

**Exhibit A**

AR-18-0008 – Hedges C  
Application Materials – December 17, 2018

<https://www.tualatinoregon.gov/planning/ar18-0008-hedges-c>



CITY OF TUALATIN
Community Development Department-Planning Division
Land Use Application—Type II

PROPOSAL NAME HEDGES C

PROPOSAL SUMMARY (Brief description)
A NEW 1-STORY 73,000 SF BUILDING "SHELL", WHICH REQUIRES A T.I. PERMIT TO BE OCCUPIED.

PROPERTY INFORMATION

Location (address if available): SW 115th AVE. (OR SW AMY ST.) AT HAVIL ROAD,
Tax Map & Lot #(s): 28127BA00600 Planning District:
Total site size: 197,709 SF [ ] Developed [X] Undeveloped

APPLICANT/CONTACT INFORMATION

Applicant or Primary Contact Name: MAC MARTIN AT HEDGES C LLC
Mailing Address: P.O. BOX 15523
City/State: SEATTLE, WA Zip: 98115
Phone: 206-339-6676 Email:
Applicant's Signature: [Signature] Date: 12/10/2018

I hereby acknowledge that I have read this application and understand the requirements for approving and denying the application, that the information provided is correct, that I am the owner or authorized agent of the owner, and that plans submitted are in compliance with the City of Tualatin Development (TDC) and Municipal (TMC) Codes.

PROPERTY OWNER/DEED HOLDER INFORMATION (Attach list if more than one)

Name: HEDGES C LLC
Mailing Address: (SAME AS APPLICANT)
City/State: Zip:
Phone: Email:
Property Owner Signature: [Signature] Date: 12/10/2018

Power of attorney or letter of authorization required if application not signed by the property owner/deed holder.

LAND USE APPLICATION TYPE

- [X] Architectural Review (AR) [ ] Minor Variance (MVAR)
[ ] Historic Landmark (HIST) [ ] Tree Removal (TCP)
[ ] Interpretation (INT) [ ] Other

FOR STAFF USE ONLY
Case No.:
Date Received:
By:
Fee Amount \$:
Received by:

GENERAL INFORMATION	
Site Address:	NONE
Assessor's Map and Tax Lot #:	2S127BA00600
Planning District:	MG
Parcel Size:	197,709 SF
Property Owner:	HEDGES C LLC
Applicant:	HEDGES C LLC (MAC MARTIN)
Proposed Use:	MANUFACTURING & OFFICE

ARCHITECTURAL REVIEW DETAILS	
Residential	<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial
Number of parking spaces:	171
Square footage of building(s):	72,970
Square footage of landscaping:	
Square footage of paving:	
Proposed density (for residential):	NA

**For City Personnel to complete:**

Staff contact person:



Clean Water Services File Number

18-002350

## Sensitive Area Pre-Screening Site Assessment

1. **Jurisdiction:** Tualatin

2. **Property Information** (example 1S234AB01400)

Tax lot ID(s): 2S127BA00600

Site Address: Not assigned

City, State, Zip: Tualatin, Oregon, 97062

Nearest Cross Street: Tualatin Sherwood Road

3. **Owner Information**

Name: Jack Martin

Company: Martin Real Estate Development

Address: 3955 South Tail Drive

City, State, Zip: Jackson, Wyoming, 83001

Phone/Fax: \_\_\_\_\_

E-Mail: \_\_\_\_\_

4. **Development Activity** (check *all* that apply)

- Addition to Single Family Residence (rooms, deck, garage)
- Lot Line Adjustment       Minor Land Partition
- Residential Condominium       Commercial Condominium
- Residential Subdivision       Commercial Subdivision
- Single Lot Commercial       Multi Lot Commercial
- Other Shell building and associate site work

5. **Applicant Information**

Name: Jennifer Kimura

Company: VLMK Engineering + Design

Address: 3933 SW Kelly Ave

City, State, Zip: Portland, OR, 97220

Phone/Fax: 5032224453

E-Mail: jenniferk@vlmk.com

6. **Will the project involve any off-site work?**     Yes     No     Unknown

Location and description of off-site work \_\_\_\_\_

7. **Additional comments or information that may be needed to understand your project** \_\_\_\_\_

Proposed construction of a 70,470 sf (approximate) shell bldg and site work

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name Jennifer Kimura      Print/Type Title Permit Coordinator

**ONLINE SUBMITTAL**

Date 7/30/2018

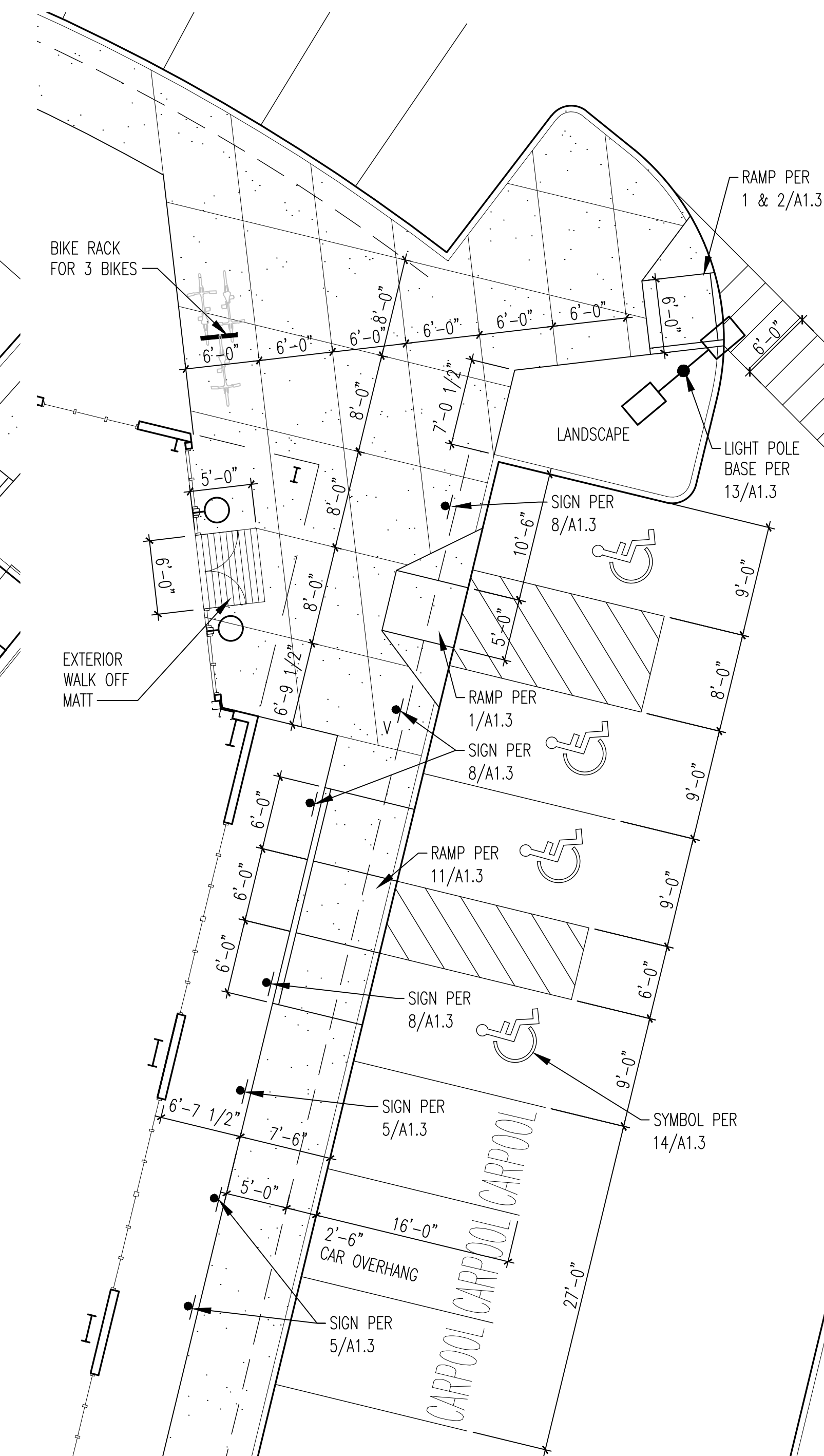
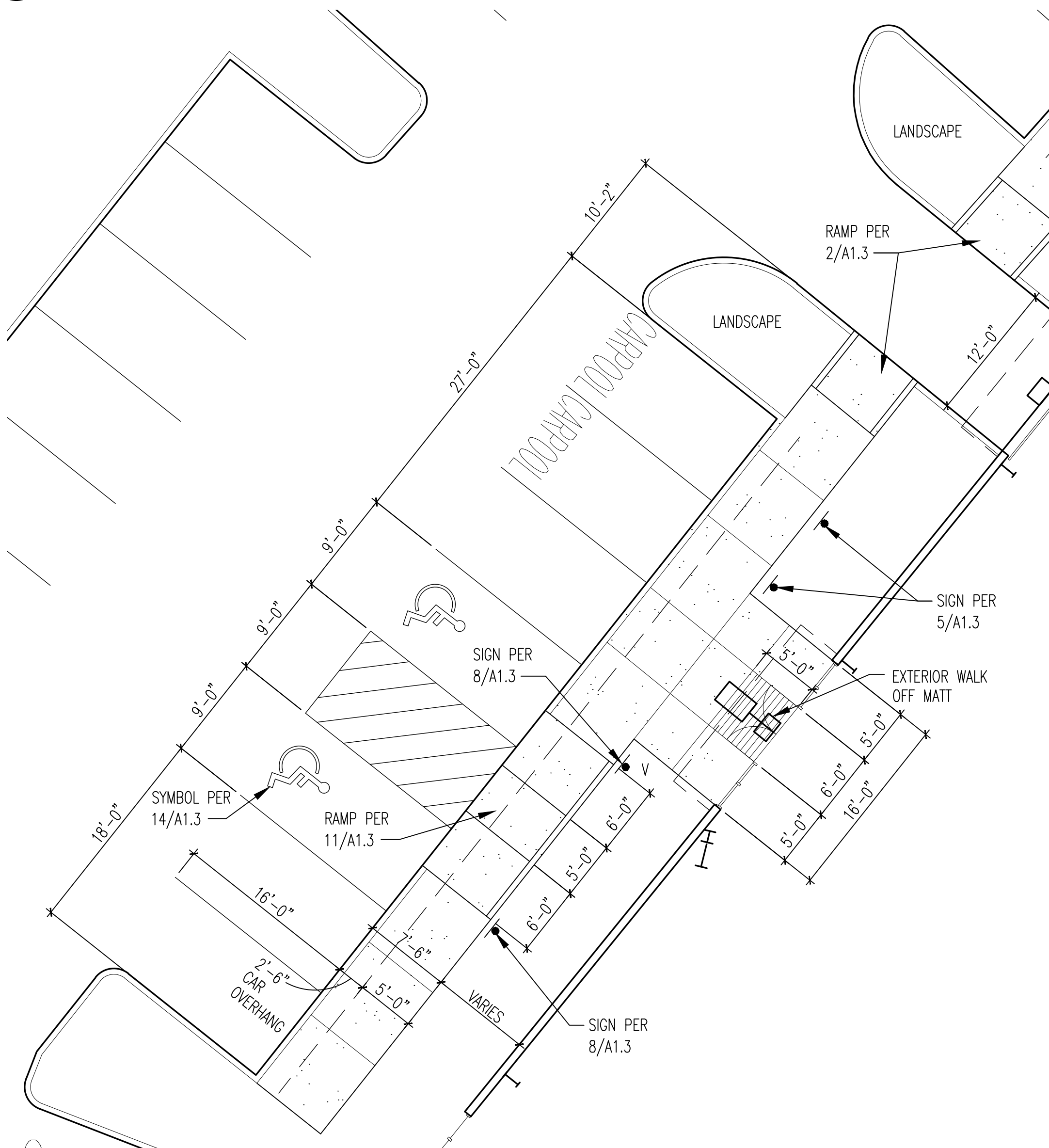
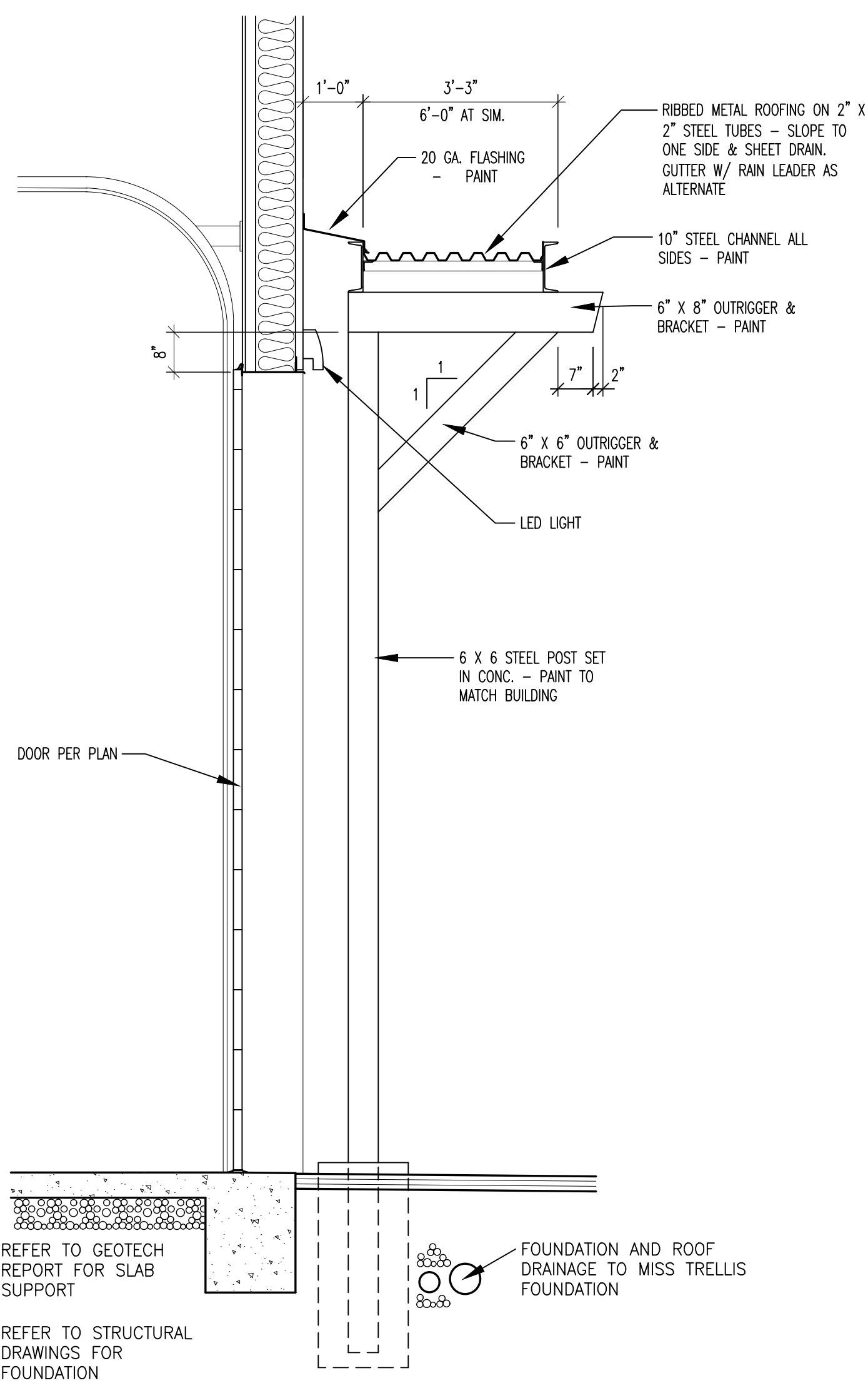
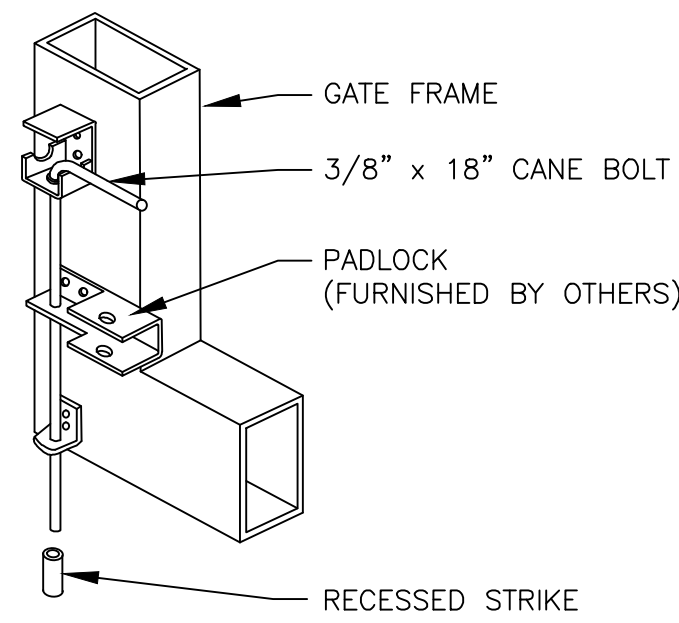
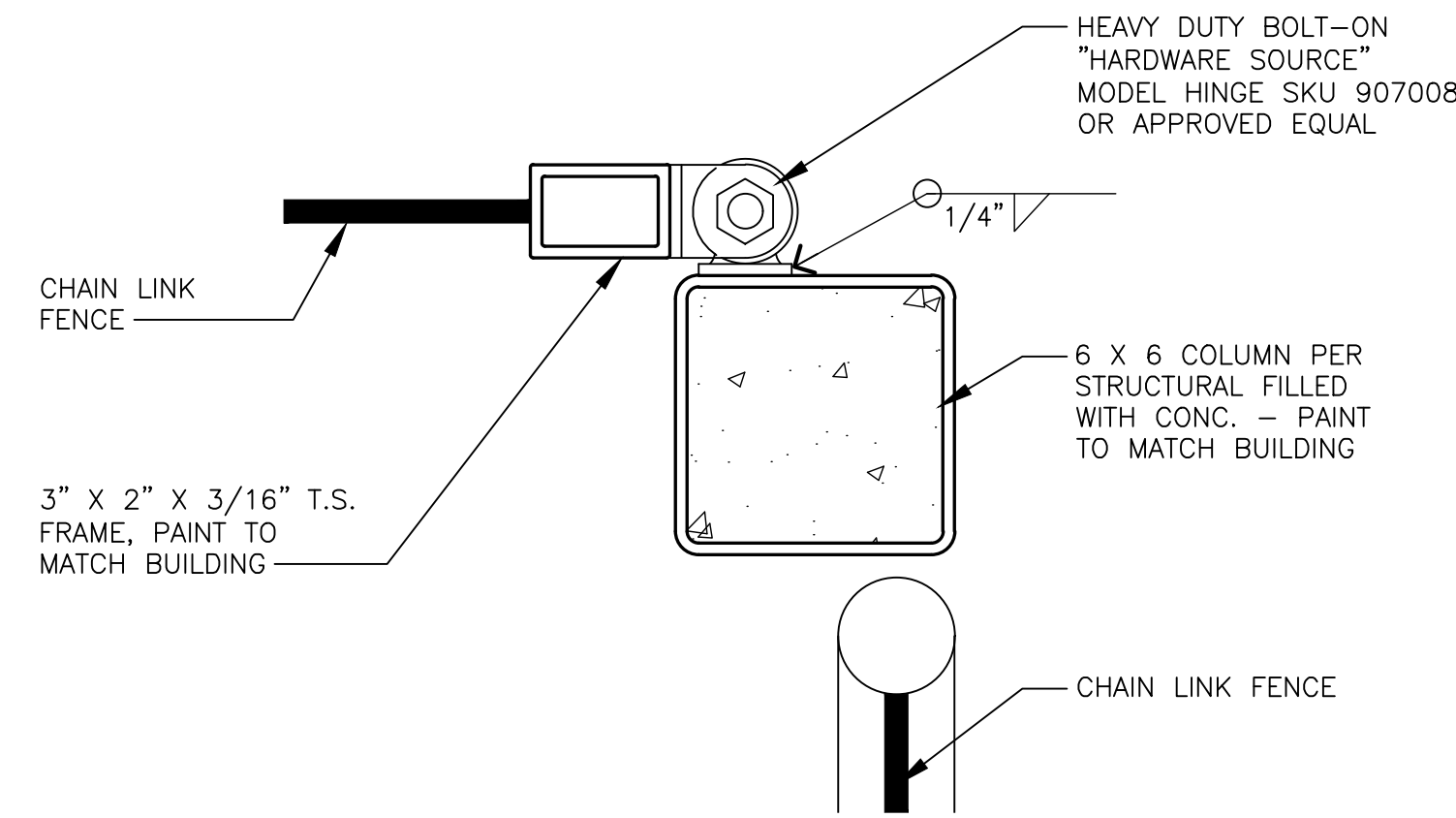
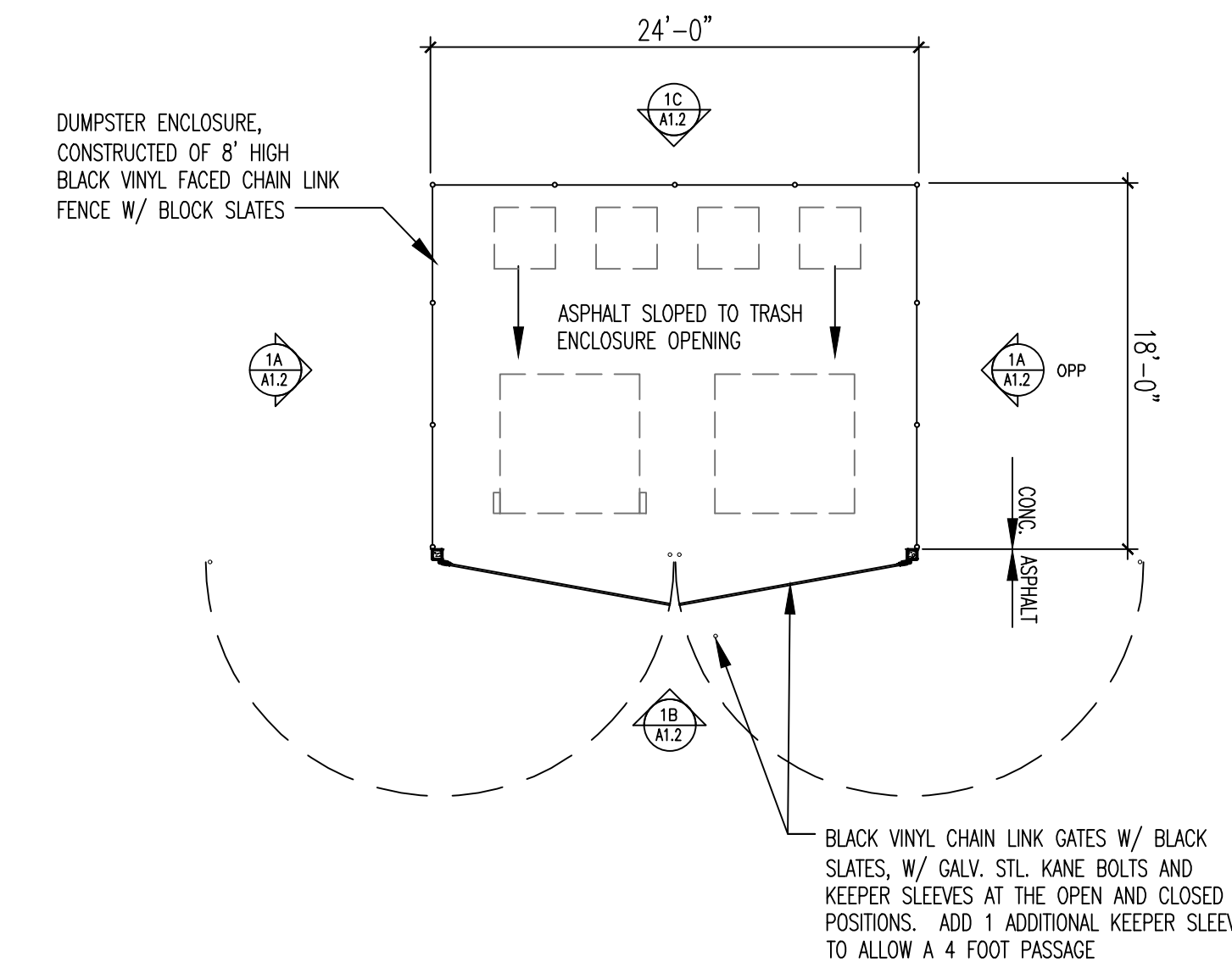
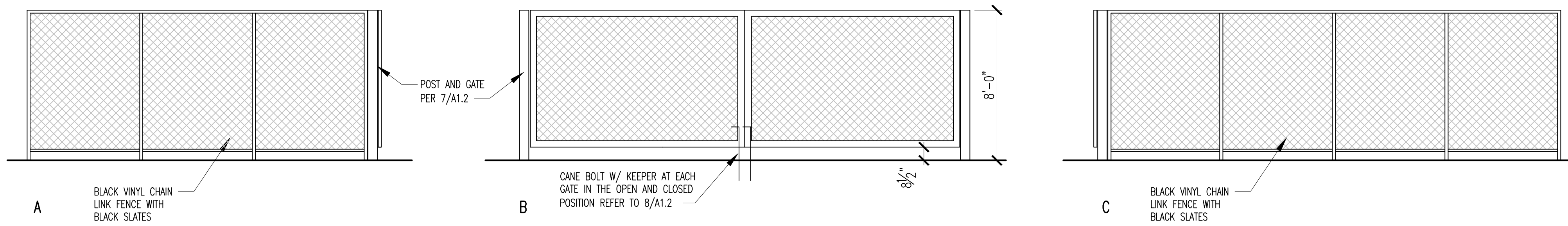
### FOR DISTRICT USE ONLY

- Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 17-05, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.
- Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- This Service Provider Letter is not valid unless \_\_\_\_\_ CWS approved site plan(s) are attached.

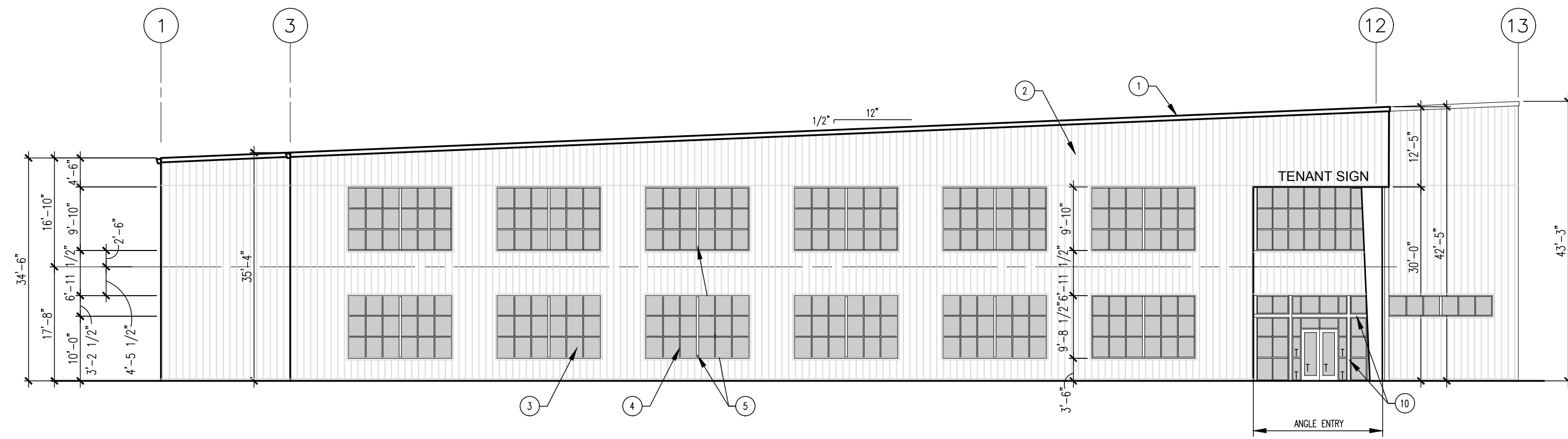
The proposed activity does not meet the definition of development or **the lot was platted after 9/9/95 ORS 92.040(2).** NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.      SEE FRANKLIN BUSINESS PARK NO.4 PLAT

Reviewed by Chuck Keshallan      Date 7/30/18



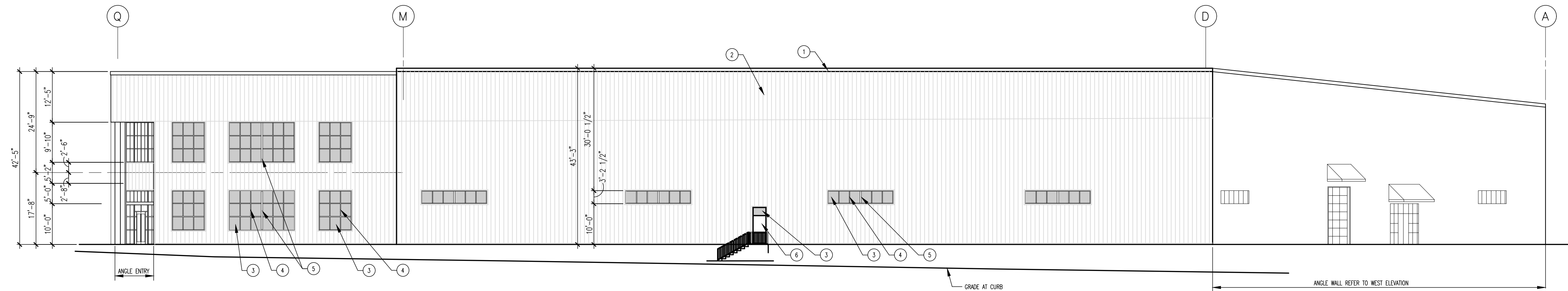


18-001	job no.	EM	drawn	BW	checked	1-30-19	date
1	DUMPSTER	AR	SUBMITTAL			12-12-18	revision
<p><b>HEDGES C</b> LANDSCAPE ARCHITECTS REGISTERED ARCHITECT LANDE MUELLER &amp; ASSOCIATES ARCHITECTS 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553</p>							
<p><b>SITE DETAILS</b> sheet <b>A1.2</b></p>							



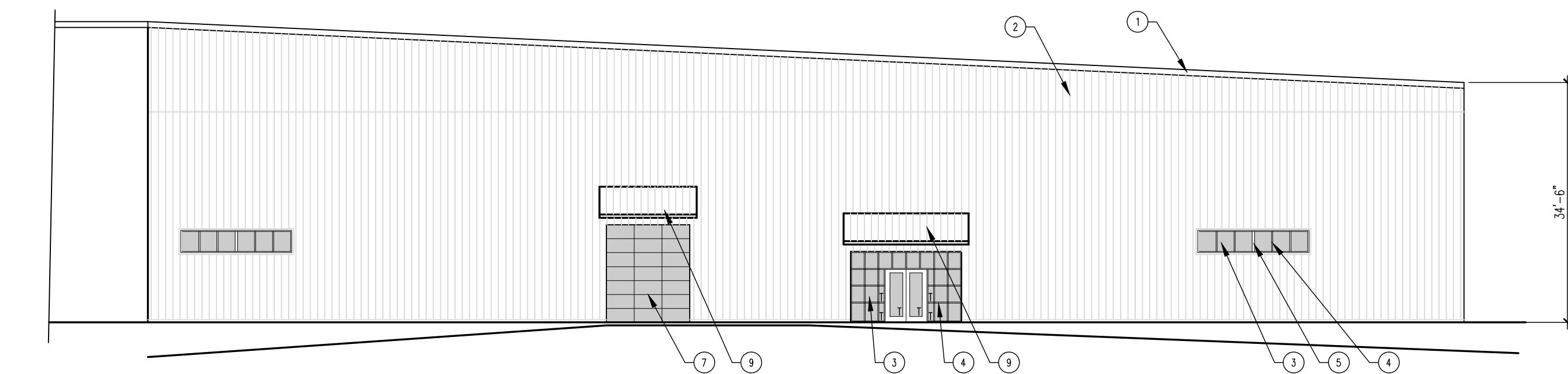
**EAST ELEVATION**

SCALE: 3/32" = 1'-0"



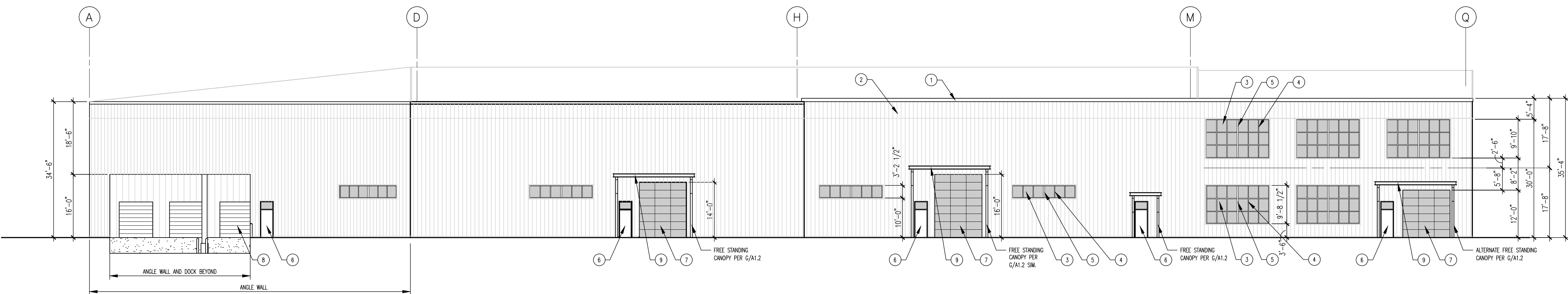
**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"

**EXTERIOR MATERIALS & FINISHES:**

MARK:	ITEM:	DESCRIPTION:	REMARKS:
1.	COPING	GALVANIZED METAL, PAINT	COLOR: MATCH WALL PANEL
2.	METAL WALL PANELS	AEP SPAN HR-36 PANELS INSTALLED WITH RIBS VERTICAL	COLOR: AEP SPAN - VINTAGE (PREMIUM DARK GRAY - METALLIC FINISH)
3.	GLASS	1" CLEAR INSULATED (PPG SOLARBAN 60, OR APPROVED)	GLASS TINT COLOR: CLEAR
4.	STOREFRONT:	NOMINAL 2' X 4' ALUMINUM, CENTER SET, CLEAR ANODIZED	COLOR: CLEAR ANODIZED
5.	STOREFRONT:	DOUBLE WIDE VERTICAL WINDOW MULLION (AT CENTER)	COLOR: CLEAR ANODIZED
6.	HOLLOW METAL DOORS	SOLID CORE HM, WITH METAL FRAMES	COLOR: MATCH WALL PANEL
7.	ON-GRADE SERVICE DOORS	ALUMINUM RAIL/S TILE & GLASS SECTIONAL UPWARD ACTING DOORS (RAYNOR AV200, OR APPROVED)	COLOR: CLEAR ANODIZED, INSULATED LOW-E CLEAR GLASS
8.	TRUCK DOCK DOORS	HOLLOW METAL SECTIONAL UPWARD ACTING DOORS, PAINT	COLOR: MATCH WALL PANEL
9.	CANOPIES	STEEL FRAME, PAINTED	COLOR: MATCH WALL PANEL
10.	STEEL TUBES	STEEL, PAINTED	COLOR: MATCH CLEAR ANODIZED

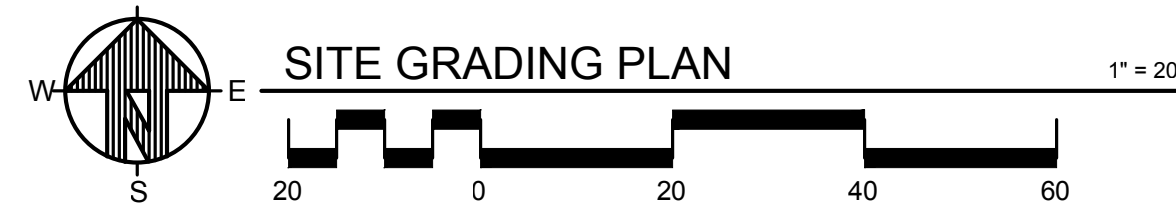
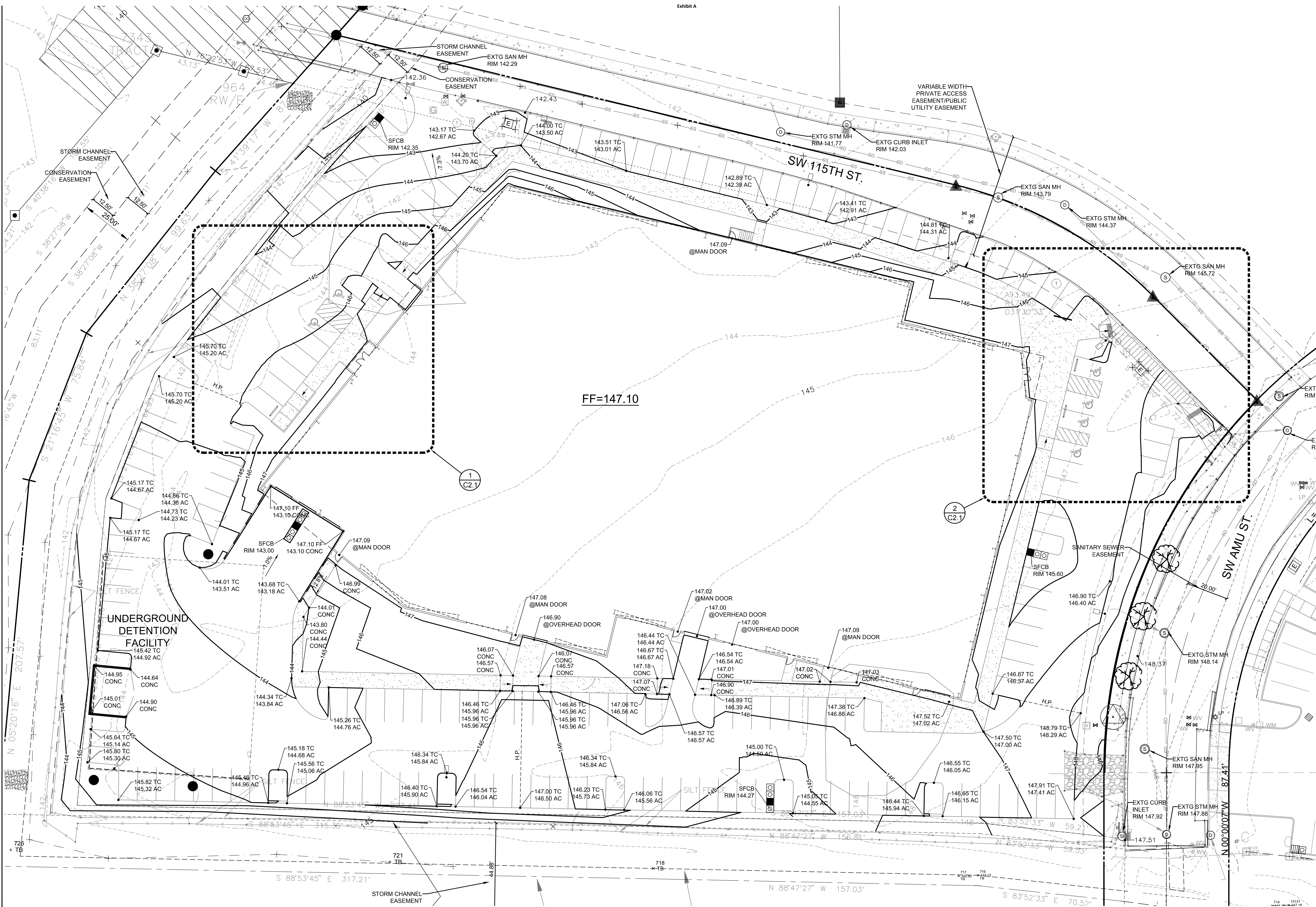
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job no.  
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BW  
checked  
12-12-18  
date

ARCHITECT  
LANDE MUELLER & ASSOCIATES  
REGISTERED ARCHITECT  
SEATTLE, WA  
1481

NO. 12-12-18  
revision  
date

**HEDGES C**  
SW 115th AVE AND HAUL ROAD  
TUALATIN, OREGON

**EXTERIOR ELEVATIONS**  
LANDE MUELLER & ASSOCIATES  
ARCHITECTS  
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553



20180291	JOB NO.	DATE	REVISION	NO.	DATE

# HEDGES C

## SW 15th ST. AND SW AMU ST.

### TUALATIN, OREGON

**SITE GRADING PLAN**

LANDSCAPE MUELLER & ASSOCIATES

ARCHITECTURE

130 LACROIX BLVD. SUITE 200 • SEASIDE, WA 98138 • (206) 389-9555

**VLMK**

ENGINEERING & DESIGN

10000 1st Ave. NE, Suite 1000 • Bellevue, WA 98004 • (206) 461-1000

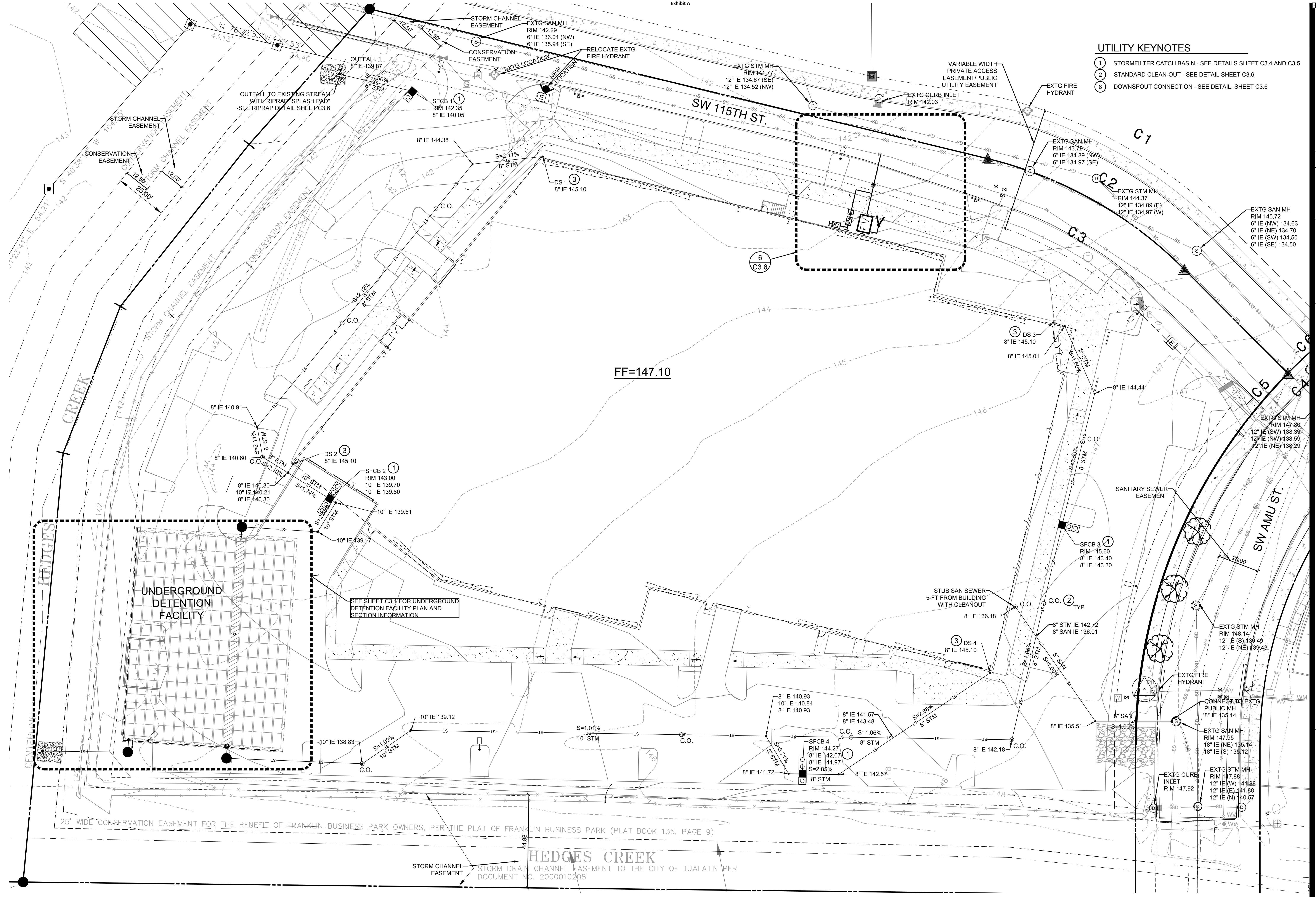
sheet

**C2.0**



UTILITY KEYNOTES

- 1 STORMFILTER CATCH BASIN - SEE DETAILS SHEET C3.4 AND C3.5
- 2 STANDARD CLEAN-OUT - SEE DETAIL SHEET C3.6
- 3 DOWNSPOUT CONNECTION - SEE DETAIL SHEET C3.6

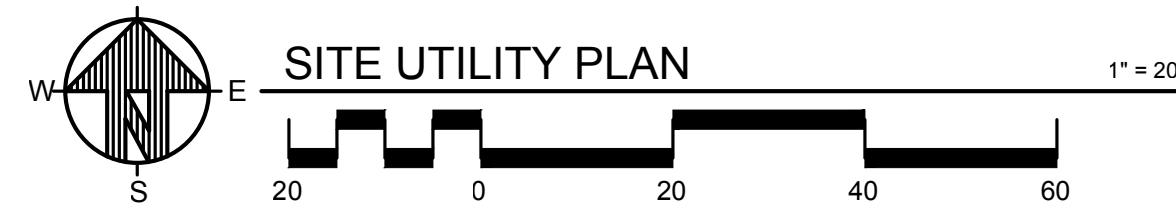


**HEDGES C**  
 SW 115th ST. AND SW AMU ST.  
 TUALATIN, OREGON

**SITE UTILITY PLAN**  
 LANCE MULLER & ASSOCIATES  
 ARCHITECTS  
 130 LAKESIDE • SUITE 250 • SEASIDE, WA 98132 • (206) 385-9555

**VLMK ENGINEERING & DESIGN**  
 20180291  
 job no. 20180291  
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 sheet C3.0

20180291  
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**GENERAL NOTES:**

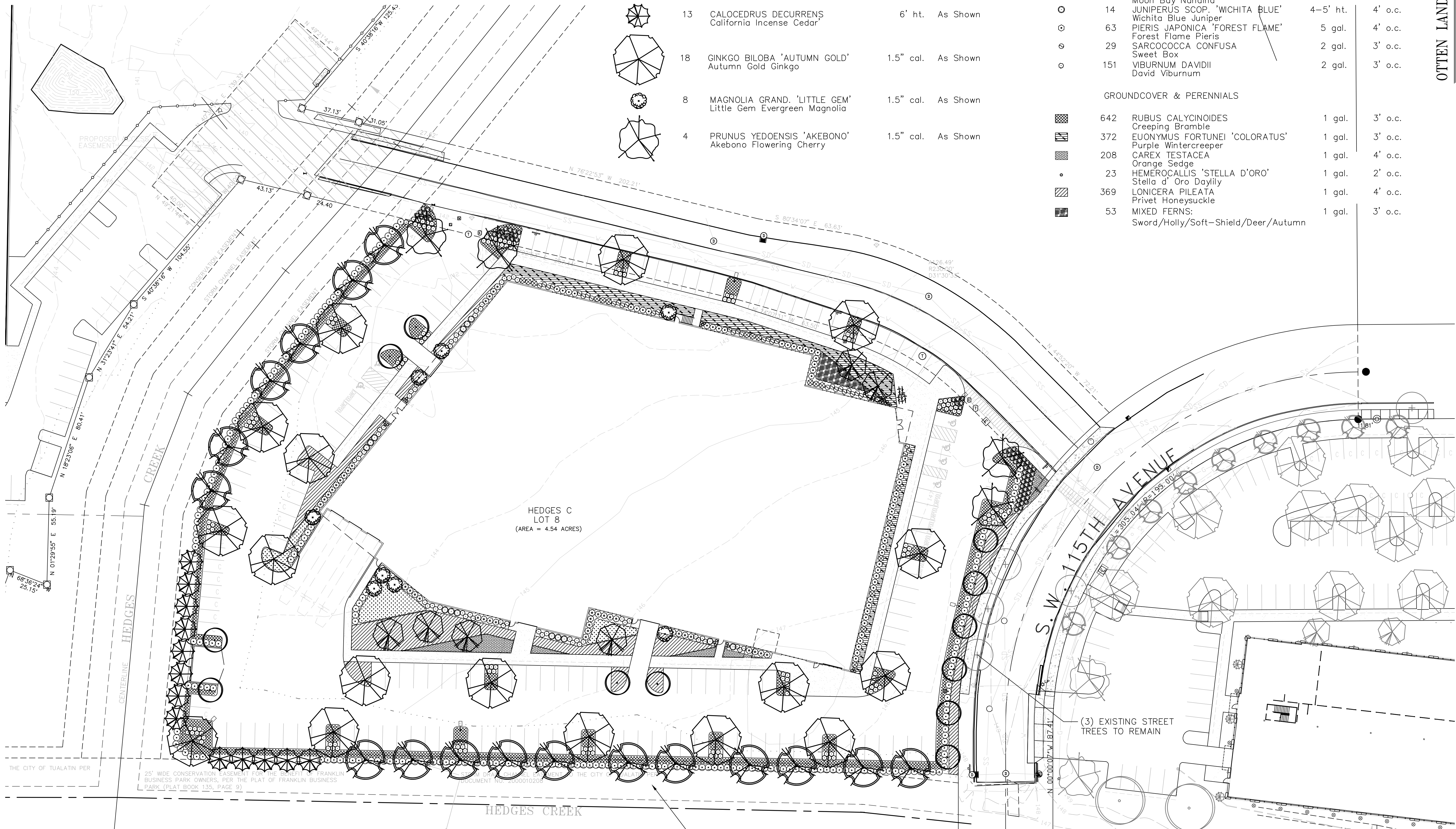
1. Contractor is to verify all plant quantities.
2. Adjust plantings in the field as necessary.
3. Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/ build by Landscape Contractor. Guarantee system for a minimum one year. Show drip systems as alternate bid only.
4. All plants are to be fully foliated, well branched and true to form.
5. Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or cause future problems to any structural elements of the project.

**PLANT LEGEND: GENERAL LANDSCAPING**

SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING
TREES				
	6	ACER PALMATUM 'SANGO KAKU' Sango Kaku Japanese Maple	1.5" cal.	As Shown
	16	ACER TRUNC. x PLAT. 'KEITHSFORM' Norwegian Sunset Maple	1.5" cal.	As Shown
	12	CARPINUS BET. 'FRANS FONTAINE' Frans Fontaine Hornbeam	1.5" cal.	As Shown
	13	CALOCEDRUS DECURRENS California Incense Cedar	6' ht.	As Shown
	18	GINKGO BILOBA 'AUTUMN GOLD' Autumn Gold Ginkgo	1.5" cal.	As Shown
	8	MAGNOLIA GRAND. 'LITTLE GEM' Little Gem Evergreen Magnolia	1.5" cal.	As Shown
	4	PRUNUS YEDOENSIS 'AKEBONO' Akebono Flowering Cherry	1.5" cal.	As Shown

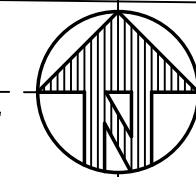
**PLANT LEGEND: GENERAL LANDSCAPING**

SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING
SHRUBS				
	18	CEPHALOTAXUS HARR. 'FASTIGIATA' Upright Japanese Plum Yew	4-5' ht.	4' o.c.
	39	CISTUS LADANIFER Crimson Spot Rockrose	5 gal.	4' o.c.
	372	CORNUS SERICEA 'KELSEY' Kelsey Dogwood	2 gal.	30" o.c.
	55	ABELIA GRAND. 'SUNSHINE DAYDREAM' Sunshine Daydream Abelia	5 gal.	3' o.c.
	246	LIGUSTRUM JAPONICUM 'TEXANUM' Waxleaf Privet	5 gal.	4' o.c.
	71	NANDINA DOMESTICA 'MOON BAY' Moon Bay Nandina	2 gal.	3' o.c.
	14	JUNIPERUS SCOP. 'WICHITA BLUE' Wichita Blue Juniper	4-5' ht.	4' o.c.
	63	PIERIS JAPONICA 'FOREST FLAME' Forest Flame Pieris	5 gal.	4' o.c.
	29	SARCOCOCCA CONFUSA Sweet Box	2 gal.	3' o.c.
	151	VIBURNUM DAVIDII David Viburnum	2 gal.	3' o.c.
GROUNDCOVER & PERENNIALS				
	642	RUBUS CALYCINOIDES Creeping Bramble	1 gal.	3' o.c.
	372	EUONYMUS FORTUNEI 'COLORATUS' Purple Wintercreeper	1 gal.	3' o.c.
	208	CAREX TESTACEA Orange Sedge	1 gal.	4' o.c.
	23	HEMEROCALLIS 'STELLA D'ORO' Stella d' Oro Daylily	1 gal.	2' o.c.
	369	LONICERA PILEATA Privet Honeysuckle	1 gal.	4' o.c.
	53	MIXED FERNS: Sword/Holly/Soft-Shield/Deer/Autumn	1 gal.	3' o.c.



**LANDSCAPE PLAN**

SCALE 1" = 30'-0"



OWNER INTENDS TO ENLIST CLEAN WATER SERVICES TO PROVIDE NATURAL RESOURCE AREA ENHANCEMENT

OTTEN LANDSCAPE ARCHITECTS Inc. OIO

3933 SW Kelly Avenue • Suite B • Portland, Oregon 97239-4393  
Phone (503) 972-0311 • Fax (503) 972-0314 • www.ottenla.com

REGISTERED LANDSCAPE ARCHITECT  
JANELL OTTEN  
OREGON  
EXP. 12/31/18

18-001  
job no.  
EH  
drawn  
JLO  
checked  
12-10-18  
date

no. revision date

**HEDGES C**  
SW 115th AVE AND HAUL ROAD  
TUALATIN, OREGON

LANDSCAPE PLAN

LANGE MUELLER & ASSOCIATES

ARC H I T E C T S A I A  
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

sheet 1-1

**OUTLINE SPECIFICATIONS PLANTING AND SEEDING:**

**GENERAL:** All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 - 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

**PERFORMANCE QUALITY ASSURANCE:** Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

**NOTIFICATION:** Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

**SUBSTITUTIONS:** Only as approved by the Landscape Architect or the Owner's Representative.

**GUARANTEE AND REPLACEMENT:** All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

**PROTECTION** Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

**PLANT QUALITY ASSURANCE:** Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliage, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

**TOPSOIL AND FINAL GRADES:** Landscape Contractor is to verify with the General Contractor if the on site topsoil is or is not conducive to proper plant growth. Supply alternate bid for imported topsoil.

Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. If topsoil stockpiled on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount. Landscape Contractor is to submit samples of the imported soil and/or soil amendments to the Landscape Architect. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth.

Landscape shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

**PLANTING SPECIFICATIONS:**

**HERBICIDES:** Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

**SOIL PREPARATION:** Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

**PLANTING HOLE:** Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

**SOIL MIX:** Prepare soil mix in each planting hole by mixing:  
2 part native topsoil (no subsoil)  
1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:  
Small shrubs - 1/8 lb./ plant  
Shrubs - 1/3 to 1/2 lb./ plant  
Trees - 1/3 to 1 lb./ plant

**FERTILIZER:** For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

**PLANTING TREES AND SHRUBS:** Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

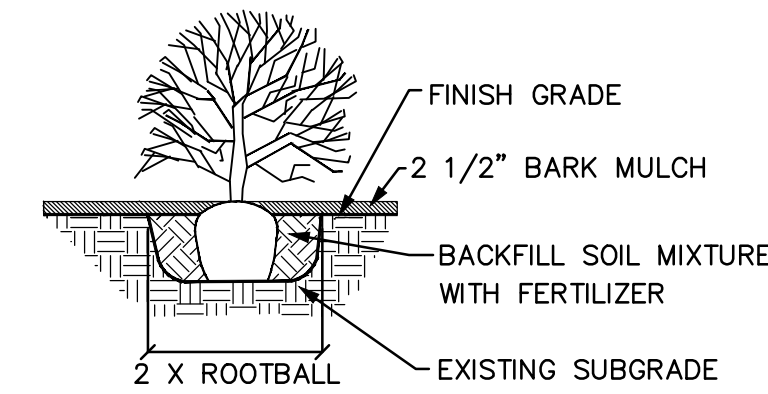
When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

**STAKING OF TREES:** Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright.

**MULCHING OF PLANTINGS:** Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

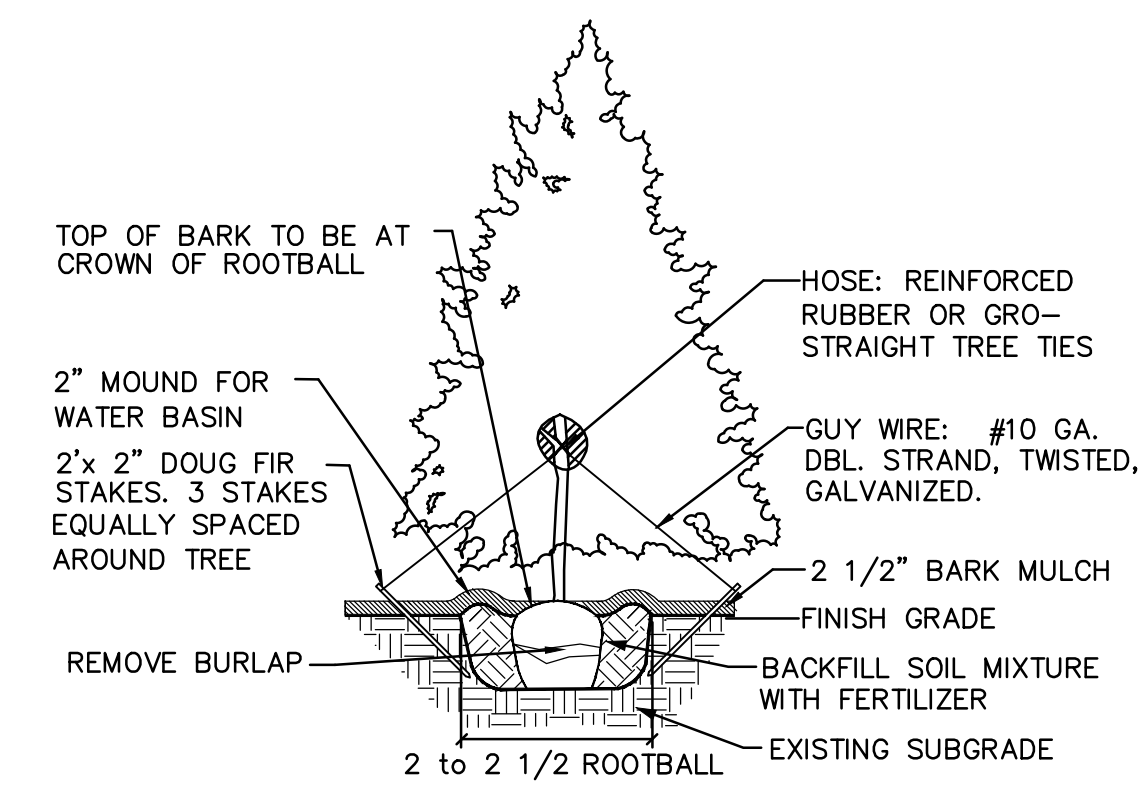
**GENERAL MAINTENANCE:** Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

**CLEAN-UP:** At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.



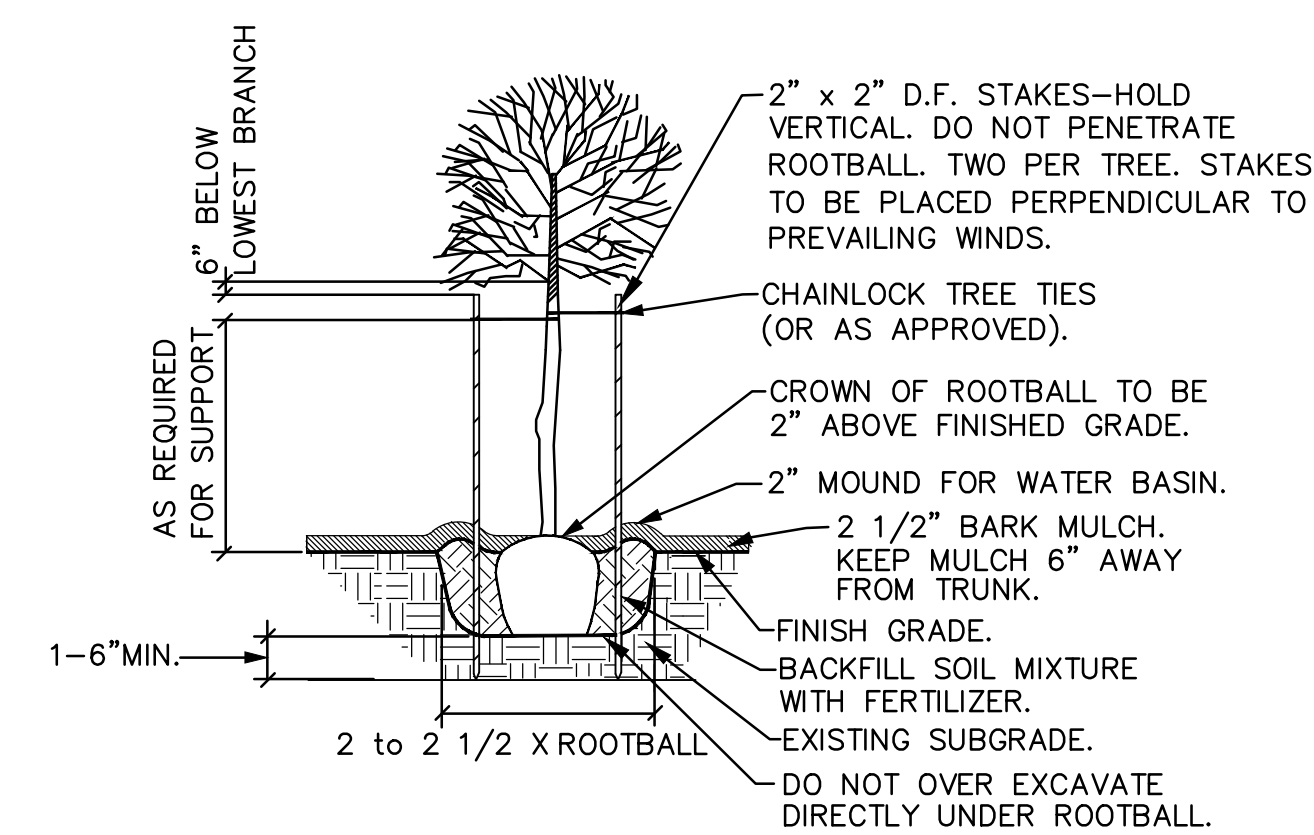
SHRUB PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE STAKING DETAIL

NOT TO SCALE



GENERAL DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

18-001	job no.	EH	drawn	JLO	checked	12-10-18	date
							revision
							no.

REGISTERED LANDSCAPE ARCHITECT  
JANET L. OTTEN  
OREGON  
EXP. 12/31/18  
LANDSCAPE

HEDGES C  
SW 115th AVE AND HAUL ROAD  
TUALATIN, OREGON

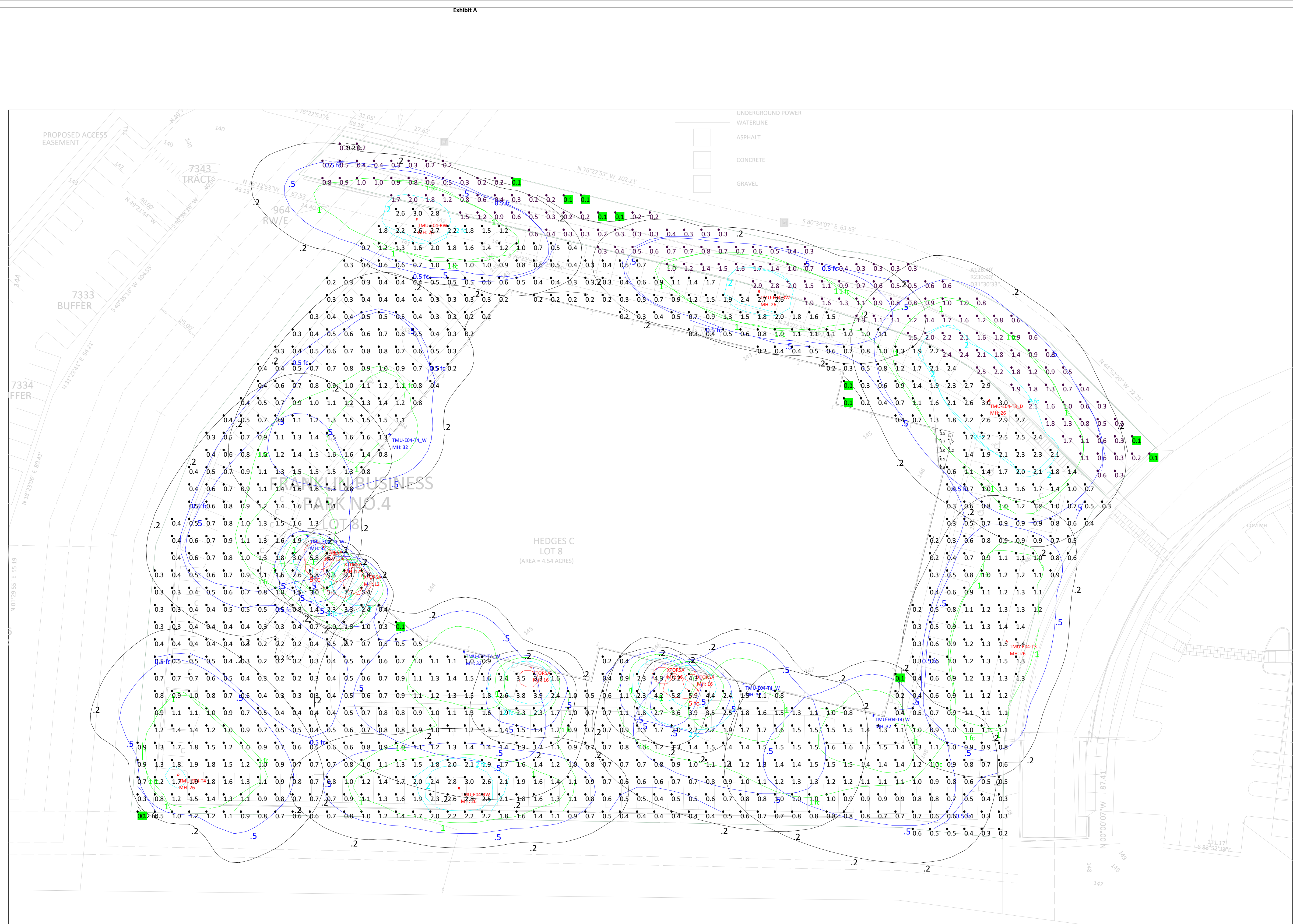
LANDSCAPE SPECIFICATIONS & DETAILS

LANGE MUELLER & ASSOCIATES

A R C H I T E C T S  
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

sheet

L-2



Scale: 1 inch= 30 Ft.

ENTRY WITH DUAL HEAD POLE AT SITE CORNER

Isoline Legend		Standard Luminaire Schedule		Manufacturer		Part # Description		Lum. Watts	Lum. Lumens	LLF	Arm	Filename
Color	Value	Symbol	Qty	Label								
Black	0.2	[Symbol]	3	TMU-E04-RW	EATON - STREETWORKS (FORMER COOPER LIGHTING)		TMU-E04-LED-E-U-RW	97.2	12496	0.900	0.66725	TMU-E04-LED-E-U-RW.ies
Blue	0.5	[Symbol]	1	TMU-E04-T3	EATON - STREETWORKS (FORMER COOPER LIGHTING)		TMU-E04-LED-E-U-T3	97.2	12336	0.900	0.66725	TMU-E04-LED-E-U-T3.ies
Green	1	[Symbol]	1	TMU-E04-T3_D	EATON - STREETWORKS (FORMER COOPER LIGHTING)		TMU-E04-LED-E-U-T3 DUAL	97.2	12336	0.900	0.66725	TMU-E04-LED-E-U-T3.ies
Red	2	[Symbol]	1	TMU-E04-T4	EATON - STREETWORKS (FORMER COOPER LIGHTING)		TMU-E04-LED-E-U-T4	97.2	12088	0.900	0.66725	TMU-E04-LED-E-U-T4.ies
Yellow	5	[Symbol]	5	TMU-E04-T4_W	EATON - STREETWORKS (FORMER COOPER LIGHTING)		TMU-E04-LED-E-U-T4-WM	97.2	12088	0.900	0.66725	TMU-E04-LED-E-U-T4.ies
White	15	[Symbol]	6	XTORSA	EATON - LUMARK (FORMER COOPER LIGHTING)		XTORSA	50.1	4282	0.900	0	XTORSA.ies

NOTES:  
 1. LIGHT LOSS FACTOR APPLIED, INITIAL VALUES WILL BE HIGHER  
 2. FIXTURE HEIGHT: NOTED  
 3. POLE HEIGHT: 20'  
 4. STANDARD REFLECTANCE USED: 20% GROUND EQUAL TO ASPHALT  
 5. CALCULATION POINTS LOCATED ON GROUND