE

We also find the following unpaid taxes and city liens: NONE

NOTE: Taxes for the year 2018-2019, paid in full.

Tax Amount:	\$25,513.73
Code No.:	023.76
Map & Tax Lot No.	2S127AA-02100
Property ID/Key No.	R2120489

NOTE: Washington County Ordinance No. 267, filed August 5, 1982 in Washington County, Oregon, imposes a tax of \$1.00 per thousand or fraction thereof on the transfer of real property located within Washington County.

THIS IS NOT a title report since no examination has been made of the title to the above described property. Our search for apparent encumbrances was limited to our Tract Indices, and therefore above listings do not include additional matters which might have been disclosed by an examination of the record title. We assume no liability in connection with this Lot Book Service and will not be responsible for errors or omissions therein. The charge for this service will not include supplemental reports, rechecks or other services.

Exhibit "A"

Real property in the County of Washington , State of Oregon, described as follows:

PARCEL I:

PARCEL 3, PARTITION PLAT NO. 2003-040, IN THE CITY OF TUALATIN, COUNTY OF WASHINGTON AND STATE OF OREGON.

PARCEL II:

AN EASEMENT FOR PRIVATE ACCESS AND UTILITY AS SET FORTH ON PARTITION PLAT NO. 2003-040, IN THE CITY OF TUALATIN, COUNTY OF WASHINGTON AND STATE OF OREGON.

PARCEL III:

AN EASEMENT FOR SIDEWALK PURPOSES AS CREATED BY THAT CERTAIN AMENDMENT TO RESTRICTIVE COVENANT AND DECLARATION OF EASEMENT RECORDED JUNE 9, 2006 AS FEE NO. 2006 068730.

20-
8-
LUT-B

90-49686
Washington County

DRAINAGE EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that OREGON CULVERT CO., INC., an Oregon corporation hereinafter called the grantor, being lawfully seized in fee simple of the following described premises, does hereby grant to Washington County, a political subdivision of the State of Oregon, hereinafter called Grantee and unto Grantee's successors and assigns, for the use of the public a perpetual right-of-way easement for drainage purposes, through, under and along that certain real property situated in the County of Washington and State of Oregon, shown on the attached Exhibit "B" and being more particularly described as follows; to-wit:

Described on Exhibit "A", attached hereto and by this reference made a part hereof.

To Have and to Hold the above described easement unto the said public and thereafter to any future agency created for the purposes of installing and maintaining storm and surface drainage, its successors, and assigns, together with the right of ingress and egress to and from the above described easement over and across the adjacent land of the grantor for the purpose of maintenance and operation of drainage facilities.

This instrument does not grant or convey to the public or said succeeding agencies any right of title to the surface soil along the route of said drainage facility except for the purpose of preparation, inspection and maintaining the same.

The grantor or his assigns retain the right to build or construct roads and other improvements over and above the proposed easement, provided that they do not materially interfere with the purpose of the same.

The grantor hereby warrant that it is the owner in fee simple of the above described premises and has the right to grant the above described easements.

The true and actual consideration paid for this easement, stated in terms of dollars, is \$1,062.00.

To Have and to Hold, the above described and granted premises for the purposes hereinbefore set forth unto the public forever.

IN WITNESS WHEREOF, the Grantor above named, by and through its President, has caused this instrument to be duly signed hereto.

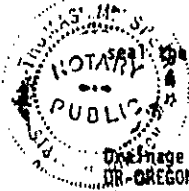
Dated this 20th day of August, 1990.

OREGON CULVERT CO., INC., an Oregon corporation

By Glen A. Richards
Glen A. Richards, President

STATE OF OREGON)
County of Washington) ss.

BE IT REMEMBERED that on this 20th day of AUGUST, 1990, personally appeared Glen A. Richards, who being duly sworn, did say that he is the President of OREGON CULVERT CO., INC., an Oregon corporation and that the foregoing instrument was signed in behalf of said corporation by authority of its board of directors; and he acknowledged said instrument to be its voluntary act and deed.



IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

Thomas W. [Name]
Notary Public for Oregon
My Commission Expires: 7-17-93

Drainage Easement
OR-OREGON, DR:m)

After recording, please return
to Dept. of Land Use & Transportation

1-4

251 ZED 7-20-90 -50-B

251 ZED 7-20-90 -50-B

251 ZED 7-20-90 -50-B

SEP 13 1990

SEP 13 1990

EXHIBIT "A"

Tualatin-Sherwood Road
August 10, 1989
R/W Map Sheet No. 18

Oregon Culvert Co., Inc.
P.O. Box 398
Tualatin, Oregon 97062
Book 566, Page 304
Document No. 83-017873
Book 748, Page 846
File No. 2S1 27AA-00200-50
2S1 27AA-00100-50A
2S1 22D-00202-50B

DRAINAGE EASEMENT

That portion of that tract of land situated in the northeast one-quarter of Section 27 and the southeast one-quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon, described in deeds to Oregon Culvert Co., Inc., an Oregon Corporation, recorded in Book 566, at Page 304, Document No. 83-017873, and in Book 748, at Page 846, in the Washington County Book of Records, lying within a strip of land variable in width on the southerly side of the centerline of Proposed County Road No. 2737 as filed under Survey No. 23608 in the Washington County Surveyor's Office, said centerline is more particularly described as follows:

Beginning at a point at a point of tangency at Station 158+68.00 of Proposed County Road No. 2737 which bears South 63°14'24" West, 2500.74 feet from the Southeast corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon; thence along the centerline of Proposed County Road No. 2737 and from said Station 158+68.00, North 54°13'25" East, 3,139.10 feet to a point of curvature at Station 190+07.10; thence along the arc of a 1,700.00 foot radius curve to the right, through a central angle of 32°26'33", an arc distance of 962.58 feet (the chord of which bears North 70°26'42" East, 949.78 feet) to a point of tangency at Station 199+09.68"; thence North 86°39'58" East, 328.52 feet to a point of curvature at Station 202+98.20; thence along the arc of a 4,000.00 foot radius curve to the left, through a central angle of 20°05'47", an arc distance of 1,402.99 feet (the chord of which bears North 76°37'04" East, 1,395.81 feet) to a point of tangency at Station 217+01.19; thence North 65°14'11" East, 1,463.75 feet to a point of curvature at Station 231+64.94; thence along the arc of a 1,146.92 foot radius curve to the right, through a central angle of 24°48'18", an arc distance of 496.10 feet (the chord of which bears North 78°58'20" East, 492.24 feet) to a point of tangency at Station 236+61.04; thence South 88°37'31" East, 681.28 feet to the Point of Termination of Proposed County Road No. 2737 at Station 243+42.32, said point also being Station 68+71.84 as defined by Survey No. 19339 recorded in Washington County Survey Records, said point also being South 04°56'58" East, 501.16 feet from the one-quarter corner common to Sections 23 and 24, in Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon.

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13 1990

The width of said strip of land, with reference to the above described centerline, is as follows:

Station	to	Station	Width Southerly of Centerline
174+00		180+50	52.00 feet

EXCEPTING THEREFROM that portion thereof lying within the right-of-way of County Road No. 492 (Tualatin-Sherwood Road). ALSO EXCEPTING THEREFROM that portion dedicated to the use of the public by Dedication Deed recorded at Document No. 90-27088, in the Washington County Book of Records.

The parcel of land to which this description applies, contains 0.19 Acres, more or less.

Bearings based on Oregon Coordinate System, North Zone, NAD 1983.

CULVERT2/WP
DR:hs
8/10/90



NE 1/4 SECTION 27 T2S R1W W.M.

EXHIBIT "B"

WASHINGTON COUNTY OREGON

SCALE 1"=100'

SEE MAP
25 1 22D

TAX LITTED ON
21122D

88° 00' E
840.80
(841.78)

NORTH
1" = 100'

(C.S. 13,195)

A PORTION OF THE
ASSESSMENT MAP

23-76

NESS

STATE OF OREGON
County of Washington

I, Jerry R. Harzog, Director of Assessment and Taxation for said County, do hereby certify that the within partitions of writing were received and recorded in book of records of said County

Jerry R. Harzog, Director of Assessment and Taxation, Ex-Officio County Clerk

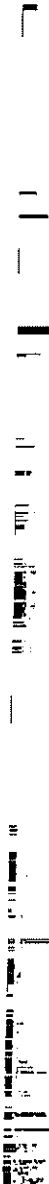
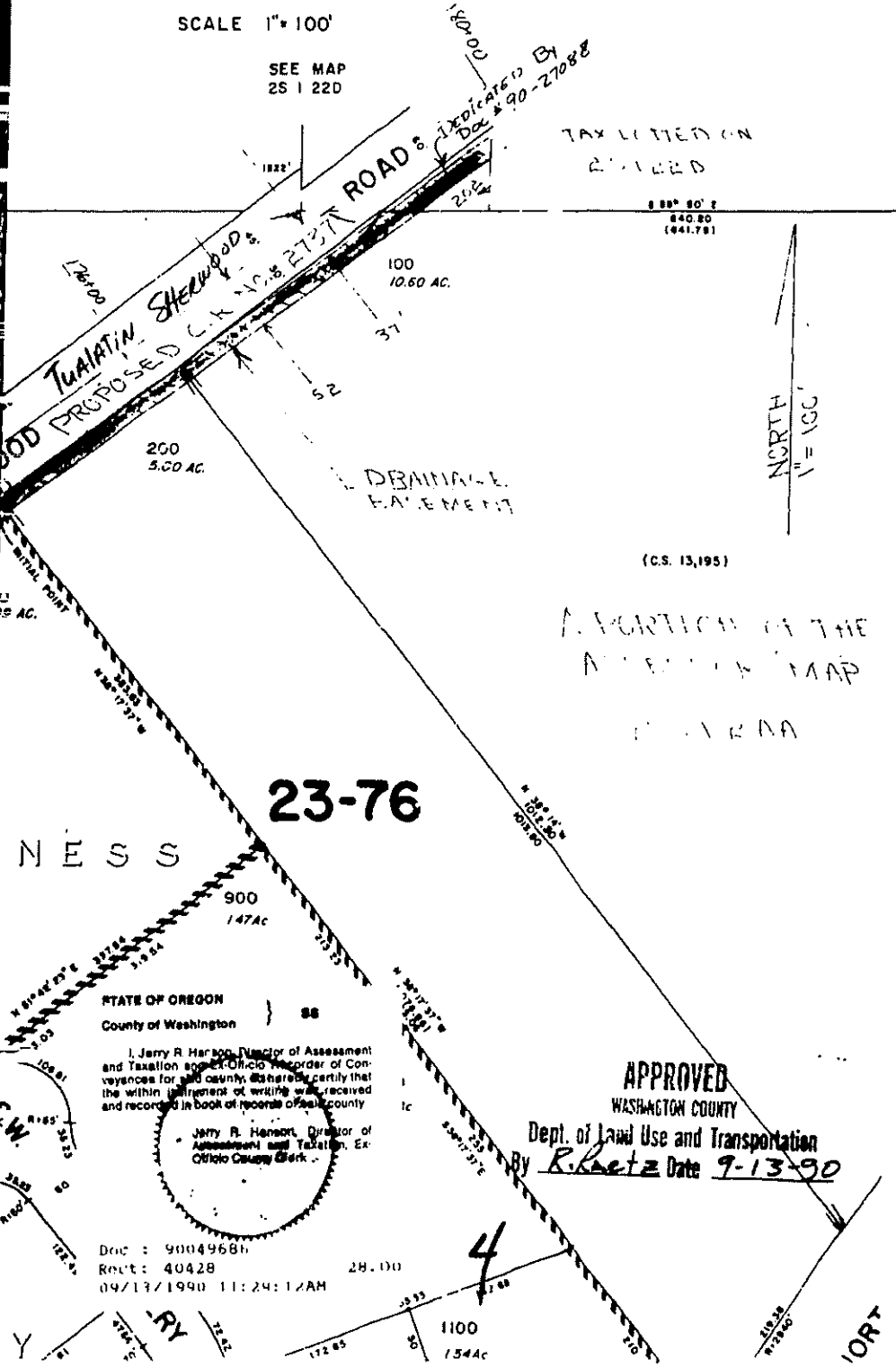
APPROVED
WASHINGTON COUNTY

Dept. of Land Use and Transportation
By R. Metz Date 9-13-90

Doc: 90049686
Rect: 40428 28.00
09/13/1990 11:24:12AM

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1100
154Ac



APR 15 1991

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91017983
Washington County

DEDICATION OF REAL PROPERTY AGREEMENT

THIS AGREEMENT made and entered on the date first indicated below by and between the City of Tualatin, a municipal corporation of the State of Oregon, hereinafter referred to as "City," and Oregon Culvert Company, Inc., an Oregon corporation hereinafter referred to as "Owner."

WITNESSETH

WHEREAS the Owner is the owner of record of property covered by this Agreement as shown in Section 2 below, and

WHEREAS the Owner has received Architectural Review (AR-90-35) approval from the City, dated November 16, 1990, to allow construction of a new building and storage facility and related improvements for the property described in Section 2 below, and

WHEREAS a condition on which the Architectural Review decision was made, requires the Owner of the property to enter into an agreement with the City for the future dedication of property along the entire length of the future Tualatin-Sherwood Road in order to facilitate the future design and construction of that road, and

WHEREAS the purpose of this Agreement is to provide a mechanism whereby the Owner of the property will, at some future time, dedicate a portion of such property along the future Tualatin-Sherwood Road to the City for right-of-way purposes, and

WHEREAS the parties intend this Agreement to fulfill part of the requirements and conditions under which approval of the Owner's Architectural Review application was made; other requirements and conditions of the Architectural Review approval shall remain in full force and effect.

NOW, THEREFORE, in consideration of the mutual promises, covenants, and undertakings and the issuance of a permit to the Owner, it is agreed:

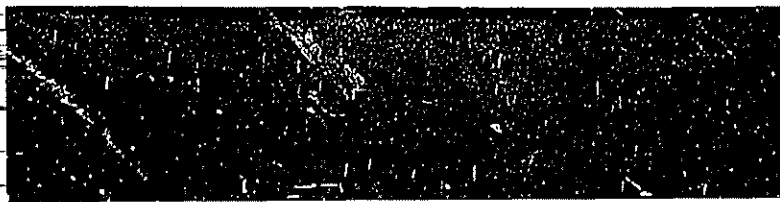
Section 1. The above recitals are true.

Section 2. The real property subject to this Agreement is described as follows:

A tract of land described on the Records of the Washington County Department of Assessment and Taxation as Document No. 83-17873, less Document No. 90-49685, also known as Tax Lot 200 of Tax Map 2S1 27AA, Tualatin, Oregon.

Section 3. Owner agrees that on the occurrence of either condition, specified in Section 4, Owner shall dedicate to the City of Tualatin by written instrument, granting marketable title, that portion of the property described in Section 2 above, which portion is generally described as follows:

1-4



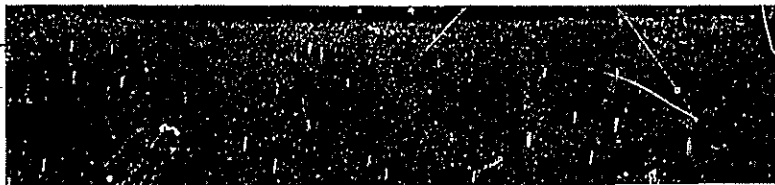
A tract of land lying along the entire frontage of the property adjacent to the right-of-way of Tualatin-Sherwood Road and running the entire length of the property along Tualatin-Sherwood Road, so that the future right-of-way from the future centerline adjacent to this site equals 45 feet.

Section 4. Upon the occurrence of either condition, specified below, Owner or Owner's successors in interest or assigns shall dedicate their title and rights to the property described in Section 3 to the City of Tualatin. The condition is as follows:

- (a) At the time the City decides to and does form a Local Improvement Assessment District for construction of street improvements to SW Tualatin-Sherwood Road, which in part encompass the section of right-of-way being dedicated by Owner, or
- (b) When sufficient funding becomes available from any source, whether public, private, a combination of public and private or other source and such funding is appropriated for construction of street improvements to SW Tualatin-Sherwood Road, including at least in part a portion of the section of right-of-way being dedicated by Owner.

Section 5. It is intended that all costs, expenses, damages, and compensation, if any, associated with or resulting from Owner or Owner's successors in interest or assigns dedication of property to the City are hereby waived and forfeited. Owner shall be fully responsible for all costs and expenses incurred in relocating the fence, landscaping, driveway and any other improvements within the area to be dedicated. Furthermore, City shall not be responsible for any taxes, assessments, or other liens or charges that may be charged to or applied against the property described in Section 3 prior to the dedication of such property. Owner shall be responsible for all costs in obtaining releases or satisfactions of liens and claims against the property, described in Section 3 prior to City acceptance thereof. The consideration provided herein for the dedication is the City's granting and Owner's use of an Architectural Review approval on the property, as referred to in the recitals. Such consideration is good, valuable and adequate to support this Agreement and the dedication.

Section 6. It is understood and agreed that this Agreement is intended only to satisfy the condition of the Architectural Review decision that the Owner agrees to dedicate property along SW Tualatin-Sherwood Road. This Agreement is not intended to relieve Owner or Owner's successors in interest or assigns of any applicable code, statutory, or other requirements or obligations which exist or may arise as part of some future construction, permit application, related activity, or other development application.



APR 15 1991

Section 7. It is intended by the City and Owner that all terms of this Agreement shall be covenants, conditions, and restrictions, running with the title to the property described in Section 2, and shall be binding upon the parties to this Agreement, their heirs, executors, assigns, administrators, and successors and shall be construed to be a benefit and burden upon the property described in Section 2.

Section 8. Promptly after its execution by the parties, this Agreement shall be recorded in the Records of Washington County to provide public notice of the conditions, covenants, and restrictions against the title to the property imposed by this Agreement.

Section 9. City may enforce the terms of this Agreement in any court of competent jurisdiction. In addition to any other legal remedies, Owner or Owner's successors in interest or assigns failure or refusal to comply with the terms of this Agreement shall constitute a violation of the Tualatin Community Development Plan and Code and the rights, remedies, and penalties provided therein may, in addition to other remedies, also be enforced. If suit or action is brought to enforce the terms, conditions, or obligations contained in this Agreement, then in addition to any other remedy, the losing party agrees to pay the prevailing party's reasonable attorneys fees to be fixed by the trial and appellate courts respectively.

Section 10. Owner shall provide City with a current preliminary title or lot book report, covering the property described in Section 2 or Section 3 at the time this Agreement is executed and delivered to the City for acceptance.

Section 11. This Agreement represents the entire agreement of the parties and any representations, discussions or oral agreements not expressly set forth herein shall not be part of this Agreement.

Section 12. The Owner as a corporation has caused this Agreement to be signed and acknowledged in accordance with the approval of its board of directors.

IN WITNESS WHEREOF, the undersigned being Owner herein, as hereunto set his hand this 19th day of February, 1991.

OREGON CULVERT COMPANY, INC.

BY Glen Richards
Glen Richards, President

APR 15 1991

STATE OF OREGON }
County of Washington } ss.

On this 19th day of ~~February~~ February, 1991, before me, the undersigned, a Notary Public personally appeared Don Richards, an authorized representative of Oregon Culvert Company, Inc., and acknowledged the foregoing instrument to be his voluntary act and deed on behalf of Oregon Culvert Company, Inc.

William E. Omer
NOTARY PUBLIC - OREGON
My Commission Expires 02-13-94

Before me: William E. Omer
Notary Public For Oregon
My Commission expires: 02-13-94

INTRODUCED AND ADOPTED this day of , 1991.

CITY OF TUALATIN, Oregon

BY Stephen A. Rhodes
City Recorder

The undersigned City Manager of the City of Tualatin, being duly authorized and directed by the Council of the City of Tualatin, pursuant to Ordinance No. 787-89, does hereby approve and accept the foregoing Dedication of Real Property Agreement on behalf of the City of Tualatin.

Dated this 4th day of April, 1991.

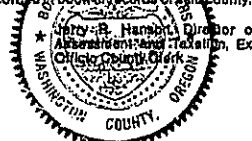
Stephen A. Rhodes
City Manager

After recording, return to:
City of Tualatin
P.O. Box 369
Tualatin, OR 97062

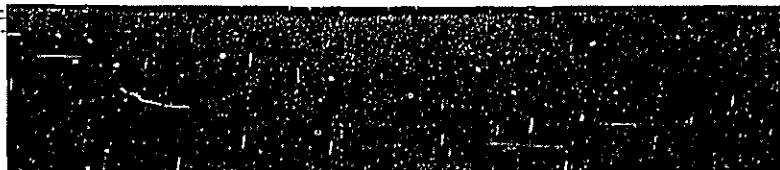
f:culvert.agr


STATE OF OREGON }
County of Washington } ss

I, Jerry R. Hanson, Director of Assessment and Taxation and Clerk of Conveyances for said county, do hereby certify that the within instrument or will was received and recorded in book of records of said county.



Doc : 91017983
Rect. S2493 28.00
04/15/1991 01:31:13PM



5 = 68
285136
42003731658

CHICAGO

Washington County, Oregon **2004-137530**
12/01/2004 02:08:24 PM
D-R/B Cnt=2 Stn=7 K GRUNEWALD
\$85.00 \$5.00 \$6.00 \$11.00 - Total = \$107.00

After recording return to:

Perkins Coie, LLP
10th Floor
1120 NW Couch St.
Portland, Oregon 97209
Attention: Richard A. Cantlin

This space re



00692931200401375300170174

I, Jerry Hanson, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.

Jerry Hanson

Jerry R. Hanson, Director of Assessment and Taxation, Ex-Officio County Clerk



RESTRICTIVE COVENANT AND DECLARATION OF EASEMENT

This RESTRICTIVE COVENANT AND DECLARATION OF EASEMENT (this "Declaration") is made as of Nov. 24, 2004 by SFP TUALATIN LLC ("Declarant").

RECITALS

- A. Declarant is the owner of that certain real property described on the attached Exhibit A (the "Property").
- B. The Property currently consists of three (3) lots known as Lot 1, Lot 2, and Lot 3 (collectively, the "Lots"), which were created as part of Partition Plat No. 2003-040 recorded as Document No. 2003098057 in the real property records of the County of Washington, State of Oregon (the "Partition Plat").
- C. An access and utility easement over a portion of the Property and benefiting the entire Property was recorded as part of the Partition Plat. A private roadway will be constructed within the area of the aforementioned easement.
- D. Declarant desires to establish a general plan for shared access over, and the maintenance of, the private roadway in Lot 3 and to provide for a general plan for development on the Lots.
- E. The provisions set forth in this Declaration are for the benefit of Declarant and all parties hereafter acquiring an interest in the Property.



DECLARATION

NOW, THEREFORE, Declarant hereby declares and covenants that the Property shall be held, sold and conveyed subject to the following covenants and easements, which are intended to and shall run with the land, continue in perpetuity and shall be binding upon all parties having or acquiring any right, title or interest in the Property and shall inure to the benefit of each owner and subsequent owners:

1. Definitions

In addition to the terms defined elsewhere in this Declaration, as used in this Declaration the following terms shall have the following meanings:

1.1 Roadway

"Roadway" shall mean that portion of the Property depicted as the "Roadway" on Exhibit B. As used in this Declaration, the term "Roadway" shall also mean and include all improvements such as the subgrade under the roadway, utilities, paving of the roadway, parking areas, landscaping, stormwater detention and quality facilities, curbs and sidewalks now or hereafter constructed or placed upon any portion of the real property depicted as the "Roadway" on Exhibit B. The Roadway shall specifically include, without limitation, the cul-de-sac at the southeastern end of the Roadway (the "Cul-de-Sac") whether the Cul-de-Sac is now or hereafter constructed.

1.2 Owner

"Owner" shall mean and include any individual, corporation, partnership, trust, association or other entity, including Declarant, in which fee simple title to the Property, or any portion thereof, is vested, as shown by the Official Records of Washington County, Oregon. Owner shall also include any person or entity holding a contract vendee's interest in any portion of the Property, but does not include a contract vendor, mortgagee or beneficiary of a trust deed whose interest is that of a secured party.

1.3 Maintenance

"Maintenance" shall mean any work reasonably required to keep the Roadway in good condition for the purposes for which the improvements were intended and in compliance with all applicable governmental regulations and the terms of this Declaration including cleaning, repairs, reconstruction and replacement, and stormwater filter replacement.



2. Maintenance.

2.1 Initiating Maintenance

Each Owner shall be entitled to initiate Maintenance. The Owner initiating Maintenance ("Initiating Owner") will be responsible for initial payment of any Maintenance costs. Within thirty (30) days of completion of any maintenance activities, the Initiating Owner shall provide an invoice to the other Owner or Owners (the "Non-Initiating Owner" or "Non-Initiating Owners") setting forth the reasonable costs of such Maintenance and its proposed allocation of those costs among the Owners (subject to Section 2.2 below). The Non-Initiating Owner(s) will thereafter have 30 days to reimburse the Initiating Owner. If the required Maintenance exceeds \$1,000 per incident, or \$2,500 cumulative Maintenance in any calendar year, the Initiating Owner must obtain written agreement from the Non-Initiating Owner(s) prior to performing such Maintenance, which agreement shall not be unreasonably withheld or delayed. Notwithstanding the foregoing, Declarant, its successors, assigns, and affiliates shall not be required to obtain the agreement, whether written or oral, of the other Owner(s) prior to initiating any Maintenance. No Owner may permit any mechanic's lien or construction lien to attach to the Roadway on account of any maintenance activity it may perform or cause to be performed.

2.2 Percentage Allocations

Maintenance costs shall be allocated pro rata to each of the Lots upon which substantial construction has been initiated according to the number of such Lots, except that any Maintenance costs that are directly attributable to the use of the Roadway by any one Owner shall be the sole responsibility of that Owner. The partition or subdivision of any Lot after recording of this Declaration shall not affect the allocation of Maintenance costs under this Declaration and all of the Owners of parcels within a partitioned or subdivided Lot shall be jointly and severally liable for the Maintenance costs allocated to that Lot (e.g. if only Lot 1 and Lot 2 have been developed and Lot 2 has been partitioned into two (2) parcels, the Owner of each parcel within Lot 2 would be liable for the entirety of the 50% of the Maintenance costs allocated to Lot 2).

2.3 Right to Use

Subject to the provisions of Article 7 hereof regarding modification and amendment of this Declaration, and subject to the provisions of Section 8.1 hereof negating any public rights, each Owner, its heirs, executors, administrators, successors, assigns, employees, agents, lessees, customers, licensees, visitors, invitees, and concessionaires shall have the nonexclusive easement and right to use the Roadway for the purpose of furnishing pedestrian and vehicular ingress and egress to and from the lots in the Property. Such rights shall include incidental rights to install, maintain, repair and replace driveways, underground utilities, sewers, storm drains, and similar facilities, curbs, gutters, plants and landscaping, planters, sprinklers and valves provided, however, that none of the foregoing shall interfere with the normal and customary use of the Roadway for ingress and egress purposes and such installation, maintenance, repair, or replacement shall be at that Owner's sole cost and



expense and such Owner shall restore the Roadway to its pre-installation, maintenance, repair, or replacement condition. In addition to any other rights hereunder and notwithstanding anything to the contrary in this Declaration, for so long as Declarant or an affiliate of Declarant is an Owner, Declarant or such affiliate shall be entitled to construct, reconstruct, or replace the Roadway at its sole cost and expense. Such right to reconstruct or replace the Roadway shall include the right to change the grade of the Roadway at anytime in the vicinity of, and including, the Cul-de-Sac, provided, that such grade change complies with the conditions of Section 4.2 (below) and that such grade change does not materially and negatively impact any driveway to Lot 2 outside of the Slope Easement area depicted on the attached Exhibit C.

2.4 Insurance

Each Owner shall procure and maintain public liability insurance with a combined single limit of not less than \$1,000,000. Such insurance shall name each other Owner as an additional insured and shall contain a contractual liability endorsement referring to this Declaration.

3. Obstructions

No walls, fences, grade differentials or other barriers or physical conditions which create an impediment to the use and enjoyment of the Roadway shall be constructed or permitted to remain in or upon the Roadway. The Roadway shall not be used for parking, staging, or queuing or otherwise blocked or obstructed.

4 Easements

4.1 Utility Easement

A non-exclusive perpetual easement is hereby granted to the Owners, their successors and assigns, for the benefit of the Lots, over a portion of Lot 1 consisting of a strip of land twenty (20) feet wide and abutting the northeastern lot line of Lot 1 and over a portion of the Property consisting of a twenty (20) foot wide strip of land abutting Tualatin-Sherwood Road, all as described in Exhibit D (the "Easement Area"). The Owners shall only use the Easement Area for the construction, installation, and maintenance of utilities serving their Lots, except that any Owner may use any portion of the Easement Area on their Lot for any other reasonable purpose, including the installation of landscaping and pavement, except that such Owner may not construct any buildings or retaining walls in the Easement Area or otherwise materially interfere with the rights of the other Owner(s) under this easement. The Owners shall (a) coordinate utility construction and installation in the Easement Area, (b) to the extent practicable, leave reasonable space in the Easement Area for the construction and installation of utilities serving the other Lots, if the other Lots are not already fully served by utilities, and (c) minimize any material interference with the use of any Lot resulting from the use of the Easement Area on that Lot.



4.2 Slope Easement

A non-exclusive perpetual slope easement is hereby granted to the Owner(s) of Lot 1 and Lot 3 over that portion of Lot 2 depicted on the attached Exhibit C as the "Slope Easement Area". The purpose of this easement is to allow the Owner(s) of Lots 1 and 3 to adjust the grade of the Roadway as constructed and/or planned in the vicinity of the proposed Cul-de-Sac if needed to provide appropriate access to the development of Lots 1 and 3. Recognizing that the Owner of Lot 2 intends to construct a driveway and related site improvements in the Slope Easement Area, this easement is intended to meet the needs of future development without materially and adversely impacting the development of Lot 2. Consequently, any revisions to grading or improvements in the Slope Easement Area shall not result in any grade in any direction on the driveway or sidewalks that exceeds 5% slope. Further, all curbs, retaining walls, paving, landscaping, irrigation, fence, gates, controllers and related equipment which may have been installed by the Owner of Lot 2 in the Slope Easement Area shall be replaced and/or modified as required to maintain their intended purpose as a result of the revised grading. During any work in the Slope Easement Area, the Owner(s) of Lot 1 and/or 3 shall use all reasonable efforts to ensure that existing driveway within the Slope Easement Area remains fully operational during normal business hours. All work in the Slope Easement Area shall be completed to a level of quality commensurate with conditions that existed at the start of work, and at the sole cost and expense of the Owner(s) of Lot 1 and/or 3.

4.3 Non-Merger

If any Lot(s) benefited by the easements granted herein is at anytime owned by the same person or entity then owning the Lot burdened by any such easement, the easements granted herein shall not be deemed to terminate by merger of the dominant and servient estates.

5. Building Design.

5.1 Design Review

As long as Declarant or any affiliate of Declarant is an Owner, no improvement, structure, or building may be constructed or installed on any Lot without the prior written consent of Declarant or Declarant's affiliate, which consent shall not be unreasonably withheld or delayed. Without limiting the circumstances under which consent may be withheld, Declarant or Declarant's affiliate may specifically withhold its consent if it reasonably determines that the proposed improvement, structure, or building is not consistent with the quality and appearance of the other improvements, structures, or buildings on the Property or in the general area of the Property. Prior to construction of any improvement, structure, or building on the Property and prior to making an application to any local government for approval to construct such improvement, structure, or building, the Owner proposing to construct or install such improvement, structure, or building shall submit to Declarant or Declarant's affiliate such plans as are reasonably necessary to allow Declarant or



Declarant's affiliate to evaluate the proposed improvement, structure, or building. Such plans may include, without limitation, site plans, elevations, and sample building material sheets. Upon receipt of the consent of Declarant or Declarant's affiliate, the Owner proposing to construct such improvement, structure, or building may proceed with such construction, provided such construction does not materially deviate from the plans submitted to Declarant or Declarant's affiliate for review. Notwithstanding anything to the contrary herein, Declarant, its successors, assigns, and affiliates shall not be required to obtain the consent of the other Owner(s) under this Section 5.1.

5.2 Metal Sided Buildings

No building with exterior walls that appear from the exterior to substantially consist of, be coated in, or be covered by metal or a metallic substance may be constructed or installed on the Property.

5.3 Outdoor Storage

Outdoor storage may be permitted on the Property if such storage is (a) in compliance with the City of Tualatin Development Code or any successor or related ordinance and all other applicable laws and regulations and (b) all such storage is screened from view from adjacent streets and buildings either by landscaping or aesthetically appealing and appropriate fencing, which fencing or landscaping shall be at least six (6) feet in height, but in no event higher than the maximum height allowed under applicable law. All fencing or landscaping shall be properly maintained in an aesthetically appealing condition. All dead, dying, or diseased plant material in any landscape screening shall be immediately replaced with healthy plant material providing effective and aesthetically appealing screening. Any outdoor storage area and associated screening shall be subject to review under Section 5.1 above.

6. Enforcement

6.1 Cumulative Remedies

The remedies permitted or available pursuant to the provisions of this Declaration, at law or in equity shall be cumulative.

6.2 Attorneys' Fees and Costs

In the event any suit or other proceeding with respect to the subject matter or enforcement of this Declaration, including without limitation, in any appellate proceeding or any action or participation in, or in connection with, any case or proceeding under the Bankruptcy Code, 11 United States Code Sections 101 *et seq.*, or any successor statutes, the prevailing party (as determined by the court, agency or other authority before which such suit or proceeding is commenced) shall, in addition to such other relief as may be awarded, be entitled to recover reasonable attorneys' fees, expenses and costs of investigation (whether



incurred at the trial or appellate level, in an arbitration proceeding, in bankruptcy (including without limitation, any adversary proceeding, contested matter or motion) or otherwise).

6.3 Injunctive Relief and Damages

In the event of any breach or threatened breach of any provision of this Declaration, any Owner may prosecute any proceeding at law or in equity to enjoin such breach or threatened breach and to recover damages for any such breach.

6.4 Cure by Non-Defaulting Party

In the event any Owner defaults in the performance of any of its obligations or agreements hereunder, or breaches any provision of this Declaration, any other Owner shall have the right, but not the obligation, after giving written notice to such defaulting Owner specifying such default or breach in reasonable detail and allowing such defaulting Owner a reasonable time (not less than thirty (30) days) to cure such default or breach, to cure such default or breach for the account of and at the expense of such defaulting Owner, and the Owner curing such default or breach shall have the right to recover from such defaulting Owner all reasonable costs and expenses expended in connection therewith, plus interest thereon at the rate of twelve percent (12%) per annum.

6.5 Enforcement by Lien

All reasonable costs and expenses of curing any breach or default of a defaulting Owner including interest on such amounts at the rate pursuant to Section 6.4 above, and all costs and expenses of any suit or action, including attorneys' fees, pursuant to Section 6.2 above shall be assessed against such defaulting Owner and shall be payable upon written demand. Should such defaulting Owner fail to pay such costs and expenses within thirty (30) days of its receipt of such written demand, such costs and expenses shall also constitute a lien until paid, effective upon recordation of a verified notice of lien in the Official Records of Washington County, Oregon. Such costs and expenses shall constitute a lien against, and such notice of lien shall describe, only the portion of the Property owned by such defaulting Owner. Any such lien shall be subject and subordinate to any bona fide first mortgage or deed of trust encumbering any portion of the Property at the time such notice of lien is recorded or thereafter, and any purchaser at any foreclosure or trustee's sale (as well as any grantee by deed in lieu of foreclosure or trustee's sale) under any such mortgage or deed of trust shall take title free and clear of any such lien, but otherwise subject to all of the provisions of this Declaration. Except as provided above, any such lien shall be prior and superior to any lien recorded subsequent to the recordation of such notice of lien. Any such lien may be enforced by suit or action in any court of competent jurisdiction or by sale under power of sale, judicial foreclosure or in any manner allowed by law.

6.6 Contribution

Any Owner who is forced, required or volunteers to pay any portion of the costs of Maintenance of the Roadway in excess of its percentage Maintenance cost allocation under



Section 2.1 of this Declaration shall have a cause of action against the other Owner(s) for such Owner's or Owners share of the cost, as provided for in Section 2.1, plus interest thereon as provided in Section 6.4.

6.7 Arbitration

In the event of any dispute under this Declaration, the Owners involved in such dispute shall agree upon an arbitrator who shall resolve such disagreement. If the Owners cannot agree on an arbitrator, the presiding judge for the Circuit Court of the State of Oregon for the County of Washington County shall appoint an arbitrator. The decision of the arbitrator shall be binding on the Owners and the fee of the arbitrator shall be borne equally by the Owners.

6.8 Indemnity

Each Owner hereby indemnifies and holds harmless the other Owner(s) from any claims, actions, damages, penalties and all other costs and expenses of any kind (including reasonable attorneys' fees) or nature relating to or arising out of the usage of the Roadway or the Easement Area by the indemnifying Owner, unless such claim, action, damage, penalty, cost, or expense is the result of the negligence or willful misconduct of the other Owner(s).

7. Modification and Amendment

This Declaration may be amended or modified, in whole or in part only by the agreement of all of the then Owners of the Property. No such amendment, modification, termination or cancellation shall be effective until a written instrument setting forth its terms has been executed, acknowledged and recorded by such Owners in the Official Records of Washington County, Oregon. No such amendment, modification, termination or cancellation shall affect the rights of any mortgagee under a mortgage or any trustee or beneficiary under a deed of trust constituting a lien on the Property, or any portion thereof, and recorded in the Official Records of Washington County, Oregon at the time of such amendment, modification, termination or cancellation unless such mortgagee, trustee or beneficiary consents thereto, which consent shall not be unreasonably withheld. No person other than an Owner and any such mortgagee, trustee or beneficiary shall be required to join in the execution of or consent to any such amendment, modification, termination or cancellation.

8. General Provisions

8.1 Not a Public Dedication

Nothing contained in this Declaration shall be deemed to be a gift or dedication of any portion of the Property to the general public or for the general public or for any public purpose whatsoever, and this Declaration shall be strictly limited to and for the purposes expressed herein.



8.2 Severability

Invalidation of any provisions of this Declaration shall in no way affect any of the other provisions of this Declaration.

8.3 Headings

The captions and headings of the various Articles and Sections of this Declaration are for convenience and identification only, and shall not be deemed to limit or define the contents of their respective Articles or Sections.

8.4 Effective Date

This Declaration shall take effect only upon its recordation in the Official Records of Washington County, Oregon.

8.5 Notice

Any notice under this Declaration shall be in writing and shall be effective when actually delivered or, if mailed, when deposited, certified or registered mail, return receipt requested, postage paid. Mail shall be directed to the address of the record Owner for tax statement purposes, as filed with the Washington County Tax Assessor, or such other address as a party may specify by notice to the other party.

9. Compliance with Laws

Each Owner and their heirs, executors, administrators, successors, assigns, employees, agents, lessees, customers, licensees, visitors, invitees and concessionaires, with respect to their use and enjoyment of the Roadway and the Easement, shall comply in all respects with all statutes, ordinances, rules and regulations of the United States, the State of Oregon, the City of Tualatin and all political subdivisions of any thereof with jurisdiction or claiming jurisdiction over the Property.



EXHIBIT A

Parcels 1, 2 & 3 of Partition Plan NO. 2003-040 recorded as Document NO. 2003098057
in the City of Tualatin, Washington County, Oregon.



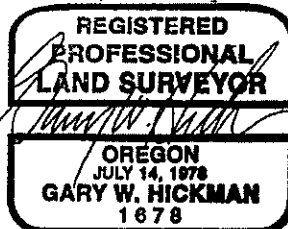
EXHIBIT "B"

THE ROADWAY

A tract of land located within Parcels 1, 2 and 3 of Partition Plat 2003-040 of Washington County Plat Records located in the southeast quarter of Section 22 and the northeast quarter of Section 27, Township 2 South, Range 1 West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at the corner common to said Parcel 1, Parcel 3 and S.W. Tualatin-Sherwood Road (being 49.00 feet from centerline); thence following the northwesterly line of said Parcel 1, south 52°21'13" West a distance of 1.00 feet to the "TRUE POINT OF BEGINNING"; thence following the northwesterly lines of Parcels 1, 2 and 3, North 52°21'13" East a distance of 45.50 feet; thence following the lines of the private access and utility easement shown on said Partition Plat 2003-040, South 38°29'37" East a distance of 62.94 feet; thence following the arc of a curve turning to the right having a radius of 50.00 feet, with an arc length of 25.27 feet (chord bears South 24°00'58" East 25.00 feet); thence following the arc of a curve turning to the left having a radius of 50.00 feet, with an arc length of 50.85 feet (chord bears South 09°55'58" East 25.00 feet); thence South 38°29'37" East a distance of 424.68 feet; thence following the arc of a curve turning to the left having a radius of 25.00 feet, with an arc length of 25.80 feet (chord bears South 68°03'23" East 24.67 feet); thence following the arc of a curve turning to the right having a radius of 51.00 feet, with an arc length of 263.69 feet (chord bears South 50°30'16" West 53.87 feet); thence following the arc of a curve turning to the left having a radius of 19.00 feet, with an arc length of 18.94 feet (chord bears North 09°55'58" West 18.17 feet); thence North 38°29'37" West a distance of 537.00 feet to the "TRUE POINT OF BEGINNING"; which is the point of beginning, having an area of 27,253 square feet, 0.63 acres, more or less.

File: 20605_easeb
Date: Wednesday, November 17, 2004



RENEWAL DATE 06/30/05
DATE OF SIGNATURE 11/17/04

EXHIBIT "B-1"

BASIS OF BEARINGS
 (N 89°37'22" E 2644.37' R7)
 E 2644.36' 1/4 COR. TO SEC. COR.
 N 89°37'22" E 456.46'

CENTERLINE STA 190+07.10 P.C.
 PER SN 25,092

"INIT
 FOUR
 USB"

SHERWOOD ROAD
 S 5°13' E 3139.10' R6)
 21'13" E 3139.07'

N 52°21'13" E 1566.71'
 12.00' N 52°21'13" E 385.04' 12.00'

12.00' RIGHT-OF-WAY
 DEDICATION

THE ROADWAY

PARTITION PLAT 2003-040

PARCEL 1
 230,474 SQ. FT.
 5.29 ACRES

PARCEL 2
 PARTITION PLAT
 1995-070

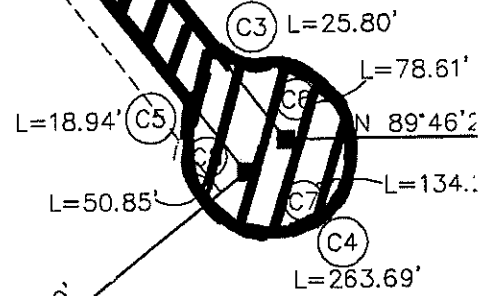
LOT 3
 AVERY BUSINESS PARK
 PHASE 2

LOT 4
 1074.62'
 251.14'
 461.1'

PRIVATE ACCESS AND
 UTILITY EASEMENT FOR THE
 BENEFIT OF PARCELS 1, 2 &
 (SEE DETAIL "A" ON SHEET

PARCEL
 218,320 SQ
 5.01 ACRES

PARCEL 3
 217,627 SQ. FT.
 5.00 ACRES



8.08'
 R

Exhibit "C"

SLOPE EASEMENT

PARCEL 2, PARTITION PLAT 2003-040
 IN THE NE 1/4 SEC 27, T.2S., R.1W., W.M.,
 City of Tualatin, Washington County, Oregon

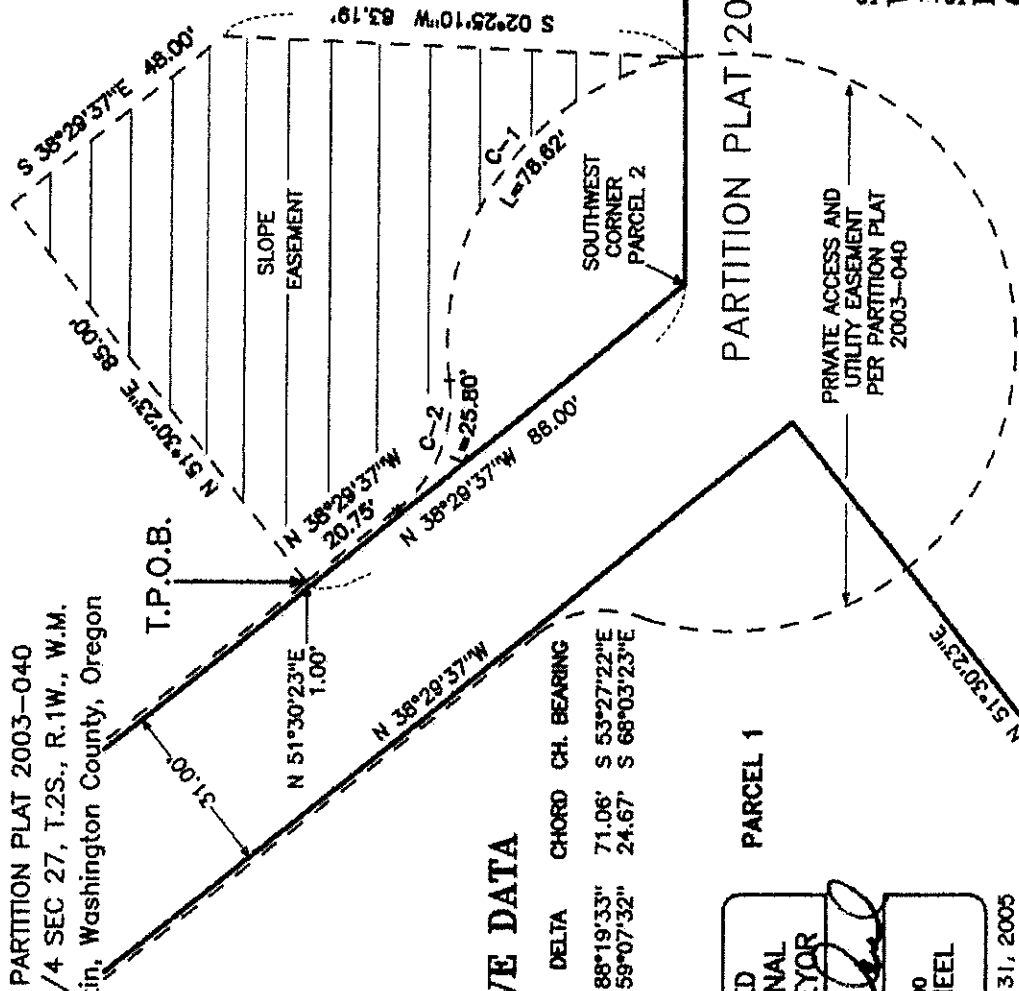


SCALE: 1" = 30'
 DATE: NOV. 19, 2004

PARCEL 2

CURVE DATA

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	51.00'	78.62'	89°19'33"	71.06'	S 53°27'22"E
C-2	25.00'	25.80'	59°07'32"	24.67'	S 68°03'23"E



PARTITION PLAT 2003-040

PARCEL 1

PARCEL 3

Surveyor:
 Weddle & Assoc., Inc.
 1750 SW Skyline Blvd.
 Suite 105
 Portland, OR 97221-2544
 (503) 292-8083
 1-888-222-8083
 Fax: (503) 292-0938

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

Gary W. Cheel

OREGON
 JULY 11, 2000
 GARY W. CHEEL
 42649

EXPIRES DECEMBER 31, 2005



Weddle & Associates, Inc.

Professional Land Surveyors

1750 S.W. Skyline Blvd., Suite 105
Portland, Oregon 97221

OFFICE (503) 292-8083 - TOLL FREE (888) 222-8083
FAX (503) 292-0938



Gary W. Cheel
OREGON
JULY 11, 2000
GARY W. CHEEL
42649

RENEWAL DATE: DEC. 31, 2005

November 19, 2004
Job No. 3760SLPE

SLOPE EASEMENT

EXHIBIT "C-1"

LEGAL DESCRIPTION:

A tract of land for slope easement purposes, being a portion of Parcel 2, Partition Plat 2003-040, a duly recorded subdivision in the Northeast 1/ 4 of Section 27, Township 2 South, Range 1 West of the Willamette Meridian, City of Tualatin, County of Washington and State of Oregon, being more particularly described as follows:

Commencing at the Southwest corner of said Parcel 2; thence along the Westerly line thereof North 38°29'37" West, 86.00 feet; thence leaving said Westerly line North 51°30'23" East, 1.00 feet to a point on the Northeasterly line of a Private Access and Utility Easement as shown on said Partition Plat, said point being the True Point of Beginning of the herein described tract of land; thence North 51°30'23" East, 85.00 feet; thence South 38°29'37" East, 48.00'; thence South 02°25'10" West, 83.19 feet to a point on the South line of said Parcel 2, said point also being on the arc of a non-tangent 51.00 foot radius curve left, a radial line bears North 80°42'24" East to said point; thence Northerly and Westerly along the arc of said curve 78.62 feet through a central angle of 88°19'33" (the long chord bears North 53°27'22" West, 71.06 feet) to the beginning of a tangent 25.00 foot radius curve to the right; thence along the arc of said curve 25.80 feet through a central angle of 59°07'32" (the long chord bears North 68°03'23" West, 24.67 feet); thence North 38°29'37" West, 20.75 feet to the True Point of Beginning.

Containing therein 5464 square feet.



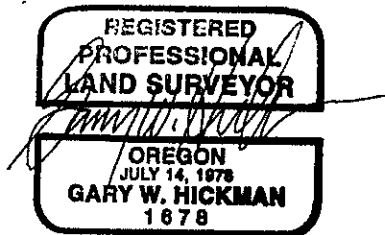
EXHIBIT "D"

20' UTILITY EASEMENT

A tract of land located within Parcels 1, 2 and 3 of Partition Plat 2003-040 of Washington County Plat Records located in the southeast quarter of Section 22 and the northeast quarter of Section 27, Township 2 South, Range 1 West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at the most westerly corner of said Parcel 3; thence following the northwesterly line of said Parcels 1, 2 and 3, thence North 52°21'13" East a distance of 557.39 feet to a point on the northeasterly line of said Parcel 2; thence following the northeasterly line of said Parcel 2, South 00°19'50" East a distance of 25.15 feet; thence following a line lying 20.00 feet southeasterly of and parallel with the northwesterly lines of said Parcels 2 and 3, South 52°21'13" West a distance of 156.80 feet; thence following the northeasterly line of said Parcel 1, South 38°29'37" East a distance of 575.79 feet; thence following the southeasterly line of said Parcel 1, South 51°30'23" West a distance of 20.00 feet; thence following a line lying 20.00 feet southwesterly of and parallel with the northeasterly line of said Parcel 1, North 38°29'37" West a distance of 576.08 feet; thence following a line lying 20.00 feet southeasterly of and parallel with the northwesterly line of Parcel 1, South 52°21'13" West a distance of 365.04 feet; thence following the southwesterly line of said Parcel 1, North 38°29'37" West a distance of 20.00 feet to the Point of Beginning; having an area of 22,511 square feet, 0.52 acres, more or less.

File: 20605_eased
Date: Wednesday, November 17, 2004



RENEWAL DATE 06, 30, 05
DATE OF SIGNATURE 11, 17, 04

EXHIBIT "D-1"

BASIS OF BEARINGS:
 N 89°37'22" E 2644.37' R7)
 E 2644.36' 1/4 COR. TO SEC. COR.
 N 89°37'22" E 456.46'

CENTERLINE STA 190+07.10 P.C.
 PER SN 25,092

"INITI
 FOUR
 USB"

SHERWOOD ROAD
 N 52°21'13" E 1566.71'
 S 1°13' E 3139.07'
 N 52°21'13" E 3139.07'

PARCEL 2

PARCEL
 218,320 SQ.
 5.01 ACRI

PRIVATE ACCESS AND
 UTILITY EASEMENT FOR THE
 BENEFIT OF PARCELS 1, 2 &
 (SEE DETAIL "A" ON SHEET :

**20' UTILITY
 EASEMENT**

PARCEL 1
 230,474 SQ. FT.
 5.29 ACRES

PARTITION PLAT 2003-040

C3 L=25.80'
 L=78.61'
 L=18.94'
 N 89°46'2
 L=134.2
 L=50.85'
 C7
 C4
 L=263.69'

PARCEL 3
 217,627 SQ. FT.
 5.00 ACRES



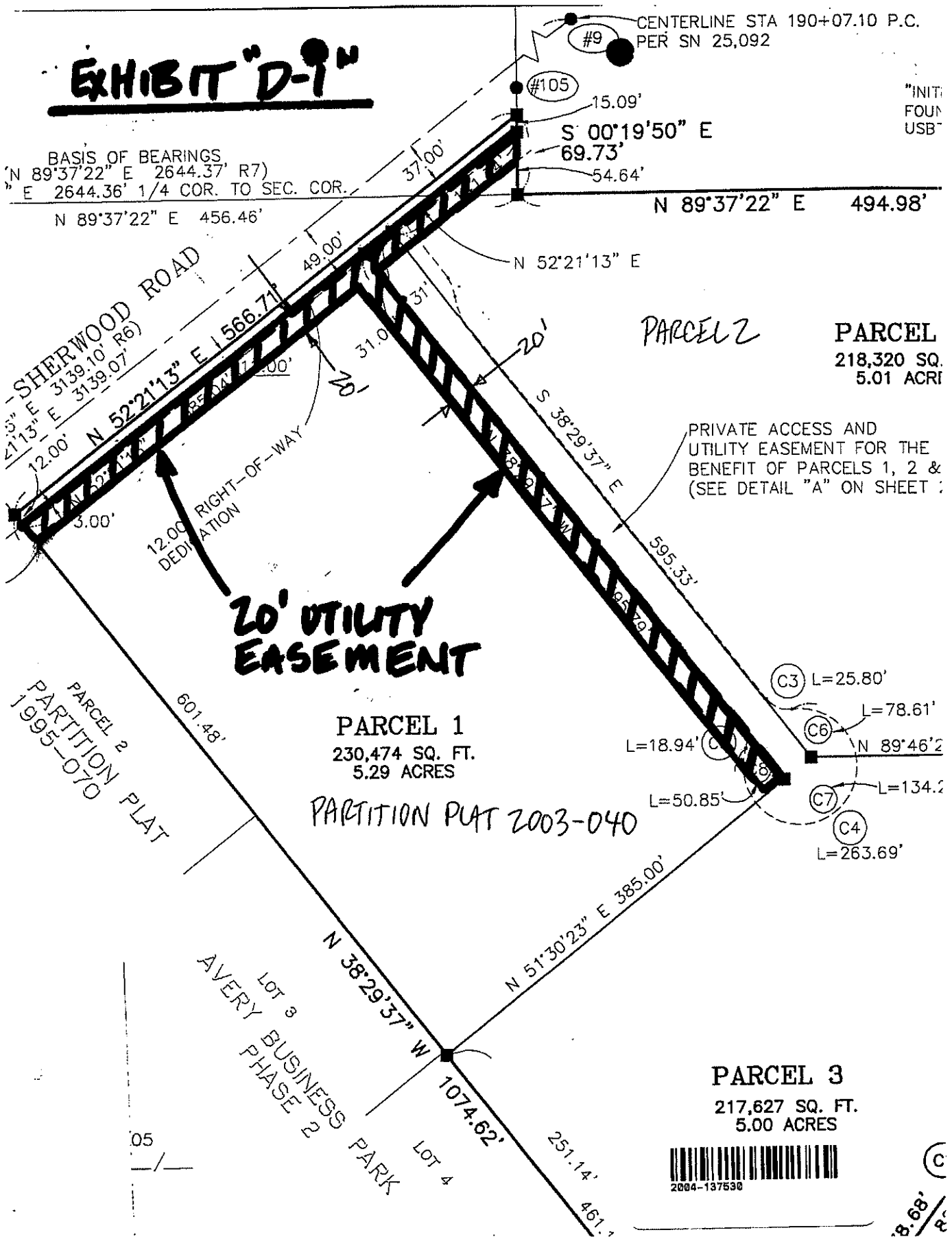
©
 8.68' / R

PARCEL 2
 PARTITION PLAT
 1995-070

LOT 3
 BUSINESS PARK
 PHASE 2

LOT 4

05



30
6
11
5

After recording return to
Irving Potter
Josselson, Potter & Roberts
425 NW 10th Ave., Suite 306
Portland, OR 97209

Washington County, Oregon 2006-068730
06/09/2006 08:30:11 AM
D-R/E Cnt=2 Sln=9 C TOMPKINS
\$30.00 \$5.00 \$8.00 \$11.00 - Total = \$52.00



00964451200800887300080080

I, Jerry Hanson, Director of Assessment and Taxation
and Ex-Officio County Clerk for Washington County,
Oregon, do hereby certify that the within instrument of
writing was received and recorded in the book of
records of said county.

Jerry Hanson

Jerry R. Hanson, Director of Assessment and Taxation,
Ex-Officio County Clerk



AMENDMENT TO
RESTRICTIVE COVENANT AND DECLARATION OF EASEMENT

Each of the Owners of property subject to the Restrictive Covenant and Declaration of Easement recorded December 1, 2004 as Fee No. 2004-137530 of the Official Records of Washington County, Oregon (the "Declaration") by execution hereof, agree to amend the Declaration as follows:

1. Properties Affected. This amendment affects the three parcels know as known as Parcel 1, Parcel 2, and Parcel 3 created as part of Parcel Plat Map No. 2003-040 recorded as Document No. 2003098057 in the real property records of the County of Washington, State of Oregon (the "Partition Plat").

2. Additional Easement.

2.1 Creation of Additional Easement. A non-exclusive easement is hereby granted to the Owners, their successors and assigns, for the benefit of the Lots, consisting of a strip of land approximately ten (10) feet wide over the portion of Parcel 2 abutting the Roadway (the "Sidewalk Easement Area"). The Owner of Parcel 2 has constructed a sidewalk within the Sidewalk Easement Area (the "Sidewalk").

2.2 Right to Use. Subject to the provisions of Section 8.1 of the Declaration negating any public rights, each Owner, its heirs, executors, administrators, successors, assigns, employees, agents, lessees, customers, licensees, visitors, invitees and concessionaires shall have the nonexclusive right to use the Sidewalk for the purpose of furnishing pedestrian ingress and egress to and from the lots in the Property. Such rights shall include the incidental rights to install, maintain, repair and replace the Sidewalk.

2.3 Maintenance. Section 2.1 of the Declaration regarding maintenance shall also apply to maintenance of the Sidewalk. The cost of such maintenance shall be allocated one third to the Owner or Owners of Parcel 1, one third to the Owner or Owners of Parcel 2 and one third to the Owner or Owners of Parcel 3, except that to the extent any maintenance is necessitated by the negligence or willful misconduct of any Owner, the maintenance necessitated thereby shall be at such Owner's sole cost and expense. Notwithstanding the foregoing, any costs associated with the initial construction of any curb cuts or modifications to the Sidewalk to make it handicapped accessible shall be paid by the Owner requesting such curb cut or modification.

This Amendment adopted by the Owners pursuant to Section 7 of the Declaration as of May 5, 2006.

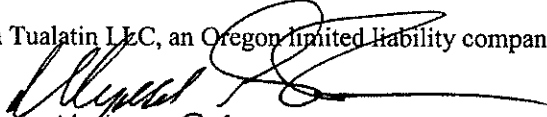
ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company

By its co-managers:

Arlington Development, Inc., an Oregon corporation

By: 
Name: GREGORY S. PERKINS
Its: PRESIDENT

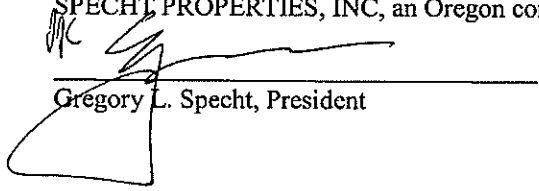
Aspen Tualatin LLC, an Oregon limited liability company

By: 
Name: Ulisses Sherman
Its: Authorized Agent

SFP TUALATIN LLC, an Oregon limited liability company

By its manager:

SPECHT PROPERTIES, INC, an Oregon corporation


Gregory L. Specht, President

LAKESIDE LUMBER, INC., an Oregon corporation

By: _____
Name: _____
Its: _____

State of Oregon)
County of Multnomah) ss.

This instrument was acknowledged before me on May 5, 2006 by Gregory S. Perkins as President of Arlington Development, Inc., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

State of Oregon)
County of Multnomah) ss.

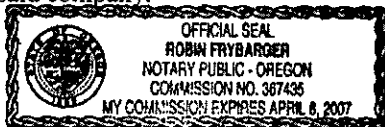
This instrument was acknowledged before me on May 5, 2006 by Ulysses Sherman as Authorized Agent of Aspen Tualatin LLC., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

STATE OF OREGON)
) ss.
COUNTY OF Washington)

This instrument was acknowledged before me on this 2nd day of May, 2006, by Gregory L. Specht, as President of SPECHT PROPERTIES, INC, an Oregon corporation, as Manager of SFP TUALATIN LLC, an Oregon limited liability company, on behalf of said company.



Robyn Frybarger
Notary Public for Oregon
My commission expires: April 8, 2007

State of Oregon)
County of _____) ss.

This instrument was acknowledged before me on _____ by _____ as _____ of Lakeside Lumber, Inc., Inc., an Oregon corporation.

Notary Public for Oregon
My Commission expires _____

LAKE SIDE LUMBER, INC., an Oregon corporation

By: [Signature]
Name: KEVIN JACOBSEN
Its: PRESIDENT

State of Oregon)
County of _____) ss.

This instrument was acknowledged before me on May 5, 2006 by Gregory S. Perkins as President of Arlington Development, Inc., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

State of Oregon)
County of _____) ss.

This instrument was acknowledged before me on May 5, 2006 by Wlysses Sherman as Authorized Agent of Aspen Tualatin I.L.C., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

STATE OF OREGON)
) ss.
COUNTY OF Washington)

This instrument was acknowledged before me on this 2nd day of May, 2006, by Gregory L. Specht, as President of SPECHT PROPERTIES, INC, an Oregon corporation, as Manager of SFP TUALATIN LLC, an Oregon limited liability company, on behalf of said company.



Robin Fryberger
Notary Public for Oregon
My commission expires: APRIL 8, 2007

State of Oregon
County of Washington

This instrument was acknowledged before me on May 19, 2006 by Kevin Jacobsen as President of Lakeside Lumber, Inc., Inc., an Oregon corporation.



Cassandra L. Asher
Notary Public for Oregon
My Commission expires 08/26/2006

in the column "Property Owner Name" of Attachment C to the Supplemental Final Order and Judgment.

Nature of Interest in Real Estate

Pursuant to the Final Order and Judgment, the Court granted AT&T sixteen and one half (16 1/2) foot wide permanent easements through the Settlement Corridor defined in the Settlement Agreement. The easements are more particularly described in the Order and Judgment.

Use

Such easements are for the purpose of maintaining, upgrading and expanding cable, as well as to install new conduits and fiber or replacement technology within the easement and shall permit unrestricted use, licensing and assignment of such facilities which have been or may be constructed, installed, or acquired by AT&T for its primary use, all as more particularly set forth in, and subject to the terms and conditions of, the Final Order and Judgment.

Definitions and Conflicts

The terms and provisions of the Final Order and Judgment and the Supplemental Final Order and Judgment are hereby incorporated herein and make a part hereof, and any term or provision not defined herein shall have the meaning set forth in the Final Order and Judgment or the Supplemental Final Order and Judgment. In the event of a conflict between the terms of this Notice and the terms of the Final Order and Judgment or the Supplemental Final Order and Judgment, the terms of the Final Order and Judgment or the Supplemental Final Order and Judgment shall control.

IN THE UNITED STATES DISTRICT COURT
FOR THE SOUTHERN DISTRICT OF INDIANA
INDIANAPOLIS DIVISION

<hr/>)	
IN RE:)	
AT&T FIBER OPTIC CABLE)	Case No. 1:99-ml-9313-DFH-TAB
INSTALLATION LITIGATION)	MDL Docket No. 1313
<hr/>)	
THIS DOCUMENT RELATES TO:)	
No. 1:02-cv-7004-DFH-TAB (Gadotti))	(Oregon Active Lines)
<hr/>)	

SUPPLEMENTAL FINAL ORDER AND JUDGMENT

On March 30, 2006, counsel for AT&T Corp. and AT&T Communications - East, Inc. (formerly AT&T Communications, Inc.) (collectively AT&T) and Class Counsel executed the Oregon "Telecommunication Cable"/Railroad Corridor Class Settlement Agreement, providing AT&T, among other things, an easement running along certain railroad corridors in Oregon (the "Settlement Agreement"). On April 6, 2006, the Court entered an Order conditionally approving the Settlement Agreement. On February 2, 2007, this Court executed a Final Order and Judgment in these proceedings approving that settlement (the "Final Order and Judgment"), which was entered on February 2, 2007.

In the Final Order and Judgment, the Court granted AT&T a sixteen and one half (16 1/2) foot wide easement, consistent with Paragraph VI.A.1. of the Settlement Agreement, for telecommunications purposes through the Settlement Corridor (as defined in the Settlement Agreement) vis-à-vis all Current Landowners (as defined in the Settlement Agreement) and their respective successors in interest. Under Paragraph VI.A.1. of the Settlement Agreement, this permanent telecommunications easement gives AT&T the right to operate, maintain, upgrade and expand its existing cable, as well as to install new conduits and fiber or replacement

technology within the easement and shall permit unrestricted use, licensing and assignment of such facilities, which have been or may be constructed, installed, or acquired by AT&T for its primary use.

The Final Order and Judgment provides that AT&T or Class Counsel may, at their respective options and cost, file/record/index the Final Order and Judgment or a notice thereof, in the name of each Class Member who owns any property affected by the easement in the judgment or land records of the jurisdiction in which the real estate is located.

The Final Order and Judgment also provides that this Court retains jurisdiction to enter supplemental orders and judgments to effectuate the recordation of AT&T's property rights.

This Supplemental Final Order and Judgment specifically identifies the owners of property affected by the easement described in the Final Order and Judgment and describes the affected property to effectuate the recordation of AT&T's property rights.

Accordingly, in order to effectuate the recordation of AT&T's property rights, it is hereby **ORDERED AND ADJUDGED** as follows:

The maps included at Attachment A illustrate, by county in Oregon, the portions of railroad corridors and adjoining property affected by the easement provided in the Final Order and Judgment. Attachment A is broken down by Oregon county into a number of sub-parts labeled A1, A2, A3, etc. If AT&T chooses to file/record/index this Supplemental Final Order and Judgment in the land records of a particular county pursuant to the Final Order and Judgment, it is permitted to attach to this Supplemental Final Order and Judgment only the sub-part of Attachment A that corresponds to that county.

Attachment B is a series of descriptions, by county in Oregon, that describe the portions of railroad corridors and adjoining property affected by the easement provided in the

Final Order and Judgment. Attachment B is broken down for each Oregon county into a number of sub-parts labeled B1, B2, B3, etc. If AT&T chooses to file/record/index this Supplemental Final Order and Judgment in the land records of a particular county pursuant to the Final Order and Judgment, it is permitted to attach to this Supplemental Final Order and Judgment only the sub-part of Attachment B that corresponds to that county.

Attachment C consists of two spreadsheets that lists all owners of property from whom an easement was obtained and describes the parcels of property subject to the easement provided in the Final Order and Judgment. One of the spreadsheets lists the parcels within each county by the names of the landowners, and the other spreadsheet lists the parcels within each county in order as they appear along the Settlement Corridor. Each spreadsheet in Attachment C is broken down by Oregon county into a number of sub-parts labeled C1, C2, C3, etc. If AT&T chooses to file/record/index this Supplemental Final Order and Judgment in the land records of a particular county pursuant to the Final Order and Judgment, it is permitted to attach to this Supplemental Final Order and Judgment only the sub-part of Attachment C that corresponds to that county.

If AT&T chooses to file/record/index this Supplemental Final Order and Judgment in the land records of a particular county, the recorder's offices of such jurisdictions are directed to file/record/index this Order against each settlement class member's name or against such settlement class member's interest in the real estate (the names and other necessary information of such settlement class members within each applicable jurisdiction are included at Attachment C to this Supplemental Final Order and Judgment in order to allow the recorder's office to file/record/index this Supplemental Final Order and Judgment against each settlement class member), so as to give constructive and record notice to all subsequent parties acquiring an interest in the real estate of the existence of the easements.

This 24th day of April, 2008.

Copies to:

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David F. Hamilton

DAVID F. HAMILTON, CHIEF JUDGE
United States District Court
Southern District of Indiana

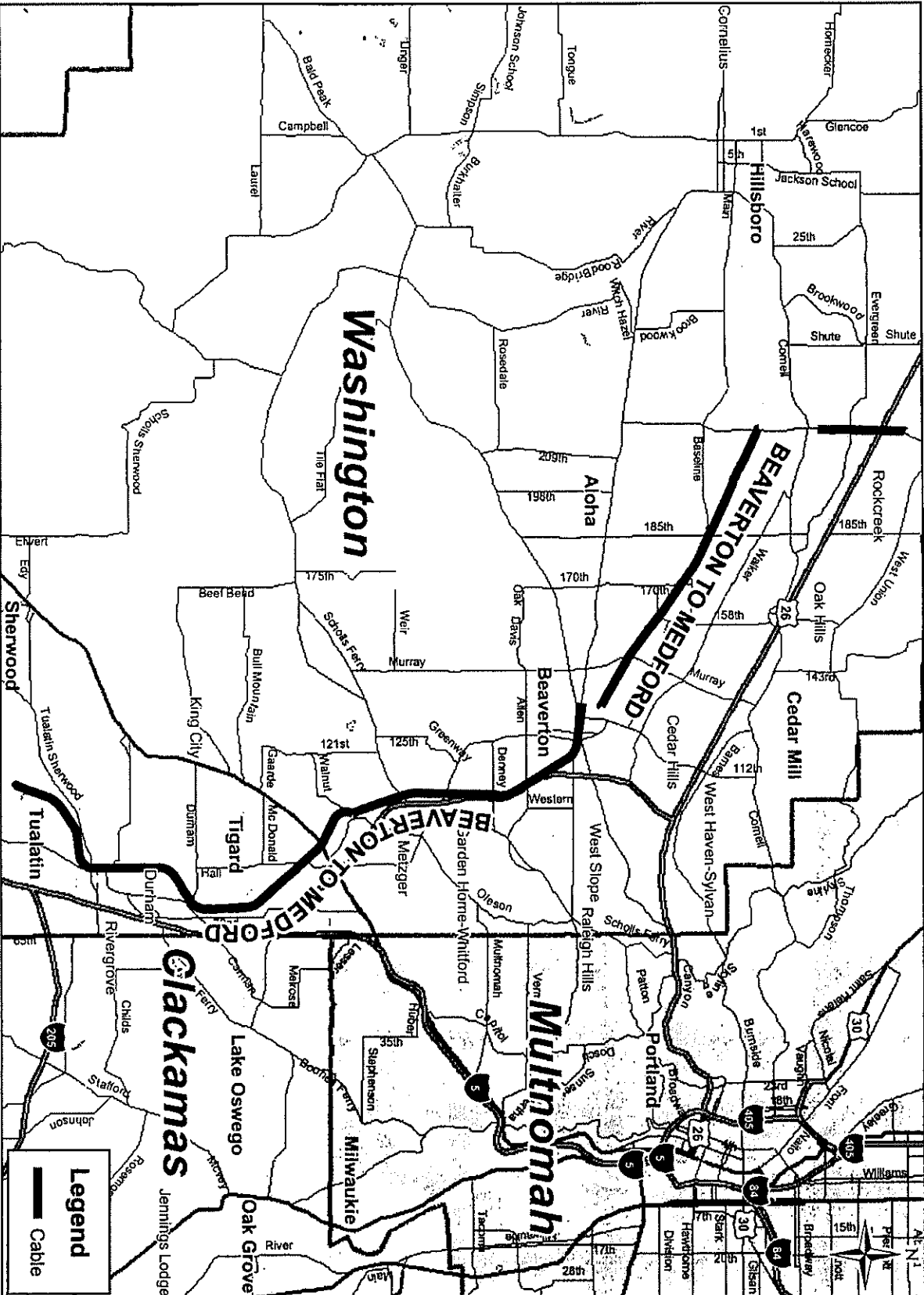
UNITED STATES DISTRICT COURT
Southern District of Indiana
I, the undersigned Clerk of the
Court, do hereby certify that
this is a true, correct and full copy
of the original Supplemental Final Order and
Judgement
on file in my custody.
Cause No. 1:99 ML-9313 DFH-TAB
Dated April 30, 2008
Laura A. Briggs, Clerk
by Sharon D. D... (6), Deputy Clerk
13 # of pages (text)
13 of pages (exhibits)

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AT&T Active - Oregon
 Washington County
 As of February 22, 2008



Oregon – Washington County
Descriptions of Settlement Corridor Beginning and Ending Points
As of February 22, 2008

Beaverton to Medford - BNSF

Beginning Point – 1600 feet north of the intersection of Cornelius Pass Rd and Sunset Hwy in the City of Hillsboro, Washington County, Oregon.

The corridor travels south through the following sections:

TWN 1N-RNG 2W-SEC23
TWN 1N-RNG 2W-SEC26

The corridor then travels southeast through the following sections:

TWN 1S-RNG 1W-SEC35
TWN 2S-RNG 1W-SEC 2
TWN 2S-RNG 1W-SEC 1
TWN 2S-RNG 1W-SEC12

The corridor then travels southwest through the following sections:

TWN 2S-RNG 1W-SEC13
TWN 2S-RNG 1W-SEC14
TWN 2S-RNG 1W-SEC23
TWN 2S-RNG 1W-SEC26
TWN 2S-RNG 1W-SEC27

Ending Point – 130 feet south of the intersection Industrial Way and 105th Ave in the City of Tualatin, Washington County, Oregon.

Beaverton to Medford – Southern Pacific (now UP)

Beginning Point – 100 feet west of the intersection of Hocken Ave and Tualatin Valley Hwy in the City of Beaverton, Washington County, Oregon.

The corridor travels southeast through the following sections:

TWN 1N-RNG 1W-SEC16
TWN 1N-RNG 1W-SEC15

The corridor then travels south through the following sections:

TWN 1S-RNG 1W-SEC22
TWN 1S-RNG 1W-SEC27

The corridor then travels southwest through the following sections:

TWN 1S-RNG 1W-SEC34
TWN 1S-RNG 1W-SEC35
TWN 2S-RNG 1W-SEC 2
TWN 2S-RNG 1W-SEC 1

Ending Point – 1600 feet south of the intersection Hunziker Rd and Wall St in the City of Tigard, Washington County, Oregon.

Beaverton to Medford – TriMet Light rail

Beginning Point – 1300 feet north of the intersection of Cornelius Pass Rd and Quatama Rd in the City of Hillsboro, Washington County, Oregon.

The corridor travels southeast through the following sections:

TWN 1N-RNG 2W-SEC35
TWN 1N-RNG 2W-SEC36
TWN 1S-RNG 2W-SEC 1
TWN 1S-RNG 1W-SEC 6
TWN 1S-RNG 1W-SEC 5
TWN 1S-RNG 1W-SEC 8
TWN 1S-RNG 1W-SEC 9

Ending Point – 400 feet northeast of the intersection Hocken Ave and Millikan Way in the City of Cedar Hills, Washington County, Oregon.

Case#	Chia ID	Project Owner Name	Address	City	State	Zip	Property County	Tax Parcel Number	Property Address	Property Information	Property Description	Trackage	Acres	Total Feet
1	ORC001947	TILLAMOOK LIGHT LLC	1740 SW HANINGTON TER	PORTLAND	OR	97201	WASHINGTON	R1006921	1740 SW HANINGTON TER	151120B00400	BNSE	1	367	
2	ORC002449	PACIFIC REALTY ASSOCIATES	1530 SW SEQUOIA PKWY STE 300	PORTLAND	OR	97224	WASHINGTON	R1010015	1530 SW SEQUOIA PKWY STE 300	151120C00300	BNSE	6	813	
3	ORC002760	SEARIS, GARY	1800 SW MERLO DR	BEAVERTON	OR	97006	WASHINGTON	R1010364	1800 SW MERLO DR	151050C00100	TRIMET LIGHT RAIL	8	722	
4	ORC004114	LN BROTHERS PARTNERS	1800 SW MERLO DR	BEAVERTON	OR	97006	WASHINGTON	R1010362	1800 SW MERLO DR	151060D00100	TRIMET LIGHT RAIL	1	221	
5	ORC004117	LN BROTHERS PARTNERS	1800 SW MERLO DR	BEAVERTON	OR	97006	WASHINGTON	R1010348	1800 SW MERLO DR	151060D00200	TRIMET LIGHT RAIL	1	210	
6	ORC004113	LN BROTHERS PARTNERS	1800 SW MERLO DR	BEAVERTON	OR	97006	WASHINGTON	R1010417	1800 SW MERLO DR	151060D00400	TRIMET LIGHT RAIL	2	219	
7	ORC004112	LN BROTHERS PARTNERS	1800 SW MERLO DR	BEAVERTON	OR	97006	WASHINGTON	R1010415	1800 SW MERLO DR	151060D00500	TRIMET LIGHT RAIL	2	324	
8	ORC004111	MERLO STATION PARTNERS	PO BOX 2775	TTALAATTI	OR	97062	WASHINGTON	R1010435	PO BOX 2775	151060D00600	TRIMET LIGHT RAIL	1	222	
9	ORC001666	GLASCO INC	PO BOX 4700	BEAVERTON	OR	97006	WASHINGTON	R1016697	PO BOX 4700	151220A00000	UNION PACIFIC	1	258	
10	ORC002754	TOSUNTRIKOOL, NEIL	18735 SW LISA CT	BEAVERTON	OR	97006	WASHINGTON	R1134310	18735 SW LISA CT	15201A000600	TRIMET LIGHT RAIL	1	91	
11	ORC002753	NGUYEN, TIJUY T	18773 SW LISA CT	BEAVERTON	OR	97006	WASHINGTON	R1134329	18773 SW LISA CT	15201A000700	TRIMET LIGHT RAIL	1	74	
12	ORC002752	FRINKKI, MICHAEL M; FRINKKI, TRACI L	1880 SW LISA CT	BEAVERTON	OR	97006	WASHINGTON	R1134338	1880 SW LISA CT	15201A000800	TRIMET LIGHT RAIL	1	26	
13	ORC002751	WILLIAMS, KARAUI D	18835 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134347	18835 SW LISA DR	15201A000900	TRIMET LIGHT RAIL	1	73	
14	ORC002750	YONINKA, LAURIA J; YONINKA, TERRENCE	18835 SW LISA DR	BEAVERTON	OR	97006	WASHINGTON	R1134356	18845 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	90	
15	ORC002749	SMITH, AVA N; SMITH, RANDALL K	1602 NIE ORENCO STATION PKWY	HILLSBORO	OR	97124	WASHINGTON	R1134374	18883 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
16	ORC002748	GRAVUS, SUSAN K; SANDERS, JOHNS S	18915 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134383	18915 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
17	ORC002746	WILSON, BRENDA K; WILSON, DAVID L	18935 SW LISA DR	BEAVERTON	OR	97006	WASHINGTON	R1134792	18935 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
18	ORC002745	MONTIEL ANCO, MARCO A	18965 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134799	18965 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
19	ORC002744	SIELEHERETS, JAMES I; SIELEHERETS, NANCY J	18995 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134822	18995 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
20	ORC002743	MUSSER, MAXIMA T	19055 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134822	19055 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
21	ORC002742	LYMAN, JERESHON II	19055 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134859	19045 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
22	ORC002741	ONIEVA, DANIEL J	19055 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134668	19055 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	70	
23	ORC002740	CARLSON, KATI; RODGERS, STEVEN L	19065 SW LISA DR	BEAVERTON	OR	97006	WASHINGTON	R1134866	19065 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	90	
24	ORC002739	TOOLEY, DAVID A	19065 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134695	19065 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	80	
25	ORC002738	WILSON, JOHN W	19125 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134711	19125 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	83	
26	ORC002734	CAMPBELL, BRUCE A; CAMPBELL, SHELLEY A	19145 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134720	19145 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	133	
27	ORC002733	ELLIS, CYNTILIA; ELLIS, JAMES	19165 SW LISA DR	ALDOLA	OR	97006	WASHINGTON	R1134739	19165 SW LISA DR	15201A010000	TRIMET LIGHT RAIL	1	38	
28	ORC002732	LUNDBERG, JEFFREY	210 SW 192ND PL	BEAVERTON	OR	97006	WASHINGTON	R1134775	210 SW 192ND PLACE	15201A010000	TRIMET LIGHT RAIL	1	32	
29	ORC002734	ARNOLD, ERIC S	180 SW 192ND PL	ALDOLA	OR	97006	WASHINGTON	R1134784	180 SW 192ND PLACE	15201A010000	TRIMET LIGHT RAIL	1	117	
30	ORC002733	GREEN, MARGY A	175 SW 192ND PL	ALDOLA	OR	97006	WASHINGTON	R1134793	175 SW 192ND PLACE	15201A010000	TRIMET LIGHT RAIL	1	33	
31	ORC002732	OMEREA PARK	PO BOX 53315	PORTLAND	OR	97228	WASHINGTON	R1134800	PO BOX 53315	15201A010000	TRIMET LIGHT RAIL	1	120	
32	ORC001883	HOLLAND INVESTMENTS INC	12390 SW BROADWAY ST	BEAVERTON	OR	97006	WASHINGTON	R116328	12330 SW BROADWAY ST	15115B004400	UNION PACIFIC	1	497	
33	ORC001884	MICHEL, E & TERESA; CONTESE, TRS; VINCENZO & ROSA HSCHELL	12390 SW BROADWAY ST	BEAVERTON	OR	97006	WASHINGTON	R116328	12330 SW BROADWAY ST	15115B004500	UNION PACIFIC	1	124	
34	ORC001885	VINCENZO HSCHELL & ROSA CONTESE TRUST	12390 SW BROADWAY ST	BEAVERTON	OR	97006	WASHINGTON	R116337	12390 SW BROADWAY ST	15115B004600	UNION PACIFIC	1	80	
35	ORC001886	NEW AGRICULTURE LLC	1410 SE MCGUIRE LN BLD 2	WIL WAUKIE	OR	97152	WASHINGTON	R116346	12464 SW BROADWAY ST	15115B004700	UNION PACIFIC	1	61	
36	ORC001887	DEHT, ROBERT W	12412 SW BROADWAY ST	BEAVERTON	OR	97006	WASHINGTON	R116345	12412 SW BROADWAY ST	15115B004800	UNION PACIFIC	1	63	
37	ORC001890	MOORE JR, RICHARD A; MOORE, RONALD N	12434 SW BROADWAY ST	BEAVERTON	OR	97006	WASHINGTON	R116344	12434 SW BROADWAY ST	15115B004900	UNION PACIFIC	1	46	
38	ORC001888	ELIZABETH GILLINGHAM ET AL	1524 SE MAY VALLEY RD	BEVTON	WA	98039	WASHINGTON	R116373	12350 SW BROADWAY ST	15115B005000	UNION PACIFIC	1	131	
39	ORC001889	GILLINGHAM, ELIZABETH	1524 SE MAY VALLEY RD	BEVTON	WA	98039	WASHINGTON	R116382	15115B005100	UNION PACIFIC	1	118		
40	ORC002461	SVL VIA B, GUSTINA, TRUSTEE OF THE SVL VIA B, GUSTINA REVOCABLE TRUST	3350 BLACK OAK ROAD	BEVENE	OR	97405	WASHINGTON	R119821	15900 SW 90TH CT	25122D000100	BNSE	2	488	
41	ORC001995	WATUMULLI PROPERTIES CORP	307 LEWERS ST #FLR	ILIONOLULU	HI	96815	WASHINGTON	R1198469	25122D000200	BNSE	2	339		
42	ORC001712	LYNN ROBINSON ET AL; ROBINSON, CONSTANCE	PO BOX 590773	SAN FRANCISCO	CA	94139	WASHINGTON	R1201514	10110 SW NIMBUS AVE	15134A010000	UNION PACIFIC	15	1,160	
43	ORC001715	LYNN ROBINSON ET AL; ROBINSON, CONSTANCE	PO BOX 590773	SAN FRANCISCO	CA	94139	WASHINGTON	R1201518	10565 SW NIMBUS AVE	15134A006500	UNION PACIFIC	1	40	
44	ORC001839	ERT, ORBATHING LP	PO BOX 81407	CHICAGO	IL	60680	WASHINGTON	R123564	14835 SW MILLEKAN WAY	15108D000100	TRIMET LIGHT RAIL	22	390	
45	ORC001911	ALLAN, EVELYN	2208 147TH ST	LUBBOCK	TX	79401	WASHINGTON	R13358	15115D000800	UNION PACIFIC	1	137		

Case#	Claim ID	Property Owner Name	Address	City	State	Zip	Property County	Tax Parcel Number	Property Address	Property Identifier	Relief	Acres	Total Front Feet
46	ORC001703	CATELLUS DEVELOPMENT CORPORATION	4545 AIRPORT WAY	DAWNEY	OR	97201-5716	WASHINGTON	R1236931	9300 SW NIMBUS DR	15127DA00400	UNION PACIFIC		751
47	ORC001706	MARK GROU HO 111 LLC	111 SW COLUMBIA ST STE 1300	PORTLAND	OR	97201-1845	WASHINGTON	R1236941	9300 SW NIMBUS DR	15127DA00300	UNION PACIFIC		751
48	ORC001708	SCINITZER INVESTMENT CORP	PO BOX 4379	CLATSOP	OR	97102-6600	WASHINGTON	R1238117	9740 SW NIMBUS DR	151277D00600	UNION PACIFIC		518
49	ORC001848	LANTIERE, ROBERT	1250 SW BROADWAY ST	BEAVERTON	OR	97005-1879	WASHINGTON	R124001	1255 SW BROADWAY ST	15116AA0300	UNION PACIFIC		109
50	ORC001695	C7 LAND LP	1115 PRESTON RD STE 400	DEALAS	TX	97202-1522	WASHINGTON	R124003	8300 SW NIMBUS DR	15127AD00200	UNION PACIFIC		465
51	ORC001698	P5 BUSINESS PARKS LP	15453 NW GREENBRIER PKWY	BEAVERTON	OR	97006-8116	WASHINGTON	R124062	8700 SW NIMBUS AVE	15127AD00400	UNION PACIFIC		227
52	ORC001699	P5 BUSINESS PARKS LP	15453 NW GREENBRIER PKWY	BEAVERTON	OR	97006-8116	WASHINGTON	R124071	8366 SW NIMBUS AVE	15127AD00500	UNION PACIFIC		241
53	ORC001700	PIAZZA STREET LLC	PO BOX 1416	CLACKAMAS	OR	97015-1416	WASHINGTON	R124080	8880 SW NIMBUS AVE	15127AD00600	UNION PACIFIC		171
54	ORC001702	MARLOW FAMILY LLC	17668 WOODHURST PL	LAKE OSWEGO	OR	97034-9703	WASHINGTON	R124099	8990 SW NIMBUS AVE	15127AD00700	UNION PACIFIC		269
55	ORC001490	BEAVERTON MOTORCYCLES INC	12305 SW BROADWAY ST	BEAVERTON	OR	97003-9706	WASHINGTON	R124018	12270 SW CANYON RD	15116AA0400	UNION PACIFIC		49
56	ORC001850	CITY OF BEAVERTON	PO BOX 4215	BEAVERTON	OR	97006-9706	WASHINGTON	R124047	12623 SW BROADWAY ST	15116AA04100	UNION PACIFIC		67
57	ORC001868	GARFIELD, NORA S	7900 SW LATFAMA PL	BEAVERTON	OR	97006-9706	WASHINGTON	R124065	12623 SW BROADWAY ST	15116AA04100	UNION PACIFIC		65
58	ORC001867	COO LLC	1410 4111 ST	COLUMBIA CITY	OR	97024-9702	WASHINGTON	R124074	12623 SW BROADWAY ST	15116AA04100	UNION PACIFIC		57
59	ORC001865	ADAMS HANGLUND, JENNIFER	2603 NE ROBERTS PL	GRESHAM	OR	97030-9703	WASHINGTON	R124118	12725 SW BROADWAY ST	15116AA04100	UNION PACIFIC		89
60	ORC001864	LANTIERE PROPERTIES LLC	12320 SW CANYON RD	BEAVERTON	OR	97003-9703	WASHINGTON	R124127	12725 SW BROADWAY ST	15116AA04100	UNION PACIFIC		66
61	ORC001851	VADEN, MICHAEL	12740 SW CANYON RD	BEAVERTON	OR	97003-9729	WASHINGTON	R124145	12750 SW CANYON RD	15116AA0500	UNION PACIFIC		121
62	ORC001743	SUMMIT PROPERTIES INC	5550 SW MACADAM AVE STE 205	PORTLAND	OR	97229-3745	WASHINGTON	R1241515	1555 SW TRC1 CENTER	25110DC04300	UNION PACIFIC		177
63	ORC001863	THORNTON AND ADAMS	4290 SW TALL BLVD	BEAVERTON	OR	97003-9703	WASHINGTON	R124181	12940 SW CANYON RD	15116AA05102	UNION PACIFIC		79
64	ORC001853	BASEEL, PRESTON	6977 SW TERRA DEL MAR DR	BEAVERTON	OR	97007-9707	WASHINGTON	R124190	12940 SW CANYON RD	15116AA05200	UNION PACIFIC		48
65	ORC001861	BASEEL, PRESTON	6977 SW TERRA DEL MAR DR	BEAVERTON	OR	97007-9707	WASHINGTON	R124207	12940 SW CANYON RD	15116AA05300	UNION PACIFIC		84
66	ORC001853	CAFEE CENTER LLC	805 SW BROADWAY, SUITE 240	PORTLAND	OR	97110-9710	WASHINGTON	R124216	12970 SW CANYON RD	15116AA05300	UNION PACIFIC		132
67	ORC001854	ETON LANE LTD PARTNERSHIP	PO BOX 4246	PORTLAND	OR	97293-9729	WASHINGTON	R124242	12940 SW CANYON RD	15116AA05300	UNION PACIFIC		109
68	ORC001854	ETON LANE LTD PARTNERSHIP	14413 TRILLIUM CT	LAKE OSWEGO	OR	97034-9703	WASHINGTON	R124243	12940 SW CANYON RD	15116AA05300	UNION PACIFIC		112
69	ORC001845	BENNETT DECEDENTS TRUST	14413 TRILLIUM CT	LAKE OSWEGO	OR	97034-9703	WASHINGTON	R124261	12970 SW CANYON RD	15116AA05300	UNION PACIFIC		36
70	ORC001873	TOLACTIN HILLS PARK AND RECREATION DISTRICT	12701 SW WALKER RD	BEAVERTON	OR	97006-9841	WASHINGTON	R1250066	15555 SW MILLIKAN WAY	151000000504	TRIMET LIGHT RAIL		103
71	ORC001873	TOLACTIN HILLS PARK AND RECREATION DISTRICT	12701 SW WALKER RD	BEAVERTON	OR	97006-9841	WASHINGTON	R1250066	15555 SW MILLIKAN WAY	151000000504	TRIMET LIGHT RAIL		195
72	ORC001951	CLEAN WATER SERVICES	2250 SW TILLSBORO HWY	TILLSBORO	OR	97123-9712	WASHINGTON	R1250288	16280 SW 63TH ST	25113B000600	TRIMET LIGHT RAIL		1,765
73	ORC001794	LIEBERITZ, LENORA P	19735 SW PENNONA DR	ALBINA	OR	97002-8014	WASHINGTON	R1259810	100 SW 193TH AVE	15106B00501	TRIMET LIGHT RAIL		68
74	ORC002210	SEMINOLE ESTATES LLC	16602 BOLSA CHICA ST STE 102	INDUSTRIAL	CA	92549-3506	WASHINGTON	R1259810	100 SW 193TH AVE	15106B00501	TRIMET LIGHT RAIL		2,329
75	ORC002101	EMKAY DEVELOPMENT CO INC	4310 LAKEVIEW BLVD.	LAKE OSWEGO	OR	97034-9703	WASHINGTON	R1259510	19108 SW MOHIAVE CT	25121DA02200	UNION PACIFIC		214
76	ORC002101	DONALD R. PALMER & DAVID E. PIETKA, KELLEY, BHANI L, MOORE CLEAR CO.		LAKE OSWEGO	OR	97034-9703	WASHINGTON	R1259510	19108 SW MOHIAVE CT	25121DA02200	UNION PACIFIC		214
77	ORC002202	APRILO MATERIALS INC	9700 E HIGHWAY 290	AUSTIN	TX	78724-9721	WASHINGTON	R1261186	21515 NW EVERGREEN PKWY	1N264A000100	UNION PACIFIC		689
78	ORC002208	MCILLIHI, ROBERT P	3201 SW CLIFTON ST	PORTLAND	OR	97214-9721	WASHINGTON	R1261912	3385 SW 215TH AVE	1N264B000400	UNION PACIFIC		290
79	ORC002209	TRANSBROUENE EVERGREEN LLC	1590 NW BETTIAN BLVD STE 144	BEAVERTON	OR	97006-9706	WASHINGTON	R1269209	3355 SW 215TH AVE	1N264B000500	UNION PACIFIC		210
80	ORC002211	OC INVESTMENTS LLC	316 NW 215TH AVE	TILLSBORO	OR	97124-9712	WASHINGTON	R1269281	3357 NW 215TH AVE	1N264C000600	UNION PACIFIC		489
81	ORC001987	SUSUKA, BETTY M, SUSUKA MARIKA	16233 NE EVERETT CT	PORTLAND	OR	97226-5594	WASHINGTON	R1284985	19480 SW MOHIAVE CT	25123D002701	UNION PACIFIC		364
82	ORC001896	LEE, JAK C, LEE, JISUN	3341 NE CAMINO REAL	SANTA CLARA	CA	95051-9505	WASHINGTON	R1283285	11876 SW BEAVERTON HILLS	15114HD00602	UNION PACIFIC		397
83	ORC001959	DUNCAN, JANICE LEE DUNCAN, JOHIN A	794 NW WESTOVER SQ	PORTLAND	OR	97210-3139	WASHINGTON	R1283350	12355 SW 133RD DR	25113AR01600	UNION PACIFIC		45
84	ORC001826	BIG T INVESTMENTS LLC	425 SW 10TH AVE STE 306	PORTLAND	OR	97205-9720	WASHINGTON	R1260261	12355 SW 133RD DR	15108AC00100	TRIMET LIGHT RAIL		378
85	ORC001827	BEAVERTON CREEK LP	15400 SW MILL LIKAN WAY	BEAVERTON	OR	97006-9706	WASHINGTON	R1260315	15108AC00200	15108AC00300	TRIMET LIGHT RAIL		403
86	ORC001828	BEAVERTON CREEK LP	15400 SW MILL LIKAN WAY	BEAVERTON	OR	97006-9706	WASHINGTON	R1260315	15108AC00300	15108AC00400	TRIMET LIGHT RAIL		303
87	ORC002040	WASHINGTON COUNTY FACILITIES MGMT	169 N 1ST AVE #M1912	HILLSBORO	OR	97124-3001	WASHINGTON	R1248456	25127AD00490	25127AD00490	UNION PACIFIC		11
88	ORC002042	MRS. JONES HOLDINGS LLC	10655 SW AVERY ST	TULLALAIN	OR	97062-9706	WASHINGTON	R1242531	10655 SW AVERY ST	25127AA01100	UNION PACIFIC		169
89	ORC002042	CITY OF TULLALAIN	18890 SW MAINTINAZZI AVE	TULLALAIN	OR	97062-9706	WASHINGTON	R1240276	25127AD00490	25127AD00490	UNION PACIFIC		221

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Parcel ID	Parcel Owner Name	Address	City	State	Zip	Project County	Tract Parcel Number	Property Address	Project ID	Project Description	Market	Area	Final
90	ORCO01792	SMITH, KATHLEEN A SMITH, KENNETH B	WEST LINN	OR	97068	WASHINGTON	R191674	1785 S W BASELINE RD	IS106BDD0201	TRIMET LIGHT RAIL	1	143	
91	ORCO01898	CITY OF BEAVERTON	BEAVERTON	OR	97006	WASHINGTON	R189332	7310 SW KABLE LN	IS118BD02700	UNION PACIFIC	2	161	
92	ORCO01944	PACIFIC REALTY ASSOCIATES	PORTLAND	OR	97224	WASHINGTON	R200241		IS112BD04401	BNSF	3	309	
93	ORCO01882	HOLLAND INVESTMENTS INC	PORTLAND	OR	97208	WASHINGTON	R200315		IS112BD03800	UNION PACIFIC	2	192	
94	ORCO01680	LIBERTAGE VILLAGE HOMEOWNERS ASSO	PORTLAND	CA	91436	WASHINGTON	R200433		IS106BDC0300	TRIMET LIGHT RAIL	1	102	
95	ORCO01677	WHITCOMB, MARY LOU	BANKS	OR	97106	WASHINGTON	R200898	1835 W BASELINE RD	IS106BD0500	TRIMET LIGHT RAIL	1	241	
96	ORCO01675	WHITCOMB, ROBERT E	SILVERWOOD	OR	97140	WASHINGTON	R200900	1835 W BASELINE RD	IS106BD0700	TRIMET LIGHT RAIL	4	925	
97	ORCO01822	FELT, CLAYTON, MORGAN, SAKAH	BEAVERTON	OR	97006	WASHINGTON	R2010497	149 SW SEMINOLE DR	IS201AB10200	TRIMET LIGHT RAIL	18	81	
98	ORCO01685	GLASCO INC	BEAVERTON	OR	97076	WASHINGTON	R201481	10740 SW DENNEY RD	IS121DA00300	UNION PACIFIC	7	1,213	
99	ORCO01692	GATEWAY COLUMBIA PROPERTIES INC	BEAVERTON	OR	97008	WASHINGTON	R202186	8330 SW NIMBUS AVE	IS127AA00300	UNION PACIFIC	7	759	
100	ORCO01690	GATEWAY COLUMBIA PROPERTIES INC	BEAVERTON	OR	97008	WASHINGTON	R202184	8022 SW NIMBUS DR	IS127AA00400	UNION PACIFIC	4	434	
101	ORCO01714	L'YNN ROBINSON ET AL	SAN FRANCISCO	CA	94139	WASHINGTON	R2031892		IS134AD06301	UNION PACIFIC	3	363	
102	ORCO01716	L'YNN ROBINSON ET AL	SAN FRANCISCO	CA	94139	WASHINGTON	R2031894	10300 SW NIMBUS AVE	IS134AD06302	UNION PACIFIC	3	347	
103	ORCO02196	TICKNOR, THERAN R	PORTLAND	OR	97229	WASHINGTON	R204608	3369 NW WICKIUP WAY	IN232AC07200	BNSF	10	101	
104	ORCO02190	PETERSON, DALE B; PETERSON, TERRILL	BEAVERTON	OR	97229	WASHINGTON	R204609	3277 NW WICKIUP WAY	IN232AC07300	BNSF	9	90	
105	ORCO02194	J T HOGGARD ENTERPRISES LLC	PORTLAND	OR	97221	WASHINGTON	R204610	3281 NW WICKIUP WAY	IN232AC07400	BNSF	6	64	
106	ORCO02179	JONES, DONALD B; JONES, SUZANNE L	PORTLAND	OR	97229	WASHINGTON	R204611	3287 NW WICKIUP WAY	IN232AC07500	BNSF	6	60	
107	ORCO02177	CROLL, LAURA K; CROLL, TILMAN J	PORTLAND	OR	97229	WASHINGTON	R204612	3291 NW WICKIUP WAY	IN232AC07600	BNSF	15	15	
108	ORCO02190	ROBINSON, LYNN M	PORTLAND	OR	97229	WASHINGTON	R204613	3309 NW WICKIUP WAY	IN232AC07700	BNSF	10	101	
109	ORCO02148	ROONEY JR, PATRICK JOHN	PORTLAND	OR	97229	WASHINGTON	R204614	3303 NW WICKIUP WAY	IN232AC07800	BNSF	6	60	
110	ORCO02176	LITTLE JR, JAMES II; LITTLE, DEBRA A	PORTLAND	OR	97229	WASHINGTON	R204615	3311 NW WICKIUP WAY	IN232AC07900	BNSF	5	56	
111	ORCO02187	BULLOCK, ROGER R	PORTLAND	OR	97229	WASHINGTON	R204616	3317 NW WICKIUP WAY	IN232AC08000	BNSF	1	61	
112	ORCO01900	HOLLIMAN, JOSEPH HERBERT	MARINA DEL REY	CA	90232	WASHINGTON	R205026		IS115BD04401	UNION PACIFIC	1	1,397	
113	ORCO01751	KEUYEN, THIAN THI	TIGARD	OR	97223	WASHINGTON	R205175	12089 SW 95TH AVE	IS102BA03400	BNSF	82	82	
114	ORCO01751	SAKELD, ERIC C	TIGARD	OR	97223	WASHINGTON	R205176	12095 SW 96TH PL	IS102BA03500	BNSF	82	82	
115	ORCO01748	WHITING, FRANK; WHITING, SANDRA	LAKE OSWEGO	OR	97035	WASHINGTON	R2054183	12076 SW 97TH PL	IS102BA04200	BNSF	40	40	
116	ORCO01749	OWNERS OF DUBLIN PARK	PORTLAND	OR	97212	WASHINGTON	R2054185		IS102BA04300	BNSF	23	23	
117	ORCO01983	ZIAN LIMITED PARTNERSHIP	PORTLAND	OR	97212	WASHINGTON	R205950	8305 TUALATIN SHERWOOD	IS112DD02800	BNSF	30	913	
118	ORCO01981	CITY OF TUALATIN	TUALATIN	OR	97062	WASHINGTON	R205962		IS112DD03100	BNSF	18	143	
119	ORCO02312	LEGACY HEALTH SYSTEMS	PORTLAND	OR	97209	WASHINGTON	R206232		IS126A000200	BNSF	22	1,368	
120	ORCO02347	TUALATIN INDUSTRIAL WATER CO	VANCOUVER	WA	98665	WASHINGTON	R2064130		IS127DD01500	BNSF	29	1,466	
121	ORCO01797	YI, JOHN CHONG	PORTLAND	WA	97210	WASHINGTON	R207620		IS106BD06600	TRIMET LIGHT RAIL	1	670	
122	ORCO02220	QUATAMA HOLDING LIMITED PARTNERS	SEATTLE	WA	98101	WASHINGTON	R2076694	20700 NW TRAIL WALK DR	IN232DA07000	TRIMET LIGHT RAIL	24	996	
123	ORCO01918	RIGGS BANK, NA	ALEXANDRIA	VA	22304	WASHINGTON	R2082087		IS123DC08001	BNSF	5	441	
124	ORCO01713	L'YNN ROBINSON ET AL	SAN FRANCISCO	CA	94139	WASHINGTON	R2083838	10450 SW NIMBUS AVE	IS134AK02100	UNION PACIFIC	3	328	
125	ORCO01697	GATEWAY COLUMBIA PROPERTIES INC	BEAVERTON	OR	97008	WASHINGTON	R2084448	7673 SW NIMBUS AVE	IS132DD003500	UNION PACIFIC	3	231	
126	ORCO01688	GATEWAY COLUMBIA PROPERTIES INC	BEAVERTON	OR	97008	WASHINGTON	R2084449	7940 SW NIMBUS AVE	IS132DD006000	UNION PACIFIC	6	742	
127	ORCO01836	MULLIKIAN I3 EQUITIES LLC	WESTPORT	CT	06880	WASHINGTON	R2088388		IS109PC000200	TRIMET LIGHT RAIL	4	768	
128	ORCO01832	TEKTRONIX INC	BEAVERTON	OR	97077	WASHINGTON	R2088991		IS109PC000400	TRIMET LIGHT RAIL	2	1,018	
129	ORCO01839	TEKTRONIX INC	BEAVERTON	OR	97077	WASHINGTON	R2088993		IS109PC001400	TRIMET LIGHT RAIL	9	1,173	

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Primary Sect. Tax Parcel Number	Property Owner Name	Address	City	State	Zip	Project County	Tract Parcel Number	Property Address	Project Information	Finalized	Total Final Fee/Est.
130	MILLIKAN 13 EQUITIES LLC	165 KING'S LANE N	WESTPORT	OR	97143	WASHINGTON	R208993			TRIMET LIGHT RAIL	56
131	COVER ROAD PROPERTIES LLC	3170 TRUOL DR	LACUNA BEACH	CA	92651	WASHINGTON	R208934			BNSF	209
132	COMM URBAN RENEWAL	1880 SW MACKINAZZI AVE	TUALATIN	OR	97062	WASHINGTON	R209202			BNSF	315
133	AGENCY										
133	AUTUMN MEADOWS OWNERS ASSOC	4366 SW MACADAM AVE # S-102	PORTLAND	OR	97239	WASHINGTON	R2102293			TRIMET LIGHT RAIL	77
134	BELLERS FAMILY TRUST	9620 SW TUALATIN SHERWOOD RD	TUALATIN	OR	97062	WASHINGTON	R2119907			BNSF	369
135	EVANS DANIEL C EVANS	PO BOX 2295	EUGENE	OR	97402	WASHINGTON	R2119908			BNSF	113
136	KAMILLA A	7811 SE LAKE RD STE 200	WEST LINN	OR	97088	WASHINGTON	R2119915			BNSF	377
137	STANTON STRUCTURES INC		BEAVERTON	OR	97006	WASHINGTON	R2120448			BNSF	444
138	OWNERS OF LOT 6	15409 SW MILLIKAN WAY	BEAVERTON	OR	97006	WASHINGTON	R2120470			BNSF & UNION PACIFIC	77
139	NATIONAL SAFETY CO INC	1700 SW WEBB RD	BEAVERTON	OR	97007	WASHINGTON	R2132724			TRIMET LIGHT RAIL	615
140	MILLIKAN PROPERTIES LLC	1701 SE COLUMBIA RIVER DR	VANCOUVER	WA	98641	WASHINGTON	R2138819			BNSF & UNION PACIFIC	708
141	YOUDE FAMILY TRUST ETAL	10790 SW GREENBURG RD STE 1200	PORTLAND	OR	97223	WASHINGTON	R2138819				
142	MHM HOLDING COMPANY LLC	639 NW PACIFIC GROVE DR	BEAVERTON	OR	97006	WASHINGTON	R213531			UNION PACIFIC	1,291
143	PASCUZZI INVESTMENT LLC	10250 SW NORTH DAKOTA ST	TIGARD	OR	97223	WASHINGTON	R2137402			BNSF & UNION PACIFIC	3
144	MCCALL OIL	3489 NW FRONT AVE	PORTLAND	OR	97210	WASHINGTON	R2137448			BNSF	812
145	MCCALL PROPERTIES LLC	3489 NW FRONT AVE	PORTLAND	OR	97223	WASHINGTON	R2137466			BNSF	463
146	DAY CHRISTINA L DAY ROEBER	10290 SW TIGARD ST	TIGARD	OR	97223	WASHINGTON	R2137484			BNSF	113
147	MCCALL PROPERTIES LLC	3489 NW FRONT AVE	PORTLAND	OR	97210	WASHINGTON	R2137487			BNSF	1,982
148	KC TRINCO LLC	690 NE ILLIANA ST STE 1400	PORTLAND	OR	97212	WASHINGTON	R286648			TRIMET LIGHT RAIL	269
149	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGTON	R286657			TRIMET LIGHT RAIL	120
150	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGTON	R286666			TRIMET LIGHT RAIL	43
151	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGTON	R286666			TRIMET LIGHT RAIL	184
152	PORTLAND GENERAL ELECTRIC COMPANY	121 SW SALMON ST	PORTLAND	OR	97204	WASHINGTON	R286666			TRIMET LIGHT RAIL	251
153	NABH DOMS M	18710 S.W. SANDRA LANE	ALOMA	OR	97206	WASHINGTON	R317141			TRIMET LIGHT RAIL	183
154	REEBMAN DAVID KENNETH I	8629 TOLDF ST	ANGORAGE	AK	99207	WASHINGTON	R321350			TRIMET LIGHT RAIL	249
155	WALLACE LANETT M WALTERS	4144 INGLESIDE LOOP SE	LACEY	WA	98503	WASHINGTON	R327203			TRIMET LIGHT RAIL	917
156	CWB PROPERTIES LLC	18115 SW BASELINE RD	BEAVERTON	OR	97006	WASHINGTON	R339844			TRIMET LIGHT RAIL	262
157	LIBERTIZ PROPERTIES LLC	PO BOX 431	BEAVERTON	OR	97006	WASHINGTON	R405010			TRIMET LIGHT RAIL	97
158	LIBERTIZ PROPERTIES LLC	PO BOX 431	BEAVERTON	OR	97006	WASHINGTON	R405010			TRIMET LIGHT RAIL	177
159	ALONIA LAND & CATTLE CO	4211 NW CEDAR CANYON RD	BANKS	OR	97106	WASHINGTON	R40547			TRIMET LIGHT RAIL	155
160	HEFLOS PARTNERS LLC	114 SW 3RD AVE	PORTLAND	OR	97203	WASHINGTON	R46604			BNSF & UNION PACIFIC	126
161	FREED W	114 SW 3RD AVE	PORTLAND	OR	97203	WASHINGTON	R46604			BNSF	1,597
162	GATEWAY COLUMBIA PROPERTIES INC	8273 SW CIRCUS DRIVE	BEAVERTON	OR	97006	WASHINGTON	R493937			BNSF	554
163	BROGWN DEAN A	PO BOX 383	CARLTON	OR	97111	WASHINGTON	R496317			TRIMET LIGHT RAIL	200
164	NICOLI PACIFIC LLC	19600 SW CIRCLE RD	TUALATIN	OR	97062	WASHINGTON	R496973			BNSF	156
165	MARTINA E BISHOP & BISHOP CHILDRENS TRUST	PO BOX 21812	TIGARD	OR	97223	WASHINGTON	R496973			BNSF	48
166	KING MARTIN	9315 SW COMMERCIAL ST	TIGARD	OR	97223	WASHINGTON	R460780			BNSF	80
167	RICE USA J RICE WISLEY P	9305 SW COMMERCIAL ST	TIGARD	OR	97223	WASHINGTON	R460780			BNSF	80
168	CRAYFORD JON & CRAWFORD	9435 SW COMMERCIAL ST	TIGARD	OR	97223	WASHINGTON	R460906			BNSF	80
169	STRONG ARTHUR E	12175 SW LINCOLN AVE	TIGARD	OR	97223	WASHINGTON	R460915			BNSF	111
170	KRALIK MICHELLE	14493 SW CHESTERFIELD LN	TIGARD	OR	97223	WASHINGTON	R460934			BNSF	63
171	KRALIK MICHELLE	14493 SW CHESTERFIELD LN	TIGARD	OR	97223	WASHINGTON	R460934			BNSF	77
172	COOPER DEVELOPMENT CO	3260 SW VABNS ST	TIGARD	OR	97223	WASHINGTON	R461194			BNSF	208
173	NYDIGGER MARK A NYDIGGER YVONNE K	12800 SW RAUFINDER CT	TIGARD	OR	97223	WASHINGTON	R461191			BNSF	99

Case#	Claim ID	Property Owner Name	Address	City	State	Zip	Property County	Tax Parcel Number	Property Address	Property Identification	Reference	Acres	Total Parcel
174	ORC001767	COREY, CLYDE J E	1780 SW LINCOLN AVE	TIGARD	OR	97223	WASHINGTON	R441233	12190 SW LINCOLN AVE	25102AB01703	BNSF	1	59
175	ORC001773	JOHNSON, WARREN W & BETTY JOHNSON TRS	3112 SW SANTA MONICA ST	PORTLAND	OR	97239	WASHINGTON	R441477	12297 SW MAIN ST	25102AB03600	BNSF	1	133
176	ORC001785	TERESA R DIBB REV LIV TRUST	8448 SW COMMERCIAL ST	TIGARD	OR	97223	WASHINGTON	R442035	8448 SW COMMERCIAL ST	25102AB01200	BNSF	1	200
177	ORC001787	MAGNO LLC	PO BOX 23626	TIGARD	OR	97223	WASHINGTON	R442038	8100 SW COMMERCIAL ST	25102AB01203	BNSF	2	602
178	ORC001746	MCCALL PROPERTIES LLC	5400 NW FRONT AVE	PORTLAND	OR	97210	WASHINGTON	R442149		25102BA00390	BNSF	3	421
179	ORC001926	FOUGHT & COMPANY INC	PO BOX 3139	TIGARD	OR	97281	WASHINGTON	R310922		25112AB0070	BNSF	3	466
180	ORC001928	TEENART INVESTORS	PO BOX 1658	PORTLAND	OR	97207	WASHINGTON	R310931	7331 SW BONITA RD	25112AB0080	BNSF	3	313
181	ORC001920	ST MARVS LINDSE INC	2318 E BURNSIDE ST	PORTLAND	OR	97214	WASHINGTON	R310929		25112AB01300	BNSF	2	102
182	ORC001920	ST MARVS LINDSE INC	2408 NW 229TH AVE	HILLSBORO	OR	97124	WASHINGTON	R310922	7400 SW LANDMARK LN	25109D02800	TRINITY LIGHT RAIL	2	293
183	ORC001922	PARTENASHU PACTER ASSOCIATES	1330 SW SEQUOIA PKWY STE 300	PORTLAND	OR	97224	WASHINGTON	R311164	7219 SW KABLE LN	25112AC01300	BNSF	3	398
184	ORC001941	PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 300	PORTLAND	OR	97224	WASHINGTON	R311182	14860 SW 74TH AVE	25112AC01100	BNSF	2	376
185	ORC001938	PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 300	PORTLAND	OR	97224	WASHINGTON	R313419	13765 SW 74TH AVE	25112DC01500	BNSF	5	361
186	ORC001932	74TH AVENUE INDUSTRIAL PARK LLC	8100 SW DURHAM RD	TIGARD	OR	97224	WASHINGTON	R313448	13813 SW 74TH AVE	25112DC01400	BNSF	5	648
187	ORC001933	DJB LLC & DUNCAN, JANICE LEE, DUNCAN, JOHN A	890 SW NIMBUS AVE STE 400	BEAVERTON	OR	97008	WASHINGTON	R313705	13993 SW 74TH AVE	25113AB0080	BNSF	7	579
188	ORC001937	DUNCAN, JANICE LEE, DUNCAN, JOHN A	784 NW WESTOVER SQ	PORTLAND	OR	97210	WASHINGTON	R313705		25113AB0080	BNSF	7	579
189	ORC001961	BEHNINGER LARVARO WESTERN PORTFOLIO LP	15601 DALLAS PKWY STE 600	ADIRISON	TX	75001	WASHINGTON	R314072	7633 SW DURHAM RD	25113BA00400	BNSF	11	163
190	ORC001967	CLEAN WATER SERVICES JOHNSON FAMILY TRUST	2531 SW HILLSBORO HWY	HILLSBORO	OR	97123	WASHINGTON	R314090		25113BA0060	BNSF	4	693
191	ORC001964	CLEAN WATER SERVICES	866 SW BURBANK ST	TIGARD	OR	97223	WASHINGTON	R314170	7420 SW DURHAM RD	25113BA00100	BNSF	9	917
192	ORC001974	CLEAN WATER SERVICES	2550 SW HILLSBORO HWY	HILLSBORO	OR	97123	WASHINGTON	R319716		25113BA00100	BNSF	23	1,324
193	ORC001975	JOHNSON, HENRY A, ILLCOX, JOHNSON, HENRY A	2165 BEACON LOOP DR SW	DANNON	OR	97411	WASHINGTON	R319610	460 SW CLELLA ST	25114D000300	BNSF	14	1,933
194	ORC001979	BROWN, MARRY A	PO BOX 81	TUALATIN	OR	97062	WASHINGTON	R310688	8350 SW TUALATIN RD	25123A001100	BNSF	3	109
195	ORC001982	PRATT, FLORENCE ALTHEA	PO BOX 246	TUALATIN	OR	97062	WASHINGTON	R310697	18815 SW BOONES FERRY	25123D003400	BNSF	3	373
196	ORC001976	ILLCOX, HENRY A, ILLCOX, JOHNSON, HENRY A	2165 BEACON LOOP DR SW	DANNON	OR	97411	WASHINGTON	R310704		25123A00100	BNSF	1	188
197	ORC001977	L'YNN & MAKABEE BERTELSON, MACQUEL & LINDA GIBLEN	PO BOX 909	TUALATIN	OR	97062	WASHINGTON	R310820	8370 SW CLEOKREE ST	25123A001500	BNSF	1	67
198	ORC001978	GERLEN WALTONA ECKLEND PROPERTIES INC	PO BOX 909	TUALATIN	OR	97062	WASHINGTON	R310839	8355 SW TUALATIN RD	25123A001600	BNSF	1	120
199	ORC002006	HECKLUND PROPERTIES INC	1980 SW TETON AVE	TUALATIN	OR	97062	WASHINGTON	R313052	1980 SW TETON AVE	25123C001300	BNSF	3	392
200	ORC001992	89TH STREET LLC	PO BOX 5348	SALEM	OR	97304	WASHINGTON	R313249	19480 SW 89TH AVE	25123D002600	BNSF	1	129
201	ORC002407	PULHILLITE BUILDING PRODUCTS, INC.	515 GLENCREEK ROAD NW #280	SALEM	OR	97304	WASHINGTON	R313267	19477 SW 89TH AVE	25123D002200	BNSF	2	239
202	ORC002408	PULHILLITE BUILDING PRODUCTS, INC.	525 GLENCREEK ROAD NW #280	SALEM	OR	97304	WASHINGTON	R313261		25123D002300	BNSF	2	29
203	ORC001993	RIGGS BANK NA	PO BOX 19156	ALEXANDRIA	VA	22304	WASHINGTON	R313347	9170 SW TUALATIN SLEWBO	251231C00400	BNSF	2	214
204	ORC002030	LAI PROPERTIES INC	1 EMERALD ACADENO CIR	FAN BEANCSO	CA	94111	WASHINGTON	R341202		25126E000104	BNSF	2	47
205	ORC002039	LAI PROPERTIES INC	PO BOX 460149	HOUSTON	TX	77016	WASHINGTON	R341211		25126E000105	BNSF	6	212
206	ORC002033	AIRGAS, SORPAC INC	11900 NW 97TH ST STE 400	VANCOUVER	WA	98682	WASHINGTON	R341284	20001 SW TETON AVE	25126E000112	BNSF	2	423
207	ORC002032	AIRGAS, SORPAC INC	11900 NW 97TH ST STE 400	VANCOUVER	WA	98682	WASHINGTON	R341293		25126E000113	BNSF	2	46
208	ORC002034	CITY OF TUALATIN	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062	WASHINGTON	R341300		25126E000190	BNSF	10	47
209	ORC002039	ONE CAL COCA-COLA BOTTLING CO	13134 S CENTRAL AVE	LOS ANGELES	CA	90021	WASHINGTON	R340584	10800 SW AVERY ST	25127A000400	BNSF	10	963
210	ORC002031	TRICOUNTY INDUSTRIAL PARK INC	8120 NE HIGHWAY 99	VANCOUVER	WA	98665	WASHINGTON	R340839	11120 SW INDUSTRIAL WAY	25127D000108	BNSF	2	308
211	ORC002415	INDUSTRIAL PROPERTIES, LLC	P.O. BOX 4322	TUALATIN	OR	97062	WASHINGTON	R348056	10830 SW CLUTTER ST	35101D01900	BNSF	5	276
212	ORC002422	INDUSTRIAL PROPERTIES, LLC	P.O. BOX 4322	TUALATIN	OR	97062	WASHINGTON	R348075	10940 SW CLUTTER ST	35101D001901	BNSF	3	173
213	ORC002217	QUATANA VILLAGE, LLC	1790 SW KEMNER RD	BEAVERTON	OR	97007	WASHINGTON	R372805	211 NW GINA WAY	1N232C00100	TRINITY LIGHT RAIL	14	708
214	ORC001933	NATIONAL SAFETY CO	1480 YORBA AVE	CLINDO	CA	91710	WASHINGTON	R353144	7380 SW BONITA RD	25112AC00400	BNSF	1	450
215	ORC002441	PACIFIC REALTY ASSOCIATES	13150 SW SEQUOIA PKWY STE 300	PORTLAND	OR	97224	WASHINGTON	R371345		25112AC01000	BNSF	1	120

Order ID	Property Owner Name	Mailing Address	City	State	Zip	Property County	Tax Parcel Number	Property Address	Property Identification	Relay	Accession	Total Fees & Rebates	
1	ORCO01952	7411 AVENUE INDUSTRIAL	TIGARD	OR	97124	WASHINGTON	R513439	15165 SW 74TH AVE	25112D003100	BNSF	3	361	
2	ORCO01997	97111 STREET LLC	SALEM	OR	97304	WASHINGTON	R512249	19480 SW 89TH AVE	25121D002400	BNSF	1	128	
3	ORCO01863	ADAMS-HAGLINDO, DENRIER	GRENSHAM	OR	97030	WASHINGTON	R134118	12723 SW BROADWAY ST	15116A04700	UNION PACIFIC	2	423	
4	ORCO02033	AIRGAS-NORVAC INC	VANCOUVER	WA	98483	WASHINGTON	R541384	10201 SW TERTON AVE	25124B000112	BNSF	2	416	
5	ORCO02032	AIRGAS-NORVAC INC	VANCOUVER	WA	98483	WASHINGTON	R541384	10201 SW TERTON AVE	25124B000113	BNSF	1	137	
6	ORCO01919	ALLEN, EVELYN	LUBBOCK	TX	79401	WASHINGTON	R123536	17883 W BASELINE RD	151130C09800	UNION PACIFIC	1	153	
7	ORCO01993	ALOHA LAND & CATTLE CO	HANKS	OR	97106	WASHINGTON	R140477	2151 SW EVERGREEN PKWY	15106B000500	BNSF	1	680	
8	ORCO02203	ATFIELD MATERIALS INC	AUSTIN	TX	78724	WASHINGTON	R134186	180 SW EVERGREEN PLACE	15201A066000	TRINMET LIGHT RAIL	1	117	
9	ORCO02344	ATFIELD, ERIC S	ALOHA	OR	97106	WASHINGTON	R134784	180 SW EVERGREEN PLACE	15201A066000	TRINMET LIGHT RAIL	1	77	
10	ORCO01860	AUTUMN MEADOWS OWNERS ASSOC	PORTLAND	OR	97239	WASHINGTON	R2102293	4386 SW MACADAM AVE # S-103	15106CA28200	TRINMET LIGHT RAIL	1	48	
11	ORCO01832	BASHEL, PRESTON	BEAVERTON	OR	97003	WASHINGTON	R124190	12850 SW CANYON RD	15116A05200	UNION PACIFIC	1	84	
12	ORCO01864	BASHEL, PRESTON	BEAVERTON	OR	97003	WASHINGTON	R124107	12850 SW CANYON RD	15116A05300	UNION PACIFIC	1	84	
13	ORCO01675	BASHEL MINI PROPERTIES LLC	SILVERWOOD	OR	97140	WASHINGTON	R2060000	18375 W BASELINE RD	15108C00300	TRINMET LIGHT RAIL	3	404	
14	ORCO01827	BEAVERTON CREEK LP	BEAVERTON	OR	97006	WASHINGTON	R1460114	12570 SW CANYON RD	15108A006000	TRINMET LIGHT RAIL	3	303	
15	ORCO01828	BEAVERTON CREEK LP	BEAVERTON	OR	97006	WASHINGTON	R124038	12570 SW CANYON RD	15116A04000	UNION PACIFIC	1	163	
16	ORCO01849	BEAVERTON MOTORCYCLES INC	BEAVERTON	TX	75001	WASHINGTON	R5149712	7643 SW DURLIAM RD	25111BA00400	BNSF	1	11	
17	ORCO01961	BEVERING IRVING LP	ADDITION	TX	75001	WASHINGTON	R5149712	7643 SW DURLIAM RD	25111BA00400	BNSF	1	11	
18	ORCO01856	BENNETT DECEDENTS TRUST	LAKE OSWEGO	OR	97035	WASHINGTON	R124261	12920 SW CANYON RD	15116A05900	UNION PACIFIC	1	103	
19	ORCO01857	BENNETT DECEDENTS TRUST	LAKE OSWEGO	OR	97035	WASHINGTON	R124270	12940 SW CANYON RD	15116A06000	UNION PACIFIC	1	103	
20	ORCO01826	BIG T INVESTMENTS LLC	PORTLAND	OR	97205	WASHINGTON	R1460241	2353 SW 13TH DR	15108A00100	TRINMET LIGHT RAIL	4	200	
21	ORCO01783	BROWN, DEAN A	PORTLAND	OR	97111	WASHINGTON	R160637	8909 SW COMMERCIAL	15102A04100	BNSF	1	100	
22	ORCO01919	BROWN, JERRY A	TUALATIN	OR	97062	WASHINGTON	R206088	8599 SW TUALATIN RD	15123A00100	BNSF	1	61	
23	ORCO02187	BULLOCK, ROGER R	PORTLAND	OR	97229	WASHINGTON	R206088	5117 SW WICKLIFF WAY	15123A00100	UNION PACIFIC	4	465	
24	ORCO01665	CLAYTON LP	PORTLAND	TX	75225	WASHINGTON	R124003	6509 SW NIMBUS DR	15122A02900	UNION PACIFIC	1	132	
25	ORCO01853	CAHFFE CENTER LLC	DALLAS	TX	97210	WASHINGTON	R124216	12870 SW CANYON RD	15116A05400	UNION PACIFIC	1	125	
26	ORCO01864	CAMPBELL, BRUCE A; CAMPBELL, SHIRLEY A	ALOHA	OR	97006	WASHINGTON	R1134720	19145 SW LISA DR	15201A00400	TRINMET LIGHT RAIL	1	90	
27	ORCO02185	CAMPBELL, KATHY RODGERS	BEAVERTON	OR	97006	WASHINGTON	R1134686	19065 SW LISA DR	15201A00300	TRINMET LIGHT RAIL	1	758	
28	ORCO01700	CATBELLS DEVELOPMENT	DENVER	CO	80239	WASHINGTON	R124982	4545 AIRPORT WAY	15127D00400	UNION PACIFIC	1	67	
29	ORCO01850	CORNBKATION	BEAVERTON	OR	97076	WASHINGTON	R124947	80 BOX 4355	15116A04100	UNION PACIFIC	1	161	
30	ORCO01892	CITY OF BEAVERTON	BEAVERTON	OR	97076	WASHINGTON	R1483572	80 BOX 4355	15115B005700	UNION PACIFIC	2	23	
31	ORCO02042	CITY OF TUALATIN	TUALATIN	OR	97062	WASHINGTON	R1480716	1880 SW MARKET/AZZA AVE	25127A00400	BNSF	10	143	
32	ORCO01981	CITY OF TUALATIN	TUALATIN	OR	97062	WASHINGTON	R203952	1880 SW MARKET/AZZA AVE	25127A00400	BNSF	1	47	
33	ORCO02034	CITY OF TUALATIN	TUALATIN	OR	97062	WASHINGTON	R541300	1880 SW MARKET/AZZA AVE	25127A00400	BNSF	1	175	
34	ORCO01952	CLEAN WATER SERVICES	HILLSBORO	OR	97123	WASHINGTON	R1232988	3250 SW HILLSBORO HWY	15180 SW 83TH ST	25113B005600	BNSF	4	604
35	ORCO01952	CLEAN WATER SERVICES	HILLSBORO	OR	97123	WASHINGTON	R514090	3250 SW HILLSBORO HWY	25113B005600	BNSF	23	404	
36	ORCO01974	CLEAN WATER SERVICES	HILLSBORO	OR	97123	WASHINGTON	R514090	3250 SW HILLSBORO HWY	25113B005600	BNSF	23	1,234	
37	ORCO01867	COOL LLC	COLUMBIA CITY	OR	97018	WASHINGTON	R124074	1410 4TH ST	15112A00100	UNION PACIFIC	1	208	
38	ORCO01746	COORIN DEVELOPMENT CO	TIGARD	OR	97223	WASHINGTON	R124074	1410 4TH ST	15112A00100	UNION PACIFIC	1	208	
39	ORCO01767	COVEY, CLIFFORD JE	TIGARD	OR	97223	WASHINGTON	R461164	12671 SW BROADWAY ST	15116A04400	BNSF	1	208	
40	ORCO01784	COVELL ROAD PROPERTIES LLC	LAQUINA BEACON	CA	92722	WASHINGTON	R4611235	9145 SW COMMERCIAL	25102A01700	BNSF	1	208	
41	ORCO01758	CRAYFORD, JOH; CRAYFORD, THA S	TIGARD	OR	97223	WASHINGTON	R2089544	12190 SW LINCOLN AVE	25121D003700	BNSF	1	80	
42	ORCO02177	CRULL, LAURA K; CRULL, TITOMAST	PORTLAND	OR	97229	WASHINGTON	R2084612	9475 SW COMMERCIAL ST	25102A00700	BNSF	1	69	
43	ORCO01678	CVAI PROPERTIES LLC	BEAVERTON	OR	97005	WASHINGTON	R339844	5391 NW WICKLIFF WAY	1N23AC007600	BNSF	1	262	
44	ORCO01720	DAY, CHRISTINA L; DAY, ROGER W	TIGARD	OR	97223	WASHINGTON	R273484	18115 SW BASELINE RD	15106SC03300	TRINMET LIGHT RAIL	1	113	
45	ORCO01847	DENT, ROBERT W	BEAVERTON	OR	97005	WASHINGTON	R116535	10200 SW TIGARD ST	15135C00100	BNSF	1	75	
46	ORCO02413	DONALD K PALMER & DAVID E PLETKA, KELLEY, BRIAN L;	LAKE OSWEGO	OR	97034	WASHINGTON	R127350	12412 SW BROADWAY ST	15115B04100	UNION PACIFIC	4	781	
47	ORCO01959	DUNCAN, JANICE LEE; DUNCAN, JOHN A	PORTLAND	OR	97210	WASHINGTON	R1433590	19308 SW MODIAVE CT	25121D002300	BNSF	1	781	
48	ORCO01937	DUNCAN, JANICE LEE; DUNCAN, JOHN A	PORTLAND	OR	97210	WASHINGTON	R133305	15995 SW 74TH AVE	25113A001600	BNSF	1	43	
49	ORCO01937	DUNCAN, JANICE LEE; DUNCAN, JOHN A	PORTLAND	OR	97210	WASHINGTON	R133305	15995 SW 74TH AVE	25113A008000	BNSF	1	579	

Primary Split Property Owner Name

Joseph and Marie Gaddini, et al. v. AIZET Corp., et al. - Oregon
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 Washington County
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Case#	Claim ID	Property Owner Name	Address	City	State	Zip	Project County	Tax Parcel Number	Property Address	Project Jurisdiction	Project Description	Project	Average	Total Fees
		ECR/DND/PROPERTIES INC	1930 SW TERTON AVE	TUALATIN	OR	97062	WASHINGTON	R312032	1930 SW TERTON AVE	WASHINGTON	R312032	OR	97062	3
		ELIZABETH GUILLIAM ET AL	1383 SE EAKY VALLEY RD	BERTON	WA	98089	WASHINGTON	R116513	1210 SW BROADWAY SE	WASHINGTON	R116513	WA	98089	131
		ELLERS FAMILY TRUST	9630 SW TUALATIN SHERWOOD	TUALATIN	OR	97062	WASHINGTON	R2119907	9630 SW TUALATIN SHERW	WASHINGTON	R2119907	OR	97062	369
		ELLIS, CYNTHIA; ELLIS, JAMES	19163 SW LISA DR	ALTONA	OR	97066	WASHINGTON	R1134319	19163 SW LISA DR	WASHINGTON	R1134319	OR	97066	20
		EMKA & DEVELOPMENT CO INC	PO BOX 14746	BOISE	ID	83729	WASHINGTON	R1335810	9740 SW NIMBUS DR	WASHINGTON	R1335810	ID	83729	214
		EOP-NIMBUS CORP/EMATE	PO BOX A3879	CHICAGO	IL	60690	WASHINGTON	R1238217	149 SW SEAMHOLE DR	WASHINGTON	R2010497	OR	97066	518
		ENTREPRENEUR CENTER LLC	PO BOX 87407	CHICAGO	IL	60680	WASHINGTON	R1235604	14831 SW MILLIKAN WAY	WASHINGTON	R1235604	IL	60680	22
		EYON LANE LTD PARTNERSHIP	PO BOX 14746	PORTLAND	OR	97239	WASHINGTON	R124243	12910 SW CANYON RD	WASHINGTON	R124243	OR	97239	105
		EYON LANE LTD PARTNERSHIP	PO BOX 2295	PORTLAND	OR	97203	WASHINGTON	R124322	12910 SW CANYON RD	WASHINGTON	R124322	OR	97203	112
		EVANS, DANIEL C; EVANS, KATHA L A	PO BOX 2295	EUGENE	OR	97402	WASHINGTON	R2119528	9640 SW TUALATIN SHERW	WASHINGTON	R2119528	OR	97402	329
		FELT, CLAYTON; MORGAN, SAMUEL	149 SW SEAMHOLE DR	BEAVERTON	OR	97006	WASHINGTON	R2010497	149 SW SEAMHOLE DR	WASHINGTON	R2010497	OR	97006	81
		FENGUSON, RONNIE D; MICHAEL, CELLEN W/LINDA	PO BOX 989	TUALATIN	OR	97062	WASHINGTON	R310039	8355 SW TUALATIN RD	WASHINGTON	R310039	OR	97062	120
		FIELDS, REED W	1149 SW DAVENPORT ST	PORTLAND	OR	97201	WASHINGTON	R4546972		WASHINGTON	R4546972	OR	97201	13
		FOUGHT & COMPANY INC	PO BOX 23759	TIGARD	OR	97281	WASHINGTON	R510922		WASHINGTON	R510922	OR	97281	3
		FOUGHT COMPANY INC	PO BOX 23759	TIGARD	OR	97281	WASHINGTON	R510923		WASHINGTON	R510923	OR	97281	466
		FREEMAN, DAVID KENNETH	6629 TOLDOFF ST	ANCORIDGE	AK	99507	WASHINGTON	R319150	17149 W BASELINE RD	WASHINGTON	R319150	AK	99507	249
		GARFIELD, NORA S	7920 SW LANI'ANA PL	BEAVERTON	OR	97008	WASHINGTON	R1246455	13252 SW BROADWAY ST	WASHINGTON	R1246455	OR	97008	65
		GATEWAY COLUMBIA	8275 SW CIRRIUS DRIVE	BEAVERTON	OR	97008	WASHINGTON	R2021186	8320 SW NIMBUS AVE	WASHINGTON	R2021186	OR	97008	759
		GATEWAY COLUMBIA	8275 SW CIRRIUS DRIVE	BEAVERTON	OR	97008	WASHINGTON	R2022184	8022 SW NIMBUS DR	WASHINGTON	R2022184	OR	97008	454
		GATEWAY COLUMBIA	8275 SW CIRRIUS DRIVE	BEAVERTON	OR	97008	WASHINGTON	R2028448	7675 SW NIMBUS AVE	WASHINGTON	R2028448	OR	97008	231
		PROBERTS INC	8275 SW CIRRIUS DRIVE	BEAVERTON	OR	97008	WASHINGTON	R2084449	7940 SW NIMBUS AVE	WASHINGTON	R2084449	OR	97008	742
		PROBERTS INC	8275 SW CIRRIUS DRIVE	BEAVERTON	OR	97008	WASHINGTON	R459827	7500 SW TECTI CENTER	WASHINGTON	R459827	OR	97008	354
		GUILLIAM, ELIZABETH	1383 SE EAKY VALLEY RD	BERTON	WA	98089	WASHINGTON	R1165132		WASHINGTON	R1165132	WA	98089	48
		GLASCO INC	PO BOX 9709	BEAVERTON	OR	97076	WASHINGTON	R201481	10740 SW DENNEY RD	WASHINGTON	R201481	OR	97076	236
		GLASCO INC	PO BOX 9709	BEAVERTON	OR	97076	WASHINGTON	R201481	10740 SW DENNEY RD	WASHINGTON	R201481	OR	97076	1,213
		GRAVES, SUSAN R; SANDERS, JOHNS	1602 NE ORENTHO STATION PK WY	HILLSBORO	OR	97124	WASHINGTON	R1134319	1888 SW LISA DR	WASHINGTON	R1134319	OR	97124	70
		GREER, MARCY A	175 SW 129TH PL	ALDOLA	OR	97006	WASHINGTON	R5114793	175 SW 129TH PL	WASHINGTON	R5114793	OR	97006	53
		HAYTER FAMILY LIMITED PARTNERSHIP	2480 NW 229TH AVE	HILLSBORO	OR	97124	WASHINGTON	R511082	7400 SW LANDMARK LN	WASHINGTON	R511082	OR	97124	293
		HERITAGE VILLAGE HOMEROWNS ASSO	16255 VERTURA BL VD STE 1200	BINGO	CA	91416	WASHINGTON	R2004343		WASHINGTON	R2004343	CA	91416	102
		HICKOK, HENRY A; HICKOK, JOHNNA M A	2165 BEACHI LOOP DR SW	BARNDON	OR	97411	WASHINGTON	R319610	8605 SW CELILO ST	WASHINGTON	R319610	OR	97411	1,933
		HICKOK, HENRY A; HICKOK, JOHNNA M A	2165 BEACHI LOOP DR SW	BARNDON	OR	97411	WASHINGTON	R3130704		WASHINGTON	R3130704	OR	97411	181
		HOLAND INVESTMENTS INC	PO BOX 3245	PORTLAND	OR	97206	WASHINGTON	R2016319	12130 SW BROADWAY	WASHINGTON	R2016319	OR	97206	497
		HOLAND INVESTMENTS INC	PO BOX 3245	PORTLAND	OR	97206	WASHINGTON	R2016319		WASHINGTON	R2016319	OR	97206	1,892
		HOLLMAN, JOSEPH HERBERT	3201 VIOLA TR	MAINA DEL REY	CA	90292	WASHINGTON	R2050276		WASHINGTON	R2050276	CA	90292	1,397
		INDUSTRIAL PROPERTIES, LLC	P.O. BOX 4322	TUALATIN	OR	97062	WASHINGTON	R3466466	10840 SW CLIFFER ST	WASHINGTON	R3466466	OR	97062	276
		INDUSTRIAL PROPERTIES, LLC	P.O. BOX 4322	TUALATIN	OR	97062	WASHINGTON	R536075	10640 SW CLIFFER ST	WASHINGTON	R536075	OR	97062	313
		J T HODGAND ENTERPRISES LLC	5560 SW DEWEET BLVD	PORTLAND	OR	97221	WASHINGTON	R346010	1581 NW WICKUP WAY	WASHINGTON	R346010	OR	97221	60
		JD&S LLC & BEYERSON	7091 SW NIMBUS AVE STE 400	PORTLAND	OR	97004	WASHINGTON	R3313418	12705 SW TALL BLVD	WASHINGTON	R3313418	OR	97004	468
		JDM&K PARTNERS LLC	8965 SW BURNHAM ST	TIGARD	OR	97223	WASHINGTON	R3434045	12705 SW TALL BLVD	WASHINGTON	R3434045	OR	97223	1,216
		JOHNSON FAMILY TRUST	5399 NW WICKUP WAY	PORTLAND	OR	97223	WASHINGTON	R2049613	7200 SW BURNHAM RD	WASHINGTON	R2049613	OR	97223	917
		JOHNSON, LYNN M	4595 HW RISSOWIN AVE	PORTLAND	OR	97131	WASHINGTON	R2049011	5399 NW WICKUP WAY	WASHINGTON	R2049011	OR	97131	22
		JONES, DONALD B; JONES, SUZANNE L	650 NE HOGLAND ST STE 1400	PORTLAND	OR	97223	WASHINGTON	R248648	13485 SW BASKIN RD	WASHINGTON	R248648	OR	97223	260
		KC PROFCO LLC	9333 SW COMMERCIAL ST	TIGARD	OR	97223	WASHINGTON	R450780	9333 SW COMMERCIAL ST	WASHINGTON	R450780	OR	97223	39
		KING, MARTIN	144292 SW CIESTERFIELD LN	TIGARD	OR	97224	WASHINGTON	R450824	9435 SW COMMERCIAL ST	WASHINGTON	R450824	OR	97224	63
		KEALIK, MICHAEL												

Primary Serv: Property Owner Name

Joseph and Marie Godeff, et al. v. AT&T Corp, et al. - Oregon
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Washington County
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Table with columns: CaseID, Claim ID, Property Owner Name, Address, City, State, Zip, Property County, Tax Parcel Number, Property Address, Easement Location, Rail, and Total Pkgs. Contains a list of property records with various details.

Joseph and Marie Godeff, et al. v. AT&T Corp, et al. - Oregon
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Case No.	Case Name	Address	City	State	Zip	Property County	Tax Parcel Number	Property Address	Property Description	Balance	Trail Status
142	ORC001772 NICOLI DAKOTA LLC	1900 SW GIROLAMO	TUALATIN	OR	97082	WASHINGTON	R460655	12160 SW MAIN ST	BNSF		136
143	ORC001685 NYDINGER, MARK A; NYDINGER, KATHYANN DR	1230 SW PATTERSON CT	TIGARD	OR	97133	WASHINGTON	R461191	9315 SW COMMERCIAL ST	BNSF		99
144	ORC002232 OMEGA PARK	1945 SW LISA DR	ALOMA	OR	97006	WASHINGTON	R113480	15201A B04200	TRIMET LIGHT RAIL		120
145	ORC00231 OMEGA, DANIEL J	1334 S CENTRAL AVE	LOS ANGELES	CA	90021	WASHINGTON	R345584	19045 SW LISA DR	TRIMET LIGHT RAIL		70
146	ORC00039 OMEGA COCA-COLA BOTTLING CO	1334 S CENTRAL AVE	LOS ANGELES	CA	90021	WASHINGTON	R345584	10800 SW VIKRY ST	BNSF		963
147	ORC001749 OWEN'S OF DUBLIN PARK	1330 SW SEQUOIA PKWY STE 100	PORTLAND	OR	97224	WASHINGTON	R202418	3342 SW KAHLE LN	BNSF		25
148	ORC002449 PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 100	PORTLAND	OR	97224	WASHINGTON	R1010015	3319 SW KAHLE LN	BNSF		813
149	ORC001944 PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 100	PORTLAND	OR	97224	WASHINGTON	R2002341	3319 SW KAHLE LN	BNSF		300
150	ORC001941 PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 100	PORTLAND	OR	97224	WASHINGTON	R311164	3319 SW KAHLE LN	BNSF		398
151	ORC001938 PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 100	PORTLAND	OR	97224	WASHINGTON	R511182	14860 SW 74TH AVE	BNSF		378
152	ORC002447 PACIFIC REALTY ASSOCIATES	1330 SW SEQUOIA PKWY STE 100	PORTLAND	OR	97224	WASHINGTON	R911345		BNSF		120
153	ORC001725 PASQUAZI INVESTMENT LLC	1030 SW NORTH DAKOTA ST	TIGARD	OR	97223	WASHINGTON	R212402	10110 SW NORTH DAKOTA	BNSF & UNION PACIFIC		434
154	ORC002238 PEARSON, JOHN W	19125 SW LISA DR	ALOMA	OR	97006	WASHINGTON	R111421	19125 SW LISA DR	TRIMET LIGHT RAIL		86
155	ORC002180 PETERSON, DALE B; PETERSON, TERRIL	1860 NW ARCADE CT	BEAVERTON	OR	97006	WASHINGTON	R204609	5277 NW WICKLUR WAY	BNSF		96
156	ORC001700 PIAZZA STREET LLC	PO BOX 1416	CLACKAMAS	OR	97015	WASHINGTON	R1240080	8880 SW NIMBUS AVE	UNION PACIFIC		171
157	ORC002261 PORTLAND GENERAL ELECTRIC COMPANY	121 SW SALMON ST	PORTLAND	OR	97204	WASHINGTON	R36368	15103 CC0300	TRIMET LIGHT RAIL		231
158	ORC001982 PRATT, HILDA, ALTHEA	PO BOX 236	TUALATIN	OR	97082	WASHINGTON	R330697	1815 SW DOONES FERRY	BNSF		372
159	ORC002232 PRINCKI, MICHAEL M; PRINCKI, TRACI L	1805 SW LISA CT	BEAVERTON	OR	97006	WASHINGTON	R114138	1805 SW LISA CT	TRIMET LIGHT RAIL		26
160	ORC001698 PS BUSINESS PARKS LP	15455 NW GREENBRIER PKWY STE 345	BEAVERTON	OR	97006	WASHINGTON	R1240062	8700 SW NIMBUS AVE	UNION PACIFIC		227
161	ORC001699 PS BUSINESS PARKS LP	15455 NW GREENBRIER PKWY STE 345	BEAVERTON	OR	97006	WASHINGTON	R1240071	8366 SW NIMBUS AVE	UNION PACIFIC		261
162	ORC002407 PULANTE BUILDING PRODUCTS, INC.	522 GLENCREEK ROAD NW #200	SALMA	OR	97104	WASHINGTON	R532262	19477 SW 69TH AVE	BNSF		239
163	ORC002408 PULANTE BUILDING PRODUCTS, INC.	522 GLENCREEK ROAD NW #200	SALMA	OR	97104	WASHINGTON	R532201	25121D02300	BNSF		25
164	ORC002211 CC INVESTMENTS LLC	3351 NW 21ST AVE	HILLSBORO	OR	97124	WASHINGTON	R1349281	3357 NW 21ST AVE	BNSF		480
165	ORC002220 QUANTAMA HOUSING LIMITED PARTNERS	411 UNIVERSITY ST STE 1200	SEATTLE	WA	98101	WASHINGTON	R2078694	20700 NW TRAILWALK DR	TRIMET LIGHT RAIL		96
166	ORC002217 QUINTANA VILLAGE LLC	17280 SW KEMMER RD	BEAVERTON	OR	97007	WASHINGTON	R278065	311 NW GINA WAY	TRIMET LIGHT RAIL		728
167	ORC001773 REES C & MARYANNE G JOHNSON; WAREEN W & BETTY JOHNSON TRS	3112 SW SANTA MONICA ST	PORTLAND	OR	97066	WASHINGTON	R461477	12297 SW MAIN ST	BNSF		133
168	ORC001736 RICE, LISA J; RICE, WESLEY P	9305 SW COMMERCIAL ST	TIGARD	OR	97223	WASHINGTON	R460799	9305 SW COMMERCIAL ST	BNSF		80
169	ORC001988 RIGGS BANK NA	PO BOX 19156	ALEXANDRIA	VA	22328	WASHINGTON	R2028282	25121D02300	BNSF		441
170	ORC001993 RIGGS BANK NA	PO BOX 19156	ALEXANDRIA	VA	22328	WASHINGTON	R33224	9370 SW TUALATIN SHERWO	BNSF		214
171	ORC002189 ROONEY JR, PATRICK JOHN	1205 SW TUDT CLUB LN	PORTLAND	OR	97223	WASHINGTON	R2046014	1305 NW WICKLUR WAY	BNSF		69
172	ORC001751 SALKELD, ERIC C	1209 SW 96TH PL	TIGARD	OR	97223	WASHINGTON	R2034176	12095 SW 96TH PL	BNSF		87
173	ORC002260 SEAN'S GARY	1880 SW MERLOT DR	BEAVERTON	OR	97006	WASHINGTON	R101045	1880 SW MERLOT DR	TRIMET LIGHT RAIL		723
174	ORC002220 SEMMOLE ESTATES LLC	1890 BOLSA CHICA ST STE 102	BEAVERTON	CA	92649	WASHINGTON	R1299810	100 SW 193TH AVE	TRIMET LIGHT RAIL		239
175	ORC002036 SFP TUALATIN LLC	13400 SW MILLIKAN WAY	BEAVERTON	OR	97006	WASHINGTON	R2128489	10700 SW TUALATIN SHERWO	BNSF		441
176	ORC002186 SHELBERG, JAMES J	18968 SW LISA DR	ALOMA	OR	97006	WASHINGTON	R1134409	18968 SW LISA DR	TRIMET LIGHT RAIL		76
177	ORC002249 SMITH, AYA R; SMITH, RANDALL K	18868 SW LISA DR	BEAVERTON	OR	97006	WASHINGTON	R1134365	18868 SW LISA DR	TRIMET LIGHT RAIL		76
178	ORC001792 SMITH, KATIEVAN A; SMITH, KENNETH B	2160 RIDGEWOOD DR	WEST Linn	OR	97148	WASHINGTON	R4191674	17888 W BASELINE RD	TRIMET LIGHT RAIL		143
179	ORC001800 ST MARK'S HOME INC	303 E BURBERRY DR	PORTLAND	OR	97214	WASHINGTON	R51099	15108D04000	TRIMET LIGHT RAIL		107
180	ORC001800 STANTON STRUCTURES INC	1831 SE LAKE DR STE 200	PORTLAND	OR	97216	WASHINGTON	R2119099	9100 SW TUALATIN SHERWO	BNSF		113
181	ORC001782 STRONG, MYRTLE E	11715 SW LINCOLN AVE	TIGARD	OR	97223	WASHINGTON	R460815	12172 SW LINCOLN AVE	BNSF		111

Joseph and Marie Gadoh, et al. v. AT&T Corp., et al. - Oregon

Order of Judgment
Washington County
As of March 4, 2008

Case ID	Project Owner Name	Address	City	State	Zip	Property Category	Tax Parcel Number	Property Address	Property Identification	Property Description	Assessment	Total Parcel Area
182	Summit Properties Inc	5550 SW MANCANN AVE STE 205	PORTLAND	OR	97239	WASHINGT	R1241515	7555 SW TECH CENTER	25101DC00500		BNSF	3
183	SUSANRA, BETTY M, SUSANRA, MARKO A	16233 NE EUGENE CT	PORTLAND	OR	97230	WASHINGT	R1389905	19488 SW MOHAVE CT	25121DC0701		BNSF	2
184	SYLVIA B, GIUSTINA, TRUSTEE OF THE SYLVIA B, GIUSTINA REVOCABLE TRUST	3530 BLACK OAK ROAD	EUGENE	OR	97405	WASHINGT	R1198821	19950 SW 90TH CT	25121DC08100		BNSF	2
185	TANASBOURNE EVERGREEN LLC	1500 NW BETTILANY BLVD STE 145	BEAVERTON	OR	97006	WASHINGT	R1368209	3555 NW 21STH AVE	IN226A0005100		BNSF	3
186	TEKTRONIX INC	14200 SW KABL BRUAN DR, M/S 35115	BEAVERTON	OR	97077	WASHINGT	R2088991	15109K00400	15109K00400		TRIMET LIGHT RAIL	2
187	TEKTRONIX INC	4200 SW KARL BRUAN DR, M/S 35115	BEAVERTON	OR	97077	WASHINGT	R2088991	15109K001400	15109K001400		TRIMET LIGHT RAIL	2
188	TENNANT INVESTORS	RD BOX 1658	PORTLAND	OR	97207	WASHINGT	R3109199	7311 SW BONTITA RD	25112A001309		BNSF	1
189	TERRESA R, DIBB REV LIV TRUST	4500 SW JALAL BLVD	TIGARD	OR	97223	WASHINGT	R2629345	848 SW COMMERCIAL ST	25102A001200		BNSF	1
190	THOMPSON AND ADAMS	4500 SW JALAL BLVD	BEAVERTON	OR	97205	WASHINGT	R124181	848 SW COMMERCIAL ST	25116A001102		UNION PACIFIC	78
191	TICKNOR, TREVAY R	5569 NW WICKIUP WAY	PORTLAND	OR	97226	WASHINGT	R2046088	5269 NW WICKIUP WAY	IN223A002100		BNSF	7
192	TILLAMOOK LIGHT LLC	1706 SW LANTIONNE TER	ALGONA	OR	97201	WASHINGT	R1009991	2317 SW KABLE LN	25112DB00400		TRIMET LIGHT RAIL	83
193	TOOLEY, DAVID A	19083 SW LISA DR	BEAVERTON	OR	97006	WASHINGT	R1134695	19083 SW LISA DR	15201A002100		TRIMET LIGHT RAIL	91
194	TOSUNTRIKOOL, NELL	18733 SW LISA CT	BEAVERTON	OR	97006	WASHINGT	R1134310	18733 SW LISA CT	15201A006600		TRIMET LIGHT RAIL	91
195	TR-COUNTY INDUSTRIAL PARK INC	8320 NE HIGHWAY 99	VANCOUVER	WA	98645	WASHINGT	R2669199	11120 SW INDUSTRIAL WAY	25127D000101A		BNSF	2
196	TUALATIN BUSINESS WEST OWNERS OF LOT 6		WEST LINN	OR	97068	WASHINGT	R2119915		25123C001700		BNSF	3
197	TUALATIN DEVELOPMENT COMM URBAN RENEWAL AGENCY	14880 SW MARTINAZZI AVE	TUALATIN	OR	97062	WASHINGT	R2092502	15655 SW MILLIKAN WAY	25123A001600		BNSF	1
198	TUALATIN HILLS PARK AND RECREATION DISTRICT	15707 SW WALKER RD	BEAVERTON	OR	97006	WASHINGT	R1230096		15108B000394		TRIMET LIGHT RAIL	193
199	TUALATIN INDUSTRIAL WATER CO	8320 NE HIGHWAY 99	VANCOUVER	WA	98645	WASHINGT	R2084130		25127D001500		BNSF	29
200	VADEN, JANE; VADEN MICHAEL	11220 SW CANYON RD	BEAVERTON	OR	97005	WASHINGT	R124145	12720 SW CANYON RD	15116A003000		UNION PACIFIC	121
201	VINERZO TRUSTELL & ROSA CONTESTE TRUST	12290 SW BROADWAY ST	BEAVERTON	OR	97005	WASHINGT	R116537	12290 SW BROADWAY ST	15115B004600		UNION PACIFIC	80
202	WALLACE, JANET M; WALLIENS, EDWARD P	4144 INGLESIDE LOOP SE	LACEY	WA	98502	WASHINGT	R232201	1355 SW 170TH AVE	15106B001100		TRIMET LIGHT RAIL	7
203	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGT	R1462456		25127A000490		BNSF	11
204	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGT	R286657	18643 W BASELINE RD	15201A003300		TRIMET LIGHT RAIL	120
205	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGT	R286666	18535 W BASELINE RD	15201A003300		TRIMET LIGHT RAIL	43
206	WASHINGTON COUNTY	169 N 1ST AVE # MS42	HILLSBORO	OR	97124	WASHINGT	R286673	18395 W BASELINE RD	15201A003100		TRIMET LIGHT RAIL	14
207	WATKINS, LINDA L	30 LEWIS ST # 4FLR	HONOLULU	HI	96815	WASHINGT	R1198849		25123D001000		BNSF	2
208	WATKINS, MARY LOU; WHITTON, ROBERT E	4211 NW CEDAR CANYON RD	BONNOLU	OR	97106	WASHINGT	R2089928	18155 W BASELINE RD	15106B004500		TRIMET LIGHT RAIL	241
209	WATKINS, KAMAUI D	1481 MARKET WAY	LAKE OSWEGO	OR	97035	WASHINGT	R2024183	12076 SW 97TH PL	25102B004200		BNSF	40
210	WILSON, BRENDA G; WILSON, DAVID L	1823 SW LISA DR	ALGONA	OR	97006	WASHINGT	R1134342	18823 SW LISA DR	15201A009900		TRIMET LIGHT RAIL	72
211	YI, JIUN CHONG	2701 NW VAUGHN ST STE 202	PORTLAND	OR	97210	WASHINGT	R2036670	18815 SW LISA DR	15201A001300		TRIMET LIGHT RAIL	70
212	YOUNG, LAURA I; YOUNG, TERENCE	18843 SW LISA DR	BEAVERTON	OR	97006	WASHINGT	R113436	18843 SW LISA DR	15106B004800		TRIMET LIGHT RAIL	670
213	YOUNG FAMILY TRUST ETAL	10290 SW GREENBURG RD STE 1200	PORTLAND	OR	97223	WASHINGT	R2116819	9720 SW HUNZIKER ST	15201A002000		BNSF & UNION PACIFIC	708
214	ZIAN LIMITED PARTNERSHIP	6712 N CUTLER CIR	PORTLAND	OR	97217	WASHINGT	R2039930	8305 TUALATIN SHERWOOD	25127D0002600		BNSF	26



First American Title Insurance Company
National Commercial Services
200 SW Market Street, Suite 250
Portland, OR 97201
Phone: (503)795-7600 / Fax: (866)678-0591

PR: NATLAC

Ofc: 5031 (1601)

Final Invoice

To: Mutual Materials
15791 SE Piazza Ave
Clackamas, OR 97015

Invoice No.: 1601 - 1601106109
Date: 03/28/2019
Our File No.: NCS-953660-OR1
Title Officer: Tina Carleton
Escrow Officer:
Customer ID: 3059497

Attention: Kim Eirling
Your Ref.:

Liability Amounts

RE: Property:
10780 SW Tualatin-Sherwood Rd, Tualatin, OR 97062

Buyers: Mutual Materials Company
Sellers:

Description of Charge	Invoice Amount
Search and Exam - Lot Book	\$500.00
INVOICE TOTAL	\$500.00

Comments:

Thank you for your business!

*To assure proper credit, please send a copy of this Invoice and Payment to:
Attention: Accounts Receivable Department
PO Box 31001-2266
Pasadena, CA 91110-2266*

30
6
11
/5

After recording return to
Irving Potter
Josselson, Potter & Roberts
425 NW 10th Ave., Suite 306
Portland, OR 97209

Washington County, Oregon **2006-068730**
06/09/2006 08:30:11 AM
D-R/B Cnt#2 SIn#9 C TOMPKINS
\$30.00 \$5.00 \$6.00 \$11.00 - Total = \$52.00



00984451200800687300080060

I, Jerry Henson, Director of Assessment and Taxation
and Ex-Officio County Clerk for Washington County,
Oregon, do hereby certify that the within instrument of
writing was received and recorded in the book of
records of said county.

Jerry Henson

Jerry R. Henson, Director of Assessment and Taxation,
Ex-Officio County Clerk



AMENDMENT TO
RESTRICTIVE COVENANT AND DECLARATION OF EASEMENT

Each of the Owners of property subject to the Restrictive Covenant and Declaration of Easement recorded December 1, 2004 as Fee No. 2004-137530 of the Official Records of Washington County, Oregon (the "Declaration") by execution hereof, agree to amend the Declaration as follows:

1. Properties Affected. This amendment affects the three parcels know as known as Parcel 1, Parcel 2, and Parcel 3 created as part of Parcel Plat Map No. 2003-040 recorded as Document No. 2003098057 in the real property records of the County of Washington, State of Oregon (the "Partition Plat").

2. Additional Easement.

2.1 Creation of Additional Easement. A non-exclusive easement is hereby granted to the Owners, their successors and assigns, for the benefit of the Lots, consisting of a strip of land approximately ten (10) feet wide over the portion of Parcel 2 abutting the Roadway (the "Sidewalk Easement Area"). The Owner of Parcel 2 has constructed a sidewalk within the Sidewalk Easement Area (the "Sidewalk").

2.2 Right to Use. Subject to the provisions of Section 8.1 of the Declaration negating any public rights, each Owner, its heirs, executors, administrators, successors, assigns, employees, agents, lessees, customers, licensees, visitors, invitees and concessionaires shall have the nonexclusive right to use the Sidewalk for the purpose of furnishing pedestrian ingress and egress to and from the lots in the Property. Such rights shall include the incidental rights to install, maintain, repair and replace the Sidewalk.

2.3 Maintenance. Section 2.1 of the Declaration regarding maintenance shall also apply to maintenance of the Sidewalk. The cost of such maintenance shall be allocated one third to the Owner or Owners of Parcel 1, one third to the Owner or Owners of Parcel 2 and one third to the Owner or Owners of Parcel 3, except that to the extent any maintenance is necessitated by the negligence or willful misconduct of any Owner, the maintenance necessitated thereby shall be at such Owner's sole cost and expense. Notwithstanding the foregoing, any costs associated with the initial construction of any curb cuts or modifications to the Sidewalk to make it handicapped accessible shall be paid by the Owner requesting such curb cut or modification.

This Amendment adopted by the Owners pursuant to Section 7 of the Declaration as of May 5, 2006.

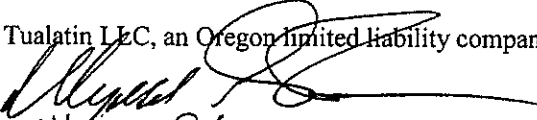
ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company

By its co-managers:

Arlington Development, Inc., an Oregon corporation

By: 
Name: Gregory S. Perkins
Its: PRESIDENT

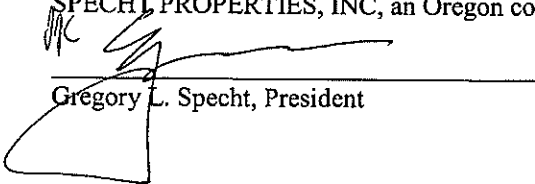
Aspen Tualatin LLC, an Oregon limited liability company

By: 
Name: Ulysses Sherman
Its: Authorized Agent

SFP TUALATIN LLC, an Oregon limited liability company

By its manager:

SPECHT PROPERTIES, INC, an Oregon corporation


Gregory L. Specht, President

LAKESIDE LUMBER, INC., an Oregon corporation

By: _____
Name: _____
Its: _____

State of Oregon)
County of Multnomah) ss.

This instrument was acknowledged before me on May 5, 2006 by Gregory S. Perkins as President of Arlington Development, Inc., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

State of Oregon)
County of Multnomah) ss.

This instrument was acknowledged before me on May 5, 2006 by Wlysses Sherman as Authorized Agent of Aspen Tualatin LLC., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

STATE OF OREGON)
) ss.
COUNTY OF Washington)

This instrument was acknowledged before me on this 2nd day of MAY, 2006, by Gregory L. Specht, as President of SPECHT PROPERTIES, INC, an Oregon corporation, as Manager of SFP TUALATIN LLC, an Oregon limited liability company, on behalf of said company.



Robin Frybarger
Notary Public for Oregon
My commission expires: APRIL 8, 2007

State of Oregon)
County of _____) ss.

This instrument was acknowledged before me on _____ by _____ as _____ of Lakeside Lumber, Inc., Inc., an Oregon corporation.

Notary Public for Oregon
My Commission expires _____

LAKESIDE LUMBER, INC., an Oregon corporation

By: [Signature]
Name: KEVIN JACOBSEN
Its: PRESIDENT

State of Oregon)
County of _____) ss.

This instrument was acknowledged before me on May 5, 2006 by Gregory S. Perkins as President of Arlington Development, Inc., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

State of Oregon)
County of _____) ss.

This instrument was acknowledged before me on May 5, 2006 by Ulysses Sherman as Authorized Agent of Aspen Tualatin I.L.C., an Oregon corporation, as Co-Manager of ARLINGTON DEVELOPMENT PARTNERS LLC, an Oregon limited liability company.



Kathie A. Garcia
Notary Public for Oregon
My Commission expires Nov. 27, 2009

STATE OF OREGON)
) ss.
COUNTY OF Washington)

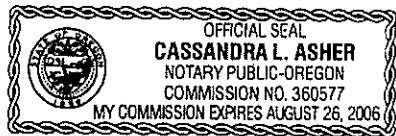
This instrument was acknowledged before me on this 2nd day of May, 2006, by Gregory L. Specht, as President of SPECHT PROPERTIES, INC, an Oregon corporation, as Manager of SFP TUALATIN LLC, an Oregon limited liability company, on behalf of said company.



Robin Frybarger
Notary Public for Oregon
My commission expires: April 8, 2007

State of Oregon
County of Washington

This instrument was acknowledged before me on May 19, 2006 by Kevin Jacobsen as President of Lakeside Lumber, Inc., Inc., an Oregon corporation.






Cassandra L. Asher
Notary Public for Oregon
My Commission expires 08/26/2006



First American
Title Insurance Company

File No.: 953660
Location: Washington County, OR

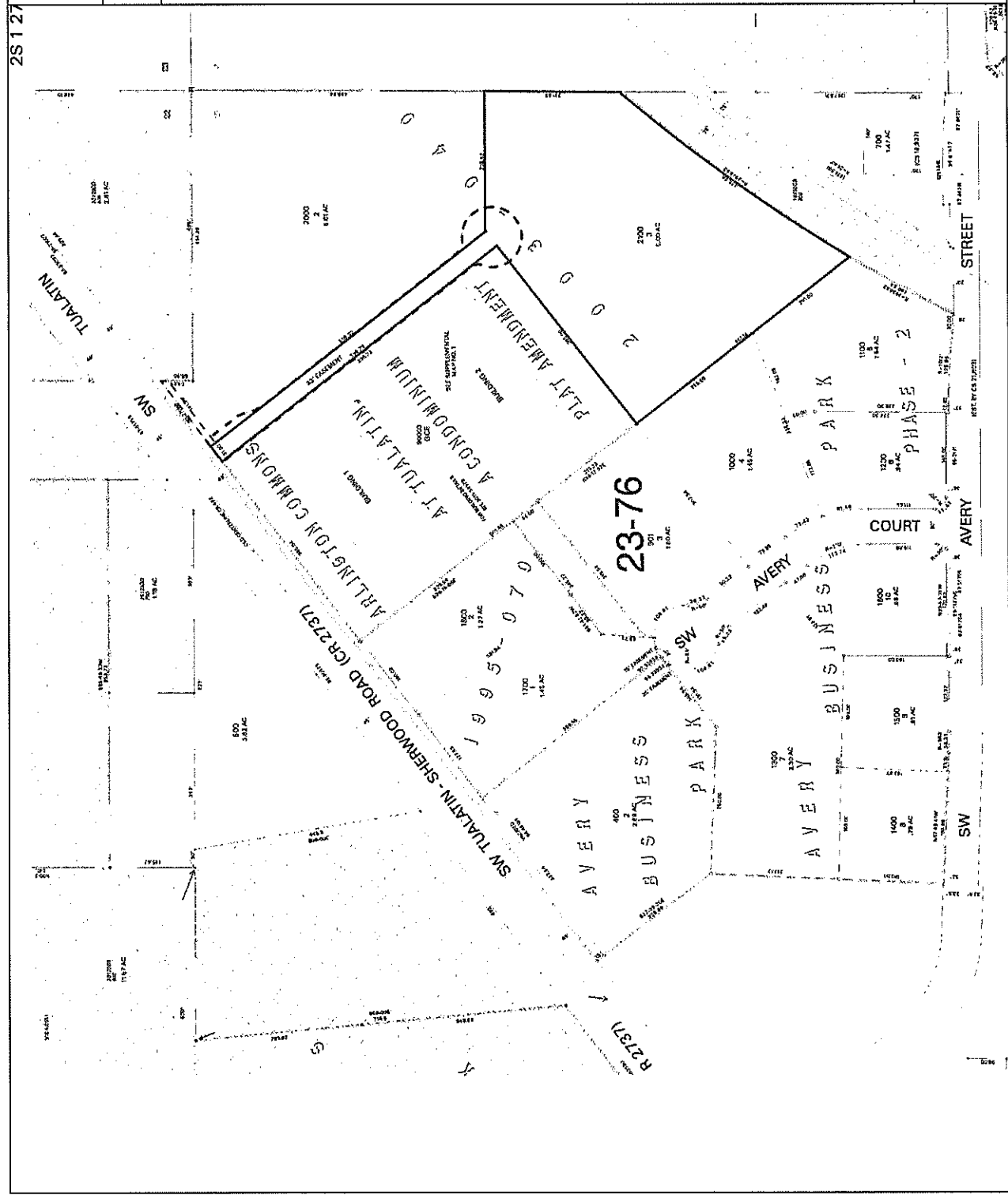
Legend

-  PARCEL I
-  PARCEL II
-  PARCEL III



This map may or may not be an accurate description or identification of the land and is not intended nor may be it relied upon as a survey of the land depicted hereon. This map is solely intended to provide information as to the general location of the parcel or parcels depicted herein. First American Title Company, its subsidiaries and affiliates, expressly disclaim any and all liability for inaccuracies or damage which may result from reliance on or use of this map.

NOT TO SCALE



Washington County, Oregon 2008-066403
07/29/2008 03:37:34 PM
D-DW Cnt#1 Stn#22 | REED
\$25.00 \$5.00 \$11.00 \$2,160.00 - Total = \$2,201.00



After recording return to:
Mutual Materials Company
P.O. Box 2009
Bellevue, WA 98009-2809

Until a change is requested all tax statements
shall be sent to the following address:
Mutual Materials Company
P.O. Box 2009
Bellevue, WA 98009-2809

File No.: NCS-340143-OR1 (mk)
Date: July 22, 2008

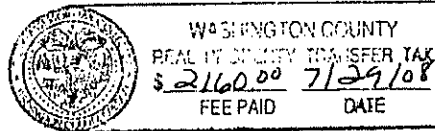
THIS SPACE RESER



01276028200800664030050059

I, Richard Hobermicht, Director of Assessment and
Taxation and Ex-Officio County Clerk for Washington
County, Oregon, do hereby certify that the within
instrument of writing was received and recorded in the
book of records of said county.

Richard Hobermicht, Director of Assessment and
Taxation, Ex-Officio County Clerk



STATUTORY WARRANTY DEED

SFP Tualatin LLC, an Oregon limited liability company, Grantor, conveys and warrants to Mutual Materials Company, a Nevada corporation, Grantee, the following described real property free of liens and encumbrances, except as set forth on EXHIBIT "B" attached hereto and incorporated herein by this reference.

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

The true consideration for this conveyance is \$2,160,000.00. (Here comply with requirements of ORS 93.030)

25
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11
41

2,160

FATCO. NO. NCS - 340143

APN:

Statutory Warranty Deed
- continued

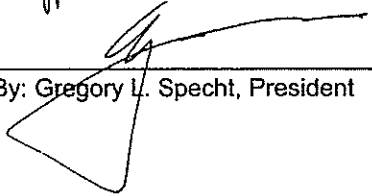
File No.: NCS-340143-OR1 (mk)
Date: 07/22/2008

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195-336 AND SECTIONS 5 TO 11, OF CHAPTER 424, OREGON LAWS 2007. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930 AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195-336 AND SECTIONS 5 TO 11, OF CHAPTER 424, OREGON LAWS 2007.

Dated this 29 day of July, 2008.

SFP Tualatin LLC, an Oregon limited liability company

By: Specht Properties, Inc., its Manager
gpc


By: Gregory L. Specht, President

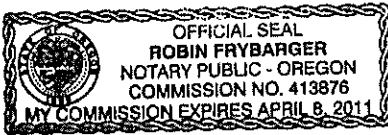
APN:

Statutory Warranty Deed
- continued

File No.: NCS-340143-OR1 (mk)
Date: 07/22/2008

STATE OF Oregon)
)ss.
County of Washington)

This instrument was acknowledged before me on this 25th day of July, 2008
by Gregory L. Specht as President of Specht Properties, Inc., an Oregon corporation, as Manager of SFP
Tualatin LLC, an Oregon limited liability company on behalf of the limited liability company.



Robin Frybarger

Notary Public for Oregon
My commission expires: April 8, 2011

Exhibit "A"

Real property in the County of Washington , State of Oregon, described as follows:

PARCEL I:

Parcel 3, PARTITION PLAT NO. 2003-040, in the City of Tualatin, County of Washington and State of Oregon.

PARCEL II:

An easement for private access and utility as set forth on PARTITION PLAT NO. 2003-040, in the City of Tualatin, County of Washington and State of Oregon.

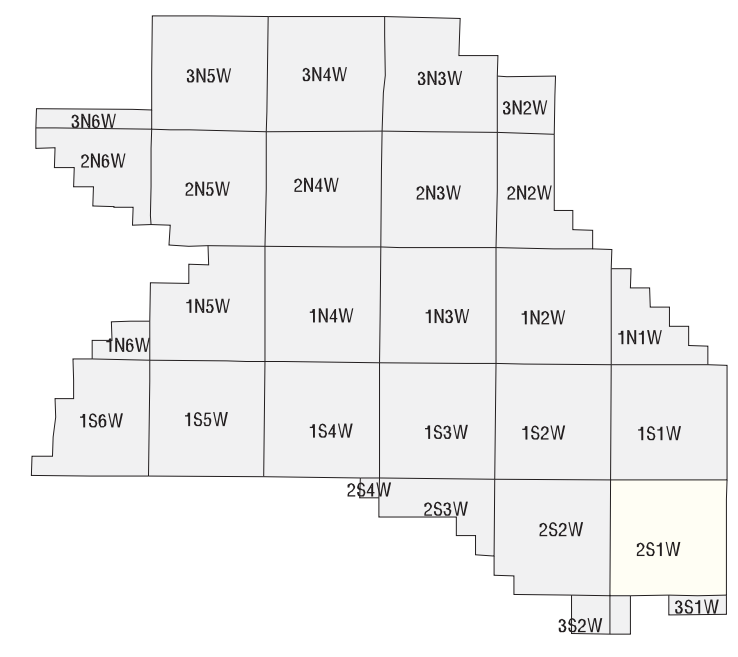
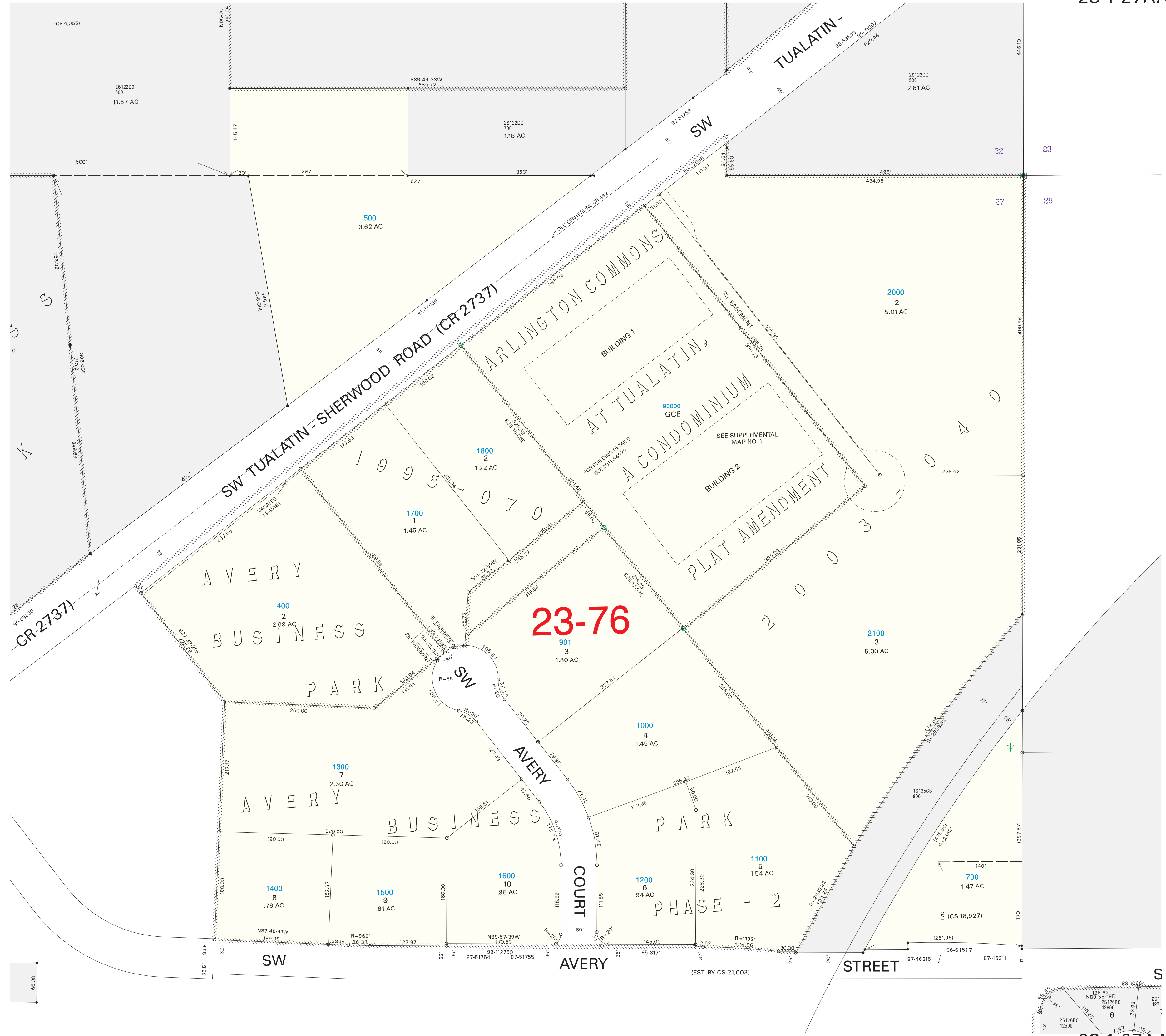
PARCEL III:

An easement for sidewalk purposes as created by that certain Amendment To Restrictive Covenant and Declaration of Easement recorded June 9, 2006 as Fee No. 2006-068730.

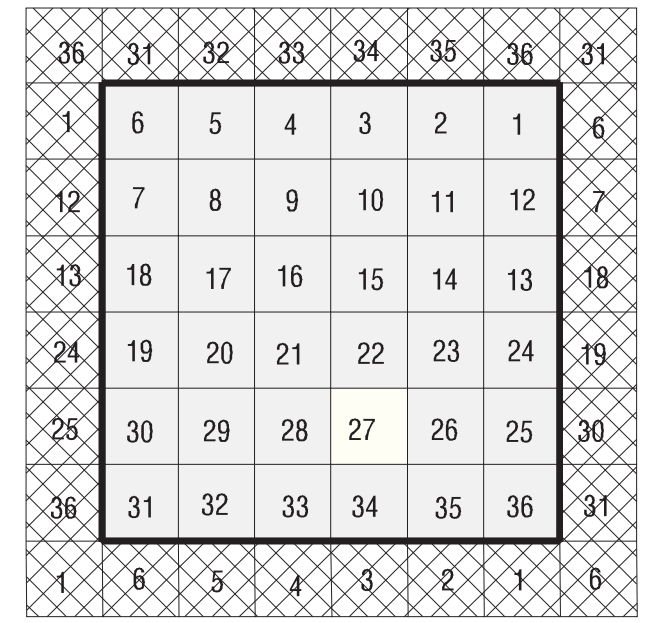
EXHIBIT "B"

1. City liens, if any, for the city of Tualatin.
2. These premises are within the boundaries of the Clean Water Services District and are subject to the levies and assessments thereof. None due at recordation
3. Easement, including terms and provisions contained therein:
Recording Information: September 13, 1990 as Fee No. 90-049686
In Favor of: Washington County, a political subdivision of the State of Oregon
For: Drainage
4. The terms and provisions contained in the document entitled "Dedication of Real Property Agreement" recorded April 15, 1991 as Fee No. 91017983 of Official Records.
5. Easements for private access and utility purposes for the benefit of Parcels 1, 2 and 3 as shown on the recorded partition plat of 2003-040.
6. Restrictions shown on the recorded partition plat of 2003-040.
7. Covenants, conditions, restrictions and easements in the document recorded December 01, 2004 as Fee No. 2004-137530 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.

Document(s) declaring modifications thereof recorded June 09, 2006 as Fee No. 2006-068730
8. General and special taxes and assessments for the fiscal year 2008-2009, a lien not yet due or payable.
9. An unrecorded lease dated June 15, 2006 executed by SFP Tualatin LLC as lessor and Stacy and Witbeck Inc. as lessee, and any amendments thereto, as disclosed to the Company.



WASHINGTON COUNTY OREGON
 NE 1/4 NE 1/4 SECTION 27 T2S R1W W.M.
 SCALE 1" = 100'

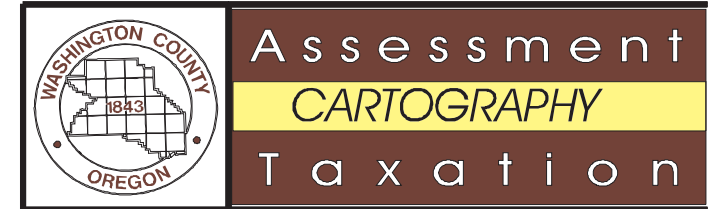
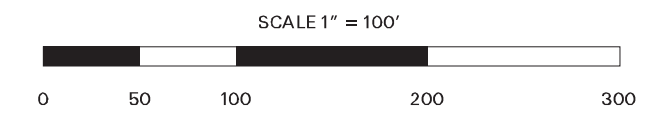


FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us

BB	BA	AB	AA
BC	BD	AC	AD
CB	CA	DB	DA
CC	CD	DC	DD

SECTION 27

Cancelled Taxlots For: 2S127AA
 600,900,800,300,1601,100,200,1900,700-C1,



PLOT DATE: February 14, 2013
FOR ASSESSMENT PURPOSES ONLY - DO NOT RELY ON FOR OTHER USE

Map areas delineated by either gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries. Please consult the appropriate map for the most current information.

Sensitive Area Pre-Screening Site Assessment

1. Jurisdiction: Tualatin

2. Property Information (example 1S234AB01400)

Tax lot ID(s): 2S127AA02100

OR Site Address: 10700 SW TUALATIN SHERWOOD RD

City, State, Zip: Tualatin, OR 97062

Nearest Cross Street: SW Avery St

3. Owner Information

Name: Mutual Materials

Company: _____

Address: _____

City, State, Zip: _____

Phone/Fax: _____

E-Mail: _____

4. Development Activity (check all that apply)

- Addition to Single Family Residence (rooms, deck, garage)
 Lot Line Adjustment Minor Land Partition
 Residential Condominium Commercial Condominium
 Residential Subdivision Commercial Subdivision
 Single Lot Commercial Multi Lot Commercial
 Other _____

5. Applicant's Rep Information

Name: Suzannah Stanley

Company: Mackenzie

Address: 1515 SE Water Ave Ste 100

City, State, Zip: Portland, OR 97214

Phone/Fax: 503-224-9560

E-Mail: sstanley@mcknze.com

6. Will the project involve any off-site work? Yes No Unknown

Location and description of off-site work _____

7. Additional comments or information that may be needed to understand your project _____

Mutual Materials - sale/storage of pavers/bricks to contractors. Same project approved in 2008/2009 but decision expired. Almost identical proposal to previous.

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name Suzannah Stanley

Print/Type Title Land Use Planner

Signature _____



Date _____

FOR DISTRICT USE ONLY

- Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 17-05, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.
- Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 17-05, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- This Service Provider Letter is not valid unless _____ CWS approved site plan(s) are attached.**
- The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Reviewed by _____



Date 03/20/19

Once complete, email to: SPLReview@cleanwaterservices.org • Fax: (503) 681-4439

OR mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123



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Client:
MUTUAL MATERIALS
605 NE 19TH AVENUE
BELLEVUE, WA 98005



Project
MUTUAL MATERIALS
WHOLESALE
TUALATIN, OR

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THESE DRAWINGS ARE THE PROPERTY
MACKENZIE AND ARE NOT TO BE USED
OR REPRODUCED IN ANY MANNER,
WITHOUT PRIOR WRITTEN PERMISSION

REVISIONS:
REV. NO. REVISIONS REVISION DATE
DATE THIS SHEET CLOSING DATE

SHEET TITLE:
SITE PLAN

DRAWN BY: DJR

CHECKED BY: AJS

SHEET:

C2.0

JOB NO. **2190107.00**

PRELIMINARY ONLY

SITE DATA

TOTAL SITE AREA	217,628 SF (5.00 AC)
DEVELOPMENT AREA	199,166 SF (4.57 AC)
BUILDING AREA	15,900 SF
(SHOWROOM	4,200 SF)
(STORAGE	11,700 SF)
IMPERVIOUS PAVER SQUARE FOOTAGE	4,249 SF
SIDEWALK SQUARE FOOTAGE	6,207 SF
ASPHALT SQUARE FOOTAGE	108,546 SF
TOTAL IMPERVIOUS AREA	134,902 SF (68%)
PARKING LOT LANDSCAPING	1,433 SF (675 SF REQUIRED)
PARKING LOT AREA	9,013 SF
TOTAL LANDSCAPE AREA	66,470 SF (33%)
PLANNING DISTRICT DESIGNATION	GENERAL MANUFACTURING (MG)

PARKING REQUIRED

WHOLESALE	6	(0.3/1,000 GSF)
CAR/VANPOOL	2	(1/25 SPACES REQUIRED)
BIKE PARKING	3	(0.1/1,000 GSF)
COVERED BIKE PARKING	1	(30% OF REQUIRED BIKE PARKING)

PARKING PROVIDED

PROPOSED HANDICAP	2	SPACES
PROPOSED STANDARD	23	SPACES
PROPOSED COMPACT	0	SPACES
PROPOSED CAR/VANPOOL	2	SPACES
TOTAL PARKING PROVIDED	28	(0.90/1,000 SF)
PARKING AREA	4,217	SF
PROPOSED BIKE STALLS	5	(5 COVERED)

KEYNOTES

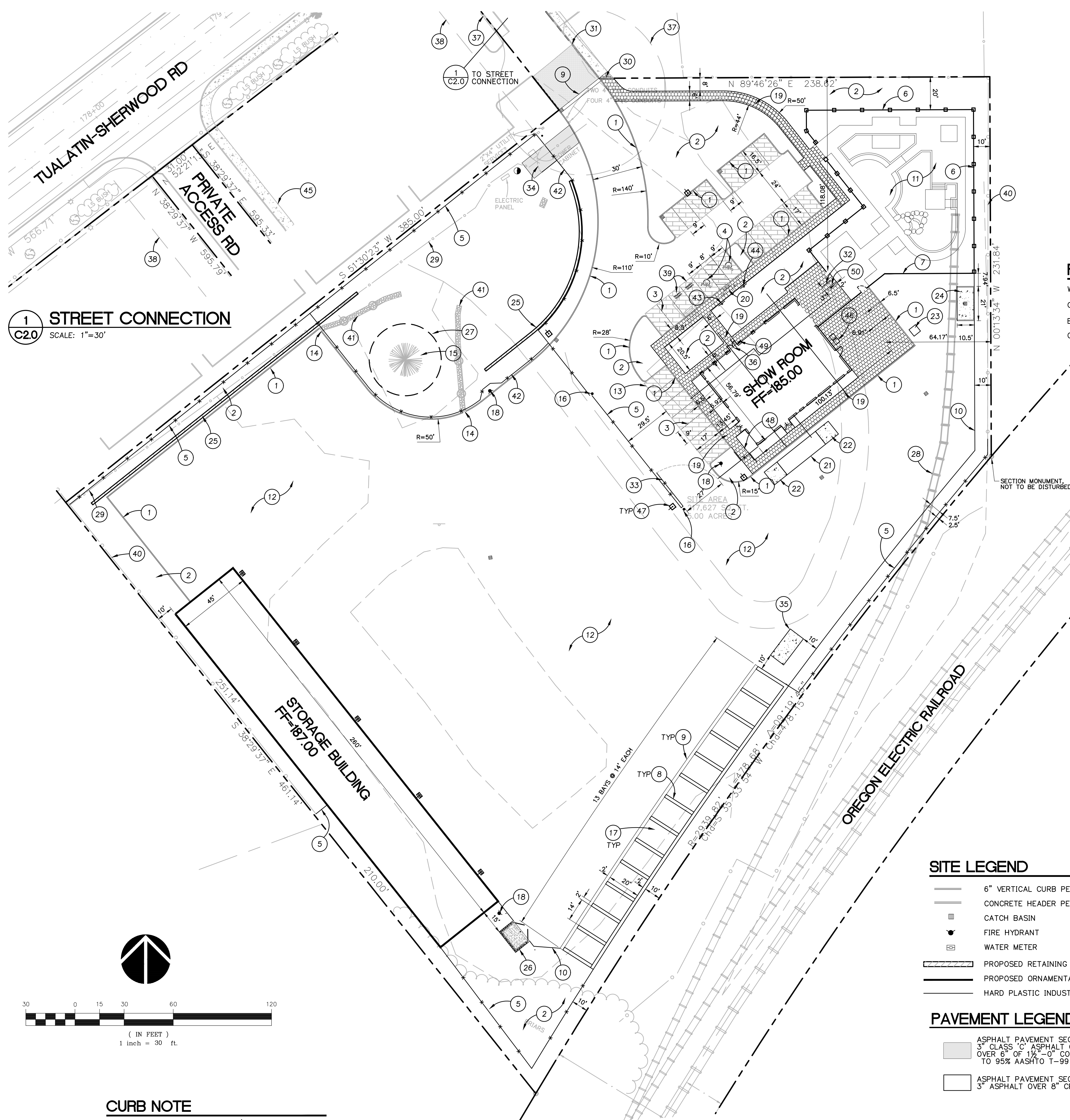
- VERTICAL CURB, SEE DETAIL 1/C5.0
- LANDSCAPE AREA
- PARKING STALL DELINEATION.
- HANDICAP PARKING STALL, SEE DETAIL 6/C5.0
- 6" CHAIN LINK FENCE W/ 1' BARBED WIRE.
- 6" ORNAMENTAL FENCE PER ARCH. DRAWINGS
- 6" ORNAMENTAL BLOCK WALL, SEE ARCH. DRAWINGS. COORDINATE BLOCK TYPE & COLOR WITH OWNER
- SEGMENTAL BLOCK STORAGE BINS, COORDINATE BLOCK TYPE WITH OWNER
- CONCRETE HEADER, SEE DETAIL 4/C5.0
- HARD PLASTIC INDUSTRIAL EDGE, SEE DETAIL 11/C5.0
- LANDSCAPE SHOW AREA PER L. ARCH DRAWINGS
- ASPHALT PAVING
- PAVERS AT PARKING STALLS, COORDINATE TYPE & COLOR WITH OWNER
- 2' CURB BREAK PER DETAIL 5/C5.0
- EXISTING TREE TO REMAIN (22" FIR)
- 6" BOLLARD. SEE DETAIL 12/C5.0
- PROPOSED FIRE HYDRANT
- 2'X2' ARCHITECTURAL SLAB SIDEWALK, SEE DETAIL 3/C5.0. COORDINATE SLAB TYPE AND COLOR WITH OWNER.
- HANDICAP RAMP, SEE DETAIL 6/C5.0
- DRIVE-ON SCALE SEE SHEET S8.1 FOR FOUNDATION DETAILS AND MANUFACTURER DETAILS FOR PIT DESIGN.
- 10' X 10' CONCRETE PAD, 8" THICK WITH #4'S @ 18" O.C. EACH WAY
- PALETTE SCALE PER ARCH. DRAWINGS
- DRILLING & MATERIALS WASH STATION. 6" THICK PAD W/ #4'S @ 18" O.C. EACH WAY. SEE ARCH. DRAWINGS FOR FURTHER DETAILS
- BLOCK RETAINING WALL PER DETAIL X/C5.1, COORDINATE BLOCK TYPE & COLOR WITH OWNER
- TRASH ENCLOSURE, ARCHITECTURAL DETAIL 1/A8.1
- TREE BUFFER ZONE (SEE DETAIL 1/C3.0)
- REMOVE EXISTING RAIL SPUR TO PROPERTY LINE
- REMOVE EXISTING FENCE
- MATCH EXISTING SIDEWALK
- MATCH EXISTING ASPHALT
- COVERED BICYCLE PARKING
- 27" SWING GATE
- 12" SWING GATE
- 10" CONCRETE PAD FOR PROPANE TANK 2 #4'S @ 18" O.C. EACH WAY. VERIFY REQUIRED PAD DIMENSIONS WITH TANK MANUFACTURER.
- BUILDING MAIN ENTRANCE
- PRIVATE ACCESS AND UTILITY EASEMENT
- 19' UTILITY EASEMENT
- CARPOOL/VANPOOL PARKING SPACES
- EXISTING FENCE TO REMAIN
- ROCK CHANNEL, SEE LANDSCAPE PLAN
- 4' VINYL-COATED CHAIN LINK FENCE
- ADA PARKING SIGN, SEE DETAIL 7/C5.0
- ADA PARKING SIGN WITH VAN ACCESSIBLE AND WHEELCHAIR SIGNS, SEE DETAIL 7/C5.0
- EXISTING SIDEWALK
- MECHANICAL UNITS
- SITE LIGHTING, 30 LIGHT POLES
- 7' PEDESTRIAN SWING GATE
- BICYCLE PARKING DIRECTION SIGN
- BICYCLE PARKING SIGN

SITE LEGEND

- 6" VERTICAL CURB PER DETAIL 1/C5.0
- CONCRETE HEADER PER DETAIL 4/C5.0
- CATCH BASIN
- FIRE HYDRANT
- WATER METER
- PROPOSED RETAINING WALL
- PROPOSED ORNAMENTAL BLOCK WALL
- HARD PLASTIC INDUSTRIAL EDGE PER DETAIL 11/C5.0

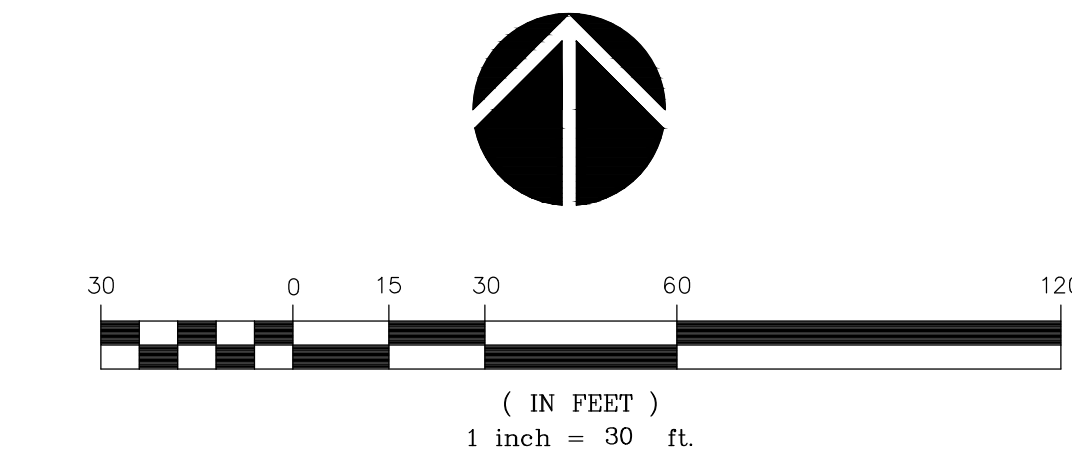
PAVEMENT LEGEND

- PAVEMENT SECTIONS BY GEO-DESIGN
SEE SOILS REPORTS AND SPECIFICATIONS
- ASPHALT PAVEMENT SECTION (POND ACCESS)
3" CLASS 'C' ASPHALT OVER 2" OF 3/4" COMPACTED CRUSHED ROCK
OVER 6" OF 1 1/2" COMPACTED CRUSHED ROCK OVER SUBGRADE COMPACTED
TO 95% AASHTO T-99
 - ASPHALT PAVEMENT SECTION
3" ASPHALT OVER 8" CRUSHED ROCK BASE (2" MIN. LIFT THICKNESS)



1 STREET CONNECTION C2.0

SCALE: 1"=30'



CURB NOTE
ALL ON-SITE CURB RADII ARE 2.5' UNLESS OTHERWISE NOTED ON THE PLANS



10295 Southwest Ridder Road Wilsonville, OR 97070
o 503.570.0626 f 503.582.9307 republicservices.com

April 5, 2019

Bailey Currier
Mackenzie Architecture

Re: Mutual Materials
10700 SW Tualatin-Sherwood Rd.
Tualatin, OR 97062

Dear Bailey,

Thank you, for sending us the final site plans for this proposed development in Tualatin.


My Company: Republic Services of Clackamas and Washington Counties has the franchise agreement to service this area with the City of Tualatin. We will provide complete commercial waste removal and recycling services as needed on a weekly basis for this location

The site location of the Trash and Recycle enclosure sent 4/4/2019, and the traffic circulation defined to access from Tualatin-Sherwood road will allow safe access for our trucks.

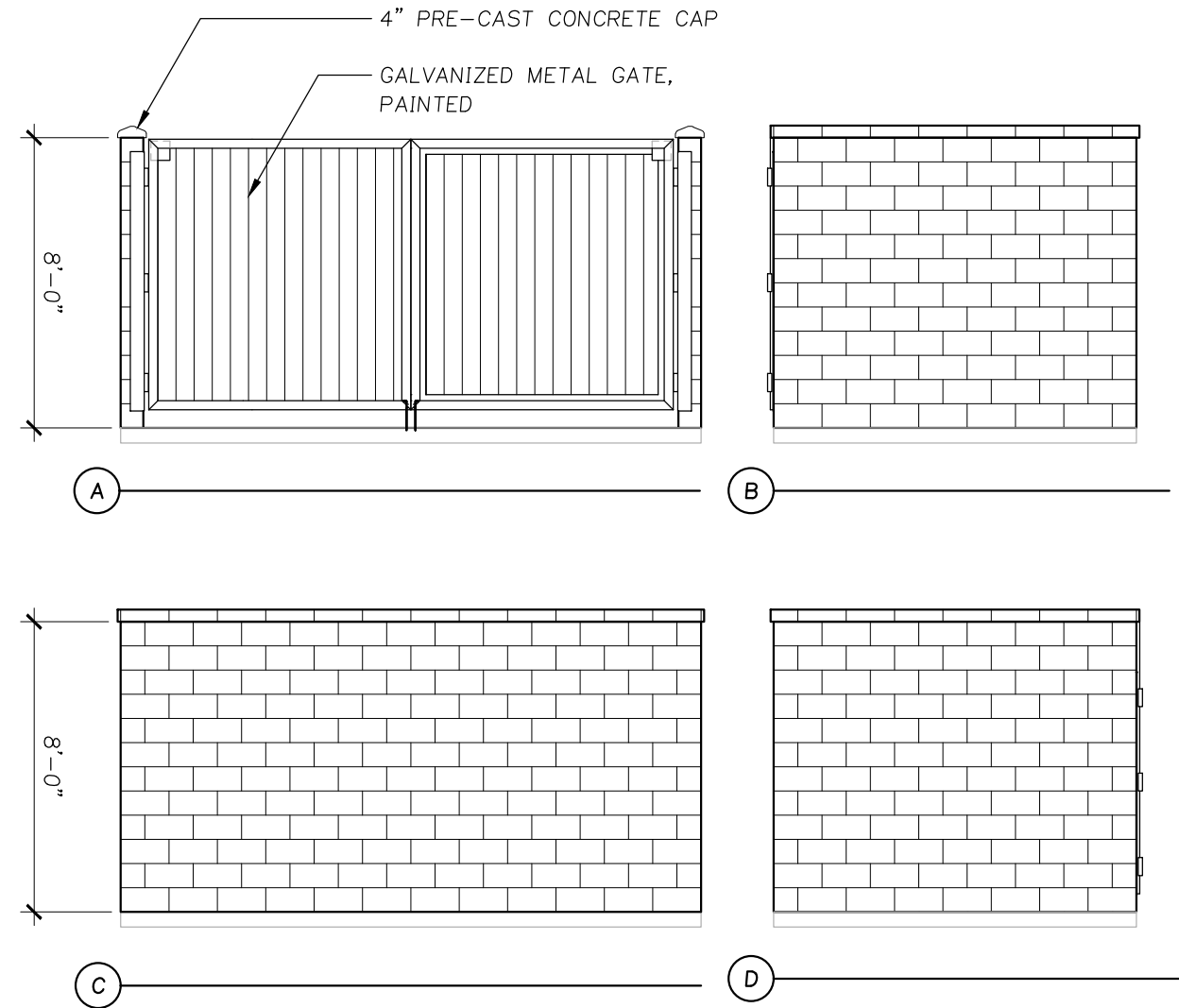
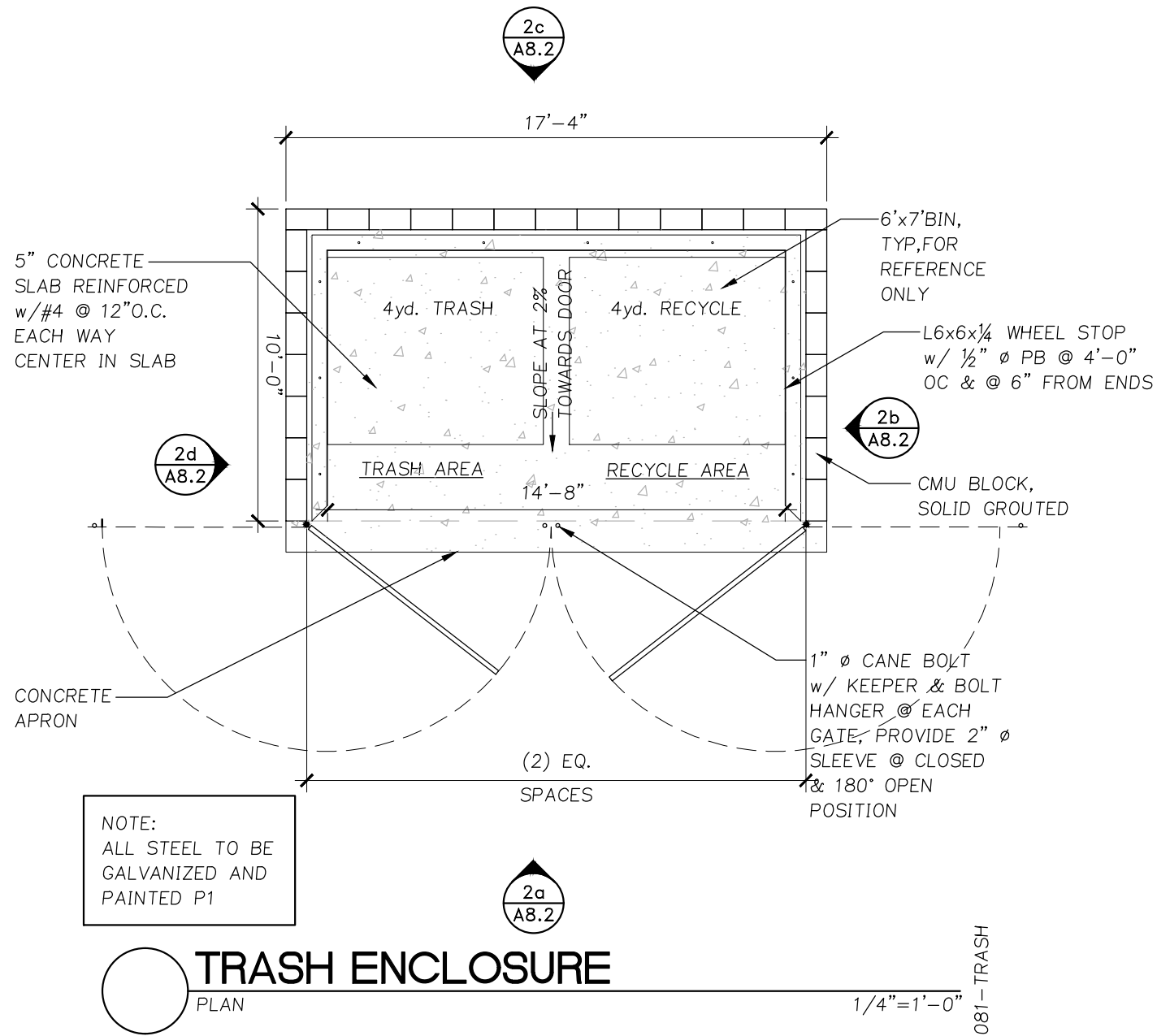
The revised enclosure design dimensions sent 4/4/2019 which includes 17'-4' OD width and 10'-0 OD depth, gate width opening post to post 16', gate swing radius of 180 degrees, and wheel stop curbing of 14'-8" width, are adequate for our trucks to safely service the containers.

Thanks Bailey for your help and concerns for our services prior to this project being developed.

Sincerely,

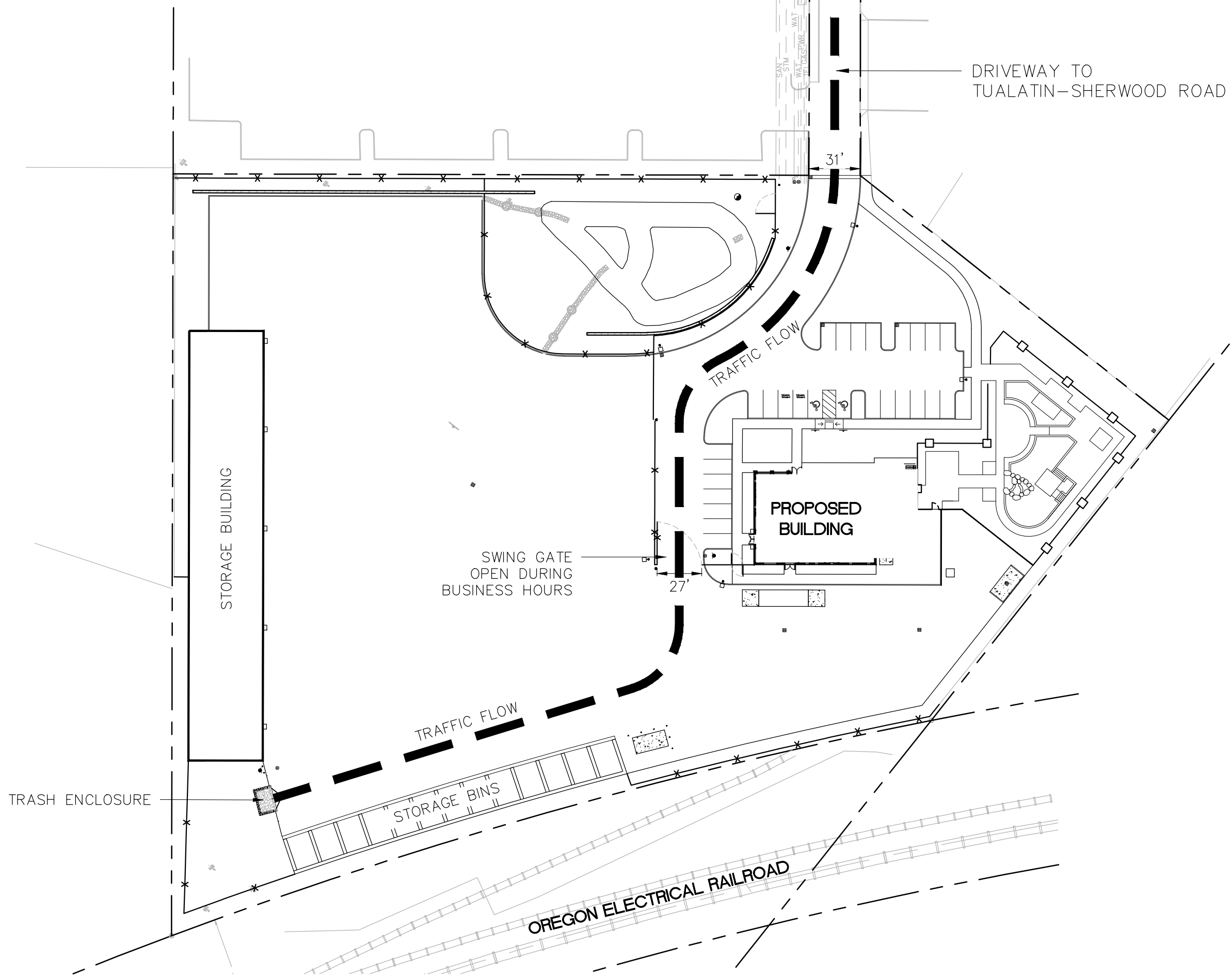


Kelly Herrod
Operations Supervisor
Republic Services Inc.



TRASH ENCLOSURE EXHIBIT
MUTUAL MATERIALS - TUALATIN

April 4, 2019
Job # 2190107.00



WASTE HAULER EXHIBIT
 MUTUAL MATERIALS - TUALATIN

APRIL 4, 2019
 Job # 2190107.00



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219010700\DRAWINGS\CIVIL\EXHIBITS\WASTE HAULER EXHIBIT.DWG BTC 04/04/19 11:08 1:60.00



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 PORTLAND, OR 97211
 Phone: 503-249-0771
 Fax: 503-249-0572
 Email: service@unitedfirepdx.com
 Oregon CCB# 65290
 Washington EC06# UNTDFH95ONT

FOR FIRE BUREAU USE ONLY	
DATE RECEIVED	
COMPLEX #	
BUILDING #	
BUSINESS #	
LOCATION #	
BILL TO: #	
PHYS. FAC. #	
APPEAL #	
DATE ENTERED	

**CHECK SHEET FOR TEST OF
 PRIVATE FIRE HYDRANTS**

TEST DATE: _____

BUSINESS NAME: MUTUAL MATERIALS TUALATIN PROPERTY
 BUILDING NAME: _____
 BUILDING ADDRESS: PO BOX 2009 BELLEVUE, WA 98009
 CONTACT: LANCE PHONE: 503-932-3172

NUMBER OF FIRE HYDRANTS ON THIS SYSTEM: 1 (If more than 3, use additional forms)

	# 1	# 2	# 3
Location of Hydrant? MAKE/MODEL	BY ARLINGTON COMMON SIGN GLOW		
Access unobstructed ? Faced correctly? Set properly?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/>
Location of residual pressure gauge	ON HYDRANT 2.5"		
Static pressure	60		
Residual pressure	55		
Sizes of outlets flowed	2.5"		
Number of outlets flowed	1		
Pitot reading	23		
GPM flowed @20 psi residual	2465		
Threads in good repair? Lubricated? Caps replaced?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/>
Leakage in base, dome or sleeve when under pressure?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
Hydrant operates properly? Operating nut lubricated?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/>
Hydrant drains properly after test?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>

**CHECK SHEET FOR TEST OF
PRIVATE FIRE HYDRANTS**

REQUIRED CORRECTIONS AND EXPLANATION OF PROBLEMS:

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

CORRECTIONS MADE:

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

Has the building owner / representative been notified of any deficiencies? YES NO

If YES, who was notified? LANCE - Emailed

If NO, why wasn't the owner / representative notified? _____

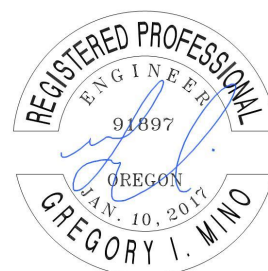
Certified Personnel Conducting Test (PLEASE PRINT NAME) BRIAN MADISON

Certification # 6027 Signature: Brian Madison

Name of Company: UNITED FIRE Phone: 503-249-0771

MACKENZIE.

DESIGN DRIVEN | CLIENT FOCUSED



EXPIRES: 12/31/20

PRELIMINARY DRAINAGE REPORT

To
City of Tualatin

For
Mutual Materials
Tualatin, Oregon

Submitted
April 12, 2019

Project Number
2190107.00



MACKENZIE
Since 1960

RiverEast Center | 1515 SE Water Avenue, Suite 100, Portland, OR 97214
T 503.224.9560 | F 503.228.1285 | www.mcknze.com

TABLE OF CONTENTS

1. Introduction	1
2. Water Quality.....	2
3. Water Quantity.....	3

ATTACHMENTS

1. Grading Plan
2. Basin Map – Existing Conditions
3. Basin Map – Proposed Conditions
4. Water Quantity Sizing Calculations

1. INTRODUCTION

The following storm drainage calculations are intended to support the Mutual Materials Tualatin project. This report demonstrates the proposed stormwater system’s compliance with Clean Water Services Design and Construction Standards (April 2017).

The project site is located west of SW Teton Avenue between SW Tualatin-Sherwood Road and the Oregon Electric Railroad and is accessed by a private driveway between what are currently Lakeside Lumber and Arlington Commons. The site is five acres and is zoned MG (General Manufacturing).

The project consists of the construction of a single-story showroom, exterior material storage, paved areas for maneuvering, and required utilities and landscape.

The existing site is primarily unmaintained gravel and grass, with a u-shaped asphalt driveway/road, and slopes northwest at approximately 3.0%.

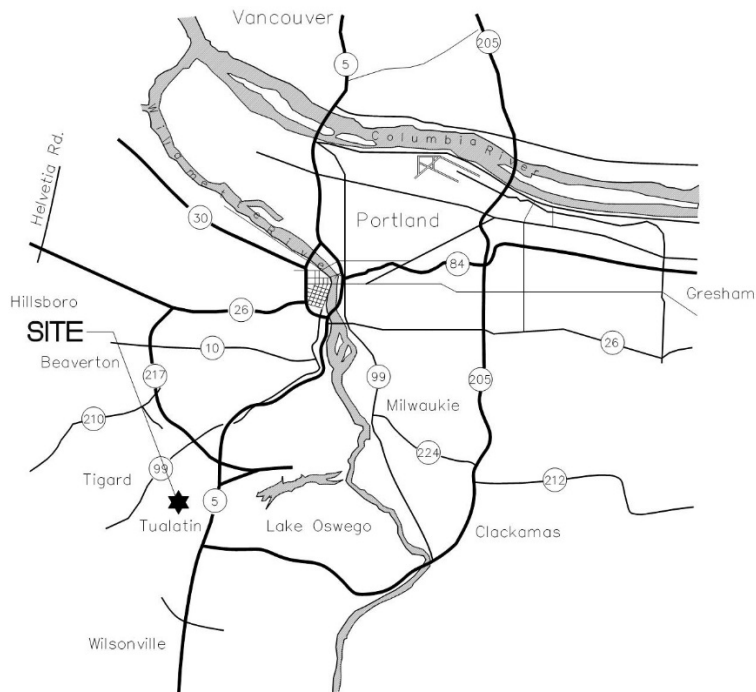


Figure 1: Vicinity Map

2. WATER QUALITY

The water quality volume and flow required to be treated is defined by Clean Water Services using the following equations:

$$\text{Water Quality Volume (WQV)} = \frac{0.36 \text{ (in)} * \text{Area (sq ft)}}{12 \text{ (in/ft)}}$$

where

$$\text{Area} = \text{New Impervious Area} + 3(\text{Modified Impervious Area} - \text{Permanently Removed Impervious Area})$$

With new impervious area, modified impervious area, and permanently removed impervious area as listed for each drainage basin in Table 1.

$$\text{Water Quality Flow (WQF)} = \frac{\text{Water Quality Volume (ft}^3\text{)}}{14,400 \text{ seconds}}$$

Water quality for drainage basin “A” will be provided for in the proposed extended dry basin. Drainage basin “B” (private driveway from SW Tualatin-Sherwood Road) is currently developed with water quality being provided by two existing water quality catch basins. These exiting facilities are assumed to be sufficient for providing water quality to this basin.

Table 1: Impervious Areas and Required Water Quality Volume and Flow						
Drainage Basin	Impervious Area (ft ²)				Water Quality Volume (ft ³)	Water Quality Flow (ft ³ /s)
	New	Modified	Permanently Removed	Total Area		
A	138,481	8,983	4,064	147,464	4,597	0.32

Table 2 summarizes the storage available in the proposed extended dry basin. From this table we can interpolate an elevation of 169.60 feet for the water quality volume (4,597 ft³). This elevation is used as the bottom of pond elevation in Hydraflow when solving for water quantity.

Table 2: Extended Dry Basin Stage Storage			
Elevation (ft)	Area (ft ²)	Volume (ft ³)	Cumulative Volume (ft ³)
168	2,115	0	0
169	2,937	2,526	2,526
170	3,926	3,432	5,958
171	4,965	4,446	10,404
172	5,881	5,423	15,827
173	6,850	6,366	22,193

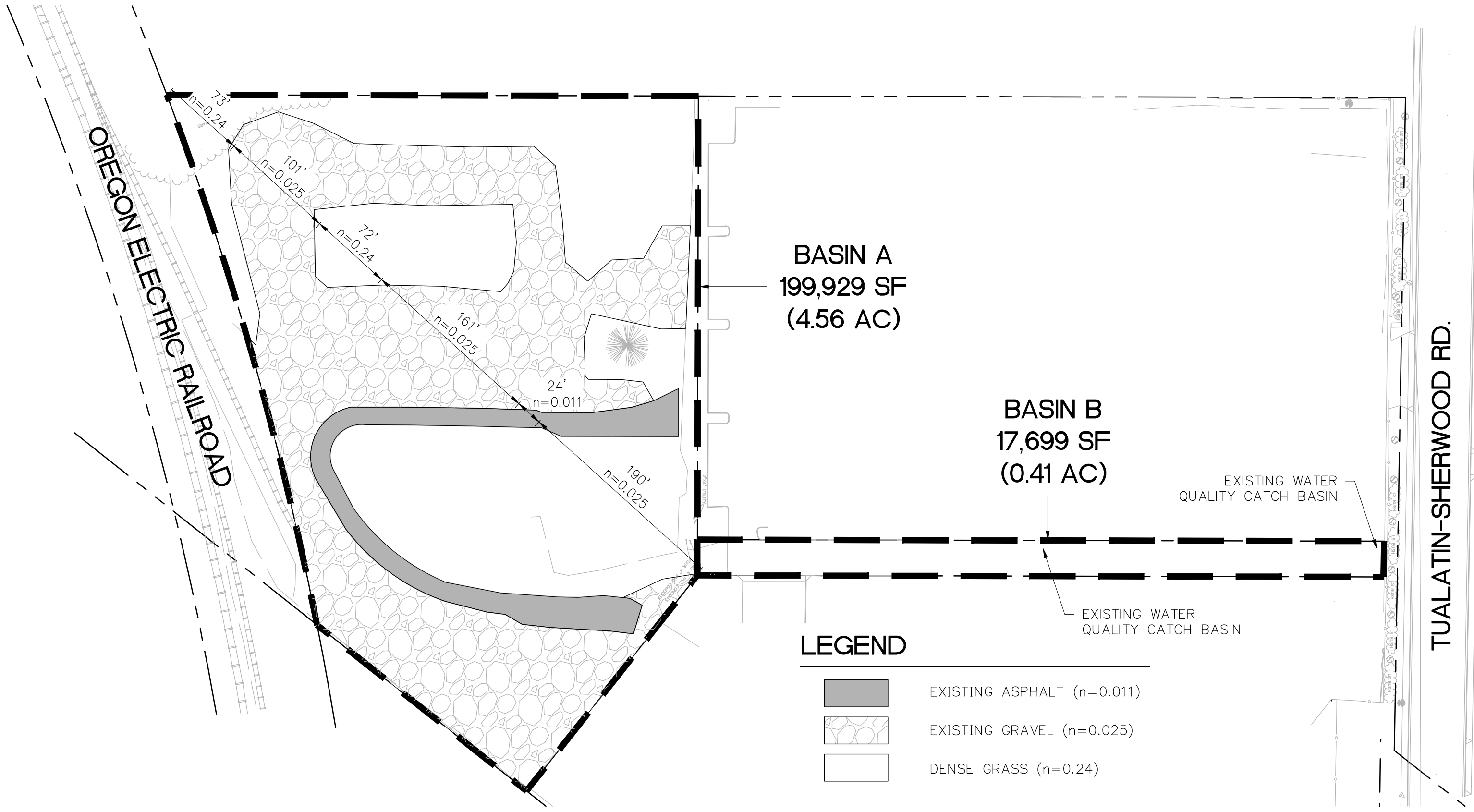
3. WATER QUANTITY

Per Clean Water Services Design and Construction Standards (April 2017), section 4.03.4b, on-site detention facilities shall be designed to capture runoff such that the post-development runoff rates do not exceed the pre-development runoff rates from the 2-year, 10-year and 25-year, 24-hour storm.

An extended dry basin is designed to provide both water quality and water quantity volumes. A control manhole has been designed with orifices that restrict post development flows to pre-development flows for the required storm events, as summarized in Table 3.

Table 3: Pre and Post Development Flows			
Event	Pre-Developed Flow (ft ³ /s)	Post Development Flow (ft ³ /s)	Required Volume (ft ³)
2-year	0.349	0.321	13,475
10-year	0.810	0.707	14,640
25-year	1.060	1.046	15,537

Per Hydrograph No. 4 – 25 year (attached), the extended dry basin design has a maximum storage volume of 15,537 ft³ and a maximum elevation of 172.84 for the 25-year, 24-hour storm event. Allowing for 1-foot of freeboard, the extended dry basin is designed for a maximum height of 173.84 – see the attached Grading Plan.

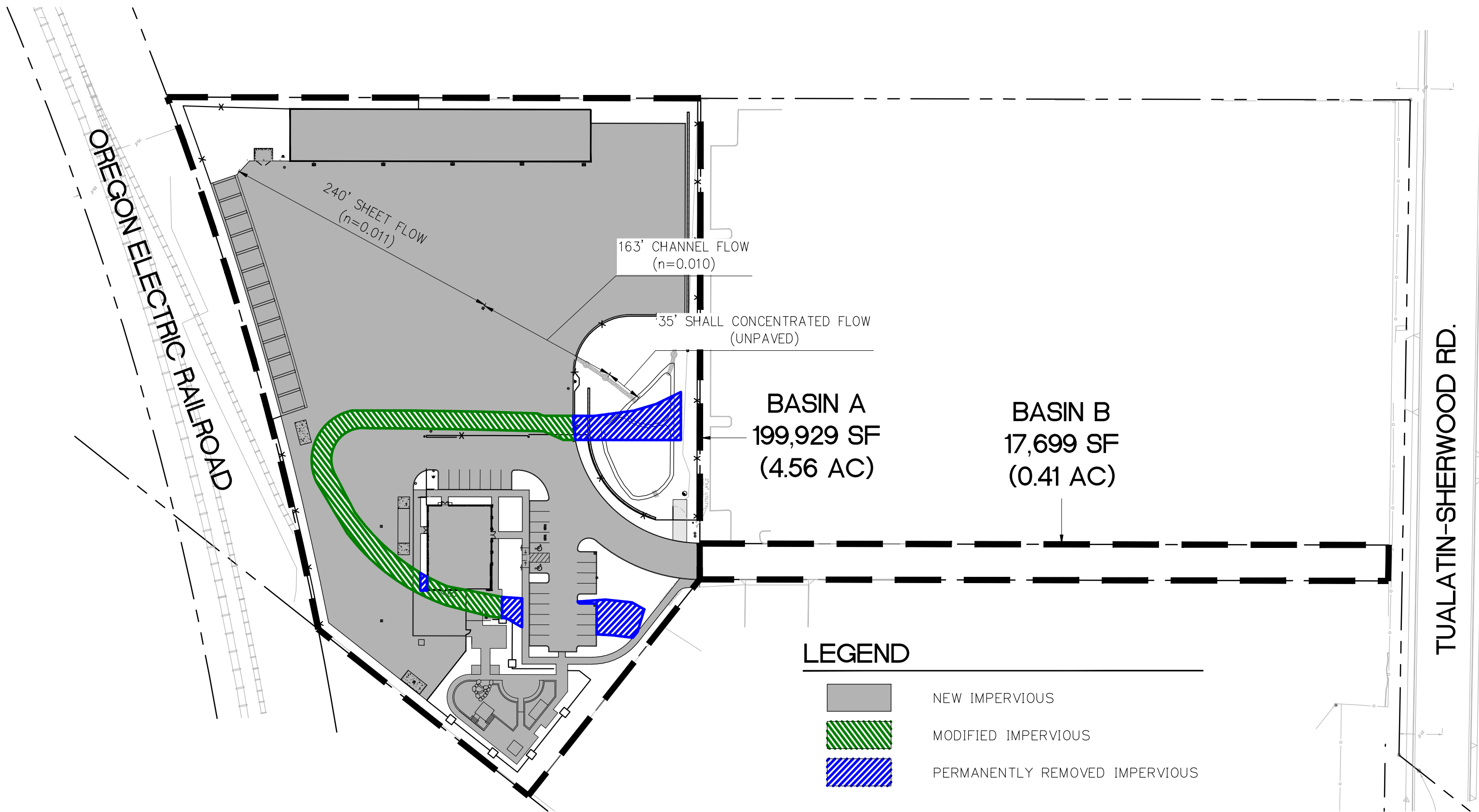


MUTUAL MATERIALS - TUALATIN
 BASIN MAP - PRE-DEVELOPED CONDITIONS

APRIL 12, 2019
 Job # 2190107.00



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 Vancouver 360.695.7879
 Seattle 206.749.9993
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 Architecture - Interiors
 Planning - Engineering
 219010700\DRAWINGS\CIVIL\EXHIBITS\BASIN MAP - EXISTING WQ.DWG BTC 04/01/19 17:29 1:80.00



MUTUAL MATERIALS - TUALATIN
 BASIN MAP - DEVELOPED CONDITIONS

APRIL 12, 2019
 Job # 2190107.00



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 Architecture - Interiors
 Planning - Engineering
 219010700\DRAWINGS\CIVIL\EXHIBITS\BASIN MAP - WQ.DWG BTC 04/01/19 17:29 1:80.00

TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No. 1

Pre-Developed

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
Sheet Flow							
Manning's n-value	= 0.011		0.240		0.025		
Flow length (ft)	= 24.0		300.0		261.0		
Two-year 24-hr precip. (in)	= 2.50		2.50		2.50		
Land slope (%)	= 2.00		2.00		2.00		
Travel Time (min)	= 0.44	+	38.88	+	5.70	=	45.01
Shallow Concentrated Flow							
Flow length (ft)	= 35.00		0.00		0.00		
Watercourse slope (%)	= 2.00		0.00		0.00		
Surface description	= Unpaved		Paved		Paved		
Average velocity (ft/s)	=2.28		0.00		0.00		
Travel Time (min)	= 0.26	+	0.00	+	0.00	=	0.26
Channel Flow							
X sectional flow area (sqft)	= 0.00		0.00		0.00		
Wetted perimeter (ft)	= 0.00		0.00		0.00		
Channel slope (%)	= 0.00		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=0.00		0.00		0.00		
Flow length (ft)	{{0}}0.0		0.0		0.0		
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00
Total Travel Time, Tc							45.30 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

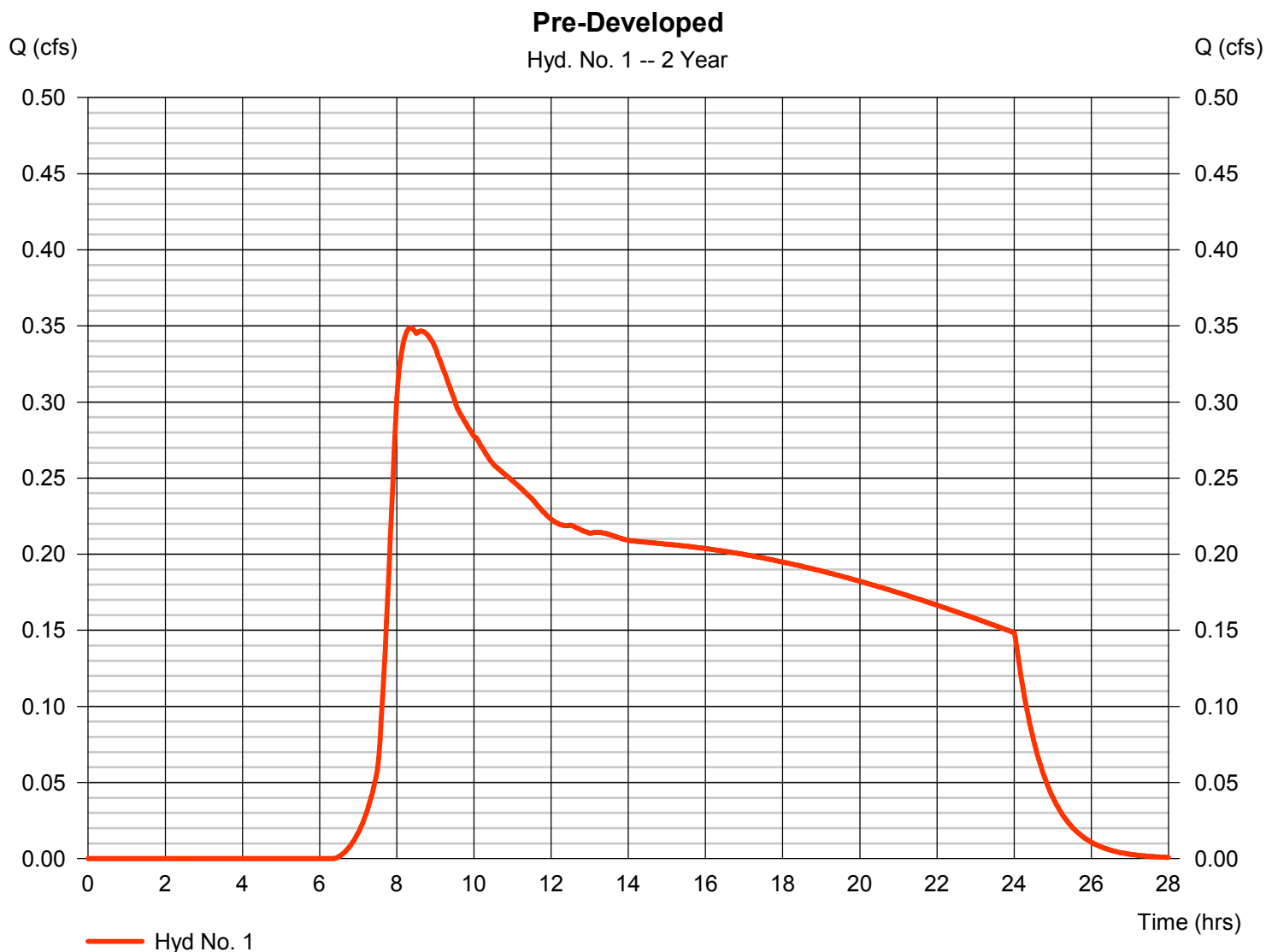
Monday, 04 / 1 / 2019

Hyd. No. 1

Pre-Developed

Hydrograph type	= SBUH Runoff	Peak discharge	= 0.349 cfs
Storm frequency	= 2 yrs	Time to peak	= 8.37 hrs
Time interval	= 2 min	Hyd. volume	= 13,128 cuft
Drainage area	= 4.590 ac	Curve number	= 78*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 45.30 min
Total precip.	= 2.50 in	Distribution	= Type IA
Storm duration	= 24 hrs	Shape factor	= n/a

* Composite (Area/CN) = [(0.300 x 98) + (2.180 x 85) + (2.110 x 69)] / 4.590



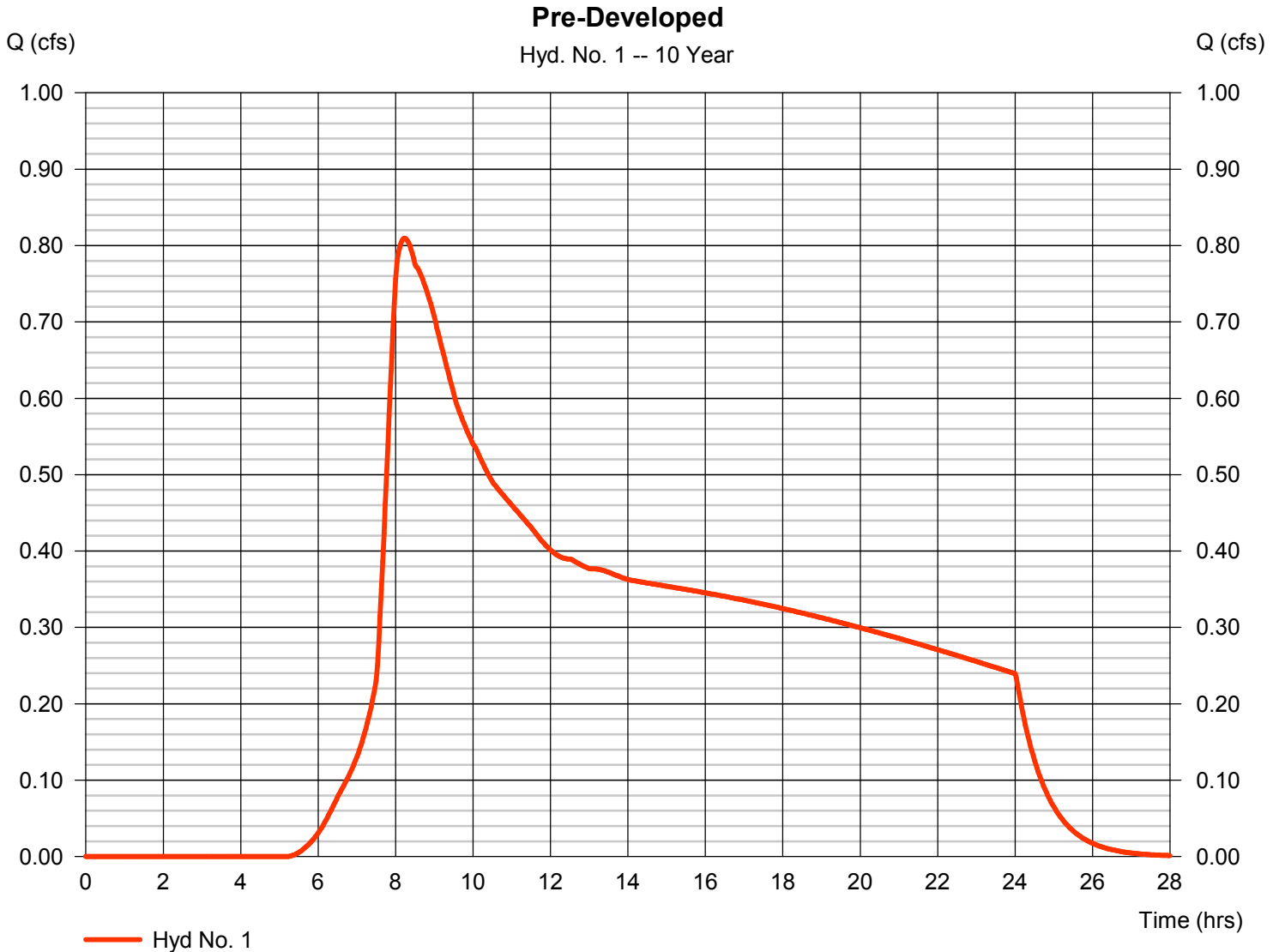
Hydrograph Report

Hyd. No. 1

Pre-Developed

Hydrograph type	= SBUH Runoff	Peak discharge	= 0.810 cfs
Storm frequency	= 10 yrs	Time to peak	= 8.23 hrs
Time interval	= 2 min	Hyd. volume	= 24,317 cuft
Drainage area	= 4.590 ac	Curve number	= 78*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 45.30 min
Total precip.	= 3.45 in	Distribution	= Type IA
Storm duration	= 24 hrs	Shape factor	= n/a

* Composite (Area/CN) = [(0.300 x 98) + (2.180 x 85) + (2.110 x 69)] / 4.590



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

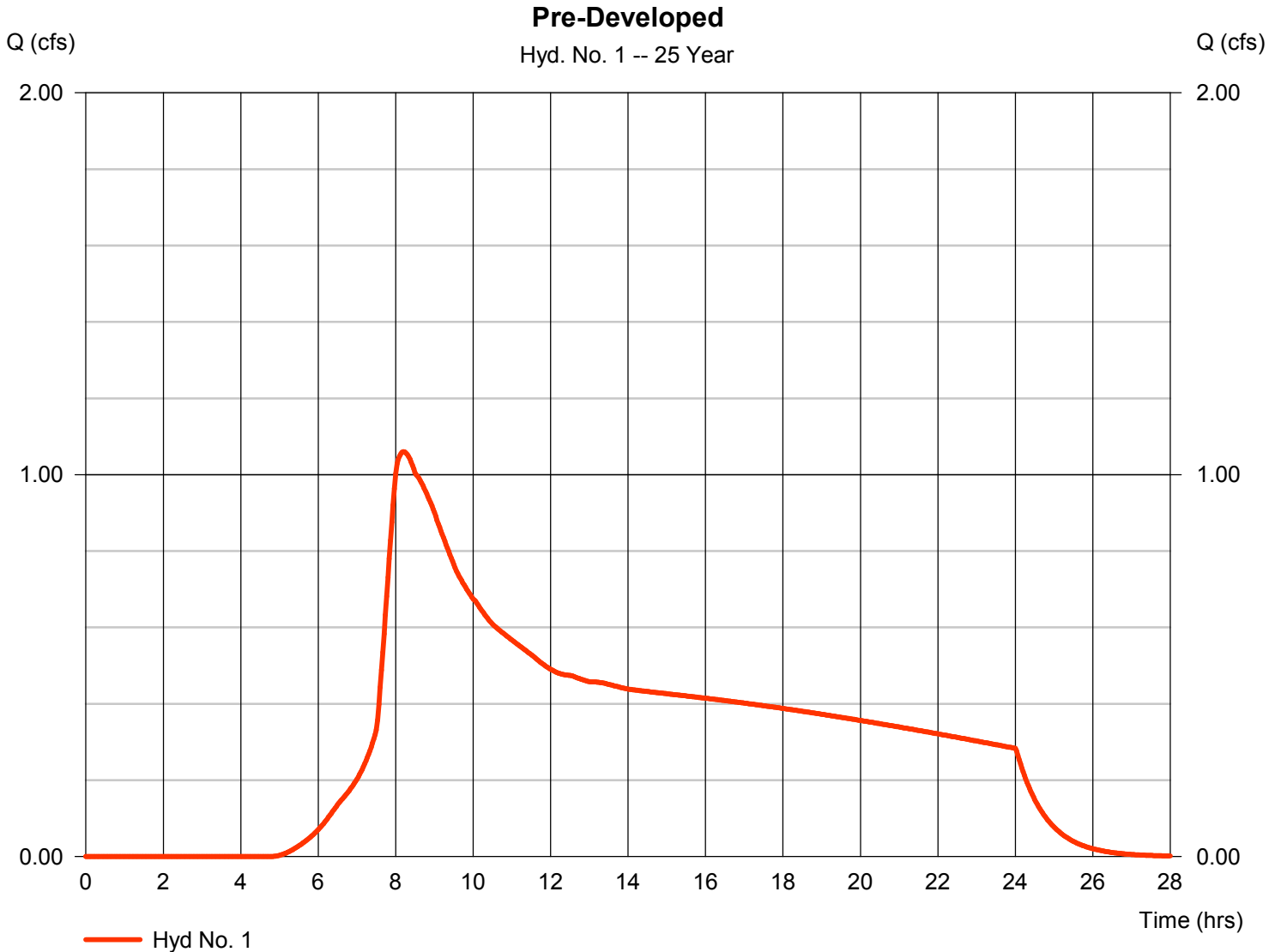
Monday, 04 / 1 / 2019

Hyd. No. 1

Pre-Developed

Hydrograph type	= SBUH Runoff	Peak discharge	= 1.060 cfs
Storm frequency	= 25 yrs	Time to peak	= 8.20 hrs
Time interval	= 2 min	Hyd. volume	= 30,117 cuft
Drainage area	= 4.590 ac	Curve number	= 78*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 45.30 min
Total precip.	= 3.90 in	Distribution	= Type IA
Storm duration	= 24 hrs	Shape factor	= n/a

* Composite (Area/CN) = [(0.300 x 98) + (2.180 x 85) + (2.110 x 69)] / 4.590



TR55 Tc Worksheet

Hyd. No. 2

Developed

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.011	0.011	0.011	
Flow length (ft)	= 240.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 2.50	0.00	0.00	
Land slope (%)	= 2.50	0.00	0.00	
Travel Time (min)	= 2.53	+ 0.00	+ 0.00	= 2.53
Shallow Concentrated Flow				
Flow length (ft)	= 35.00	0.00	0.00	
Watercourse slope (%)	= 33.00	0.00	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=9.27	0.00	0.00	
Travel Time (min)	= 0.06	+ 0.00	+ 0.00	= 0.06
Channel Flow				
X sectional flow area (sqft)	= 0.35	0.00	0.00	
Wetted perimeter (ft)	= 2.09	0.00	0.00	
Channel slope (%)	= 2.00	0.00	0.00	
Manning's n-value	= 0.010	0.015	0.015	
Velocity (ft/s)	=6.36	0.00	0.00	
Flow length (ft)	163.0	0.0	0.0	
Travel Time (min)	= 0.43	+ 0.00	+ 0.00	= 0.43
Total Travel Time, Tc				3.02 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

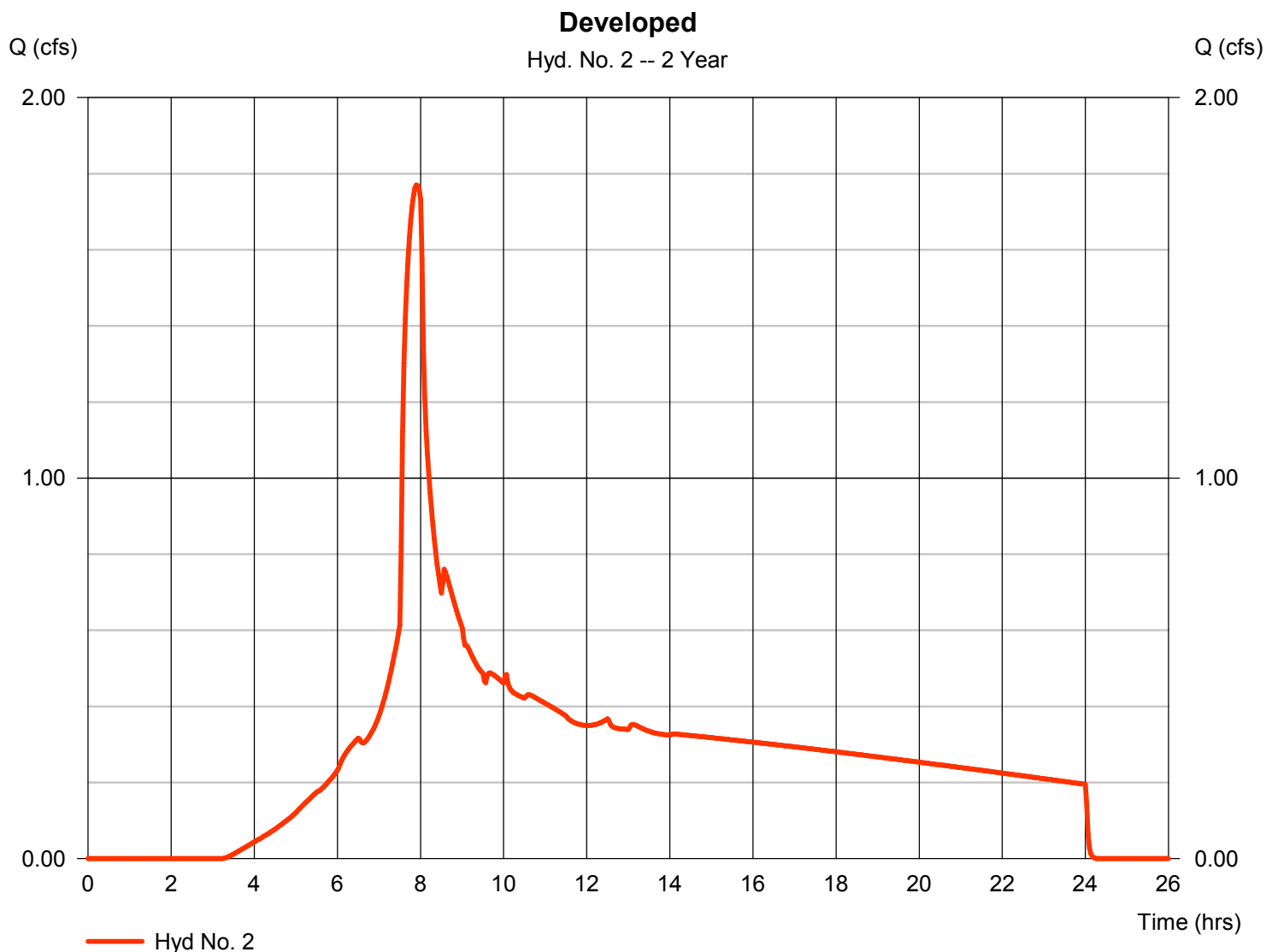
Monday, 04 / 1 / 2019

Hyd. No. 2

Developed

Hydrograph type	= SBUH Runoff	Peak discharge	= 1.770 cfs
Storm frequency	= 2 yrs	Time to peak	= 7.90 hrs
Time interval	= 2 min	Hyd. volume	= 25,508 cuft
Drainage area	= 4.590 ac	Curve number	= 90*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 2.60 min
Total precip.	= 2.50 in	Distribution	= Type IA
Storm duration	= 24 hrs	Shape factor	= n/a

* Composite (Area/CN) = [(3.390 x 98) + (1.200 x 69)] / 4.590



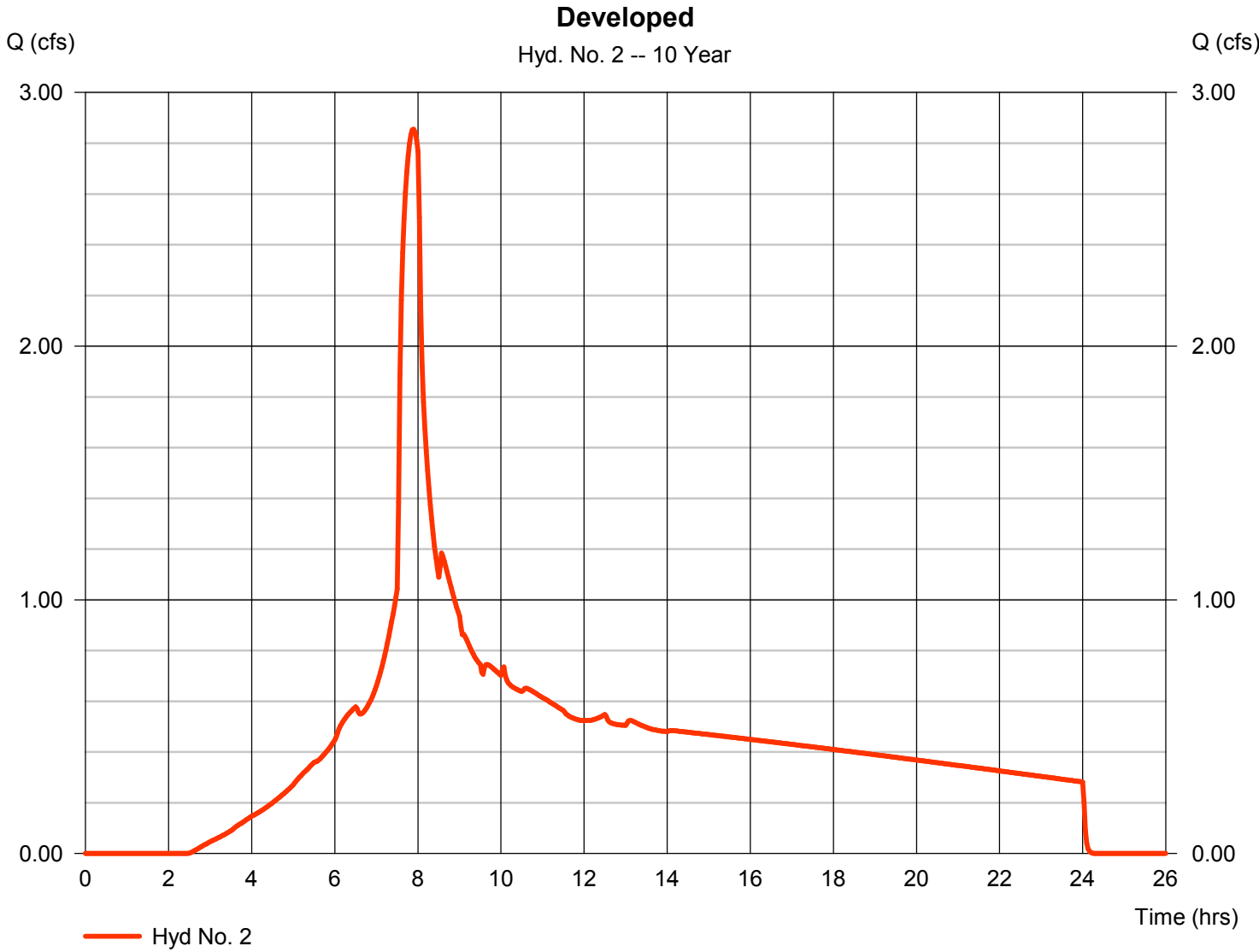
Hydrograph Report

Hyd. No. 2

Developed

Hydrograph type	= SBUH Runoff	Peak discharge	= 2.855 cfs
Storm frequency	= 10 yrs	Time to peak	= 7.90 hrs
Time interval	= 2 min	Hyd. volume	= 40,008 cuft
Drainage area	= 4.590 ac	Curve number	= 90*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 2.60 min
Total precip.	= 3.45 in	Distribution	= Type IA
Storm duration	= 24 hrs	Shape factor	= n/a

* Composite (Area/CN) = [(3.390 x 98) + (1.200 x 69)] / 4.590



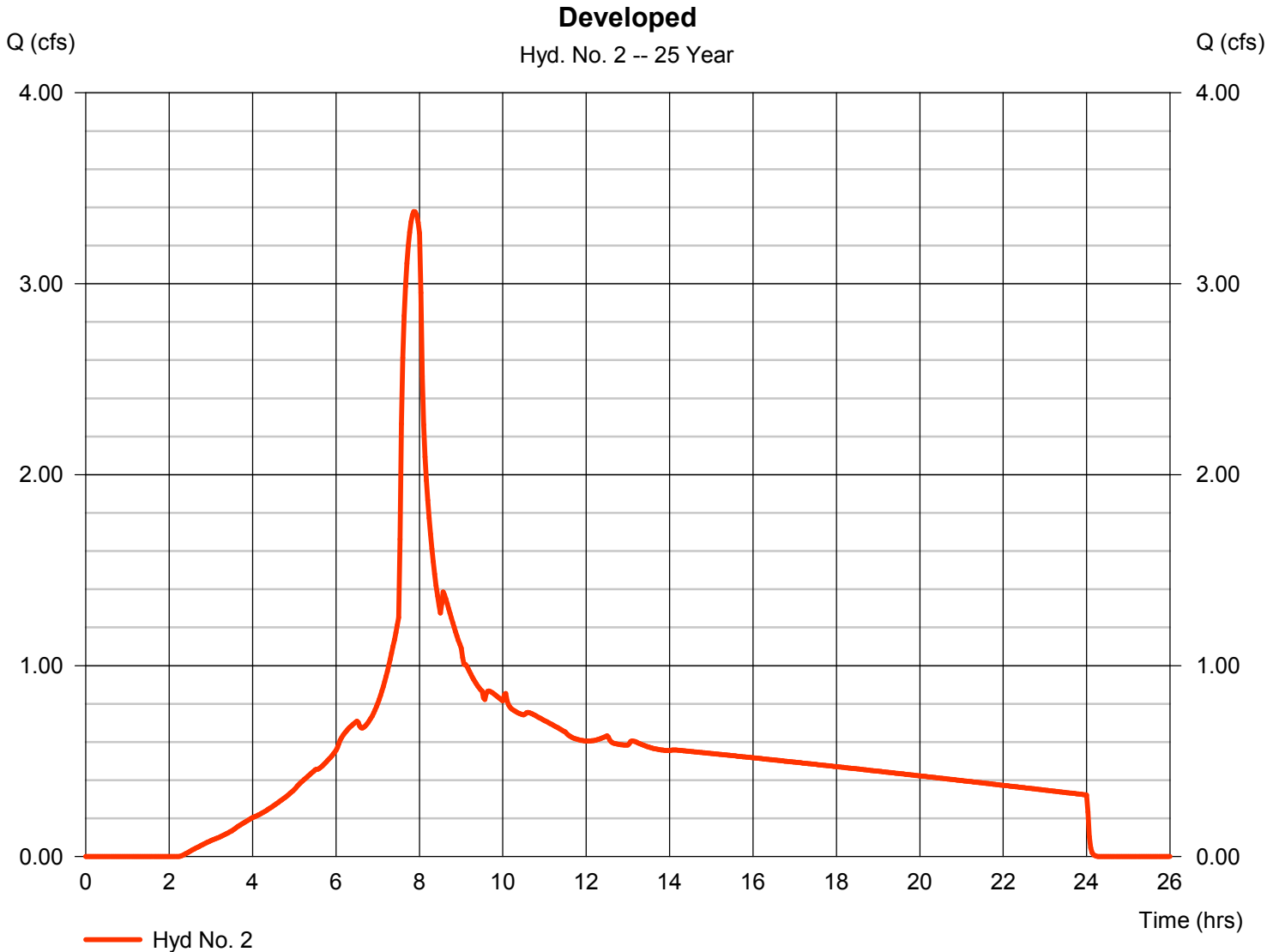
Hydrograph Report

Hyd. No. 2

Developed

Hydrograph type	= SBUH Runoff	Peak discharge	= 3.379 cfs
Storm frequency	= 25 yrs	Time to peak	= 7.87 hrs
Time interval	= 2 min	Hyd. volume	= 47,060 cuft
Drainage area	= 4.590 ac	Curve number	= 90*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 2.60 min
Total precip.	= 3.90 in	Distribution	= Type IA
Storm duration	= 24 hrs	Shape factor	= n/a

* Composite (Area/CN) = [(3.390 x 98) + (1.200 x 69)] / 4.590



Pond Report

Pond No. 1 - Extended Dry Basin

Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 169.60 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	169.60	00	0	0
0.28	170.00	3,926	366	366
1.28	171.00	4,965	4,435	4,801
2.28	172.00	5,881	5,416	10,217
3.28	173.00	6,850	6,359	16,576

Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 1.00	8.50	Inactive	Inactive
Span (in)	= 1.00	8.50	24.00	0.00
No. Barrels	= 1	1	1	0
Invert El. (ft)	= 169.80	172.20	172.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 6.28	Inactive	Inactive	Inactive
Crest El. (ft)	= 172.70	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= 1	---	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	169.60	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.03	37	169.63	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.06	73	169.66	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.08	110	169.68	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.11	147	169.71	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.14	183	169.74	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.17	220	169.77	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.20	256	169.80	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.22	293	169.82	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.25	330	169.85	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.28	366	170.00	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.38	810	170.10	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.48	1,253	170.20	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.58	1,697	170.30	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.68	2,140	170.40	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.78	2,584	170.50	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.88	3,027	170.60	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
0.98	3,471	170.70	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.08	3,914	170.80	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.18	4,358	170.90	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.28	4,801	171.00	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.38	5,343	171.10	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.48	5,884	171.20	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.58	6,426	171.30	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.68	6,968	171.40	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.78	7,509	171.50	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.88	8,051	171.60	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
1.98	8,592	171.70	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
2.08	9,134	171.80	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
2.18	9,676	171.90	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
2.28	10,217	172.00	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
2.38	10,853	172.10	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
2.48	11,489	172.20	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.000
2.58	12,125	172.30	0.00	0.04 ic	0.00	---	0.00	---	---	---	---	---	0.037
2.68	12,761	172.40	0.00	0.14 ic	0.00	---	0.00	---	---	---	---	---	0.139
2.78	13,397	172.50	0.00	0.30 ic	0.00	---	0.00	---	---	---	---	---	0.297
2.88	14,033	172.60	0.00	0.49 ic	0.00	---	0.00	---	---	---	---	---	0.494
2.98	14,668	172.70	0.00 ic	0.72 ic	0.00	---	0.00	---	---	---	---	---	0.717

Continues on next page...

Extended Dry Basin

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.08	15,304	172.80	0.05 ic	0.94 ic	0.00	---	0.04 s	---	---	---	---	---	0.976
3.18	15,940	172.90	0.05 ic	1.12 ic	0.00	---	0.00 s	---	---	---	---	---	1.166
3.28	16,576	173.00	0.05 ic	1.27 ic	0.00	---	0.00	---	---	---	---	---	1.313

...End

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

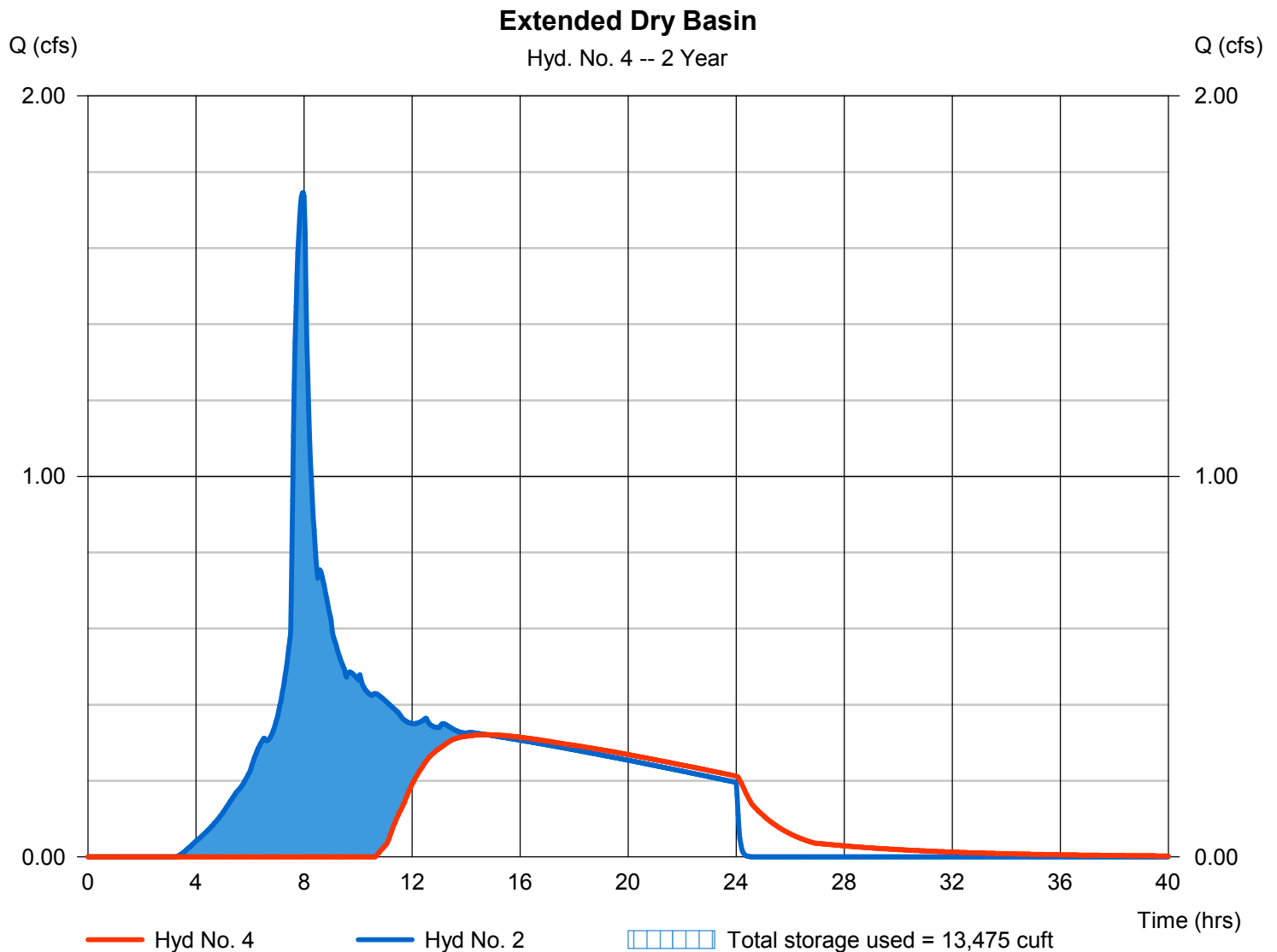
Monday, 04 / 1 / 2019

Hyd. No. 4

Extended Dry Basin

Hydrograph type	= Reservoir	Peak discharge	= 0.321 cfs
Storm frequency	= 2 yrs	Time to peak	= 14.73 hrs
Time interval	= 2 min	Hyd. volume	= 14,002 cuft
Inflow hyd. No.	= 2 - Developed	Max. Elevation	= 172.51 ft
Reservoir name	= Extended Dry Basin	Max. Storage	= 13,475 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

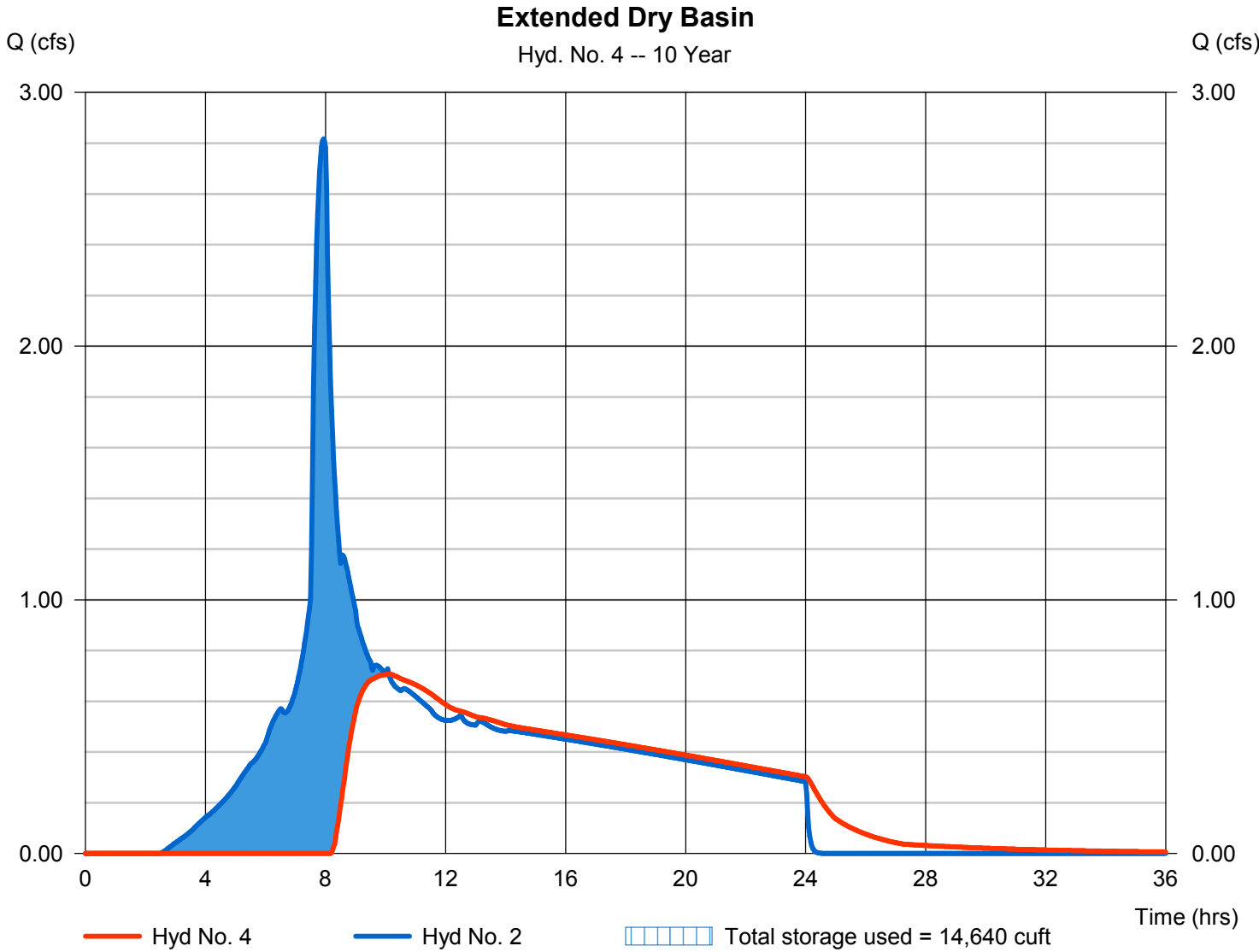
Monday, 04 / 1 / 2019

Hyd. No. 4

Extended Dry Basin

Hydrograph type	= Reservoir	Peak discharge	= 0.707 cfs
Storm frequency	= 10 yrs	Time to peak	= 10.10 hrs
Time interval	= 2 min	Hyd. volume	= 28,502 cuft
Inflow hyd. No.	= 2 - Developed	Max. Elevation	= 172.70 ft
Reservoir name	= Extended Dry Basin	Max. Storage	= 14,640 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Monday, 04 / 1 / 2019

Hyd. No. 4

Extended Dry Basin

Hydrograph type	= Reservoir	Peak discharge	= 1.046 cfs
Storm frequency	= 25 yrs	Time to peak	= 9.07 hrs
Time interval	= 2 min	Hyd. volume	= 35,554 cuft
Inflow hyd. No.	= 2 - Developed	Max. Elevation	= 172.84 ft
Reservoir name	= Extended Dry Basin	Max. Storage	= 15,537 cuft

Storage Indication method used.

