



# City of Tualatin

www.tualatinoregon.gov

**"NECESSARY PARTIES"  
MARKED BELOW**

## NOTICE OF APPLICATION SUBMITTAL

- ANNEXATION       CONDITIONAL USE PERMIT       PLAN TEXT AMENDMENT  
 ARCHITECTURAL REVIEW       PLAN MAP AMENDMENT       OTHER:

**CASE/FILE: AR17-0002** (Community Development Dept.: Planning Division)

<b>PROPOSAL</b>	The proposal includes a 229,146 square foot industrial building that is 39' in height with on-site parking, utilities, and landscaping. Specific tenants are not yet determined.
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<b>PROPERTY</b>	<b>Name of Application</b>	MAJESTIC BLDG1				
	<input type="checkbox"/> n/a	<b>Street Address</b>	214XX SW 115th Avenue			
		<b>Tax Map and Lot No(s).</b>	2S1 27C 000100			
		<b>Planning District</b>	MG	<b>Overlays</b> <input type="checkbox"/>	<b>NRPO</b> <input type="checkbox"/>	<b>Flood Plain</b> <input type="checkbox"/>
		<b>Previous Applications</b>	AR-08-08	<b>Additional Applications:</b> N/A		<b>CIO INDUSTRIAL</b>

<b>DATES</b>	<b>Receipt of application</b>	04/11/2017	<b>Deemed Complete</b>	5/11/2017	<b>CONTACT</b>	<b>Name:</b> Erin Engman
	<b>Notice of application submittal</b>			5/12/2017		<b>Title:</b> Assistant Planner
	<b>Project Status / Development Review meeting</b>			N/A		<b>E-mail:</b> EENGMAN@tualatin.gov
	<b>Comments due for staff report</b>			05/26/2017		<b>Phone:</b> 503-691-3024
	<b>Public meeting:</b> <input checked="" type="checkbox"/> ARB <input type="checkbox"/> TPC <input type="checkbox"/> n/a					<b>Notes:</b>
	<b>City Council (CC)</b>			<input checked="" type="checkbox"/> n/a		

### City Staff

- City Manager
- Building Official
- Chief of Police
- City Attorney
- City Engineer
- Community Dev. Director
- Community Services Director
- Economic Dev. liaison
- Engineering Associate\*
- Finance Director
- GIS technician(s)
- IS Manager
- Operations Director\*
- Parks and Recreation Coordinator
- Planning Manager
- Street/Sewer Supervisor
- Water Supervisor

### Neighboring Cities

- Durham
- King City Planning Commission
- Lake Oswego
- Rivergrove PC
- Sherwood Planning Dept.
- Tigard Community Dev. Dept.
- Wilsonville Planning Div.

### Counties

- Clackamas County Dept. of Transportation and Dev.
- Washington County Dept. of Land Use and Transportation (AR's)
- Washington County LRP (Annexations)

### Regional Government

- Metro

### School Districts

- Lake Oswego School Dist. 7J
- Sherwood SD 88J
- Tigard-Tualatin SD 23J (TTSD)
- West Linn-Wilsonville SD 3J

### State Agencies

- Oregon Dept. of Aviation
- Oregon Dept. of Land Conservation and Development (DLCD) (via proprietary notice)
- Oregon Dept. of State Lands: Wetlands Program
- Oregon Dept. of Transportation (ODOT) Region 1
- ODOT Maintenance Dist. 2A
- ODOT Rail Div.
- OR Dept. of Revenue

### Utilities

- Republic Services
- Clean Water Services (CWS)
- Comcast [cable]\*
- Frontier Communications [phone]
- Northwest Natural [gas]
- Portland General Electric (PGE)
- TriMet
- Tualatin Valley Fire & Rescue (TVF&R)
- United States Postal Service (USPS) (Washington; 18850 SW Teton Ave)
- USPS (Clackamas)
- Washington County Consolidated Communications Agency (WCCCA)

### Additional Parties

- Tualatin Citizen Involvement Organization (CIO)

\*Paper Copies

- 1.032: *Burden of Proof*
- 31.071 *Architectural Review Procedure*
- 31.074 *Architectural Review Application Review Process*
- 31.077 *Quasi-Judicial Evidentiary Hearing Procedures*
- Metro Code 3.09.045 Annexation Review Criteria*
- 32.030 *Criteria for Review of Conditional Uses*
- 33.020 *Conditions for Granting a Variance that is not a Sign or a Wireless Communication Facility*
- 33.022 *Criteria for Granting a Sign Variance*
- 33.024 *Criteria for Granting a Minor Variance*
- 33.025 *Criteria for Granting a Variance*
- 34.200 *Tree Cutting on Private Property without Architectural Review, Subdivision or Partition Approval, or Tree Removal Permit Prohibited*
- 34.210 *Application for Architectural Review, Subdivision or Partition Review, or Permit*
- 34.230 *Criteria (tree removal)*
- 35.060 *Conditions for Granting Reinstatement of Nonconforming Use*
- 36.160 *Subdivision Plan Approval*
- 36.230 *Review Process (partitioning)*
- 36.330 *Review Process (property line adjustment)*
- 37.030 *Criteria for Review (IMP)*
- 40.030 *Conditional Uses Permitted (RL)*
- 40.060 *Lot Size for Conditional Uses (RL)*
- 40.080 *Setback Requirements for Conditional Uses (RL)*
- 41.030 *Conditional Uses Permitted (RML)*
- 41.050 *Lot Size for Conditional Uses (RML)*
- 41.070 *Setback Requirements for Conditional Uses (RML)*
- 42.030 *Conditional Uses Permitted (RMH)*
- 42.050 *Lot Size for Conditional Uses (RMH)*
- 42.070 *Setback Requirements for Conditional Uses (RMH)*
- 43.030 *Conditional Uses Permitted (RH)*
- 43.060 *Lot Size for Conditional Uses (RH)*
- 43.090 *Setback Requirements for Conditional Uses (RH)*
- 44.030 *Conditional Uses Permitted (RH-HR)*
- 44.050 *Lot Size for Conditional Uses (RH-HR)*
- 44.070 *Setback Requirements for Conditional Uses (RH-HR)*
- 49.030 *Conditional Uses (IN)*
- 49.040 *Lot Size for Permitted and Conditional Uses (IN)*
- 49.060 *Setback Requirements for Conditional Uses (IN)*
- 50.020 *Permitted Uses (CO)*
- 50.030 *Central Urban Renewal Plan – Additional Permitted Uses and Conditional Uses (CO)*
- 50.040 *Conditional Uses (CO)*
- 52.030 *Conditional Uses (CR)*
- 53.050 *Conditional Uses (CC)*
- 53.055 *Central Urban Renewal Area – Conditional Uses (CC)*
- 54.030 *Conditional Uses (CG)*
- 56.030 *Conditional Uses (MC)*
- 56.045 *Lot Size for Conditional Uses (MC)*
- 57.030 *Conditional Uses (MUCOD)*
- 60.040 *Conditional Uses (ML)*
- 60.041 *Restrictions on Conditional Uses (ML)*
- 61.030 *Conditional Uses (MG)*
- 61.031 *Restrictions on Conditional Uses (MG)*
- 62.030 *Conditional Uses (MP)*
- 62.031 *Restrictions on Conditional Uses (MP)*
- 64.030 *Conditional Uses (MBP)*
- 64.050 *Lot Size for Permitted and Conditional Uses (MBP)*
- 64.065 *Setback Requirements for Conditional Uses (MBP)*
- 68.030 *Criteria for Designation of a Landmark*
- 68.060 *Demolition Criteria*
- 68.070 *Relocation Criteria*
- 68.100 *Alteration and New Construction Criteria*
- 68.110 *Alteration and New Construction Approval Process*
- 73.130 *Standards*
- 73.160 *Standards*
- 73.190 *Standards – Single-Family and Multi-Family Uses*
- 73.220 *Standards*
- 73.227 *Standards*
- 73.240 *Landscaping Provisions*
- 73.300 *Landscape Standards – Multi-Family Uses*
- 73.310 *Landscape Standards – Commercial, Industrial, Public and Semi-Public Uses*
- 73.320 *Off-Street Parking Lot Landscaping Standards*
- 73.470 *Standards*
- 73.500 *Standards*



# City of Tualatin

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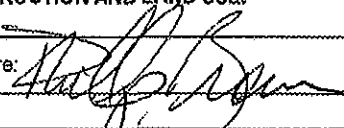
## APPLICATION FOR ARCHITECTURAL REVIEW

<b>Direct Communication to:</b>			
Name: Suzannah Stanley		Title: Land Use Planner	
Company Name: Mackenzie			
Current address: 1515 SE Water Avenue, Suite 100			
City: Portland		State: OR	ZIP Code: 97214
Phone: (503) 224-9560	Fax: (503) 228-1285	Email: sstanley@mcknze.com	
<b>Applicant</b>			
Name: Phillip Brown		Company Name: Majestic Realty Co.	
Address: 13191 Crossroads Parkway N, 6th Floor			
City: City of Industry		State: CA	ZIP Code: 91746
Phone: (562) 692-9581	Fax:	Email: pbrown@majesticrealty.com	
Applicant's Signature: <i>Phillip Brown</i>		Date: 4/3/17	
<b>Property Owner</b>			
Name: Nemarnik Family Properties LLC			
Address: 201 NE 2nd Avenue			
City: Portland		State: OR	ZIP Code: 97232
Phone:	Fax:	Email: dnemarnik@pcfruit.com	
Property Owner's Signature: <i>[Signature]</i>		Date: 4-4-17	
(Note: Letter of authorization is required if not signed by owner)			
<b>Architect</b>			
Name: Steve Geoffrion, Commerce Construction Co., L.P.			
Address: 13191 Crossroads Parkway N, 6th Floor			
City: City of Industry		State: CA	ZIP Code: 91746
Phone: (562) 699-0453	Fax: (562) 699-4796	Email: sgeoffrion@commercelp.com	
<b>Landscape Architect</b>			
Name: Brad Theurer, Mackenzie			
Address: 1515 SE Water Avenue, Suite 100			
City: Portland		State: OR	ZIP Code: 97214
Phone: (503) 224-9560	Fax: (503) 228-1285	Email: btheurer@mcknze.com	
<b>Engineer</b>			
Name: Bob Fentress Jr., Mackenzie			
Address: 101 E 6th Street #200			
City: Vancouver		State: WA	ZIP Code: 98660
Phone: (360) 695-7879	Fax: (360) 693-6637	Email: rfentress@mcknze.com	
<b>Project</b>			
Project Title: Majestic SW 115th Avenue			
Address: 214XX SW 115th Avenue			
City: Tualatin		State: OR	ZIP Code: 97062
Brief Project Description: New 229,146 SF speculative industrial building and associated site improvements			
Proposed Use: Speculative industrial building for 1-2 tenants with supporting offices			

Value of Improvements: \$13.4-14.8 million

AS THE PERSON RESPONSIBLE FOR THIS APPLICATION, I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION ABOVE, ON THE FACT SHEET, AND THE SURROUNDING PERTY OWNER MAILING LIST IS CORRECT. I AGREE TO COMPLY WITH ALL APPLICABLE CITY AND COUNTY ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND LAND USE.

Applicant's Signature:



Date:

4/3/17

**Office Use**

Case No:	Date Received:	Received by:
Fee: Complete Review :	Receipt No:	
Application Complete as of:	ARB hearing date (if applicable):	
Posting Verification:	6 copies of drawings (folded)	
1 reproducible 8 1/2" X 11" vicinity map	1 reproducible 8 1/2" X 11" site, grading, LS, Public Facilities plan	
Neighborhood/Developer meeting materials		

<b>GENERAL INFORMATION</b>	
Site Address:	214XX SW 115th Avenue, Tualatin, OR 97062
Assessor's Map and Tax Lot #:	2S127C000100
Planning District:	MG General Manufacturing
Parcel Size:	11.54 acres (502,782 SF)
Property Owner:	Nemarnik Family Properties
Applicant:	Majestic Realty Co.
Proposed Use:	Speculative industrial (warehousing and offices)

<b>ARCHITECTURAL REVIEW DETAILS</b>	
Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial	
Number of parking spaces:	137 motor vehicle spaces, 32 bicycle spaces
Square footage of building(s):	229,146 SF
Square footage of landscaping:	77,762 SF
Square footage of paving:	195, 238 SF
Proposed density (for residential):	N/A (non-residential)

<p><b>For City Personnel to complete:</b></p> <p>Staff contact person:</p>    
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**CITY OF TUALATIN FACT SHEET**

**General**

Proposed use: Speculative industrial building (206,231 SF warehousing and 22,915 SF associated office spaces)			
Site area:	11.54 acres	Building footprint:	229,146 sq. ft.
Development area:	11.54 acres	Paved area:	195,238 sq. ft.
	502,782 Sq. ft.	Development area coverage:	84.4%

**Parking**

Spaces required (see TDC 73.400) (example: warehouse @ 0.3/1000 GFA) Warehouse @ 0.3 /1000 GFA = 62 Office @ 2.7 /1000 GFA = 62 _____ @ _____ /1000 GFA = _____ Total parking required: 124 spaces Handicapped accessible =5 Van pool =5 (1 per 25 spaces) Compact = (max. 35% allowed) =43 Loading berths =3	Spaces provided: Total parking provided: 137 spaces Standard = 137 Handicapped accessible =5 Van pool =8 Compact =0 Loading berths =33
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**Bicycles**

Covered spaces required: 16	Covered spaces provided: 16
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**Landscaping**

Landscaping required: 15 % of dvpt. area 75,417 Square feet	Landscaping provided: 15.5 % of dvpt. area 77,762 Square feet
Landscaped parking island area required: 3,425 SF (25 SF/space)	Landscaped parking island area provided 5,344 SF

**Trash and recycling facility**

Minimum standard method: _____ square feet	
Other method: Franchise hauler review method	373 square feet

**For commercial/industrial projects only**

Total building area:	229,146 sq. ft.	2 <sup>nd</sup> floor:	sq. ft.
Main floor:	229,146 sq. ft.	3 <sup>rd</sup> floor:	sq. ft.
Mezzanine:	sq. ft.	4 <sup>th</sup> floor:	sq. ft.

**For residential projects only**

Number of buildings:	Total sq. ft. of buildings:	sq. ft.
Building stories:		



Water supply modeling is necessary for larger projects to determine the impact of the project’s water demand on the water supply system. Water supply modeling will be performed by a consulting engineer based on the most recent version of the Tualatin Water System Master Plan.

Due to possible impacts to the water supply system, the following projects in Tualatin require hydraulic modeling based on the size and type of the project and projected water use for the finished project. The outcome of modeling could require offsite improvements to the water supply system in order to ensure that adequate water supply is available to serve the project and reduce impacts to the overall system.

Hydraulic modeling of the water supply system is required for the following project type/sizes/demand:

Project Type	Criteria	Permit Fee
Commercial or Industrial Building	Building floor area greater than 48,300 square feet <b>or</b> Anticipated daily water demand greater than 870 gallons per acre per day	\$ 300 per building
Residential development	More than 49 dwelling units	\$ 1,000
Multi-family development	More than 49 dwelling units <b>or</b> a combined building floor area greater than 48,300 square feet	\$ 300 per building

Please complete this form and submit the form and required fee (if applicable) with your land-use application (architectural review, subdivision, etc.).

Commercial or Industrial Development

- Building floor area \_\_\_\_\_ square feet
- Anticipated water demand (if known) \_\_\_\_\_ gallons per day
- Described planned building use \_\_\_\_\_

Residential Development

- Number of dwelling units or single family home lots \_\_\_\_\_

Multi-Family Residential Development

- Number of dwelling units \_\_\_\_\_
- Building floor area (sum of all building) \_\_\_\_\_
- Number of multi-family buildings \_\_\_\_\_

Permit fee required based on the information provided above \$ \_\_\_\_\_

- If no fee is required, enter \$0.

NOTE: Water Supply Modeling does not replace the requirement for fire hydrant flow testing. Flow testing of fire hydrants will still be required to verify adequate fire flow of finished system

## ARCHITECTURAL REVIEW CERTIFICATION OF SIGN POSTING



The applicant shall provide and post a sign pursuant to Tualatin Development Code (TDC) 31.064(2). Additionally, the 18" x 24" sign must contain the application number, and the block around the word "NOTICE" must remain **primary yellow** composed of the **RGB color values Red 255, Green 255, and Blue 0**. Additionally, the potential applicant must provide a flier (or flyer) box on or near the sign and fill the box with brochures reiterating the meeting info and summarizing info about the potential project, including mention of anticipated land use application(s). Staff has a Microsoft PowerPoint 2007 template of this sign design available through the Planning Division homepage at < [www.tualatinoregon.gov/planning/land-use-application-sign-templates](http://www.tualatinoregon.gov/planning/land-use-application-sign-templates)>.

NOTE: For larger projects, the Community Development Department may require the posting of additional signs in conspicuous locations.

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As the applicant for the Majestic SW 115th Avenue  
project, I hereby certify that on this day, 1 sign(s) was/were posted on the  
subject property in accordance with the requirements of the Tualatin Development Code and the  
Community Development Department - Planning Division.

Applicant's Name: Katie Perko, Mackenzie

(PLEASE PRINT)

Applicant's Signature: 

Date: 4/12/17



## Sensitive Area Pre-Screening Site Assessment

1. Jurisdiction: Tualatin

2. Property Information (example 1S234AB01400)

Tax lot ID(s): 2S127C000100

Site Address: 11520 SW TUALATIN-SHERWOOD RD

City, State, Zip: Tualatin, OR, 97062

Nearest Cross Street: 115th

3. Owner Information

Name: \_\_\_\_\_

Company: Majestic Realty Co (future owner)

Address: 13191 Crossroads Parkway N, 6th Floor

City, State, Zip: City of Industry, CA, 97062

Phone/Fax: 562-692-9581

E-Mail: \_\_\_\_\_

4. Development Activity (check all that apply)

- Addition to Single Family Residence (rooms, deck, garage)
- Lot Line Adjustment       Minor Land Partition
- Residential Condominium       Commercial Condominium
- Residential Subdivision       Commercial Subdivision
- Single Lot Commercial       Multi Lot Commercial
- Other \_\_\_\_\_

5. Applicant Information

Name: Suzannah Stanley

Company: Mackenzie

Address: 1515 SE Water Ave

City, State, Zip: Portland, OR, 97214

Phone/Fax: 5032249560

E-Mail: sstanley@mcknze.com

6. Will the project involve any off-site work?  Yes  No  Unknown

Location and description of off-site work \_\_\_\_\_

7. Additional comments or information that may be needed to understand your project \_\_\_\_\_

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name Suzannah Stanley Print/Type Title Land Use Planner

ONLINE SUBMITTAL

Date 3/16/2017

### FOR DISTRICT USE ONLY

- Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.
- Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- This Service Provider Letter is not valid unless \_\_\_\_\_ CWS approved site plan(s) are attached.
- The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Reviewed by Chuck Anderson Date 2/20/17

Ave

SW A

SLOPE

DETENTION BASIN

Office  
(±20,000 s.f.)

STALLS

STALLS

STALLS

STALLS

TRAILER STALLS

DOCK HIGH DOORS

Bldg

T  
B

Bldg

Bldg

PUBLIC WAY PART OF FT. SIDE YARD

CONCEPTUAL FIRE ACCESS

PUBLIC WAY PART OF FT. SIDE YARD

THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS ASSOCIATED PARKING AND UTILITIES. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE DESIGNER.

REVISIONS	DATE	BY

COMMERCE CONSTRUCTION CO., L.P.  
 10000 N. TUALATIN AVENUE, SUITE 100  
 TUALATIN, OREGON 97148  
 TEL: 503.261.1111 FAX: 503.261.1112  
 WWW.COMMERCECONSTRUCTION.COM

SITE PLAN  
 PROPOSED INDUSTRIAL BUILDING  
 TUALATIN, OREGON

SCALE: 1" = 10'-0"

DATE: 08/14/2024  
 DRAWN BY: SDG  
 CHECKED BY: JAC

SHEET NO. A

	Site Area (Acres)	Bldg Area (SF)	Bldg Coverage (%)	Landscape (SF)	Landscape Coverage (%) (15% Req'd)	Parking Ratio Type	Parking Ratio Minimum Warehouse (Per 1,000 sf)	Parking Ratio Maximum Zone "B" Warehouse (Per 1,000 sf)	Car Parking Minimum Zone "B" Warehouse (9'x18.5')	Car Parking Maximum Zone "B" Warehouse (9'x18.5')	Parking Ratio Minimum Office 20,000 s.f. (Per 1,000 sf)	Parking Ratio Maximum Zone "B" Office 20,000 s.f. (Per 1,000 sf)	Car Parking Minimum Zone "B" Office (9'x18.5')	Car Parking Maximum Zone "B" Office (9'x18.5')	Total Car Parking Required Minimum	Total Car Parking Required Maximum Zone "B"	Car Parking Provided (7.7'x15')	Car Parking Provided (9'x18.5')	Total Car Parking	Bike Parking ratio Warehouse	Bicycle Parking Required Warehouse	Bike Parking ratio Office
Bldg 1	11.5421	228,565	45.46%	75,516	15.02%	Warehouse / Office	0.30	0.50	63	104	2.70	4.10	54	82	117	186	12	238	250	0.10	21	0.50


EXHIBIT A  
 SITE PLAN A

**NEIGHBORHOOD/DEVELOPER MEETING  
AFFIDAVIT OF MAILING**

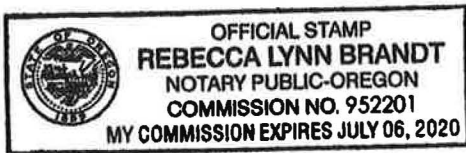
STATE OF OREGON                    )  
  ) SS  
COUNTY OF WASHINGTON        )


I, Katie Perko, being first duly sworn, depose and say:

That on the 14<sup>th</sup> day of March, 2017, I served upon the persons shown on Exhibit "A," attached hereto and by this reference incorporated herein, a copy of the Notice of Neighborhood/Developer meeting marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail with postage fully prepared thereon.

  
\_\_\_\_\_  
Signature

SUBSCRIBED AND SWORN to before me this 15 day of March,  
2017.



  
\_\_\_\_\_  
Notary Public for Oregon  
My commission expires: 07/06/2020

RE: Majestic Tudor in SW 115<sup>th</sup> Avenue Warehouse

AR17-0002

To lessen the bulk of the notice of application and to address privacy concerns, this sheet substitutes for the photocopy of the mailing labels. A copy is available upon request.

# NEIGHBORHOOD / DEVELOPER MEETING CERTIFICATION OF SIGN POSTING

<p style="text-align: center;"><b>NOTICE</b></p> <p style="text-align: center;"><b>NEIGHBORHOOD / DEVELOPER MEETING</b></p> <p style="text-align: center;">__/__/2010 __:__.m.</p> <p style="text-align: center;">SW _____</p> <p style="text-align: center;">503-____-____</p>	18"
24"	

In addition to the requirements of TDC 31.064(2) quoted earlier in the packet, the 18" x 24" sign that the applicant provides must display the meeting date, time, and address and a contact phone number. The block around the word "NOTICE" must remain **orange** composed of the **RGB color values Red 254, Green 127, and Blue 0**. Additionally, the potential applicant must provide a flier (or flyer) box on or near the sign and fill the box with brochures reiterating the meeting info and summarizing info about the potential project, including mention of anticipated land use application(s). Staff has a Microsoft PowerPoint 2007 template of this sign design available through the Planning Division homepage at < [www.tualatinoregon.gov/planning/land-use-application-sign-templates](http://www.tualatinoregon.gov/planning/land-use-application-sign-templates) >.

As the applicant for the

Majestic Tualatin SW 115<sup>th</sup> Avenue Warehouse project, I hereby certify that on this day, March 14, 2017 sign(s) was/were posted on the subject property in accordance with the requirements of the Tualatin Development Code and the Community Development Department - Planning Division.

Applicant's Name: Katie Perko / Mackenzie  
(PLEASE PRINT)

Applicant's Signature: Katie Perko

Date: 3/14/17

# MACKENZIE. SIGN-IN SHEET

DESIGN DRIVEN | CLIENT FOCUSED

PROJECT NUMBER: 2160026.00

PROJECT NAME: Majestic SW 115<sup>th</sup> Avenue

SUBJECT: (Neighborhood Meeting / March 28, 2017)

Name	Address	Email	Representing
Phillip Brown	[REDACTED]		
Suzannah Stanley			
Melinda Anderson			
Erin Engman			

# MACKENZIE.

DESIGN DRIVEN | CLIENT FOCUSED

March 14, 2017

Re: **Majestic Tualatin SW 115<sup>th</sup> Avenue Warehouse – Architectural Review Application**  
*Neighborhood Meeting*  
Project Number 2160026.00

Dear Interested Party:

You are invited to attend a meeting on Tuesday, March 28, 2017, at 5:00 PM at the Juanita Pohl Center located at 8513 SW Tualatin Road.

The purpose of this meeting is to provide information about the new speculative industrial building proposed on SW 115th Avenue approximately 1/3-mile south of SW Tualatin-Sherwood Road, more specifically on Tax Lot 100 of Tax Map 2S 1 27C. The property owner, Majestic Realty Co., is proposing one new speculative building as shown on the conceptual site plan included with this letter. Please see the attached map for reference. No tenants have been identified at this time.

The purpose of this meeting is to review preliminary plans and provide a means for the applicant/owner and surrounding property owners to meet and discuss this proposal. If you have any questions, please feel free to contact me at (503) 224-9560.

Sincerely,



Suzannah Stanley  
Land Use Planner

Enclosures: Conceptual Site Plan  
Vicinity Map

c: Phillip Brown – Majestic Realty Co.  
Dave Larson, Bob Fentress, Brent Ahrend – Mackenzie



P 503.224.9560 ■ F 503.228.1285 ■ W [MCKNZE.COM](http://MCKNZE.COM) ■ RiverEast Center, 1515 SE Water Avenue, #100, Portland, OR 97214  
ARCHITECTURE ■ INTERIORS ■ STRUCTURAL ENGINEERING ■ CIVIL ENGINEERING ■ LAND USE PLANNING ■ TRANSPORTATION PLANNING ■ LANDSCAPE ARCHITECTURE  
Portland, Oregon ■ Vancouver, Washington ■ Seattle, Washington

**Ave**

**SW 115th Ave.**



COMMERCE CONSTRUCTION CO., L.P.  
 13191 Crossroads Parkway North  
 Sixth Floor  
 City of Industry, California 91746-3497  
 Telephone: (562) 699-0453  
 License No. 723302

NO.	DATE	BY	REVISIONS

**SITE PLAN**  
**PROPOSED INDUSTRIAL BUILDING**  
 TUALATIN, OREGON

Bldg	Site Area (Acres)	Bldg Area (SF)	Bldg Coverage	Landscape (SF)	Landscape Coverage (%) (15% Req'd)	Parking Ratio Type	Parking Ratio Minimum Warehouse (Per 1,000 sf)	Parking Ratio Maximum Zone B Warehouse (Per 1,000 sf)	Car Parking Minimum Zone "B" Warehouse (9x18.5)	Car Parking Maximum Zone "B" Warehouse (9x18.5)	Parking Ratio Minimum Office 20,000 s.f. (Per 1,000 sf)	Parking Ratio Maximum Zone "B" Office 20,000 s.f. (Per 1,000 sf)	Car Parking Minimum Zone "B" Office (9x18.5)	Car Parking Maximum Zone "B" Office (9x18.5)	Total Car Parking Required Minimum	Total Car Parking Provided (7.7x15)	Car Parking Provided (9x18.5)	Total Car Parking	Bike Parking ratio Warehouse	Bicycle Parking Required Warehouse	Bike Parking ratio Office
Bldg 1	11.5421	228,565	45.46%	75,516	15.02%	Warehouse / Office	0.30	0.50	63	104	2.70	4.10	54	82	117	12	238	250	0.10	21	0.50

**EXHIBIT 10**  
**SITE PLAN** A  
 SCALE: 1" = 30' 0"




DRAWN BY DATE SDG 5/17/2016  
 CCC JOB NO. 6937  
 SHEET NO. A1



# ADJACENT PROPERTY OWNER NOTIFICATION

Tax Lots Within 1,000' of Site

## LEGEND

-  Site
-  1,000' Radius
-  Tax Lots

DISCLAIMER: This property ownership information is derived from Metro's Regional Land Information System (RLIS-Lite). Metro's RLIS Lite is updated on a quarterly basis. As such, this information is based on the most recent subscription from February 2017. No liability is assumed for any errors in this report.

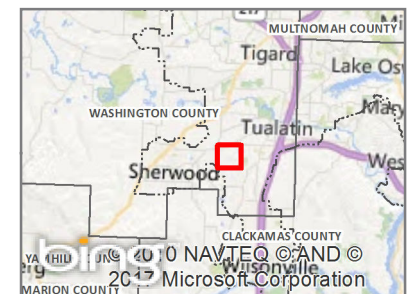


1 inch = 600 feet

SOURCE DATA:  
Metro RLIS Lite Base Data,  
Feb 2017

GEOGRAPHIC PROJECTION:  
NAD 83 HARN, Oregon North  
Lambert Conformal Conic

Date: 3/13/2017    Map Created By: GJY  
File: Notification\_8x11    Project No: 2160026.00



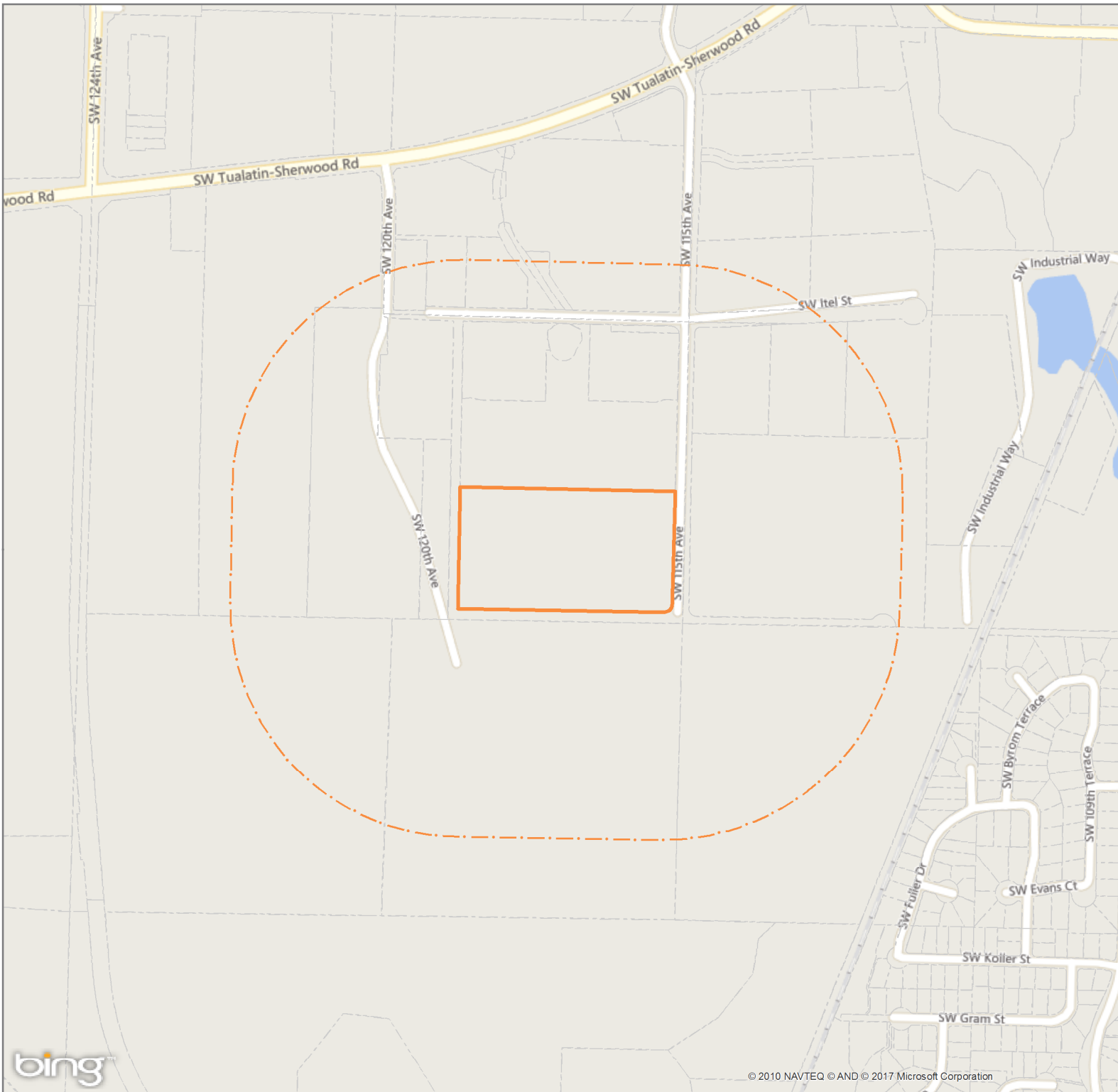
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# ADJACENT PROPERTY OWNER NOTIFICATION

Tax Lots Within 1,000' of Site

## LEGEND

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-  1,000' Radius
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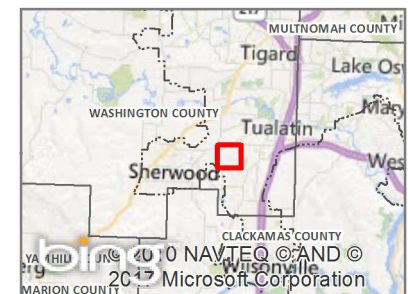


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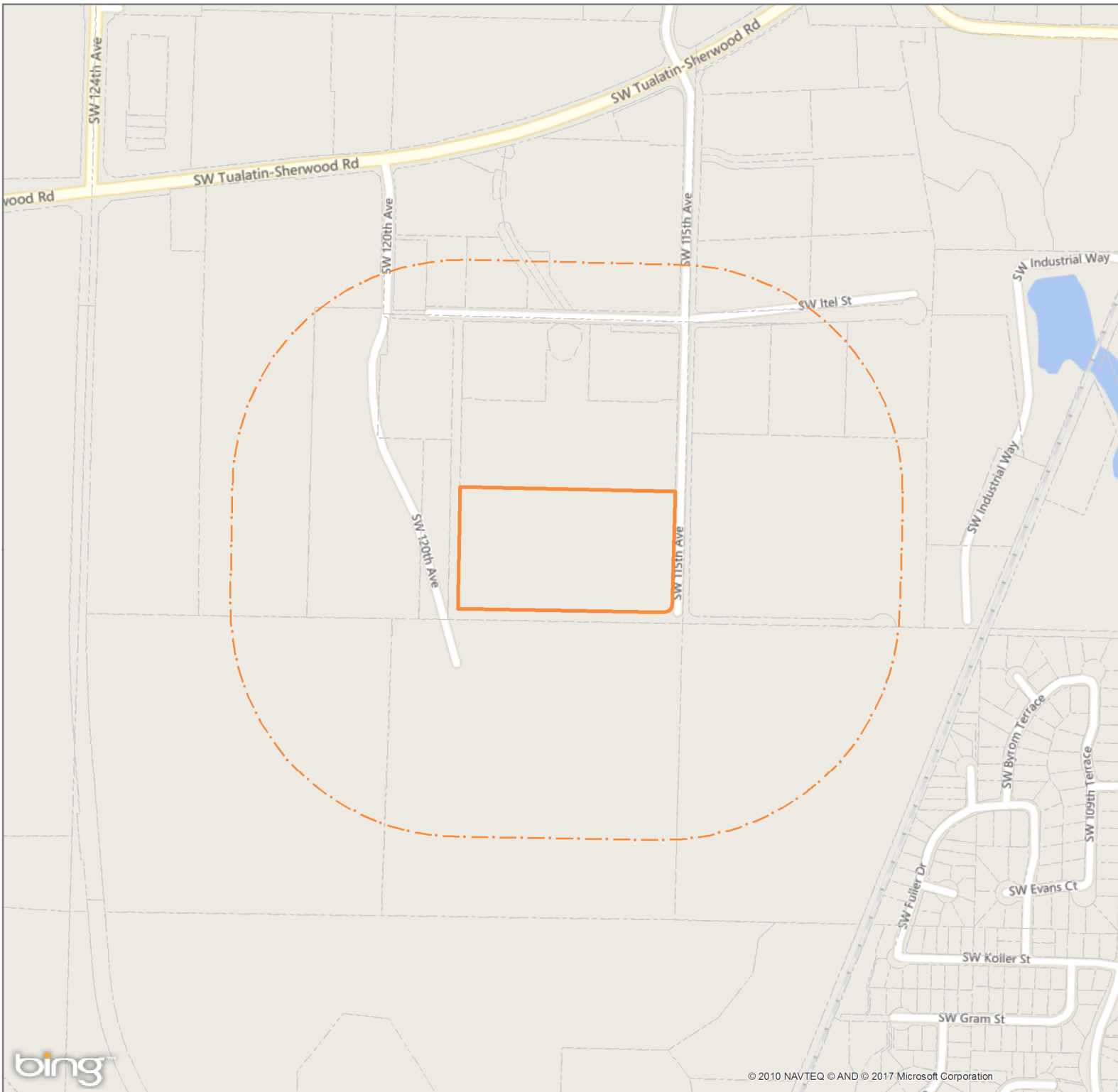
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**Fidelity National Title**  
Company of Oregon

## PRELIMINARY REPORT

In response to the application for a policy of title insurance referenced herein Fidelity National Title Company of Oregon hereby reports that it is prepared to issue, or cause to be issued, as of the specified date, a policy or policies of title insurance describing the land and the estate or interest hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.

The printed Exceptions and Exclusions from the coverage of said policy or policies are set forth in Exhibit One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Fidelity National Title Insurance Company, a/an California corporation.

**Please read the exceptions shown or referred to herein and the Exceptions and Exclusions set forth in Exhibit One of this report carefully. The Exceptions and Exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.**

**It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.**

This preliminary report is for the exclusive use of the parties to the contemplated transaction, and the Company does not have any liability to any third parties nor any liability until the full premium is paid and a policy is issued. Until all necessary documents are placed of record, the Company reserves the right to amend or supplement this preliminary report.

*Countersigned*



# Fidelity National Title®

Company of Oregon

900 SW 5th Avenue, Portland, OR 97204  
(503)222-2424 FAX (503)227-2274

## PRELIMINARY REPORT

**ESCROW OFFICER:** Lori Medak  
**TITLE OFFICER:** Robert Fleming

**ORDER NO.:** 45141521191  
**Supplement 1**

**TO:** Fidelity National Title Company of Oregon  
900 SW 5th Avenue  
Portland, OR 97204

**OWNER/SELLER:** Nemarnik Family Properties, LLC

**BUYER/BORROWER:** Majestic Realty Co.

**PROPERTY ADDRESS:** 11520 SW Tualatin-Sherwood Road, Tualatin, OR 97062

**EFFECTIVE DATE:** February 8, 2016, 08:00 AM

1. THE POLICY AND ENDORSEMENTS TO BE ISSUED AND THE RELATED CHARGES ARE:

	<u>AMOUNT</u>	<u>PREMIUM</u>
ALTA Owner's Policy 2006 (Extended)	\$ 3,000,000.00	\$ 7,140.00
Government Lien Search		\$ 25.00

2. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee

3. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

Nemarnik Family Properties, LLC, an Oregon limited liability company

4. THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE CITY OF TUALATIN, COUNTY OF WASHINGTON, STATE OF OREGON, AND IS DESCRIBED AS FOLLOWS:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

**EXHIBIT "A"**  
Legal Description

A tract of land being a portion of that tract of land described in Statutory Bargain and Sale Deed to Leahy Investments LLC recorded October 20, 2006 as Document Number 2006-124698, Deed Records of Washington County, Oregon ("Leahy Tract"), being a portion of the Southwest quarter of Section 27, Township 2 South, Range 1 West of the Willamette Meridian, in the City of Tualatin, County of Washington and State of Oregon, being more particularly described as follows:

Commencing at the center quarter corner of said Section 27; thence along the North line of the Southwest quarter of said Section 27 North 88° 31' 29" West, 994.54 feet; thence leaving said North line South 1° 36' 13" West, 20.00 feet to the Northwest corner of said Leahy Tract, said point also being the intersection of the South right-of-way line of S.W. IteI Street (60.00 feet wide) as recorded in Document Number 2003-092514, Deed Records of said Washington County, and the East right-of-way line of S.W. 120th Avenue (40.00 feet wide), as described in instrument recorded December 27, 1926 in Book 134, Page 495, Deed Records of said Washington County; thence along the West line of said Leahy Tract South 1° 36' 13" West, 727.71 feet to the true point of beginning of the herein described tract of land; thence leaving said West line South 88° 31' 34" East, 945.93 feet to the West right-of-way line of S.W. 115th Avenue as described in Document Number 2007-106262, Deed Records of said Washington County; thence along said West right-of-way line South 1° 36' 44" West, 568.14 feet to the South line of said Leahy Tract; thence along said South line North 88° 37' 10" West, 945.85 feet to the West line of said Leahy Tract, also being the East right-of-way line of aforesaid S.W. 120th Avenue; thence along said West line of said Leahy Tract North 1° 36' 13" East, 569.69 feet to the true point of beginning.

EXCEPTING THEREFROM that portion dedicated to the City of Tualatin for road purposes by Deed of Dedication recorded October 24, 2007 as Document Number 2007-112838.

**AS OF THE DATE OF THIS REPORT, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN THE POLICY FORM WOULD BE AS FOLLOWS:**

**GENERAL EXCEPTIONS:**

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests or claims, which are not shown by the Public Records but which could be ascertained by an inspection of the Land or which may be asserted by persons in possession thereof.
3. Easements, or claims thereof, which are not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
4. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
5. Any lien, or right to a lien, for services, labor, material or equipment rental, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

**SPECIFIC ITEMS AND EXCEPTIONS:**

6. City Liens, if any, in favor of the City of Tualatin. None found as of December 2, 2015.
7. A line of credit deed of trust and fixture filing to secure an indebtedness in the amount shown below,

Amount: \$9,869,000.00  
Dated: October 22, 2013  
Trustor/Grantor: Nemarnik Family Properties, LLC, a limited liability company, and David P. Nemarnik, same person as David Patrick Nemarnik, a single person  
Trustee: Chicago Title Company of Oregon  
Beneficiary: Northwest Farm Credit Services, FLCA  
Recording Date: October 25, 2013  
Recording No.: 2013-093843  
Affects: This and other property also

The Deed of Trust set forth above is purported to be a "Credit Line" Deed of Trust. It is a requirement that the Trustor/Grantor of said Deed of Trust provide written authorization to close said credit line account to the Lender when the Deed of Trust is being paid off through the Company or other Settlement/Escrow Agent or provide a satisfactory subordination of this Deed of Trust to the proposed Deed of Trust to be recorded at closing.

8. Facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.

To remove this item, the Company will require an affidavit and indemnity on a form supplied by the

Company.

9. Any lien or right to a lien for services, labor, material, equipment rental or workers compensation heretofore or hereafter furnished, imposed by law and not shown by the public records.

To remove this item, the Company will require an affidavit and indemnity on a form supplied by the Company.

10. Any encroachment (of existing improvements located on the subject Land onto adjoining land or of existing improvements located on adjoining land onto the subject Land), encumbrance, violation, variation or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the subject Land.

The Company will require a survey of the Land by a professional surveyor, and this exception may be eliminated or limited as a result thereof.

**ADDITIONAL REQUIREMENTS/NOTES:**

- A. Note: Property taxes for the fiscal year shown below are paid in full.

Fiscal Year:	2015-2016
Amount:	\$39,676.85
Levy Code:	088.15
Account No.:	R546779
Map No.:	2S127C-00100

Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.

- B. Washington County imposes a transfer tax of \$1.00 per \$1,000 (or fraction thereof) of the selling price in a real estate transfer, unless the county approves an exemption application. Exemption criteria and applications are available at the county's website, see: <http://www.co.washington.or.us/AssessmentTaxation/Recording/TransferTaxExemption/index.cfm>.
- C. In addition to the standard policy exceptions, the exceptions enumerated above shall appear on the final 2006 ALTA Policy unless removed prior to issuance.
- D. Note: No utility search has been made or will be made for water, sewer or storm drainage charges unless the City/Service District claims them as liens (i.e. foreclosable) and reflects them on its lien docket as of the date of closing. Buyers should check with the appropriate city bureau or water service district and obtain a billing cutoff. Such charges must be adjusted outside of escrow.

- E. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below.

Limited Liability Company: Nemarnik Family Properties, LLC

- a) A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
- b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamps.
- c) If the Limited Liability Company is member-managed a full and complete current list of members certified by the appropriate manager or member.
- d) If the Limited Liability Company was formed in a foreign jurisdiction, evidence, satisfactory to the Company, that it was validly formed, is in good standing and authorized to do business in the state of origin.
- e) If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- F. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below.

Name of Corporation: Majestic Realty Co., a California corporation

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein.
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- G. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.
- H. Note: There are no matters against the party(ies) shown below which would appear as exceptions to coverage in a title insurance product:

Parties: Majestic Realty Co., a California corporation

- I. Note: Effective January 1, 2008, Oregon law (ORS 314.258) mandates withholding of Oregon income taxes from sellers who do not continue to be Oregon residents or qualify for an exemption. Please contact your Escrow Closer for further information.



- J. THE FOLLOWING NOTICE IS REQUIRED BY STATE LAW: YOU WILL BE REVIEWING, APPROVING AND SIGNING IMPORTANT DOCUMENTS AT CLOSING. LEGAL CONSEQUENCES FOLLOW FROM THE SELECTION AND USE OF THESE DOCUMENTS. YOU MAY CONSULT AN ATTORNEY ABOUT THESE DOCUMENTS. YOU SHOULD CONSULT AN ATTORNEY IF YOU HAVE QUESTIONS OR CONCERNS ABOUT THE TRANSACTION OR ABOUT THE DOCUMENTS. IF YOU WISH TO REVIEW TRANSACTION DOCUMENTS THAT YOU HAVE NOT SEEN, PLEASE CONTACT THE ESCROW AGENT.
- K. Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.

## EXHIBIT ONE

### 2006 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
    - the occupancy, use, or enjoyment of the Land;
    - the character, dimensions or location of any improvement erected on the land;
    - the subdivision of land; or
    - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
  - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
  - Defects, liens, encumbrances, adverse claims, or other matters
    - created, suffered, assumed or agreed to by the Insured Claimant;
    - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
  - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
  - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with the applicable doing-business laws of the state where the Land is situated.
  - Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
  - Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
    - a fraudulent conveyance or fraudulent transfer, or
    - a preferential transfer for any reason not stated in the Covered Risk 13(b) of this policy.
  - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

### SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

### 2006 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
    - the occupancy, use, or enjoyment of the Land;
    - the character, dimensions or location of any improvement erected on the land;
    - the subdivision of land; or
    - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
  - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
  - Defects, liens, encumbrances, adverse claims, or other matters
    - created, suffered, assumed or agreed to by the Insured Claimant;
    - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
  - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
  - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
    - a fraudulent conveyance or fraudulent transfer, or
    - a preferential transfer for any reason not stated in the Covered Risk 9 of this policy.
  - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

### SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

**FIDELITY NATIONAL FINANCIAL  
PRIVACY NOTICE  
Effective: May 1, 2015**

**Order No.:** 45141521191--LM

Fidelity National Financial, Inc. and its majority-owned subsidiary companies providing real estate- and loan-related services (collectively, "FNF", "our" or "we") respect and are committed to protecting your privacy. This Privacy Notice lets you know how and for what purposes your Personal Information (as defined herein) is being collected, processed and used by FNF. We pledge that we will take reasonable steps to ensure that your Personal Information will only be used in ways that are in compliance with this Privacy Notice. The provision of this Privacy Notice to you does not create any express or implied relationship, or create any express or implied duty or other obligation, between Fidelity National Financial, Inc. and you. See also **No Representations or Warranties** below.

This Privacy Notice is only in effect for any generic information and Personal Information collected and/or owned by FNF, including collection through any FNF website and any online features, services and/or programs offered by FNF (collectively, the "Website"). This Privacy Notice is not applicable to any other web pages, mobile applications, social media sites, email lists, generic information or Personal Information collected and/or owned by any entity other than FNF.

**How Information is Collected**

The types of personal information FNF collects may include, among other things (collectively, "Personal Information"): (1) contact information (e.g., name, address, phone number, email address); (2) demographic information (e.g., date of birth, gender marital status); (3) Internet protocol (or IP) address or device ID/UDID; (4) social security number (SSN), student ID (SIN), driver's license, passport, and other government ID numbers; (5) financial account information; and (6) information related to offenses or criminal convictions.

In the course of our business, we may collect Personal Information about you from the following sources:

- Applications or other forms we receive from you or your authorized representative;
- Information we receive from you through the Website;
- Information about your transactions with or services performed by us, our affiliates, or others; and
- From consumer or other reporting agencies and public records maintained by governmental entities that we either obtain directly from those entities, or from our affiliates or others.

**Additional Ways Information is Collected Through the Website**

**Browser Log Files.** Our servers automatically log each visitor to the Website and collect and record certain information about each visitor. This information may include IP address, browser language, browser type, operating system, domain names, browsing history (including time spent at a domain, time and date of your visit), referring/exit web pages and URLs, and number of clicks. The domain name and IP address reveal nothing personal about the user other than the IP address from which the user has accessed the Website.

**Cookies.** From time to time, FNF or other third parties may send a "cookie" to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive and that can be re-sent to the serving website on subsequent visits. A cookie, by itself, cannot read other data from your hard disk or read other cookie files already on your computer. A cookie, by itself, does not damage your system. We, our advertisers and other third parties may use cookies to identify and keep track of, among other things, those areas of the Website

and third party websites that you have visited in the past in order to enhance your next visit to the Website. You can choose whether or not to accept cookies by changing the settings of your Internet browser, but some functionality of the Website may be impaired or not function as intended. See the Third Party Opt Out section below.

**Web Beacons.** Some of our web pages and electronic communications may contain images, which may or may not be visible to you, known as Web Beacons (sometimes referred to as "clear gifs"). Web Beacons collect only limited information that includes a cookie number; time and date of a page view; and a description of the page on which the Web Beacon resides. We may also carry Web Beacons placed by third party advertisers. These Web Beacons do not carry any Personal Information and are only used to track usage of the Website and activities associated with the Website. See the Third Party Opt Out section below.

**Unique Identifier.** We may assign you a unique internal identifier to help keep track of your future visits. We may use this information to gather aggregate demographic information about our visitors, and we may use it to personalize the information you see on the Website and some of the electronic communications you receive from us. We keep this information for our internal use, and this information is not shared with others.

**Third Party Opt Out.** Although we do not presently, in the future we may allow third-party companies to serve advertisements and/or collect certain anonymous information when you visit the Website. These companies may use non-personally identifiable information (e.g., click stream information, browser type, time and date, subject of advertisements clicked or scrolled over) during your visits to the Website in order to provide advertisements about products and services likely to be of greater interest to you. These companies typically use a cookie or third party Web Beacon to collect this information, as further described above. Through these technologies, the third party may have access to and use non-personalized information about your online usage activity.

You can opt-out of certain online behavioral services through any one of the ways described below. After you opt-out, you may continue to receive advertisements, but those advertisements will no longer be as relevant to you.

- You can opt-out via the Network Advertising Initiative industry opt-out at <http://www.networkadvertising.org/>.
- You can opt-out via the Consumer Choice Page at [www.aboutads.info](http://www.aboutads.info).
- For those in the U.K., you can opt-out via the IAB UK's industry opt-out at [www.youronlinechoices.com](http://www.youronlinechoices.com).
- You can configure your web browser (Chrome, Firefox, Internet Explorer, Safari, etc.) to delete and/or control the use of cookies.

More information can be found in the Help system of your browser. Note: If you opt-out as described above, you should not delete your cookies. If you delete your cookies, you will need to opt-out again.

**Use of Personal Information**

Information collected by FNF is used for three main purposes:

- To provide products and services to you or one or more third party service providers (collectively, "Third Parties") who are obtaining services on your behalf or in connection with a transaction involving you.
- To improve our products and services that we perform for you or for Third Parties.
- To communicate with you and to inform you about FNF's, FNF's affiliates and third parties' products and services.

### **When Information Is Disclosed By FNF**

We may provide your Personal Information (excluding information we receive from consumer or other credit reporting agencies) to various individuals and companies, as permitted by law, without obtaining your prior authorization. Such laws do not allow consumers to restrict these disclosures. Disclosures may include, without limitation, the following:

- To agents, brokers, representatives, or others to provide you with services you have requested, and to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure in connection with an insurance transaction;
- To third-party contractors or service providers who provide services or perform marketing services or other functions on our behalf;
- To law enforcement or other governmental authority in connection with an investigation, or civil or criminal subpoenas or court orders; and/or
- To lenders, lien holders, judgment creditors, or other parties claiming an encumbrance or an interest in title whose claim or interest must be determined, settled, paid or released prior to a title or escrow closing.

In addition to the other times when we might disclose information about you, we might also disclose information when required by law or in the good-faith belief that such disclosure is necessary to: (1) comply with a legal process or applicable laws; (2) enforce this Privacy Notice; (3) respond to claims that any materials, documents, images, graphics, logos, designs, audio, video and any other information provided by you violates the rights of third parties; or (4) protect the rights, property or personal safety of FNF, its users or the public.

We maintain reasonable safeguards to keep the Personal Information that is disclosed to us secure. We provide Personal Information and non-Personal Information to our subsidiaries, affiliated companies, and other businesses or persons for the purposes of processing such information on our behalf and promoting the services of our trusted business partners, some or all of which may store your information on servers outside of the United States. We require that these parties agree to process such information in compliance with our Privacy Notice or in a similar, industry-standard manner, and we use reasonable efforts to limit their use of such information and to use other appropriate confidentiality and security measures. The use of your information by one of our trusted business partners may be subject to that party's own Privacy Notice. We do not, however, disclose information we collect from consumer or credit reporting agencies with our affiliates or others without your consent, in conformity with applicable law, unless such disclosure is otherwise permitted by law.

We also reserve the right to disclose Personal Information and/or non-Personal Information to take precautions against liability, investigate and defend against any third-party claims or allegations, assist government enforcement agencies, protect the security or integrity of the Website, and protect the rights, property, or personal safety of FNF, our users or others.

We reserve the right to transfer your Personal Information, as well as any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets. We also cannot make any representations regarding the use or transfer of your Personal Information or other information that we may have in the event of our bankruptcy, reorganization, insolvency, receivership or an assignment for the benefit of creditors, and you expressly agree and consent to the use and/or transfer of your Personal Information or other information in connection with a sale or transfer of some or all of our assets in any of the above described proceedings. Furthermore, we cannot and will not be responsible for

any breach of security by any third parties or for any actions of any third parties that receive any of the information that is disclosed to us.

### **Information From Children**

We do not collect Personal Information from any person that we know to be under the age of thirteen (13). Specifically, the Website is not intended or designed to attract children under the age of thirteen (13). You affirm that you are either more than 18 years of age, or an emancipated minor, or possess legal parental or guardian consent, and are fully able and competent to enter into the terms, conditions, obligations, affirmations, representations, and warranties set forth in this Privacy Notice, and to abide by and comply with this Privacy Notice. In any case, you affirm that you are over the age of 13, as **THE WEBSITE IS NOT INTENDED FOR CHILDREN UNDER 13 THAT ARE UNACCOMPANIED BY HIS OR HER PARENT OR LEGAL GUARDIAN.**

Parents should be aware that FNF's Privacy Notice will govern our use of Personal Information, but also that information that is voluntarily given by children – or others – in email exchanges, bulletin boards or the like may be used by other parties to generate unsolicited communications. FNF encourages all parents to instruct their children in the safe and responsible use of their Personal Information while using the Internet.

### **Privacy Outside the Website**

The Website may contain various links to other websites, including links to various third party service providers. FNF is not and cannot be responsible for the privacy practices or the content of any of those other websites. Other than under agreements with certain reputable organizations and companies, and except for third party service providers whose services either we use or you voluntarily elect to utilize, we do not share any of the Personal Information that you provide to us with any of the websites to which the Website links, although we may share aggregate, non-Personal Information with those other third parties. Please check with those websites in order to determine their privacy policies and your rights under them.

### **European Union Users**

If you are a citizen of the European Union, please note that we may transfer your Personal Information outside the European Union for use for any of the purposes described in this Privacy Notice. By providing FNF with your Personal Information, you consent to both our collection and such transfer of your Personal Information in accordance with this Privacy Notice.

### **Choices With Your Personal Information**

Whether you submit Personal Information to FNF is entirely up to you. You may decide not to submit Personal Information, in which case FNF may not be able to provide certain services or products to you.

You may choose to prevent FNF from disclosing or using your Personal Information under certain circumstances ("opt out"). You may opt out of any disclosure or use of your Personal Information for purposes that are incompatible with the purpose(s) for which it was originally collected or for which you subsequently gave authorization by notifying us by one of the methods at the end of this Privacy Notice. Furthermore, even where your Personal Information is to be disclosed and used in accordance with the stated purposes in this Privacy Notice, you may elect to opt out of such disclosure to and use by a third party that is not acting as an agent of FNF. As described above, there are some uses from which you cannot opt-out.

Please note that opting out of the disclosure and use of your Personal Information as a prospective employee may prevent you from being hired as an employee by FNF to the extent that provision of your Personal Information is required to apply for an open position.

If FNF collects Personal Information from you, such information will not be disclosed or used by FNF for purposes that are incompatible with the purpose(s) for which it was originally collected or for which you subsequently gave authorization unless you affirmatively consent to such disclosure and use.

You may opt out of online behavioral advertising by following the instructions set forth above under the above section "Additional Ways That Information Is Collected Through the Website," subsection "Third Party Opt Out."

#### **Access and Correction**

To access your Personal Information in the possession of FNF and correct inaccuracies of that information in our records, please contact us in the manner specified at the end of this Privacy Notice. We ask individuals to identify themselves and the information requested to be accessed and amended before processing such requests, and we may decline to process requests in limited circumstances as permitted by applicable privacy legislation.

#### **Your California Privacy Rights**

Under California's "Shine the Light" law, California residents who provide certain personally identifiable information in connection with obtaining products or services for personal, family or household use are entitled to request and obtain from us once a calendar year information about the customer information we shared, if any, with other businesses for their own direct marketing uses. If applicable, this information would include the categories of customer information and the names and addresses of those businesses with which we shared customer information for the immediately prior calendar year (e.g., requests made in 2015 will receive information regarding 2014 sharing activities).

To obtain this information on behalf of FNF, please send an email message to [privacy@fnf.com](mailto:privacy@fnf.com) with "Request for California Privacy Information" in the subject line and in the body of your message. We will provide the requested information to you at your email address in response.

Please be aware that not all information sharing is covered by the "Shine the Light" requirements and only information on covered sharing will be included in our response.

Additionally, because we may collect your Personal Information from time to time, California's Online Privacy Protection Act requires us to disclose how we respond to "do not track" requests and other similar mechanisms. Currently, our policy is that we do not recognize "do not track" requests from Internet browsers and similar devices.

#### **FNF Compliance with California Online Privacy Protection Act**

For some websites which FNF or one of its companies owns, such as the Customer CareNet ("CCN"), FNF is acting as a third party service provider to a mortgage loan servicer. In those instances, we may collect certain information on behalf of that mortgage loan servicer for fulfilling a service to that mortgage loan servicer. For example, you may access CCN to complete a transaction with your mortgage loan servicer. During this transaction, the information which we may collect on behalf of the mortgage loan servicer is as follows:

- First and Last Name
- Property Address
- User Name
- Password
- Loan Number
- Social Security Number - masked upon entry
- Email Address
- Three Security Questions and Answers
- IP Address

The information you submit is then transferred to your mortgage loan servicer by way of CCN.

**The mortgage loan servicer is responsible for taking action or making changes to any consumer information submitted through this website. For example, if you believe that your payment or user information is incorrect, you must contact your mortgage loan servicer.**

CCN does not share consumer information with third parties, other than those with which the mortgage loan servicer has contracted to interface with the CCN application.

All sections of the FNF Privacy Notice apply to your interaction with CCN, except for the sections titled Choices with Your Personal Information and Access and Correction. If you have questions regarding the choices you have with regard to your personal information or how to access or correct your personal information, you should contact your mortgage loan servicer.

#### **No Representations or Warranties**

By providing this Privacy Notice, Fidelity National Financial, Inc. does not make any representations or warranties whatsoever concerning any products or services provided to you by its majority-owned subsidiaries. In addition, you also expressly agree that your use of the Website is at your own risk. Any services provided to you by Fidelity National Financial, Inc. and/or the Website are provided "as is" and "as available" for your use, without representations or warranties of any kind, either express or implied, unless such warranties are legally incapable of exclusion. Fidelity National Financial, Inc. makes no representations or warranties that any services provided to you by it or the Website, or any services offered in connection with the Website are or will remain uninterrupted or error-free, that defects will be corrected, or that the web pages on or accessed through the Website, or the servers used in connection with the Website, are or will remain free from any viruses, worms, time bombs, drop dead devices, Trojan horses or other harmful components. Any liability of Fidelity National Financial, Inc. and your exclusive remedy with respect to the use of any product or service provided by Fidelity National Financial, Inc. including on or accessed through the Website, will be the re-performance of such service found to be inadequate.

#### **Your Consent To This Privacy Notice**

By submitting Personal Information to FNF, you consent to the collection and use of information by us as specified above or as we otherwise see fit, in compliance with this Privacy Notice, unless you inform us otherwise by means of the procedure identified below. If we decide to change this Privacy Notice, we will make an effort to post those changes on the Website. Each time we collect information from you following any amendment of this Privacy Notice will signify your assent to and acceptance of its revised terms for all previously collected information and information collected from you in the future. We may use comments, information or feedback that you may submit in any manner that we may choose without notice or compensation to you.

If you have additional questions or comments, please let us know by sending your comments or requests to:

Fidelity National Financial, Inc.  
601 Riverside Avenue  
Jacksonville, Florida 32204  
Attn: Chief Privacy Officer  
(888) 934-3354  
[privacy@fnf.com](mailto:privacy@fnf.com)

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EFFECTIVE AS OF: MAY 1, 2015

## EXHIBIT ONE

### 2006 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
  - the occupancy, use, or enjoyment of the Land;
  - the character, dimensions or location of any improvement erected on the land;
  - the subdivision of land; or
  - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
  - created, suffered, assumed or agreed to by the Insured Claimant;
  - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
  - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
  - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with the applicable doing-business laws of the state where the Land is situated.
  - Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
  - Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
    - a fraudulent conveyance or fraudulent transfer, or
    - a preferential transfer for any reason not stated in the Covered Risk 13(b) of this policy.
  - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

#### SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

### 2006 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
  - the occupancy, use, or enjoyment of the Land;
  - the character, dimensions or location of any improvement erected on the land;
  - the subdivision of land; or
  - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
  - created, suffered, assumed or agreed to by the Insured Claimant;
  - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
  - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
  - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
    - a fraudulent conveyance or fraudulent transfer, or
    - a preferential transfer for any reason not stated in the Covered Risk 9 of this policy.
  - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

#### SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

**FIDELITY NATIONAL FINANCIAL  
PRIVACY NOTICE  
Effective: May 1, 2015**

**Order No.:** 45141521191--LM

Fidelity National Financial, Inc. and its majority-owned subsidiary companies providing real estate- and loan-related services (collectively, "FNF", "our" or "we") respect and are committed to protecting your privacy. This Privacy Notice lets you know how and for what purposes your Personal Information (as defined herein) is being collected, processed and used by FNF. We pledge that we will take reasonable steps to ensure that your Personal Information will only be used in ways that are in compliance with this Privacy Notice. The provision of this Privacy Notice to you does not create any express or implied relationship, or create any express or implied duty or other obligation, between Fidelity National Financial, Inc. and you. See also **No Representations or Warranties** below.

This Privacy Notice is only in effect for any generic information and Personal Information collected and/or owned by FNF, including collection through any FNF website and any online features, services and/or programs offered by FNF (collectively, the "Website"). This Privacy Notice is not applicable to any other web pages, mobile applications, social media sites, email lists, generic information or Personal Information collected and/or owned by any entity other than FNF.

**How Information is Collected**

The types of personal information FNF collects may include, among other things (collectively, "Personal Information"): (1) contact information (e.g., name, address, phone number, email address); (2) demographic information (e.g., date of birth, gender marital status); (3) Internet protocol (or IP) address or device ID/UDID; (4) social security number (SSN), student ID (SIN), driver's license, passport, and other government ID numbers; (5) financial account information; and (6) information related to offenses or criminal convictions.

In the course of our business, we may collect Personal Information about you from the following sources:

- Applications or other forms we receive from you or your authorized representative;
- Information we receive from you through the Website;
- Information about your transactions with or services performed by us, our affiliates, or others; and
- From consumer or other reporting agencies and public records maintained by governmental entities that we either obtain directly from those entities, or from our affiliates or others.

**Additional Ways Information is Collected Through the Website**

**Browser Log Files.** Our servers automatically log each visitor to the Website and collect and record certain information about each visitor. This information may include IP address, browser language, browser type, operating system, domain names, browsing history (including time spent at a domain, time and date of your visit), referring/exit web pages and URLs, and number of clicks. The domain name and IP address reveal nothing personal about the user other than the IP address from which the user has accessed the Website.

**Cookies.** From time to time, FNF or other third parties may send a "cookie" to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive and that can be re-sent to the serving website on subsequent visits. A cookie, by itself, cannot read other data from your hard disk or read other cookie files already on your computer. A cookie, by itself, does not damage your system. We, our advertisers and other third parties may use cookies to identify and keep track of, among other things, those areas of the Website

and third party websites that you have visited in the past in order to enhance your next visit to the Website. You can choose whether or not to accept cookies by changing the settings of your Internet browser, but some functionality of the Website may be impaired or not function as intended. See the Third Party Opt Out section below.

**Web Beacons.** Some of our web pages and electronic communications may contain images, which may or may not be visible to you, known as Web Beacons (sometimes referred to as "clear gifs"). Web Beacons collect only limited information that includes a cookie number; time and date of a page view; and a description of the page on which the Web Beacon resides. We may also carry Web Beacons placed by third party advertisers. These Web Beacons do not carry any Personal Information and are only used to track usage of the Website and activities associated with the Website. See the Third Party Opt Out section below.

**Unique Identifier.** We may assign you a unique internal identifier to help keep track of your future visits. We may use this information to gather aggregate demographic information about our visitors, and we may use it to personalize the information you see on the Website and some of the electronic communications you receive from us. We keep this information for our internal use, and this information is not shared with others.

**Third Party Opt Out.** Although we do not presently, in the future we may allow third-party companies to serve advertisements and/or collect certain anonymous information when you visit the Website. These companies may use non-personally identifiable information (e.g., click stream information, browser type, time and date, subject of advertisements clicked or scrolled over) during your visits to the Website in order to provide advertisements about products and services likely to be of greater interest to you. These companies typically use a cookie or third party Web Beacon to collect this information, as further described above. Through these technologies, the third party may have access to and use non-personalized information about your online usage activity.

You can opt-out of certain online behavioral services through any one of the ways described below. After you opt-out, you may continue to receive advertisements, but those advertisements will no longer be as relevant to you.

- You can opt-out via the Network Advertising Initiative industry opt-out at <http://www.networkadvertising.org/>.
- You can opt-out via the Consumer Choice Page at [www.aboutads.info](http://www.aboutads.info).
- For those in the U.K., you can opt-out via the IAB UK's industry opt-out at [www.youronlinechoices.com](http://www.youronlinechoices.com).
- You can configure your web browser (Chrome, Firefox, Internet Explorer, Safari, etc.) to delete and/or control the use of cookies.

More information can be found in the Help system of your browser. Note: If you opt-out as described above, you should not delete your cookies. If you delete your cookies, you will need to opt-out again.

**Use of Personal Information**

Information collected by FNF is used for three main purposes:

- To provide products and services to you or one or more third party service providers (collectively, "Third Parties") who are obtaining services on your behalf or in connection with a transaction involving you.
- To improve our products and services that we perform for you or for Third Parties.
- To communicate with you and to inform you about FNF's, FNF's affiliates and third parties' products and services.

### **When Information Is Disclosed By FNF**

We may provide your Personal Information (excluding information we receive from consumer or other credit reporting agencies) to various individuals and companies, as permitted by law, without obtaining your prior authorization. Such laws do not allow consumers to restrict these disclosures. Disclosures may include, without limitation, the following:

- To agents, brokers, representatives, or others to provide you with services you have requested, and to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure in connection with an insurance transaction;
- To third-party contractors or service providers who provide services or perform marketing services or other functions on our behalf;
- To law enforcement or other governmental authority in connection with an investigation, or civil or criminal subpoenas or court orders; and/or
- To lenders, lien holders, judgment creditors, or other parties claiming an encumbrance or an interest in title whose claim or interest must be determined, settled, paid or released prior to a title or escrow closing.

In addition to the other times when we might disclose information about you, we might also disclose information when required by law or in the good-faith belief that such disclosure is necessary to: (1) comply with a legal process or applicable laws; (2) enforce this Privacy Notice; (3) respond to claims that any materials, documents, images, graphics, logos, designs, audio, video and any other information provided by you violates the rights of third parties; or (4) protect the rights, property or personal safety of FNF, its users or the public.

We maintain reasonable safeguards to keep the Personal Information that is disclosed to us secure. We provide Personal Information and non-Personal Information to our subsidiaries, affiliated companies, and other businesses or persons for the purposes of processing such information on our behalf and promoting the services of our trusted business partners, some or all of which may store your information on servers outside of the United States. We require that these parties agree to process such information in compliance with our Privacy Notice or in a similar, industry-standard manner, and we use reasonable efforts to limit their use of such information and to use other appropriate confidentiality and security measures. The use of your information by one of our trusted business partners may be subject to that party's own Privacy Notice. We do not, however, disclose information we collect from consumer or credit reporting agencies with our affiliates or others without your consent, in conformity with applicable law, unless such disclosure is otherwise permitted by law.

We also reserve the right to disclose Personal Information and/or non-Personal Information to take precautions against liability, investigate and defend against any third-party claims or allegations, assist government enforcement agencies, protect the security or integrity of the Website, and protect the rights, property, or personal safety of FNF, our users or others.

We reserve the right to transfer your Personal Information, as well as any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets. We also cannot make any representations regarding the use or transfer of your Personal Information or other information that we may have in the event of our bankruptcy, reorganization, insolvency, receivership or an assignment for the benefit of creditors, and you expressly agree and consent to the use and/or transfer of your Personal Information or other information in connection with a sale or transfer of some or all of our assets in any of the above described proceedings. Furthermore, we cannot and will not be responsible for

any breach of security by any third parties or for any actions of any third parties that receive any of the information that is disclosed to us.

### **Information From Children**

We do not collect Personal Information from any person that we know to be under the age of thirteen (13). Specifically, the Website is not intended or designed to attract children under the age of thirteen (13). You affirm that you are either more than 18 years of age, or an emancipated minor, or possess legal parental or guardian consent, and are fully able and competent to enter into the terms, conditions, obligations, affirmations, representations, and warranties set forth in this Privacy Notice, and to abide by and comply with this Privacy Notice. In any case, you affirm that you are over the age of 13, as **THE WEBSITE IS NOT INTENDED FOR CHILDREN UNDER 13 THAT ARE UNACCOMPANIED BY HIS OR HER PARENT OR LEGAL GUARDIAN.**

Parents should be aware that FNF's Privacy Notice will govern our use of Personal Information, but also that information that is voluntarily given by children – or others – in email exchanges, bulletin boards or the like may be used by other parties to generate unsolicited communications. FNF encourages all parents to instruct their children in the safe and responsible use of their Personal Information while using the Internet.

### **Privacy Outside the Website**

The Website may contain various links to other websites, including links to various third party service providers. FNF is not and cannot be responsible for the privacy practices or the content of any of those other websites. Other than under agreements with certain reputable organizations and companies, and except for third party service providers whose services either we use or you voluntarily elect to utilize, we do not share any of the Personal Information that you provide to us with any of the websites to which the Website links, although we may share aggregate, non-Personal Information with those other third parties. Please check with those websites in order to determine their privacy policies and your rights under them.

### **European Union Users**

If you are a citizen of the European Union, please note that we may transfer your Personal Information outside the European Union for use for any of the purposes described in this Privacy Notice. By providing FNF with your Personal Information, you consent to both our collection and such transfer of your Personal Information in accordance with this Privacy Notice.

### **Choices With Your Personal Information**

Whether you submit Personal Information to FNF is entirely up to you. You may decide not to submit Personal Information, in which case FNF may not be able to provide certain services or products to you.

You may choose to prevent FNF from disclosing or using your Personal Information under certain circumstances ("opt out"). You may opt out of any disclosure or use of your Personal Information for purposes that are incompatible with the purpose(s) for which it was originally collected or for which you subsequently gave authorization by notifying us by one of the methods at the end of this Privacy Notice. Furthermore, even where your Personal Information is to be disclosed and used in accordance with the stated purposes in this Privacy Notice, you may elect to opt out of such disclosure to and use by a third party that is not acting as an agent of FNF. As described above, there are some uses from which you cannot opt-out.

Please note that opting out of the disclosure and use of your Personal Information as a prospective employee may prevent you from being hired as an employee by FNF to the extent that provision of your Personal Information is required to apply for an open position.



If FNF collects Personal Information from you, such information will not be disclosed or used by FNF for purposes that are incompatible with the purpose(s) for which it was originally collected or for which you subsequently gave authorization unless you affirmatively consent to such disclosure and use.

You may opt out of online behavioral advertising by following the instructions set forth above under the above section "Additional Ways That Information Is Collected Through the Website," subsection "Third Party Opt Out."

#### **Access and Correction**

To access your Personal Information in the possession of FNF and correct inaccuracies of that information in our records, please contact us in the manner specified at the end of this Privacy Notice. We ask individuals to identify themselves and the information requested to be accessed and amended before processing such requests, and we may decline to process requests in limited circumstances as permitted by applicable privacy legislation.

#### **Your California Privacy Rights**

Under California's "Shine the Light" law, California residents who provide certain personally identifiable information in connection with obtaining products or services for personal, family or household use are entitled to request and obtain from us once a calendar year information about the customer information we shared, if any, with other businesses for their own direct marketing uses. If applicable, this information would include the categories of customer information and the names and addresses of those businesses with which we shared customer information for the immediately prior calendar year (e.g., requests made in 2015 will receive information regarding 2014 sharing activities).

To obtain this information on behalf of FNF, please send an email message to [privacy@fnf.com](mailto:privacy@fnf.com) with "Request for California Privacy Information" in the subject line and in the body of your message. We will provide the requested information to you at your email address in response.

Please be aware that not all information sharing is covered by the "Shine the Light" requirements and only information on covered sharing will be included in our response.

Additionally, because we may collect your Personal Information from time to time, California's Online Privacy Protection Act requires us to disclose how we respond to "do not track" requests and other similar mechanisms. Currently, our policy is that we do not recognize "do not track" requests from Internet browsers and similar devices.

#### **FNF Compliance with California Online Privacy Protection Act**

For some websites which FNF or one of its companies owns, such as the Customer CareNet ("CCN"), FNF is acting as a third party service provider to a mortgage loan servicer. In those instances, we may collect certain information on behalf of that mortgage loan servicer for fulfilling a service to that mortgage loan servicer. For example, you may access CCN to complete a transaction with your mortgage loan servicer. During this transaction, the information which we may collect on behalf of the mortgage loan servicer is as follows:

- First and Last Name
- Property Address
- User Name
- Password
- Loan Number
- Social Security Number - masked upon entry
- Email Address
- Three Security Questions and Answers
- IP Address

The information you submit is then transferred to your mortgage loan servicer by way of CCN.

**The mortgage loan servicer is responsible for taking action or making changes to any consumer information submitted through this website. For example, if you believe that your payment or user information is incorrect, you must contact your mortgage loan servicer.**

CCN does not share consumer information with third parties, other than those with which the mortgage loan servicer has contracted to interface with the CCN application.

All sections of the FNF Privacy Notice apply to your interaction with CCN, except for the sections titled Choices with Your Personal Information and Access and Correction. If you have questions regarding the choices you have with regard to your personal information or how to access or correct your personal information, you should contact your mortgage loan servicer.

#### **No Representations or Warranties**

By providing this Privacy Notice, Fidelity National Financial, Inc. does not make any representations or warranties whatsoever concerning any products or services provided to you by its majority-owned subsidiaries. In addition, you also expressly agree that your use of the Website is at your own risk. Any services provided to you by Fidelity National Financial, Inc. and/or the Website are provided "as is" and "as available" for your use, without representations or warranties of any kind, either express or implied, unless such warranties are legally incapable of exclusion. Fidelity National Financial, Inc. makes no representations or warranties that any services provided to you by it or the Website, or any services offered in connection with the Website are or will remain uninterrupted or error-free, that defects will be corrected, or that the web pages on or accessed through the Website, or the servers used in connection with the Website, are or will remain free from any viruses, worms, time bombs, drop dead devices, Trojan horses or other harmful components. Any liability of Fidelity National Financial, Inc. and your exclusive remedy with respect to the use of any product or service provided by Fidelity National Financial, Inc. including on or accessed through the Website, will be the re-performance of such service found to be inadequate.

#### **Your Consent To This Privacy Notice**

By submitting Personal Information to FNF, you consent to the collection and use of information by us as specified above or as we otherwise see fit, in compliance with this Privacy Notice, unless you inform us otherwise by means of the procedure identified below. If we decide to change this Privacy Notice, we will make an effort to post those changes on the Website. Each time we collect information from you following any amendment of this Privacy Notice will signify your assent to and acceptance of its revised terms for all previously collected information and information collected from you in the future. We may use comments, information or feedback that you may submit in any manner that we may choose without notice or compensation to you.

If you have additional questions or comments, please let us know by sending your comments or requests to:

Fidelity National Financial, Inc.  
601 Riverside Avenue  
Jacksonville, Florida 32204  
Attn: Chief Privacy Officer  
(888) 934-3354  
[privacy@fnf.com](mailto:privacy@fnf.com)

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EFFECTIVE AS OF: MAY 1, 2015



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April 7, 2017

Gary Yao  
Mackenzie Design  
Logan Building  
500 Union St. Suite 545  
Seattle WA 98101

Re: Majestic Industrial Building

Dear Gary;

Thank you, for sending us the site plans for this proposed building in Tualatin.

My Company: Republic Services of Clackamas & Washington Counties has the franchise agreement to service this area with the City of Tualatin. We will provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

The location of the two enclosures looks good. I like the access and capability of my trucks not having to back-up for service. We can service them and drive around for exiting. I do have a few points that I would like to see changed though:

1. Rotate the enclosures so the truck can drive into them and connect to the containers. Current location means limiting size of containers for manual roll-out
2. No center-post with 2 gates to open and be able to lock @ 120 degrees.
3. Width is good but 12 feet deep for carts to recycle glass
4. Opening on side to roll carts out and ease of access for tenants

Thanks Gary for your help and concerns for our services prior to this project being developed. Please send me final site plans for approval.

Sincerely,

A handwritten signature in black ink that reads "Frank J. Lonergan". The signature is fluid and cursive.

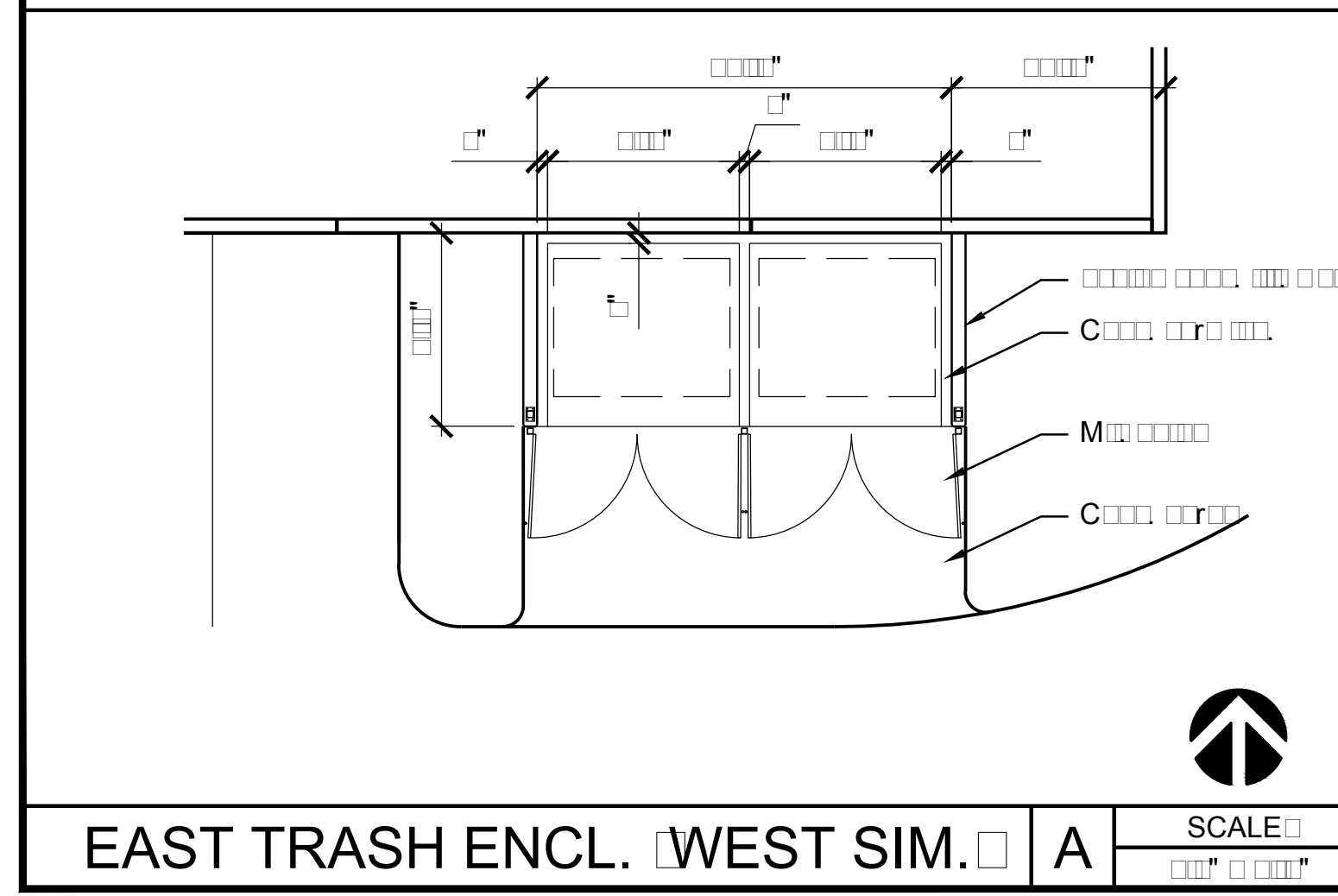
Frank J. Lonergan  
Operations Manager  
Republic Services Inc.



THE DESIGN OF THIS SITE PLAN IS THE PROPERTY OF COMMERCE CONSTRUCTION CO., L.P. ANY REUSE OR REPRODUCTION OF THIS SITE PLAN WITHOUT THE WRITTEN CONSENT OF COMMERCE CONSTRUCTION CO., L.P. IS STRICTLY PROHIBITED. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED.

REVISIONS	DATE	BY

COMMERCE CONSTRUCTION CO., L.P.  
 1000 N. TUALATIN AVENUE, SUITE 100  
 TUALATIN, OREGON 97148  
 TEL: 503.261.1111 FAX: 503.261.1112



Bldg	Site Area (Acres)	Bldg Area (SF)	Bldg Coverage (%)	Landscape Coverage (SF)	Landscape Coverage (%) (15% Req'd)	Parking Ratio Type	Parking Ratio Minimum Warehouse (Per 1,000 sf)	Parking Ratio Maximum Zone B Warehouse (Per 1,000 sf)	Car Parking Minimum Zone "B" Warehouse (9'x19')	Car Parking Maximum Zone "B" Warehouse (9'x19')	Parking Ratio Minimum Office 10% (Per 1,000 sf)	Parking Ratio Maximum Office 10% (Per 1,000 sf)	Car Parking Minimum Zone Office 10% (9'x19')	Car Parking Maximum Zone Office 10% (9'x19')	Total Car Parking Required Minimum	Total Car Parking Required Maximum Zone "B"	Car Parking Provided (9'x19')	Bike Parking ratio Warehouse	Bicycle Parking Required Warehouse	Bike Parking ratio Office	Bicycle Parking Required Office	Bicycle Parking Provided
Bldg 1	11.5421	229,146	45.58%		0.00%	Warehouse / Office	0.30	0.50	62	103	2.70	4.10	62	94	124	197	137	0.10	21	0.50	11	12

EAST TRASH ENCL. WEST SIM. A SCALE: 1/8" = 1'-0"

EXHIBIT A SITE PLAN A SCALE: 1/8" = 1'-0"

SITE PLAN  
 PROPOSED INDUSTRIAL BUILDING  
 TUALATIN, OREGON

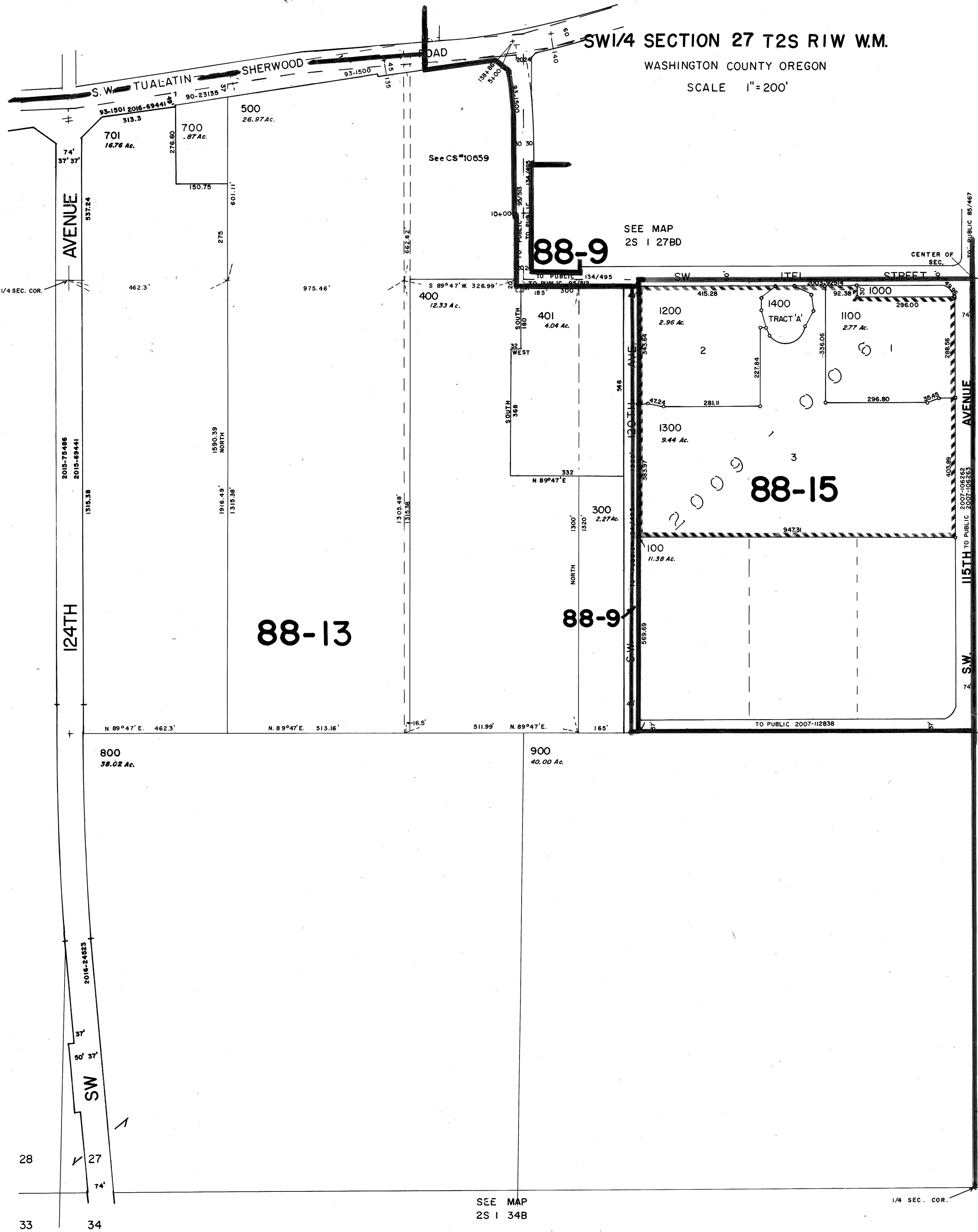
DRAWN BY DATE  
 SDG

CCC OB NO.  
 SHEET NO.  
 A

SW 1/4 SECTION 27 T2S RIW W.M.

WASHINGTON COUNTY OREGON

SCALE 1"=200'



SEE MAP  
2S 1 28D

88-13

88-9

88-15

Tax Lots CANCELLED  
600,200,900-A1,

SEE MAP  
2S 1 27D

FOR ASSESSMENT  
PURPOSES ONLY.  
DO NOT RELY ON  
FOR ANY OTHER USE.

SEE MAP  
2S 1 34B

TUALATIN  
2S 1 27C

TRACED DB  
9/11/59



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REVISIONS:

NO. REVISIONS REVISION DATE

SHEET TITLE:  
CIVIL  
COVER  
SHEET

DRAWN BY:

CHECKED BY:

SHEET:

C0.0

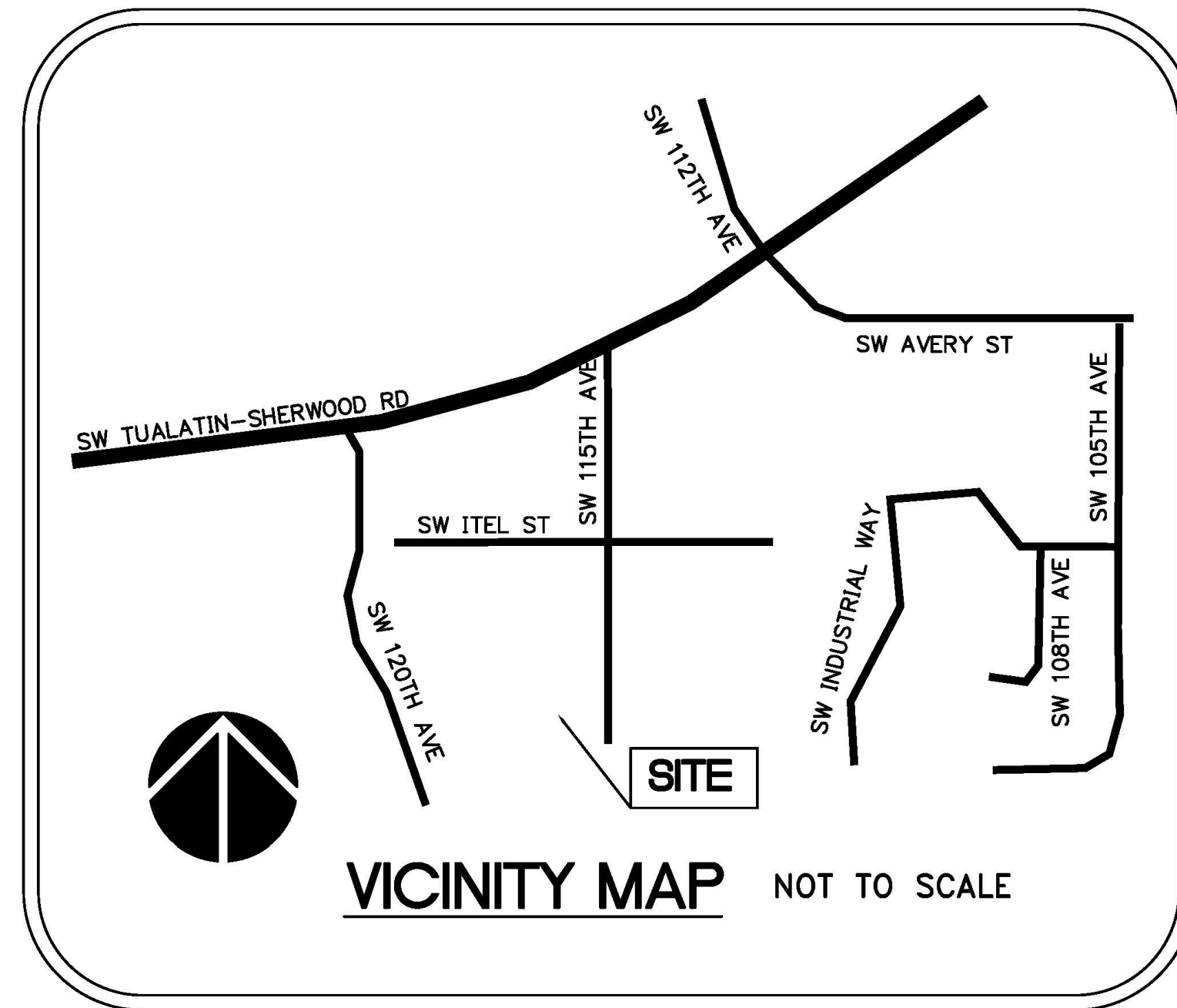
JOB NO. 2160026.00

REVISED ARCHITECTURAL REVIEW: 5-11-17

# MAJESTIC BLDG 1

## SW 115TH AVE

### TUALATIN, OR



#### OWNERS

COMMERCE CONSTRUCTION CO LP

13191 Crossroads Parkway North  
City of Industry, CA 91746  
Phone: (503) 522-0453

Contact: Ali Zare  
Contact e-mail: Azare@commercecp.com

#### CIVIL ENGINEER

MACKENZIE

HUDSON BUILDING  
101 E. 6TH STREET Street, Suite 200  
Vancouver, Washington 97214  
P.O. Box 14310  
Portland OR 97293

Phone: (503) 224-9560  
Fax: (503) 228-1285

Civil Contact: Bob Frenness  
Civil e-mail: rff@mckenze.com

#### LANDSCAPE ARCHITECT/PLANNING

MACKENZIE

RiverEast Center  
1515 SE Water Avenue, Suite 100  
Portland, Oregon 97214  
P.O. Box 14310  
Portland OR 97293

Phone: (503) 224-9560  
Fax: (503) 228-1285

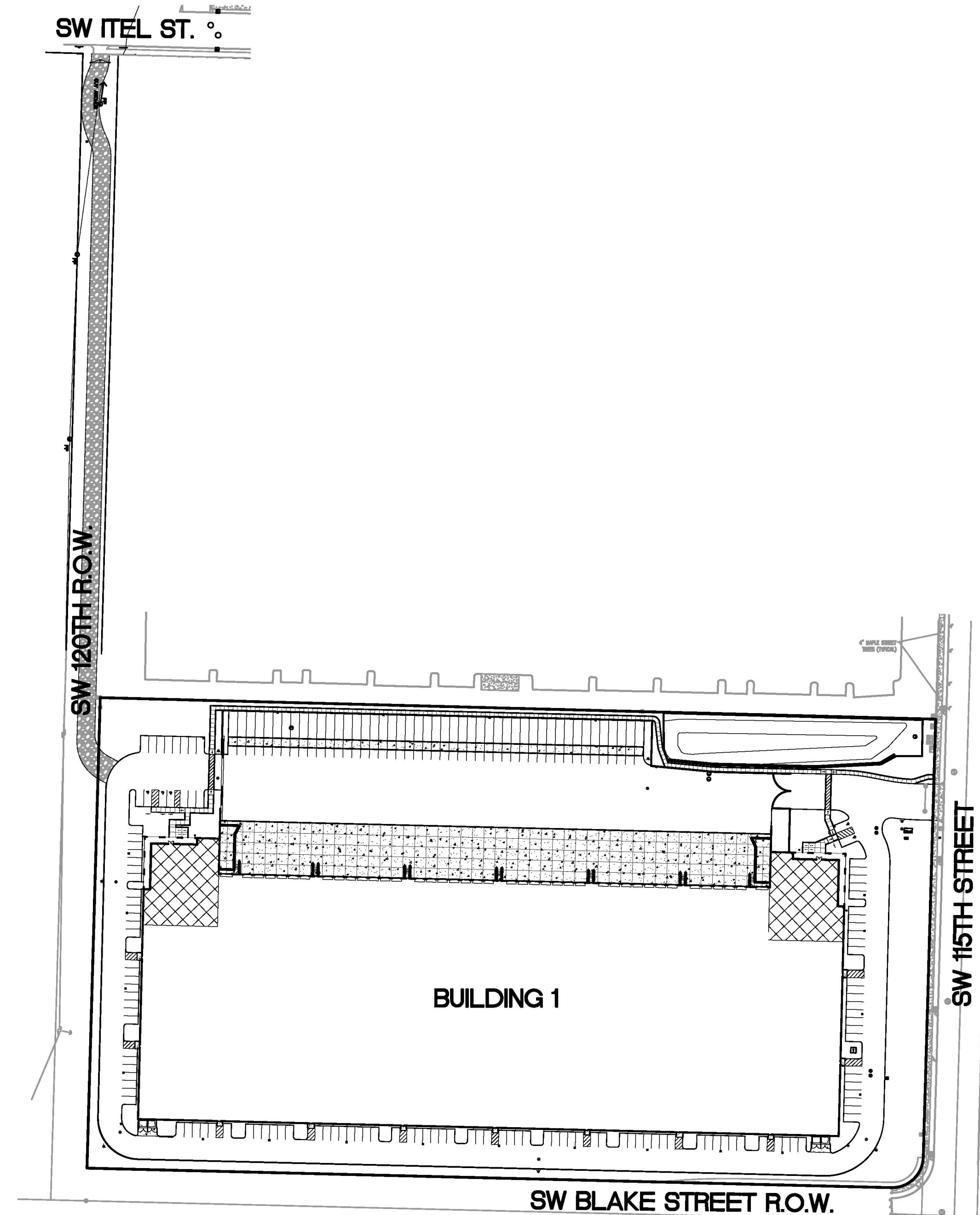
Landscape Architectural Contact: Brad Theurer  
Landscape e-mail: BTheurer@mckenze.com  
Planning Contact: Suzannah Stanley  
Planning e-mail: SStanley@mckenze.com

#### SHEET INDEX

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C2.1 SITE PLAN
- C2.1A FIRE PROTECTION PLAN
- C2.2 GRADING PLAN
- C2.3 GRADING ENLARGEMENT DETAILS
- C2.3A UTILITY PLAN
- C8.1 SITE DETAILS
- C8.2 SITE DETAILS
- C8.3 SITE DETAILS
- C8.4 SITE DETAILS
- EC1.0 SEDIMENT AND EROSION CONTROL COVER SHEET
- EC2.0 CLEARING AND DEMOLITION EROSION AND SEDIMENT CONTROL PLAN
- EC3.0 GRADING AND UTILITY CONSTRUCTION EROSION CONTROL PLAN
- EC3.1 MATCHLINE GRADING AND UTILITY CONSTRUCTION EROSION CONTROL PLAN
- EC4.0 EROSION CONTROL DETAILS
- L2.0 LANDSCAPE NOTES AND SCHEDULE
- L2.1 OVERALL PLANTING PLAN
- L2.2 PLANTING PLAN
- L2.3 PLANTING PLAN
- L2.4 PLANTING PLAN
- L2.5 PLANTING PLAN
- LB.1 PLANTING DETAILS
- LB.2 IRRIGATION DETAILS

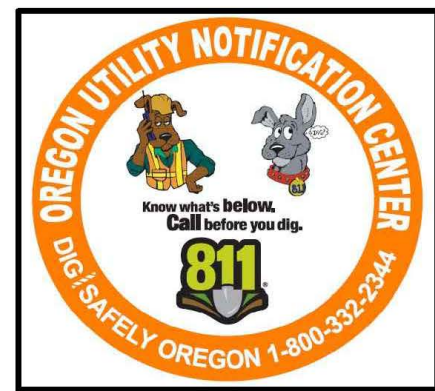
#### LIST OF ABBREVIATIONS

TSB	TRAFFIC SIGNAL BOX	GL	GUTTER LINE
AC	ASPHALT CONCRETE	TC	TOP OF CURB
C.O.T.	CITY OF TUALATIN	MH	MANHOLE
℄	CENTERLINE	GUT	GUTTER
R/W	RIGHT OF WAY	TYP	TYPICAL
CB	CATCH BASIN	IE	INVERT ELEVATION
STD	STANDARD	SPEC	SPECIFICATION
TC	TOP OF CURB	EL	ELEVATION
CB	INLET	℄	PROPERTY LINE
EX	EXISTING	DET	DETAIL
CWS	CLEAN WATER SERVICES		



SITE MAP  
1"=100'

NOTICE TO EXCAVATORS:  
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.  
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 OR 811.)



UNDERGROUND UTILITY  
TELEPHONE NUMBERS

NW NATURAL GAS  
M-F 7am-6pm 503-226-4211 Ext.3047  
AFTER HOURS 503-226-4211  
PGE 503-570-4420  
QWEST 1-800-573-1311  
VERIZON 503-643-2016  
COMCAST 503-372-1384

#### BENCH MARK

- 1) THE FIELD SURVEY FOR THIS MAP WAS COMPLETED ON MARCH 21, 2017.
- 2) ELEVATIONS AND CONTOURS ARE BASED ON GPS MEASUREMENTS AND ARE BASED ON THE NAVD 1988 DATUM. ELEVATIONS CAN BE CONVERTED TO NGVD 1929 BY ADDING 3.47 FEET. THE CONVERSION FACTOR WAS CALCULATED USING THE NATIONAL GEODETIC SURVEY VERTON PROGRAM.
- 3) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD(83).



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REVISIONS:

REVISION	DATE	REVISIONS	REVISION CLOSING DATE

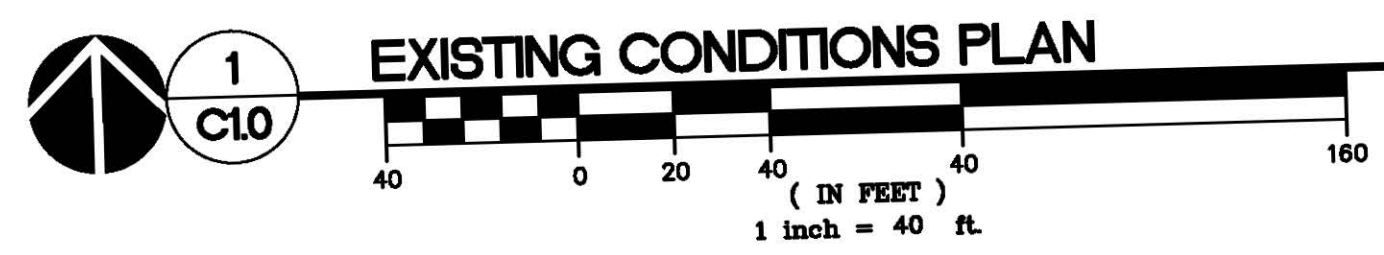
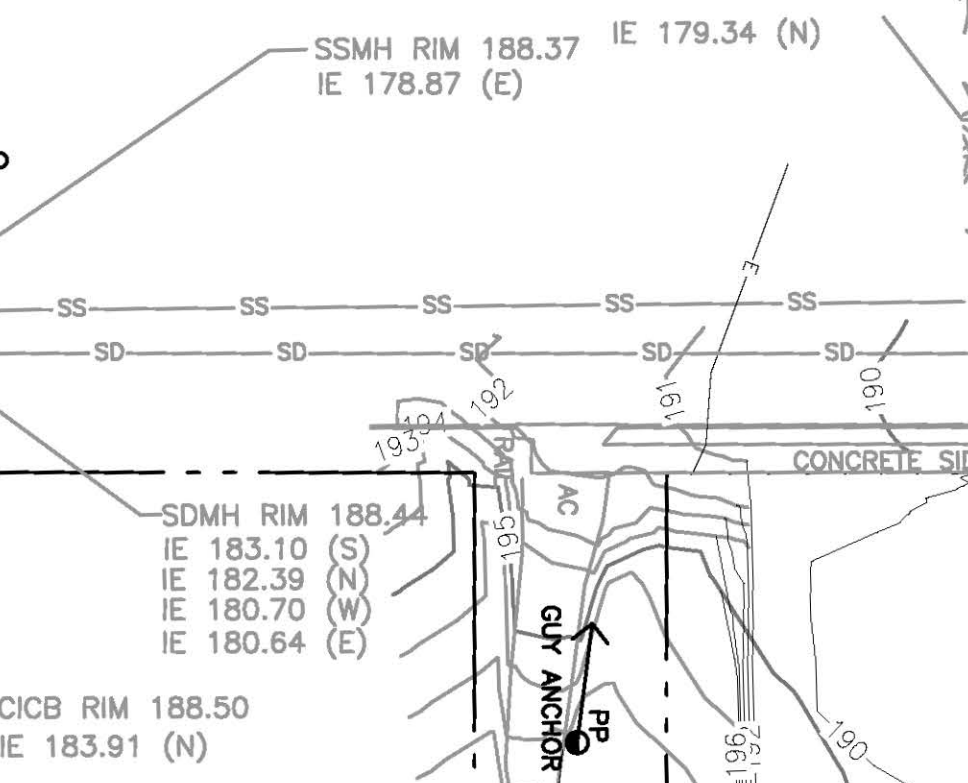
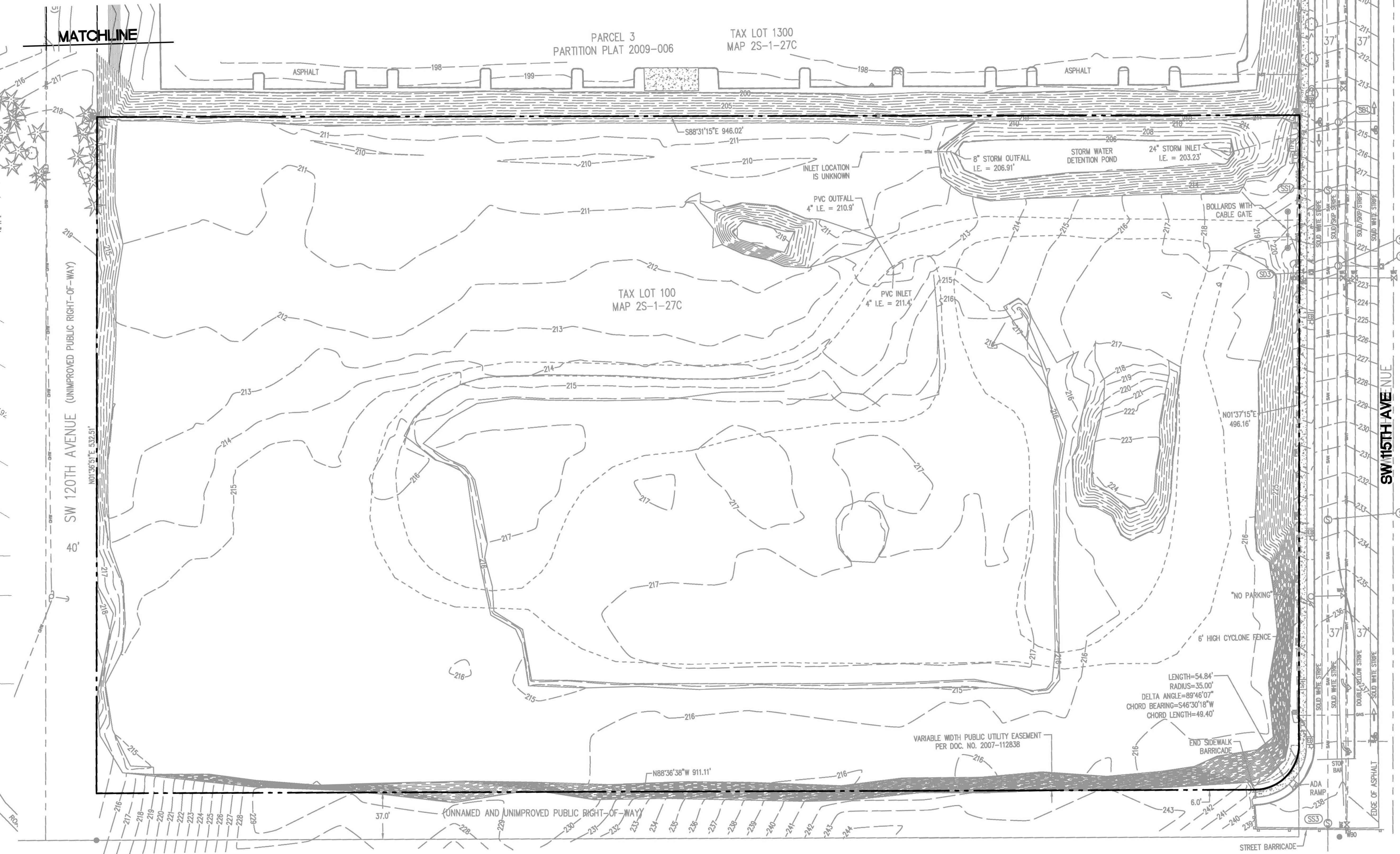
SHEET TITLE:  
**EXISTING  
CONDITIONS  
PLAN**

DRAWN BY:  
CHECKED BY:  
SHEET:

**C1.0**

JOB NO. **2160026.00**

REVISED ARCHITECTURAL REVIEW: 5-11-17



- NOTES**
- 1) THE FIELD SURVEY FOR THIS MAP WAS COMPLETED ON MARCH 21, 2017 BY NORTHWEST SURVEYING INC.
  - 2) ELEVATIONS AND CONTOURS ARE BASED ON GPS MEASUREMENTS AND ARE BASED ON THE NAVD 1988 DATUM.
  - 3) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD(83).
  - 4) THE RIGHT-OF-WAY WIDTHS ARE BASED ON MULTIPLE SURVEYS, THE COUNTY ASSESSOR'S MAP AND THE DEDICATION DEED.
  - 5) THE EASEMENT SHOWN ON THIS MAP IS BASED ON THE TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE COMPANY OF OREGON, WITH ORDER NUMBER 45141521191 AND AN EFFECTIVE DATE OF FEBRUARY 8, 2016 AT 8:00 AM.
  - 6) THE UNDERGROUND UTILITIES ARE BASED ON THE MARKINGS PER LOCATE TICKET NUMBERS 17007677 AND 17016129.
  - 7) THE FIELD SURVEY FOR THE FIRE ACCESS ROAD AREA WAS COMPLETED ON JULY 11, 2000 BY WEDDLE AND ASSOC., INC.

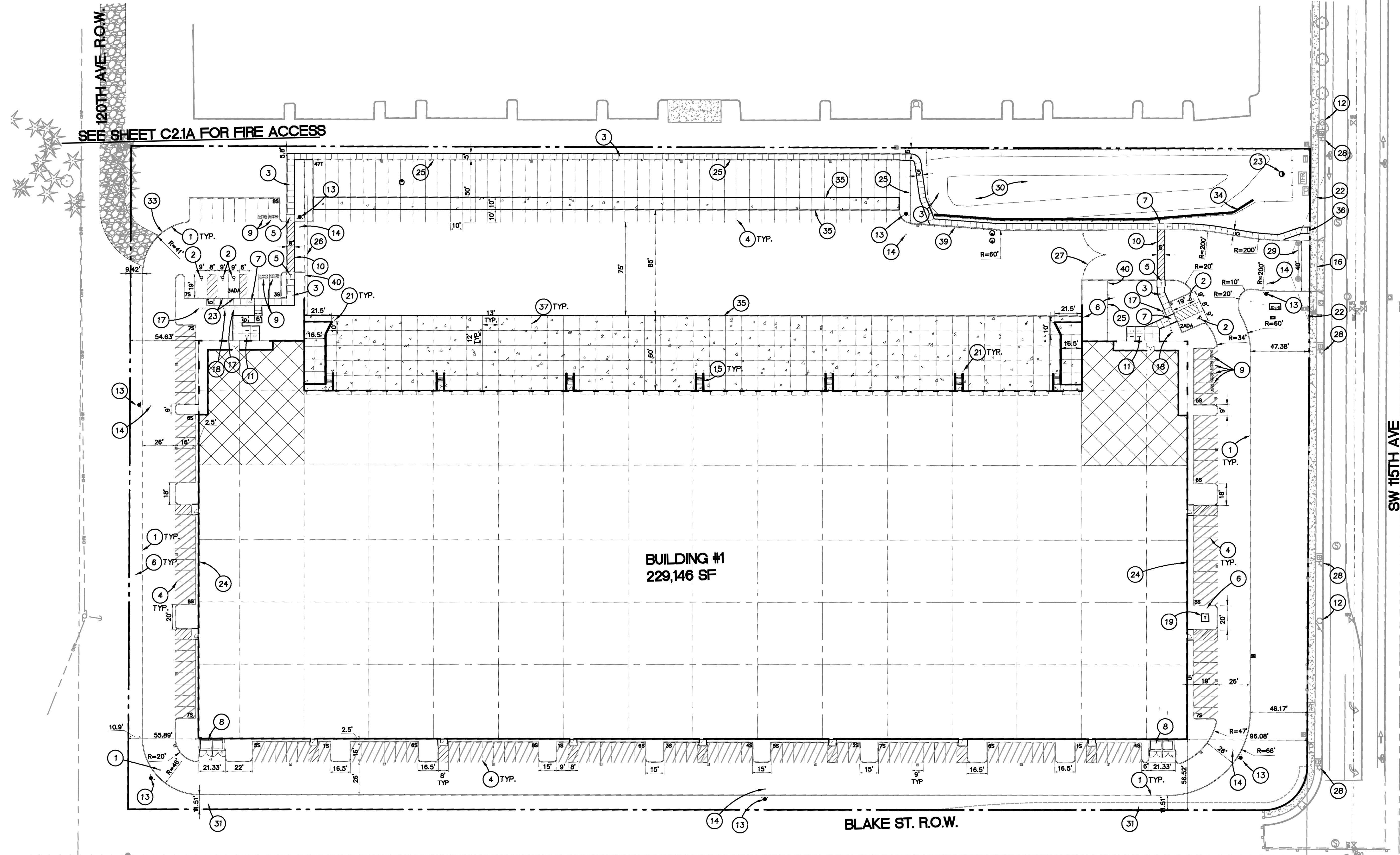
**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- |   |   |
|---|---|
| <b>STORM INFORMATION</b>  | <b>SAN. INFORMATION</b>   |
| <p>(SD1) MANHOLE<br/>RIM = 214.86'<br/>12" I.E. IN (E) = 202.0'<br/>12" I.E. IN (S) = 200.9'<br/>24" I.E. IN (SW) = 200.9'<br/>24" I.E. OUT (N) = 200.0'</p> <p>(SD2) MANHOLE<br/>RIM = 222.61'<br/>10" I.E. IN (W)<br/>10" IN (E)<br/>12" OUT (N)<br/>FLOWLINE I.E. = 217.6'</p> <p>(SD3) CURB INLET<br/>RIM = 222.99'<br/>INLET ELEV. = 222.4'<br/>10" I.E. OUT (E) = 218.0'</p> <p>(SD4) CURB INLET<br/>RIM = 222.40'<br/>INLET ELEV. = 221.8'<br/>10" I.E. OUT (W) = 218.0'</p> | <p>(SS1) MANHOLE<br/>RIM = 218.09'<br/>6" I.E. IN (E) = 201.4'<br/>12" I.E. IN (S) = 207.8'<br/>12" I.E. OUT (N) = 201.1'</p> <p>(SS2) MANHOLE<br/>RIM = 233.60'<br/>12" I.E. IN (S) = 224.2'<br/>12" I.E. OUT (N) = 224.1'</p> <p>(SS3) MANHOLE<br/>RIM = 238.25'<br/>12" I.E. IN (S) = 232.8'<br/>12" I.E. OUT (N) = 232.7'</p> |

REVISIONS:

NO.	REVISIONS	REVISION	DELTA	CLOSING DATE



**PAVEMENT SECTIONS**

- CAR PARKING AREA 2.5" AC OVER 4" CRUSHED ROCK OVER CTB
  - HEAVY DUTY AREA 4" AC (2 LIFTS) OVER 6" CRUSHED ROCK OVER CTB
  - 4" CONCRETE SIDEWALK
  - 6" OF MIN. 4,000 PSI PCC CONCRETE IN DOCK APRONS W/ #4 AT 24" O.C. EACH WAY
- PROVIDED FOR CLARIFICATION SEE GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTIONS

**SITE DATA**

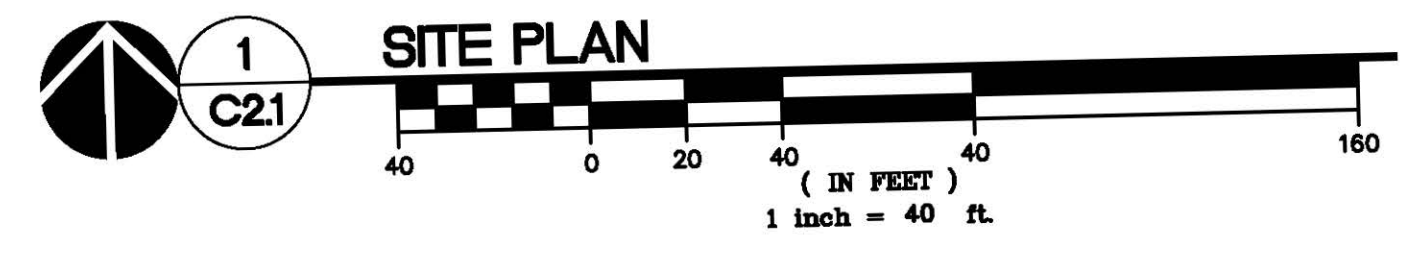
SITE AREA	502,782 SF (11.54 AC)
BUILDING FOOTPRINT	229,146 SF (5.26 AC, 45.6%)
LANDSCAPE AREA	79,514 SF (1.83 AC, 15.8%)
DRIVE AISLE/PARKING/SIDEWALK AREA	194,122 SF (4.46 AC, 38.6%)
REQUIRED PARKING LANDSCAPE	3,425 SF (25 SF/STALL)
PARKING LANDSCAPE AREA	5,142 SF (0.12 AC, 150%)
TOTAL IMPERVIOUS AREA	424,268 SF (9.72 AC, 84.2%)
<b>PROVIDED PARKING</b>	
PROPOSED ADA COMPLIANT	5 SPACES
PROPOSED STANDARD	132 SPACES (8 VAN/CAR POOL SPACES)
PROPOSED COMPACT	0 SPACES
TOTAL PARKING PROVIDED	137 SPACES (1.67/1,000 SF)
BICYCLE PARKING	32 (16 EXTERIOR AND 16 INTERIOR SPACES)

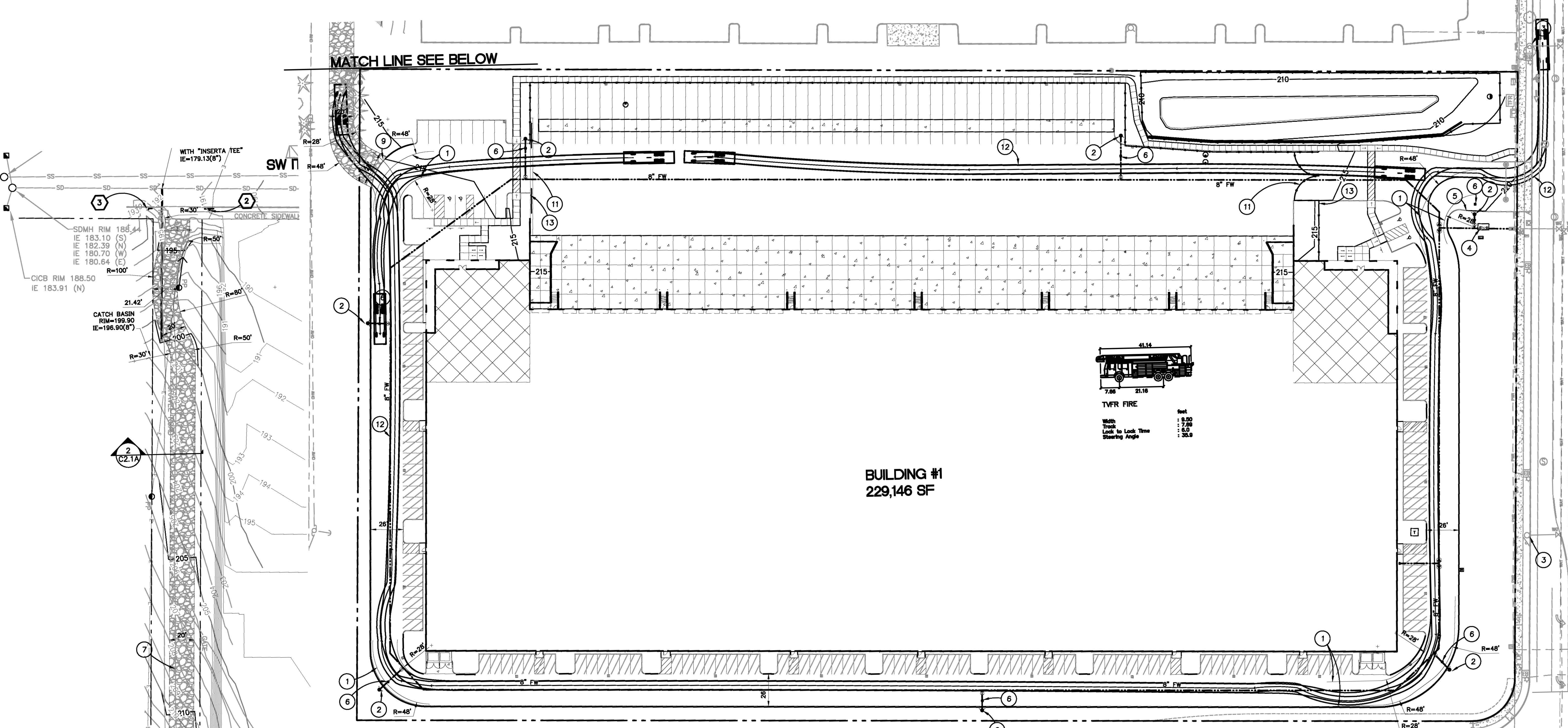
**PARKING DATA**

REQUIRED PARKING (BASED ON 10% OFFICE AND 90% WAREHOUSE USE)	
OFFICE	
MINIMUM (2.7/1,000)	62 SPACES
MAXIMUM (4.1/1,000)	94 SPACES
WAREHOUSE	
MINIMUM (0.3/1,000)	62 SPACES
MAXIMUM (0.5/1,000)	103 SPACES
TOTAL	
MINIMUM	124 SPACES
MAXIMUM	197 SPACES

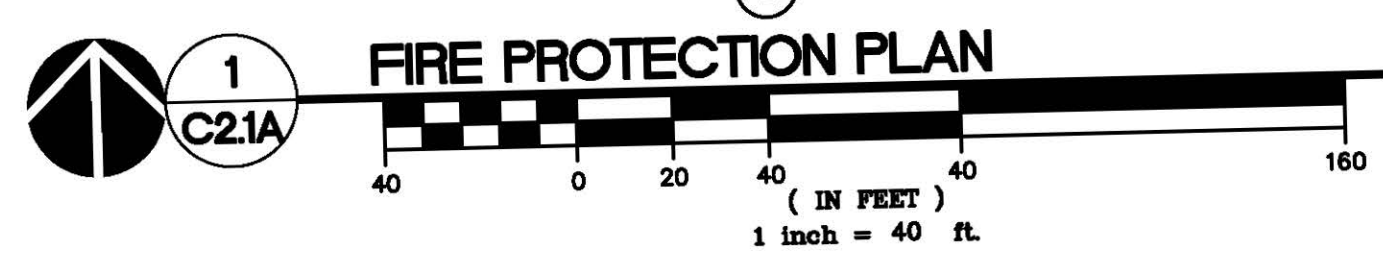
**KEYNOTES**

1. VERTICAL CURB, SEE 5/CB.1
2. ADA COMPLIANT PARKING STALL, SEE 12/CB.1
3. CONCRETE SIDEWALK, SEE 2/CB.2
4. 4" WHITE PARKING STRIPE (2 COATS OF PAINT)
5. ADA COMPLIANT SQUARE RAMP, SEE 1/CB.1
6. LANDSCAPE AREA
7. ADA COMPLIANT CURB RAMP, SEE 8/CB.1
8. TRASH ENCLOSURE PER ARCHITECTURAL PLANS
9. 1" HIGH WHITE PAINTED LETTERS: "CARPOOL" "VANPOOL" (SEE 8/CB.2)
10. STRIPED CROSSWALK
11. 8 EXTERIOR BICYCLE PARKING SPACES, MIN. 2'x6', SEE 14/CB.1
12. EXISTING FIRE HYDRANT
13. PROPOSED FIRE HYDRANT, PER CITY STD 610 SHEET CB.4
14. BLUE HYDRANT REFLECTOR
15. STAIRS SEE ARCH. PLANS
16. EXISTING DRIVEWAY TO REMAIN
17. INSTALL ADA COMPLIANT SIGN, SEE 11/CB.1
18. INSTALL ADA COMPLIANT SIGN W/ VAN PLACARD, SEE 11/CB.1
19. TRANSFORMER
20. FDC SEE 4/CB.2
21. INSTALL BOLLARD, SEE 3/CB.1
22. VISION TRIANGLE
23. CONTROL MANHOLE SEE 7/CB.2
24. 8 INTERIOR BICYCLE PARKING SPACES, MIN. 2'x6' SEE ARCH. PLANS
25. SECURITY FENCING
26. SLIDING GATE
27. SWINGING GATE
28. EXISTING STREET LIGHT TO REMAIN
29. REMOVE EXISTING BARRIER
30. WQ/DETENTION POND
31. COORDINATE WITH GEOTECH FOR ROCK FALL PROTECTION
32. NOT USED
33. 4' CHAINLINK FENCE AROUND WQ FACILITY PER CWS 740 SHEET CB.3
34. DESIGN BUILD RETAINING WALL, SEE 3/CB.2
35. AC-CONCRETE TRANSITION, SEE 2/CB.3
36. MATCH EXISTING WALK
37. CONCRETE SCORE JOINT
38. DEPRESSED CURB WITH 1" LIP AT FIRE ACCESS
39. INSTALL FENCING 6" IN FRONT OF CURB TO ALLOW FULL SIDEWALK WIDTH
40. INSTALL KNOX BOX FOR FUTURE AUTOMATIC GATES IF PROVIDED BY TENANT.





**BUILDING #1  
229,146 SF**



**KEYNOTES**

- 28'/48" TRUCK TURN RADIUS
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- DDCV ASSEMBLY
- FDC
- BLUE REFLECTORS TO MARK FIRE HYDRANT
- FIRE ACCESS ROAD, X" OF ROCK OVER X, CAPABLE OF SUPPORTING 75,000 LB TRUCK
- FIRE ACCESS GATE WITH KNOX BOX AND FIRE LANE SIGNAGE
- DEPRESSED CURB WITH 1" LIP
- SLIDING GATE WITH KNOX BOX
- SWINGING GATE WITH KNOX BOX
- TVFR FIRE ENGINE TRAVEL PATH
- INSTALL KNOX BOX FOR FUTURE AUTOMATIC GATE IF PROVIDED BY TENANT

**FIRE LANE NOTE**

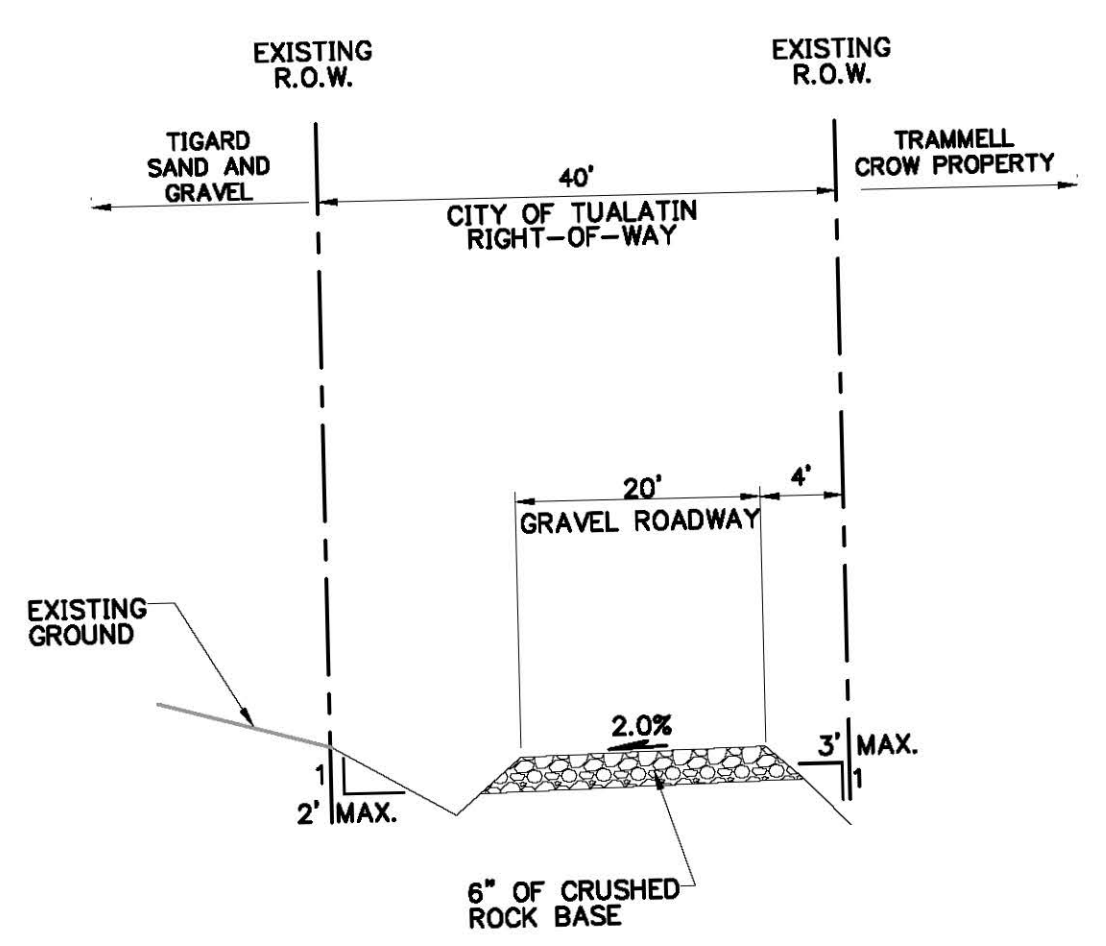
CONTRACTOR SHALL COORDINATE FIRE LANE MARKING WITH FIRE MARSHAL, OWNERS PREFERENCE IS TO PLACE SIGNS IN-LIEU-OF PAINTED CURBS. SEE SIGNAGE NO PARKING NOTE FOR SPACING, COORDINATE WITH FIRE MARSHAL FOR NUMBER OF SIGNS AND LOCATIONS.

**RESTRAINED JOINT NOTES**

TEST PRESSURE: 200 PSI  
DEPTH TO BURY: 3 FT  
PIPE MATERIAL: PVC C-900  
SAFETY FACTOR: 1 TO 1.5  
LENGTH OF RESTRAINT: 20 FT  
ALONG MAIN ON TEES, Lr:

	6"	8"	10"
8" x X" TEE	1'	1'	27'
10" x X" TEE	1'	13'	48'
45° BENDS	11'	14'	17'

CITY RETAINS AUTHORITY TO MODIFY AND/OR ADD JOINT RESTRAINTS AT THE DISCRETION OF THE CITY ENGINEER.



**NO PARKING FIRE LANE SIGNS**

NO PARKING SIGNS, WHERE FIRE APPARATUS ROADWAYS ARE NOT OF SUFFICIENT WIDTH TO ACCOMMODATE PARKED VEHICLES AND 20 FEET OF UNOBSTRUCTED DRIVING SURFACE, NO PARKING FIRE LANE SIGNS SHALL BE INSTALLED ON ONE OF BOTH SIDES OF THE ROADWAY IN TURNAROUNDS AS NEEDED. ROADS 26 FEET WIDE OR LESS SHALL BE POSTED ON BOTH SIDES AS A FIRE LANE. ROADS MORE THAN 26 FEET WIDE TO 32 FEET WIDE SHALL BE POSTED ON ONE SIDE AS A FIRE LANE.

SIGNS SHALL READ "NO PARKING FIRE LANE" AND SHALL BE INSTALLED WITH A CLEAR SPACE ABOVE GRADE LEVEL OF 7 FEET. SIGNS SHALL BE SPACED AT AN INTERVAL APPROVED BY THE TUALATIN VALLEY FIRE AND RESCUE WITH A MINIMUM 25 FEET AND MAXIMUM OF 75 FEET. SIGNS SHALL BE 12 INCHES WIDE BY 18 INCHES HIGH AND SHALL HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. (OFC D103.6)

CONTRACTOR SHALL COORDINATE LOCATION OF FIRE SIGNS WITH FIRE MARSHAL.

**SITE LEGEND**

- PROJECT DISTURBANCE AREA, LIMITS OF WORK
- PROPERTY LINE EASEMENT
- VERTICAL CURB PER DETAIL 5/C8.1
- FIRE LANE SIGNED, COORD. W/ FIRE MARSHAL
- CATCH BASIN
- FIRE HYDRANT
- WATER METER
- DDCV
- FDC





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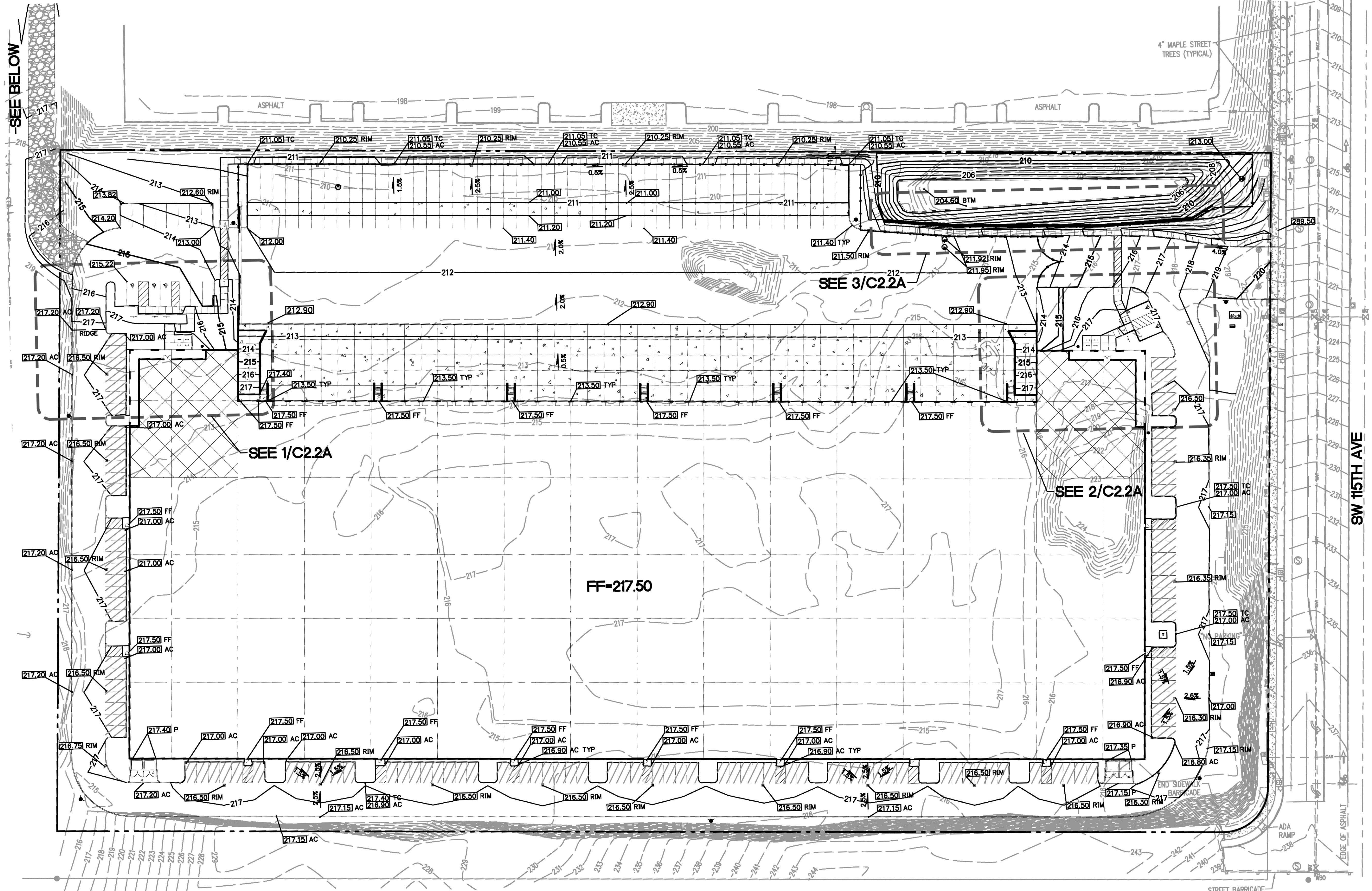
NO.	REVISIONS	REVISION DATE	DELTA	CLOSING DATE

SHEET TITLE:  
**SITE  
GRADING  
PLAN**

DRAWN BY:  
CHECKED BY:  
SHEET:

**C2.2**

JOB NO. **2160026.00**



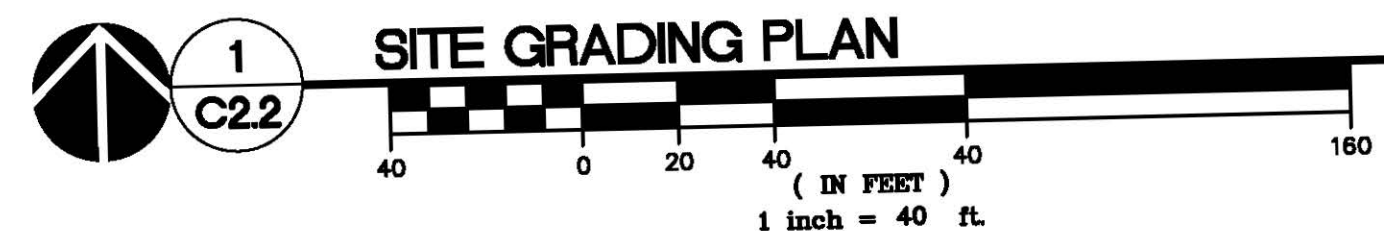
SEE BELOW

SEE 1/C2.2A

SEE 3/C2.2A

SEE 2/C2.2A

FF=217.50



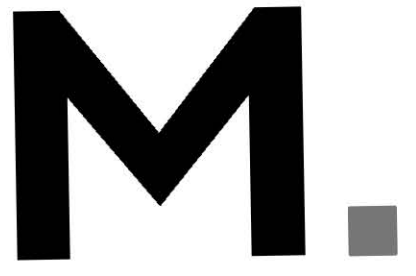
**LEGEND**

STORM SEWER CATCH BASIN	
SLOPE ARROW	
SPOT ELEVATION	
RIGHT-OF-WAY LINE	
PROPERTY LINE	
VERTICAL CURB	
CONTOUR	
ASPHALT SPOT ELEVATION	
CURB TOP SPOT ELEVATION	
TOP OF STAIRS ELEVATION	
RIM ELEVATION	
BOTTOM OF BASIN ELEVATION	
PROPOSED BOLLARD	

TOP OF PAVEMENT ELEVATION		289.00 P
TOP OF WALL ELEVATION		289.90 TW
BOTTOM OF WALL ELEV. AT GRADE		289.90 BW
BOTTOM OF STAIR ELEVATION		289.90 BS

**GRADING NOTES**

- ROUGH GRADING:** BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS, AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.
- EXCAVATION:** EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATOR(S) MUST COMPLY WITH O.R.S. 757.541 THROUGH 757.571; EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED.** EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE CITY AND CLEANWATER SERVICES REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED.** DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING.**
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY BY NORTHWEST SURVEYING, AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH HIS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION.**
- CONTRACTOR TO COORDINATE GRADES AT ENTRANCE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.**
- 2% MAXIMUM SLOPE AT ALL ADA-COMPLIANT PARKING SPACES AND LOADING ZONES.**
- 5% MAX SLOPE (EXCLUDING RAMPS) AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.**
- WHERE SLOPES ARE STEEPER THAN 3:1, CONTRACTOR SHALL INSTALL JUTE MATTING. SLOPE SHALL BE PREPARED TO ENSURE COMPLETE AND DIRECT CONTACT OF MATTING WITH SOIL. FOLLOW MANUFACTURER'S RECOMMENDATIONS.**

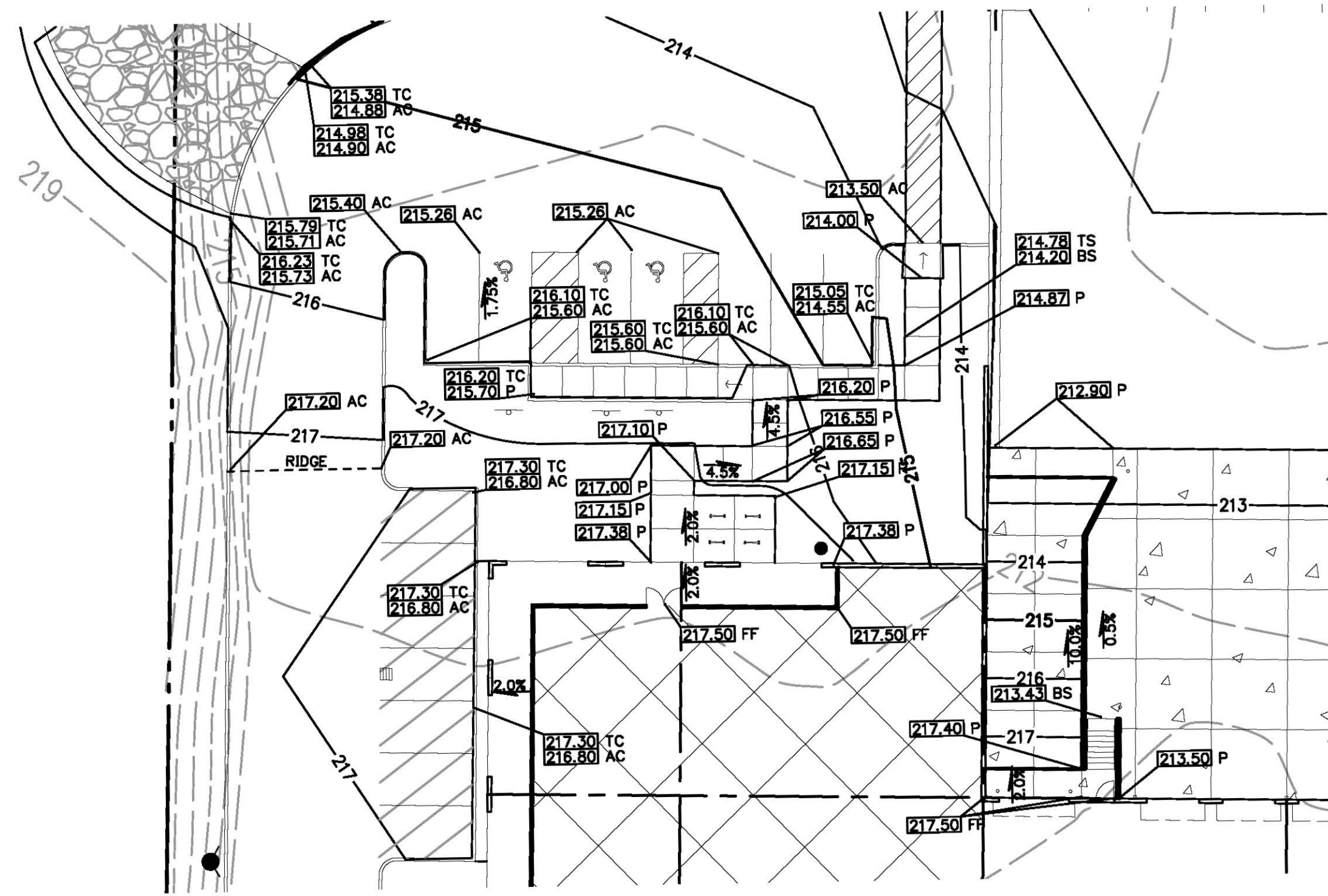


Architecture • Interiors  
Planning • Engineering

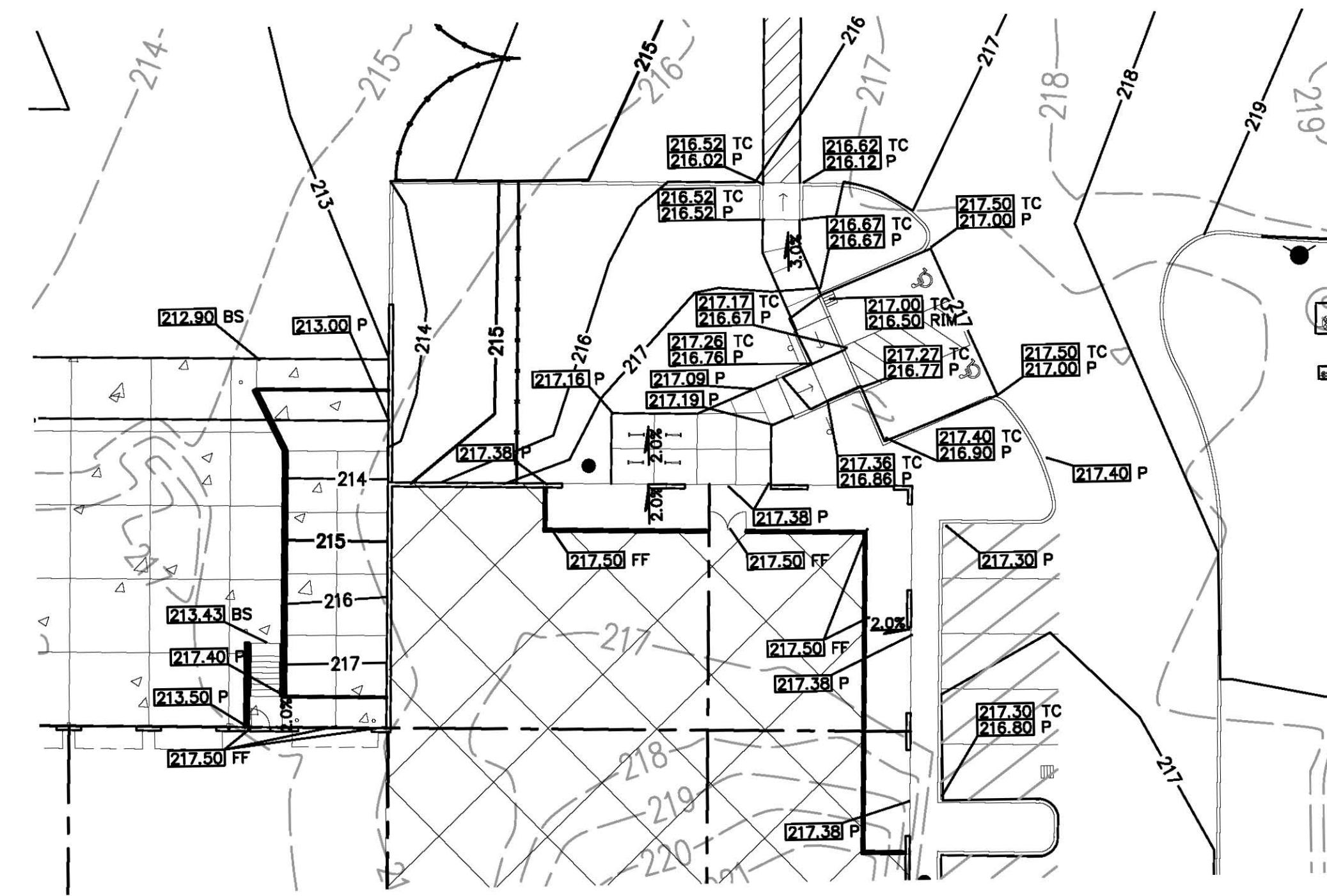
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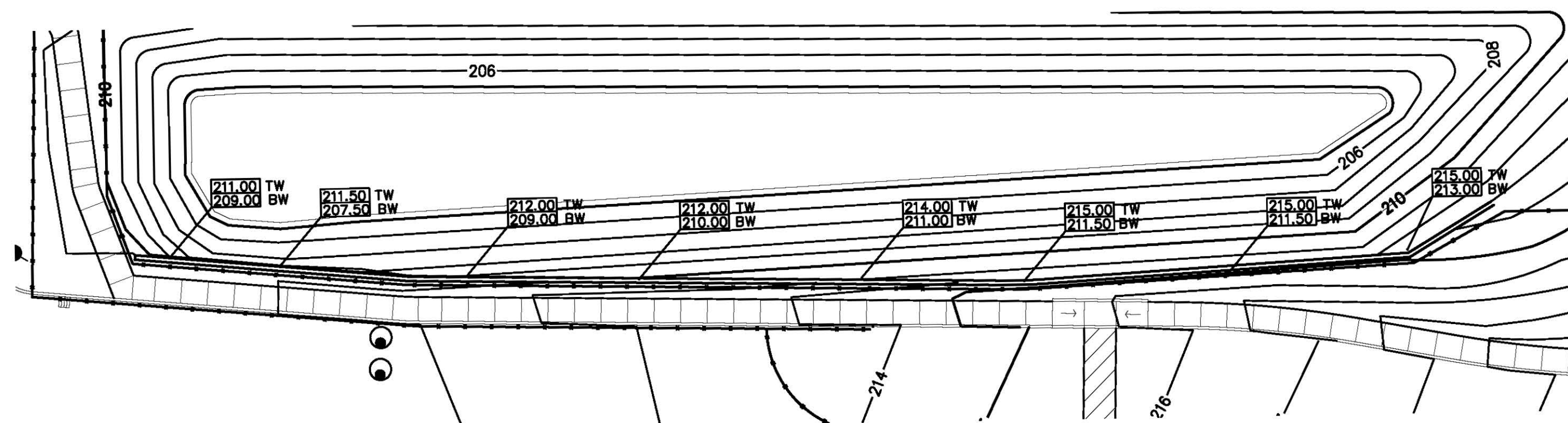
Client  
**COMMERCE  
CONSTRUCTION**



**1 SITE GRADING ENLARGEMENT**  
C2.2A  
0 10 20 40 80  
( IN FEET )  
1 inch = 20 ft.



**2 SITE GRADING ENLARGEMENT**  
C2.2A  
0 10 20 40 80  
( IN FEET )  
1 inch = 20 ft.



**3 WALL ELEVATIONS**  
C2.2A  
0 10 20 40 80  
( IN FEET )  
1 inch = 20 ft.

Project  
**SW 115TH AVE  
INDUSTRIAL  
BUILDING**



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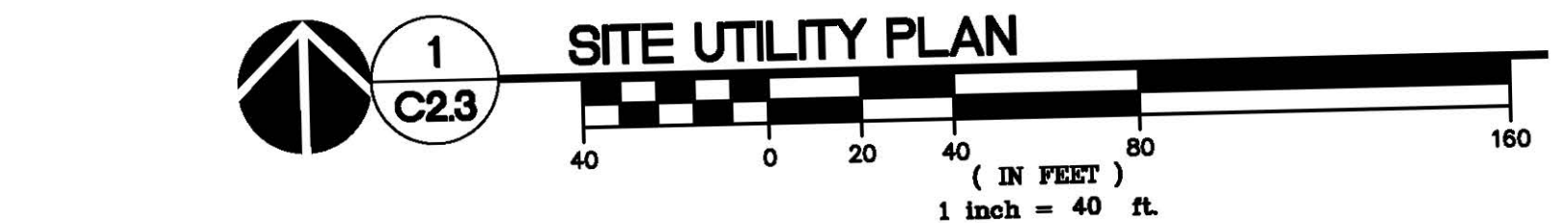
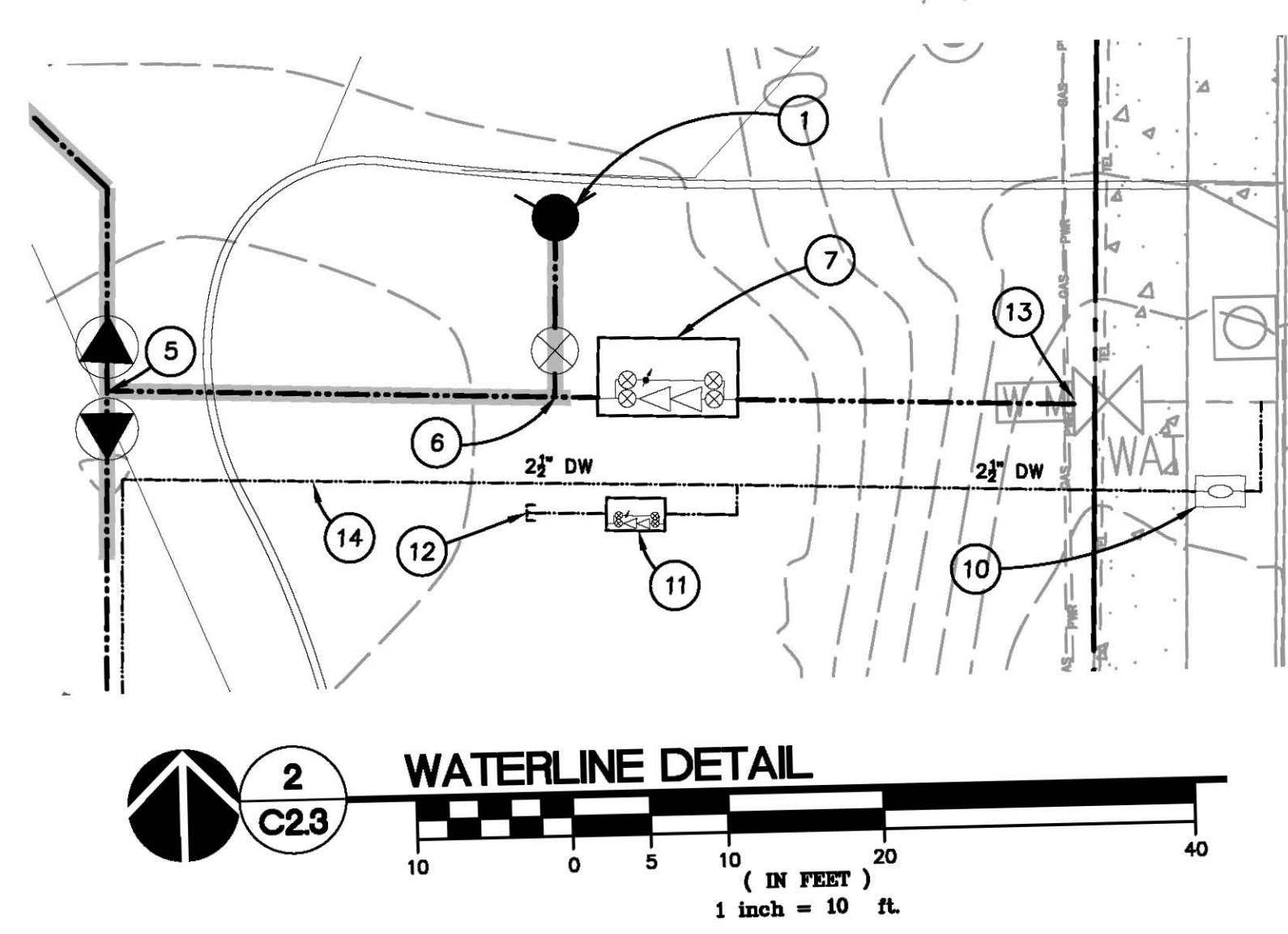
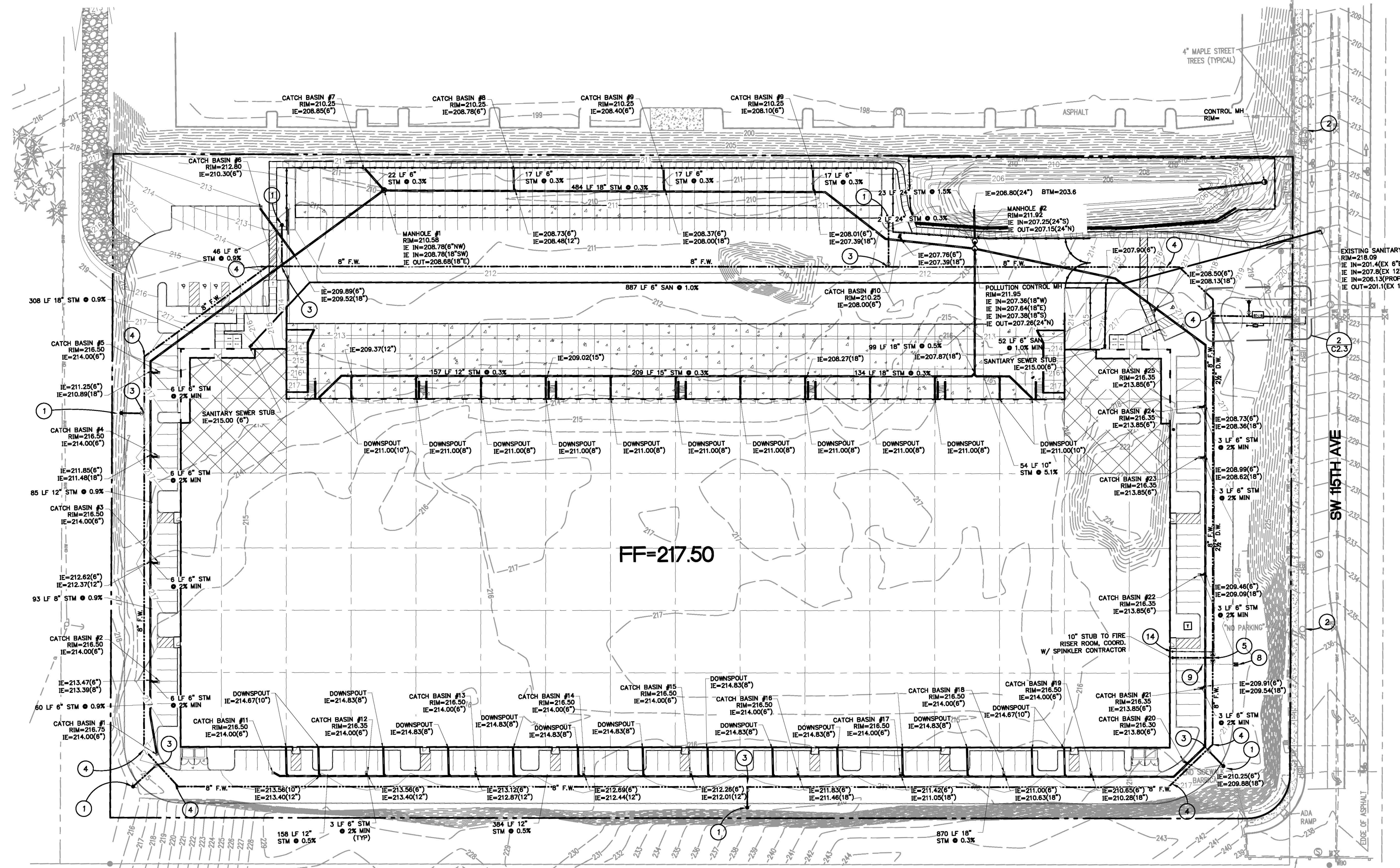
NO.	REVISIONS	REVISION DATE	DELTA CLOSING DATE

SHEET TITLE:  
**SITE  
GRADING  
ENLARGEMENTS**

DRAWN BY:  
CHECKED BY:  
SHEET:

**C2.2A**

JOB NO. **2160026.00**



- WATERLINE KEYNOTES**
1. PROPOSED FIRE HYDRANT
  2. EXISTING FIRE HYDRANT
  3. 8" x 6" TEE WITH RESTRAINT JOINTS
  4. 8" 45° MJ BEND WITH RESTRAINT JOINTS
  5. (1) 10" TEE (2) 10" x 8" REDUCERS WITH RESTRAINT JOINTS
  6. 10" x 6" TEE WITH RESTRAINT JOINTS
  7. 10" DDCV ASSEMBLY IN VAULT, SUPPLY POWER FOR SUMP PUMP. CONTRACTOR SHALL PROVIDE CONDUIT FROM VAULT TO ELECT. ROOM FOR TAMPER SWITCH AND SUMP PUMP POWER.
  8. PROPOSED FDC
  9. PROPOSED 6" LINE FROM RISER TO FDC
  10. INSTALL 1-1/2" WATER METER IN BOX SIZED FOR FUTURE 2" METER
  11. 2" DDCV FOR IRRIGATION
  12. POINT OF IRRIGATION CONNECTION
  13. REMOVE BLOWOFF AND CONNECT TO EXIST. 10" VALVE
  14. INSTALL 2" RP DEVICE IN FIRE RISER ROOM

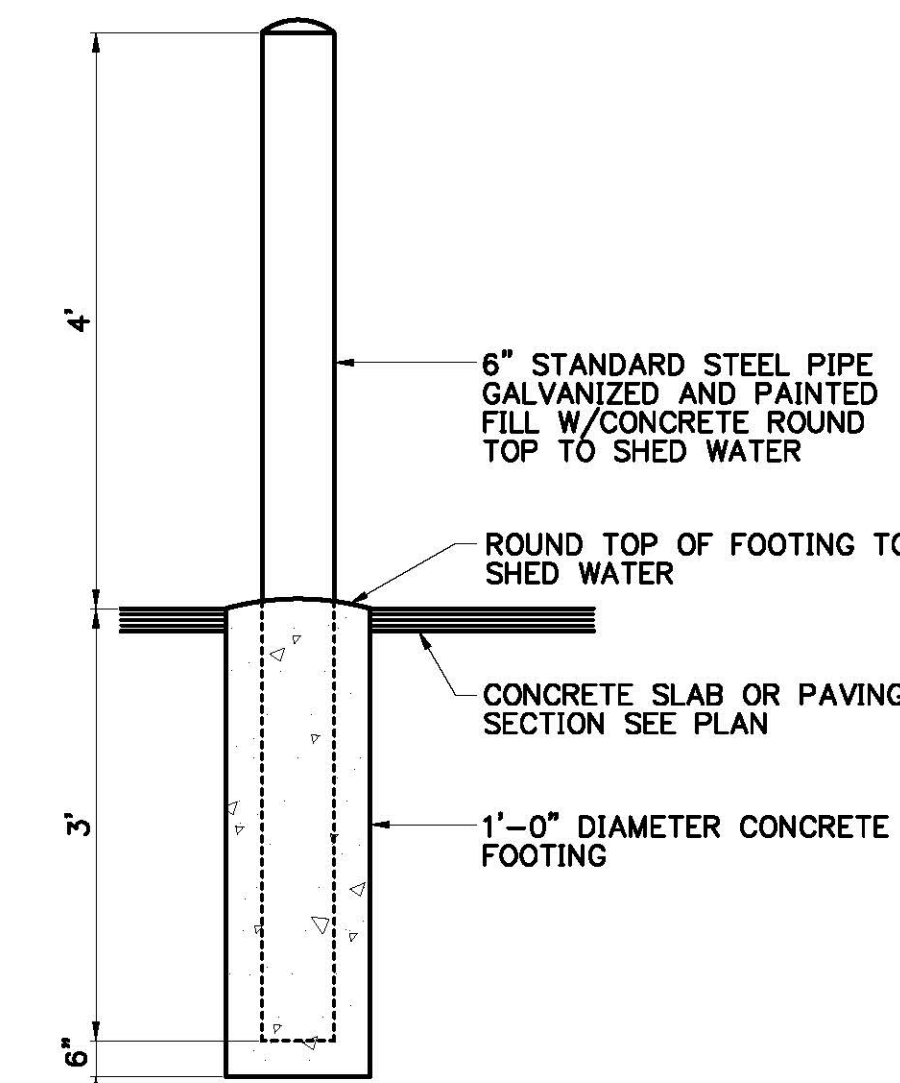
**RESTRAINED JOINT NOTES**

TEST PRESSURE: 200 PSI  
DEPTH TO BURY: 3 FT  
PIPE MATERIAL: PVC C-900  
SAFETY FACTOR: 1 TO 1.5  
LENGTH OF RESTRAINT ALONG MAIN ON TEES, Lr:

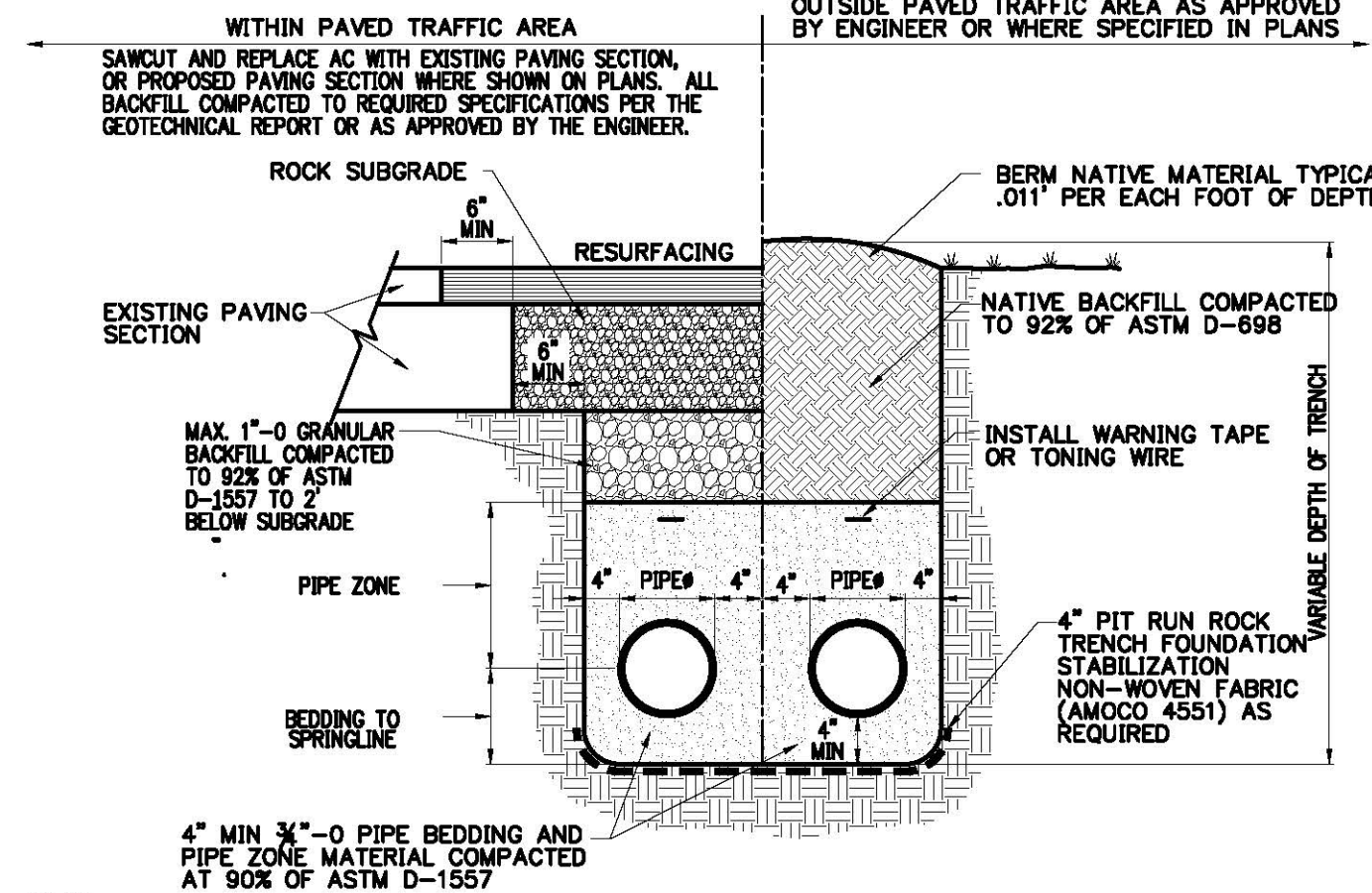
6" x 6" TEE	6'	8'	10'
8" x 8" TEE	1'	13'	48'
10" x 10" TEE	1'	14'	17'

CITY RETAINS AUTHORITY TO MODIFY AND/OR ADD JOINT RESTRAINTS AT THE DISCRETION OF THE CITY ENGINEER.

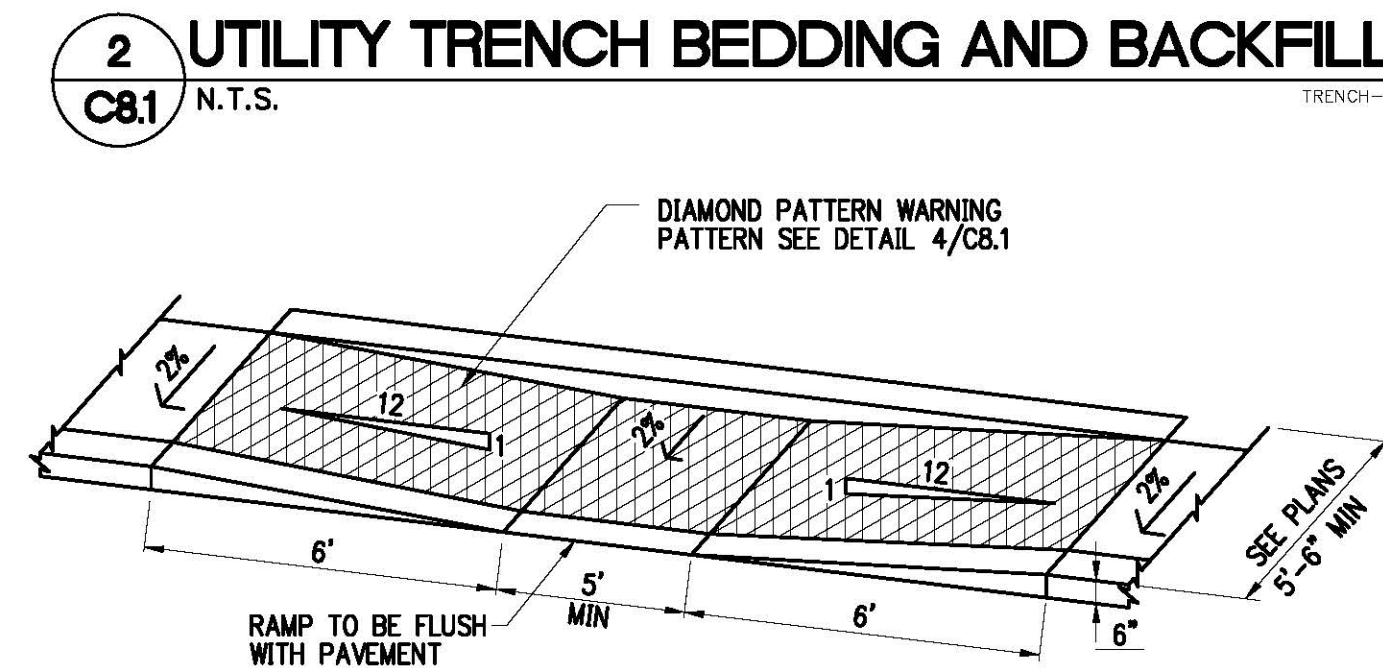
- UTILITY NOTES**
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF TUALATIN, CLEAN WATER SERVICES, AND THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE AND THE INTERNATIONAL BUILDING CODE. ALL WORK WITHIN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
  2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
  3. PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.12. NOTE: NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS.
  4. ALL STORM PIPING IS SIZED FOR A MANNING'S "N" VALUE = 0.013. ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
  5. SEE MECHANICAL DRAWINGS FOR UTILITIES LOCATED WITHIN THE BUILDING AND TO 5' OUTSIDE THE BUILDING.
  6. ALL DOWNSPOUT LEADERS TO BE 6" AT 2.0% MIN. UNLESS NOTED OTHERWISE. VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
  7. PROVIDE 2" PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2" PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4" INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS.
  8. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY PREPARED BY WESTLAKE CONSULTANTS, INC. DATED JANUARY 30, 2015.
  9. CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE SPECIFICATIONS AND LANDSCAPE PLANS.
  10. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5' OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
  11. CONTRACTOR TO MAINTAIN MINIMUM 3 FT OF COVER OVER ALL WATER LINE.
  12. 30 MIL LINER TO BE INSTALLED AT BOTTOM OF ALL LIDA BASINS WITHIN 10 LINEAL FEET OF FOOTING.



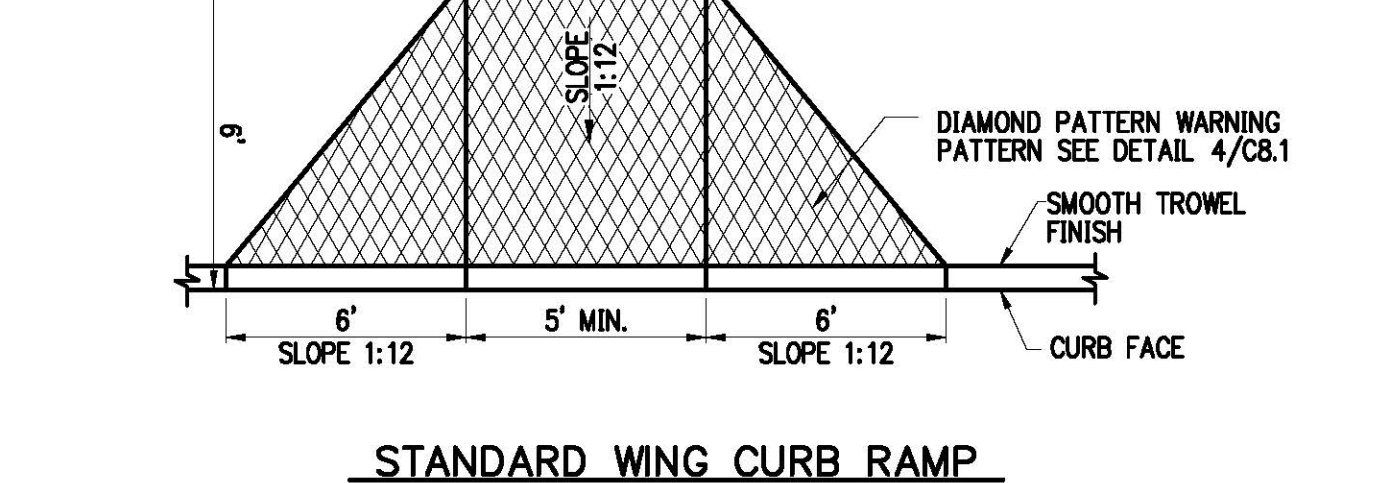
**3 6" PIPE BOLLARD**  
C8.1 N.T.S. BOLLARD



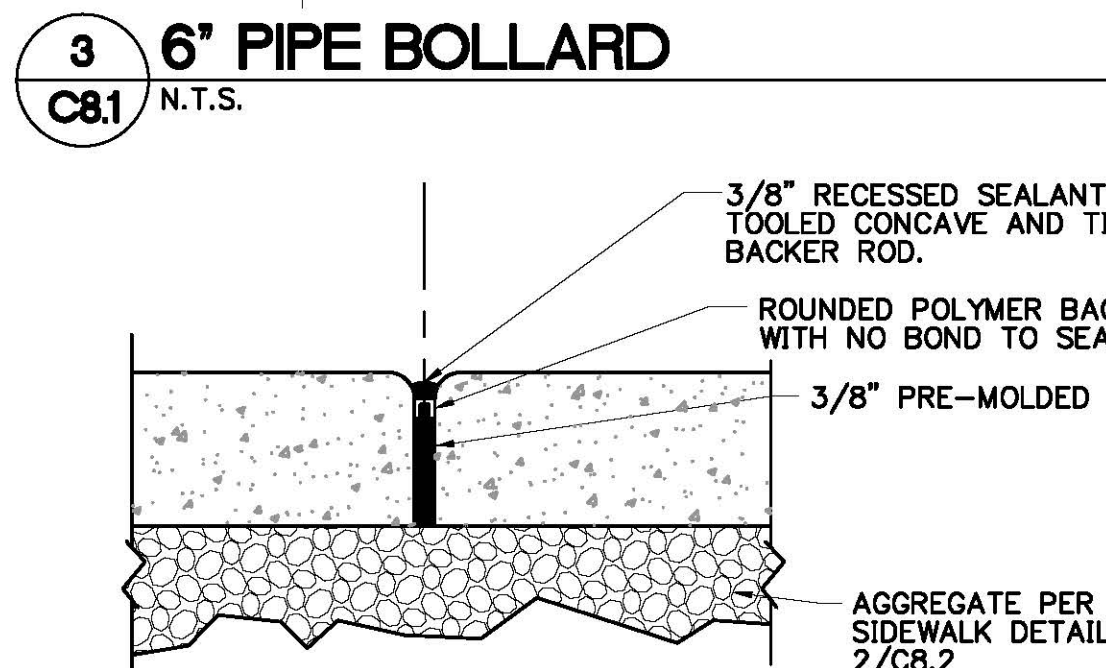
**2 UTILITY TRENCH BEDDING AND BACKFILL**  
C8.1 N.T.S. TRENCH-2



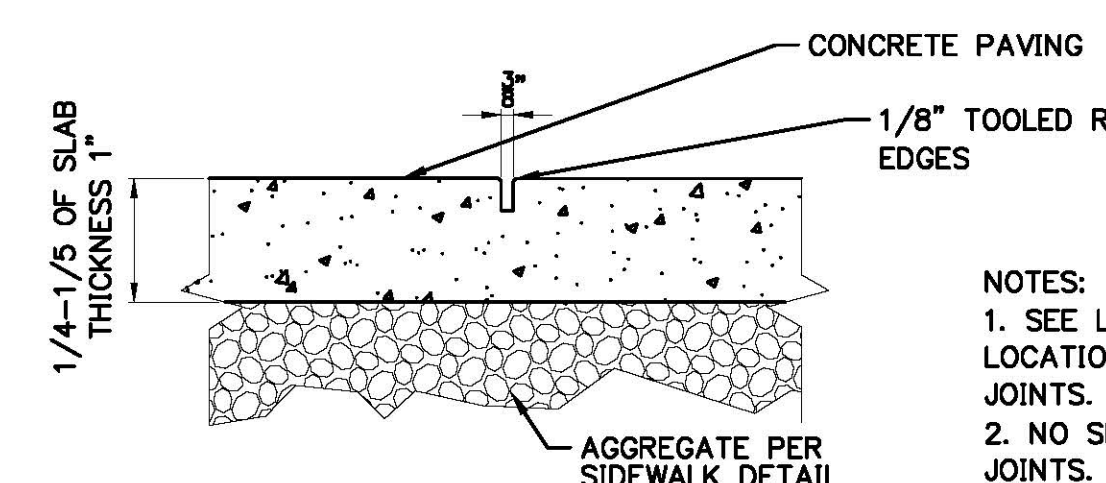
**8 ADA COMPLIANT CURB RAMP**  
C8.1 N.T.S. CURB-RAMP-WING



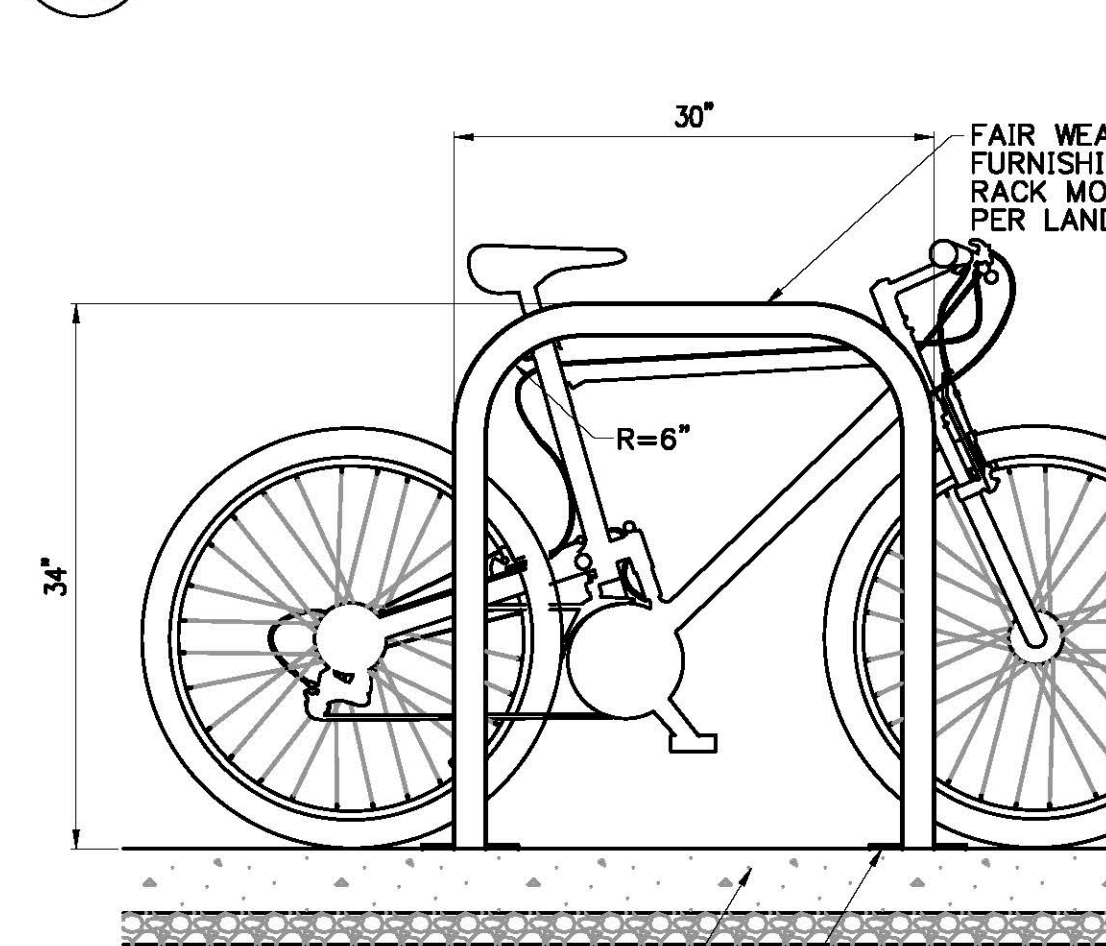
**8 ADA COMPLIANT CURB RAMP**  
C8.1 N.T.S. CURB-RAMP-WING



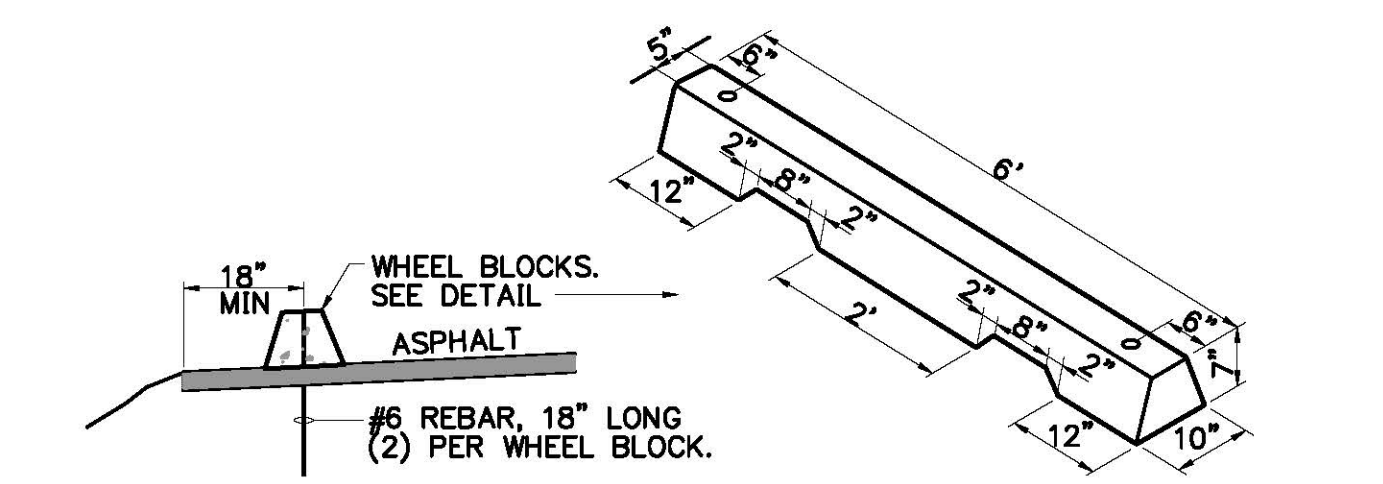
**9 EXPANSION JOINT**  
C8.1 N.T.S. EXPANSION-JOINT



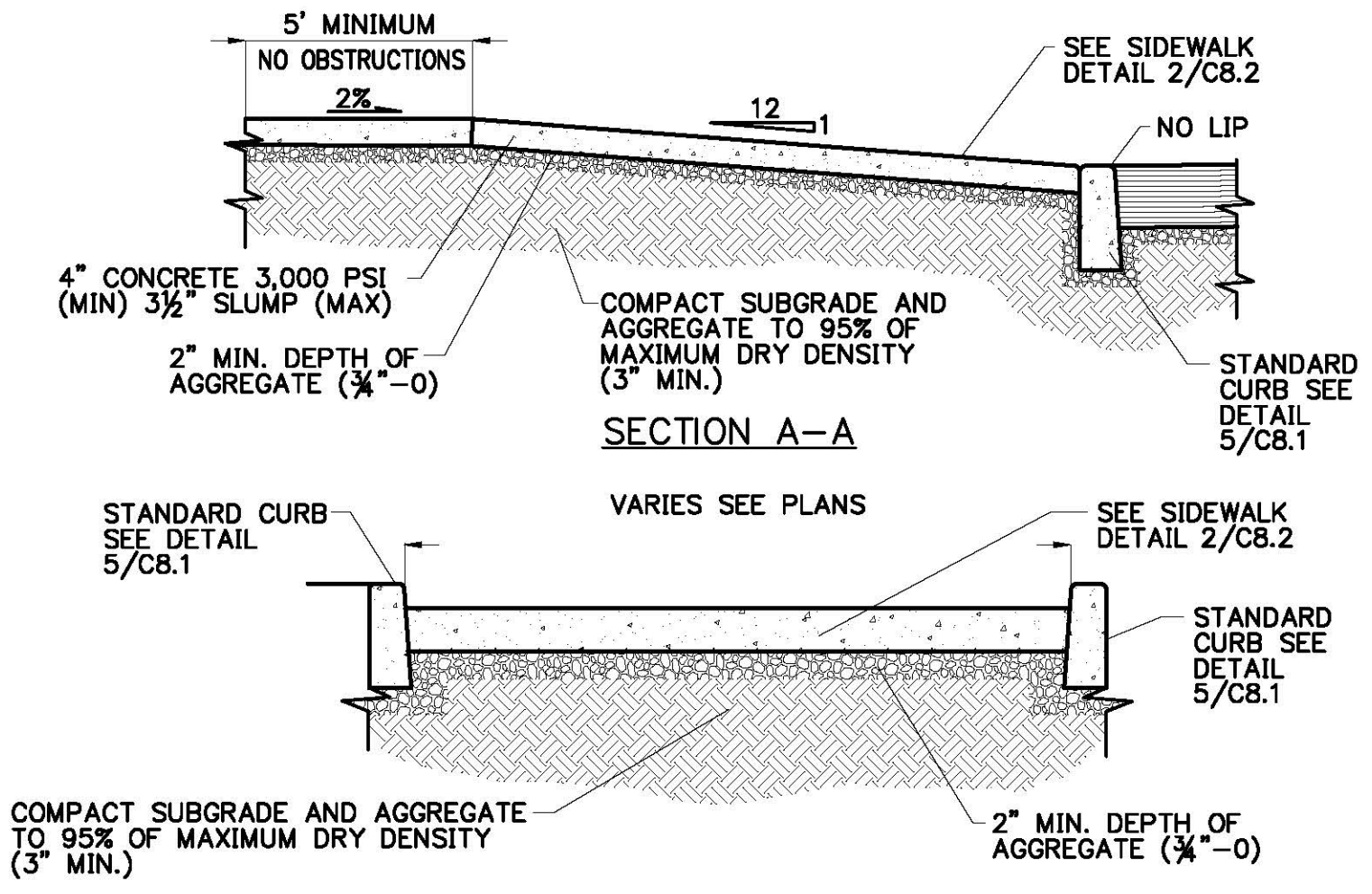
**10 CONTROL JOINT**  
C8.1 N.T.S. CONTROL-JOINT



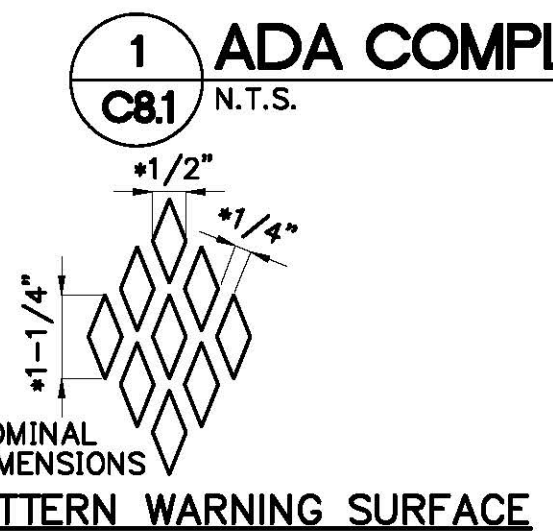
**14 BIKE RACK**  
C8.1 N.T.S. BIKERACK-5



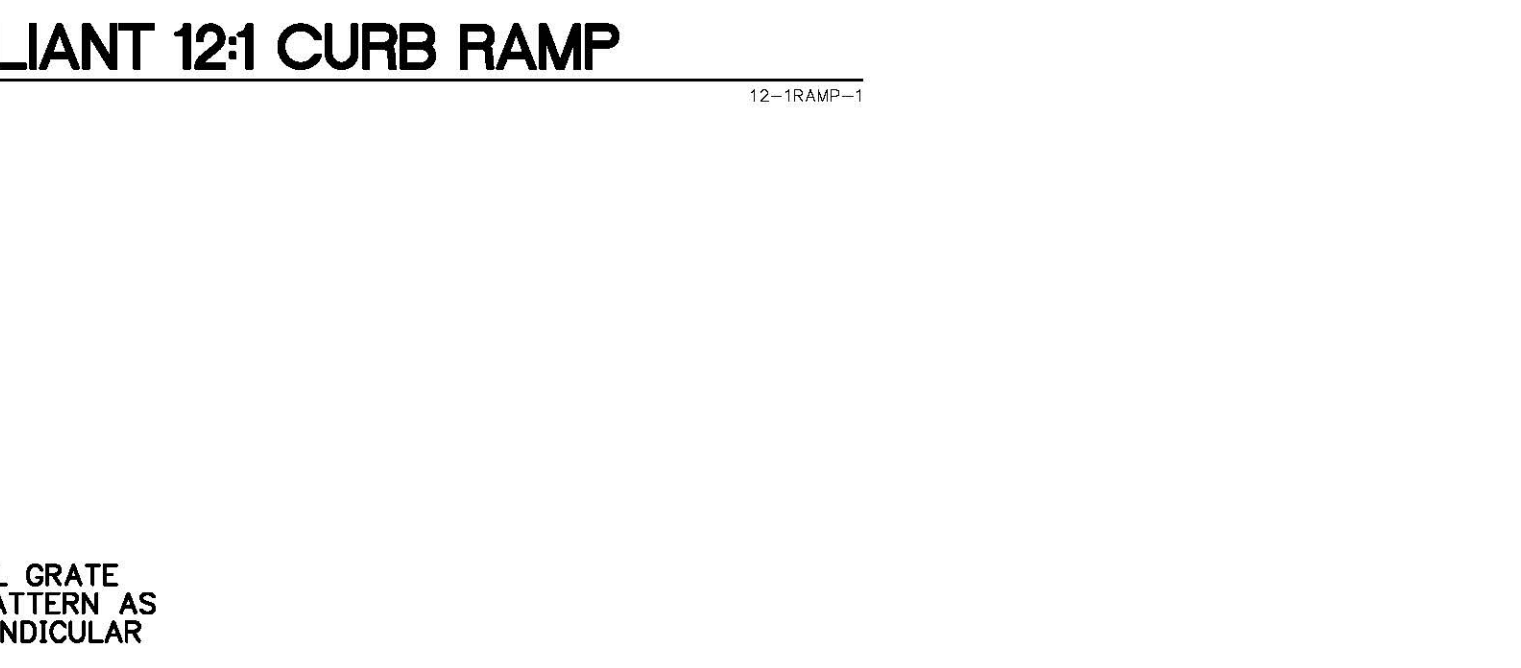
**13 PRECAST CURB STOP**  
C8.1 N.T.S. CURBSTOP



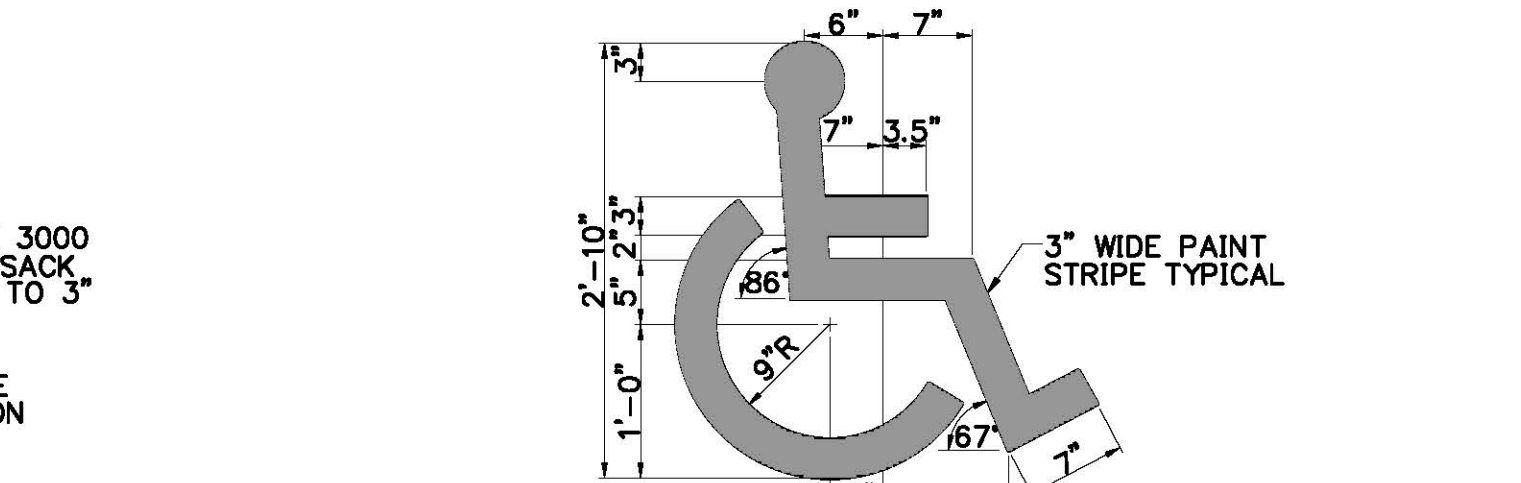
**1 ADA COMPLIANT 12:1 CURB RAMP**  
C8.1 N.T.S. 12-RAMP-1



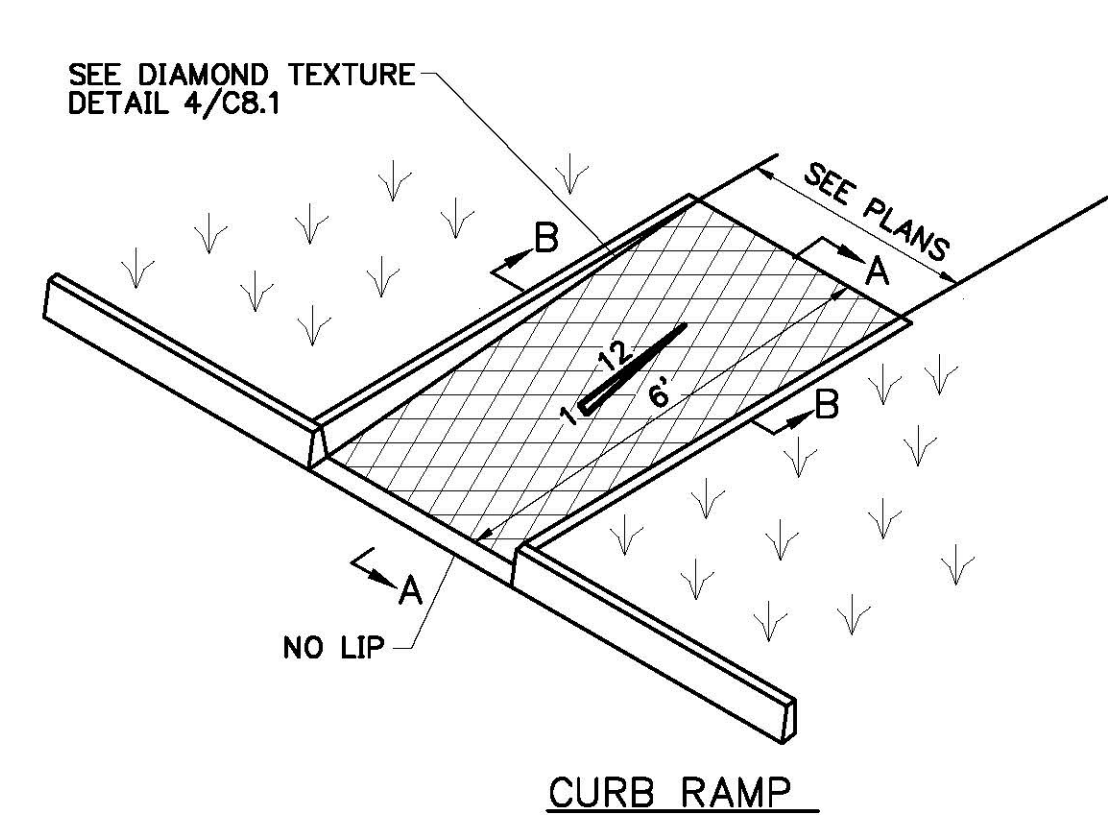
**4 ADA COMPLIANT WARNING SURFACE**  
C8.1 N.T.S. TACTILE-SURFACE



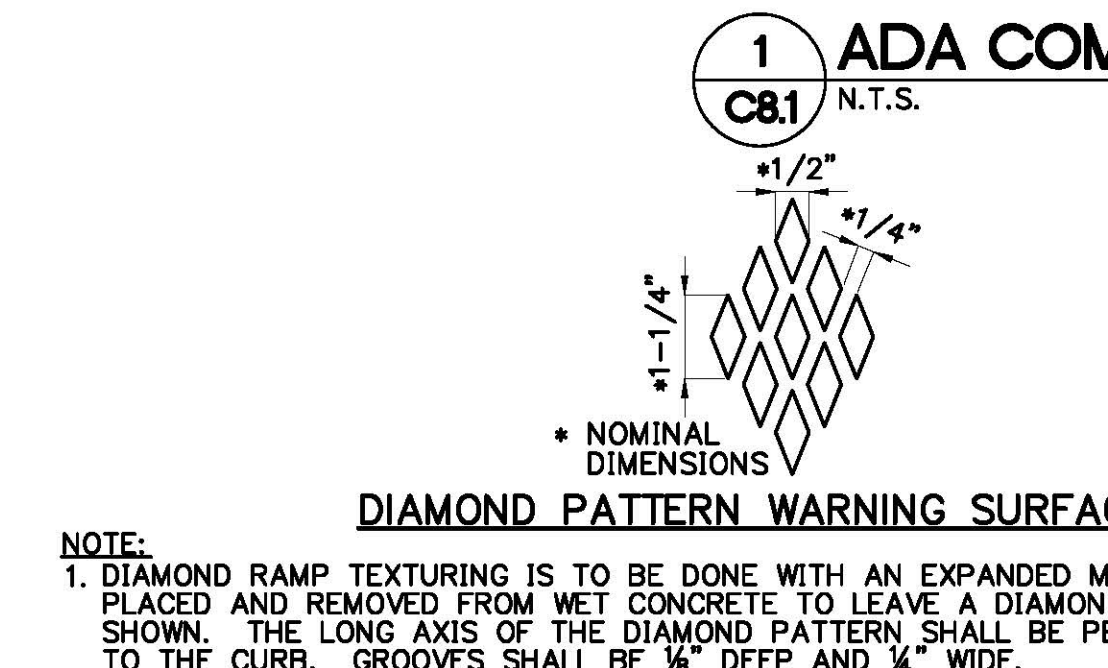
**6 ADA COMPLIANT PARKING SYMBOL**  
C8.1 N.T.S. HSYMB



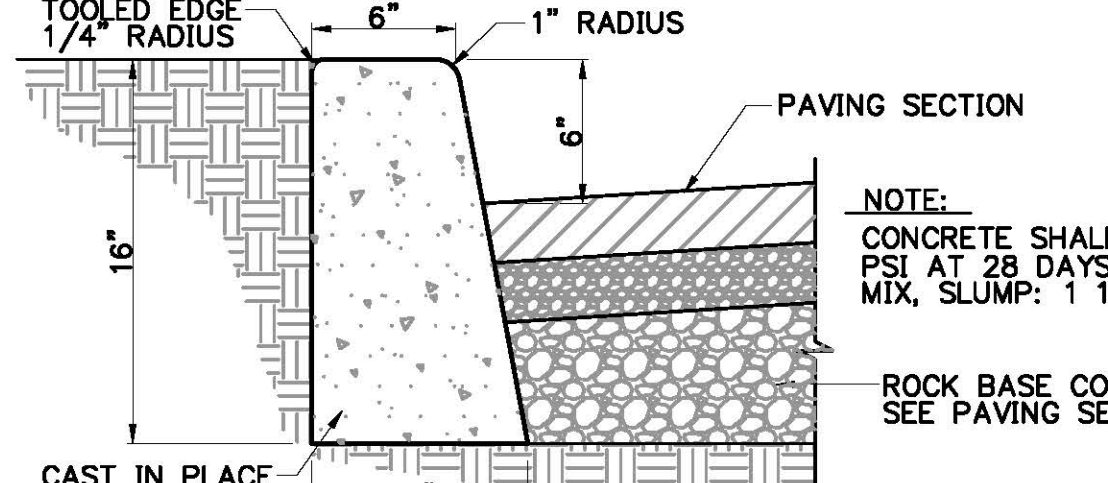
**12 ADA COMPLIANT PARKING STALL**  
C8.1 N.T.S. WITH SQUARE WING RAMP HSTALL



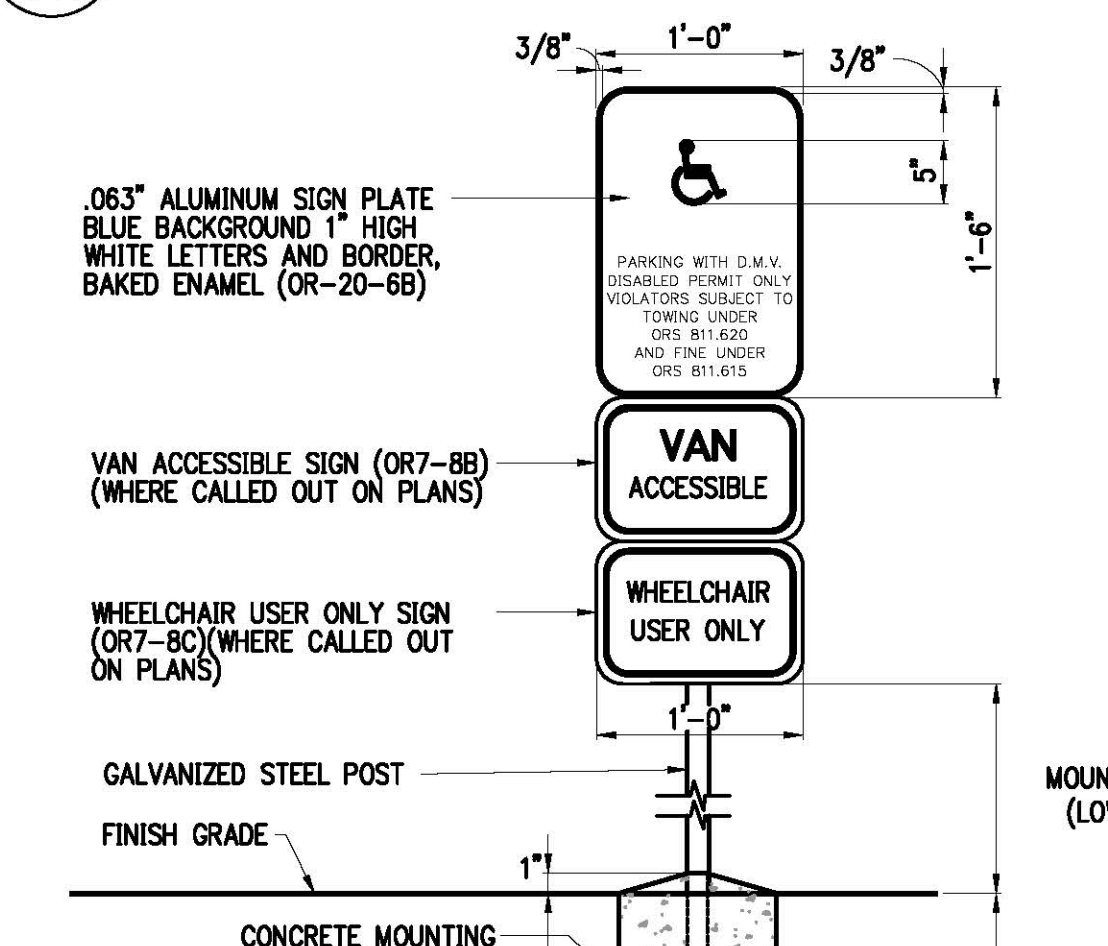
**1 ADA COMPLIANT 12:1 CURB RAMP**  
C8.1 N.T.S. 12-RAMP-1



**5 CONCRETE VERTICAL CURB**  
C8.1 N.T.S. VCURB

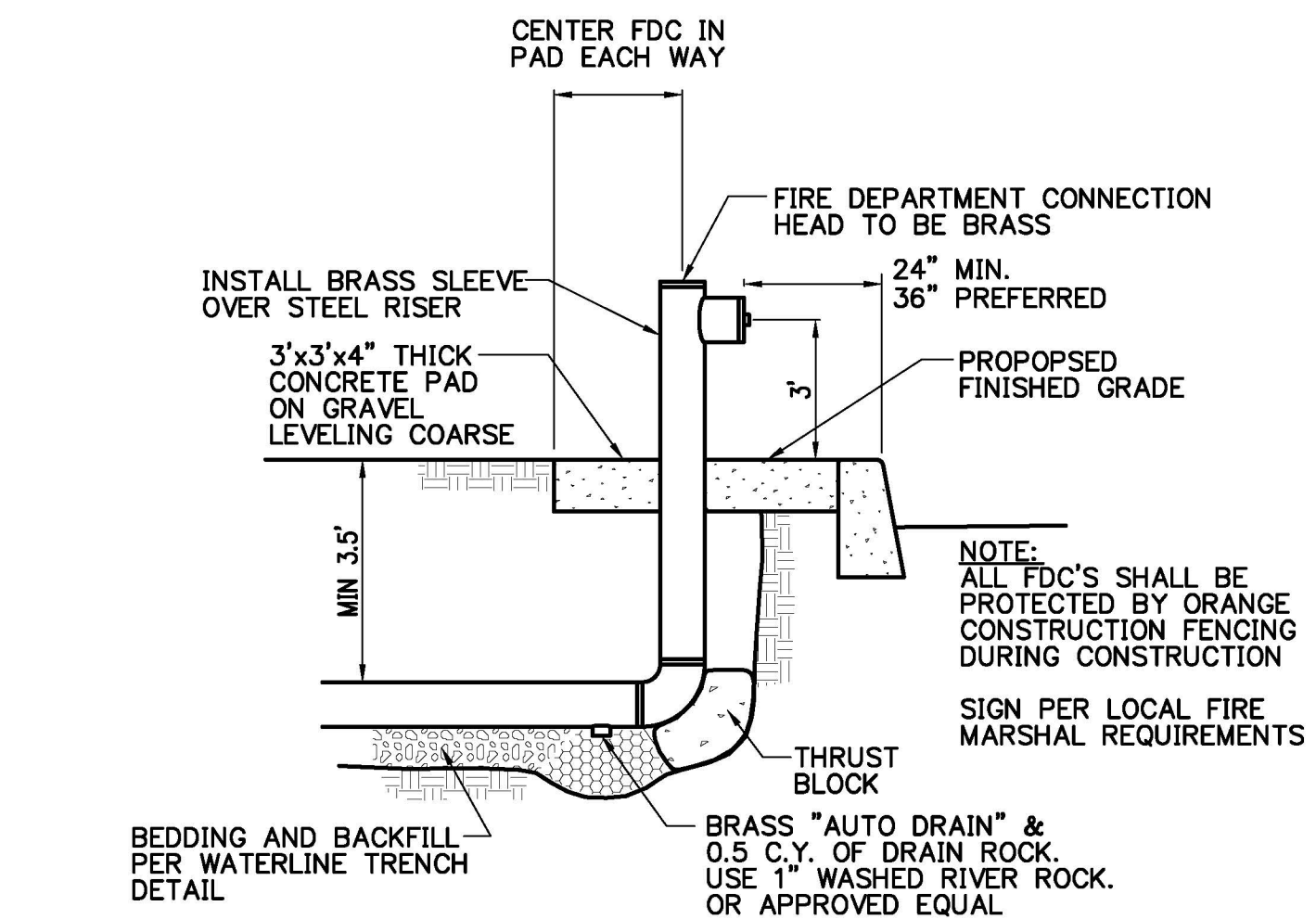


**11 ADA COMPLIANT VAN PARKING SIGN**  
C8.1 N.T.S. HSIGN-VAN-101

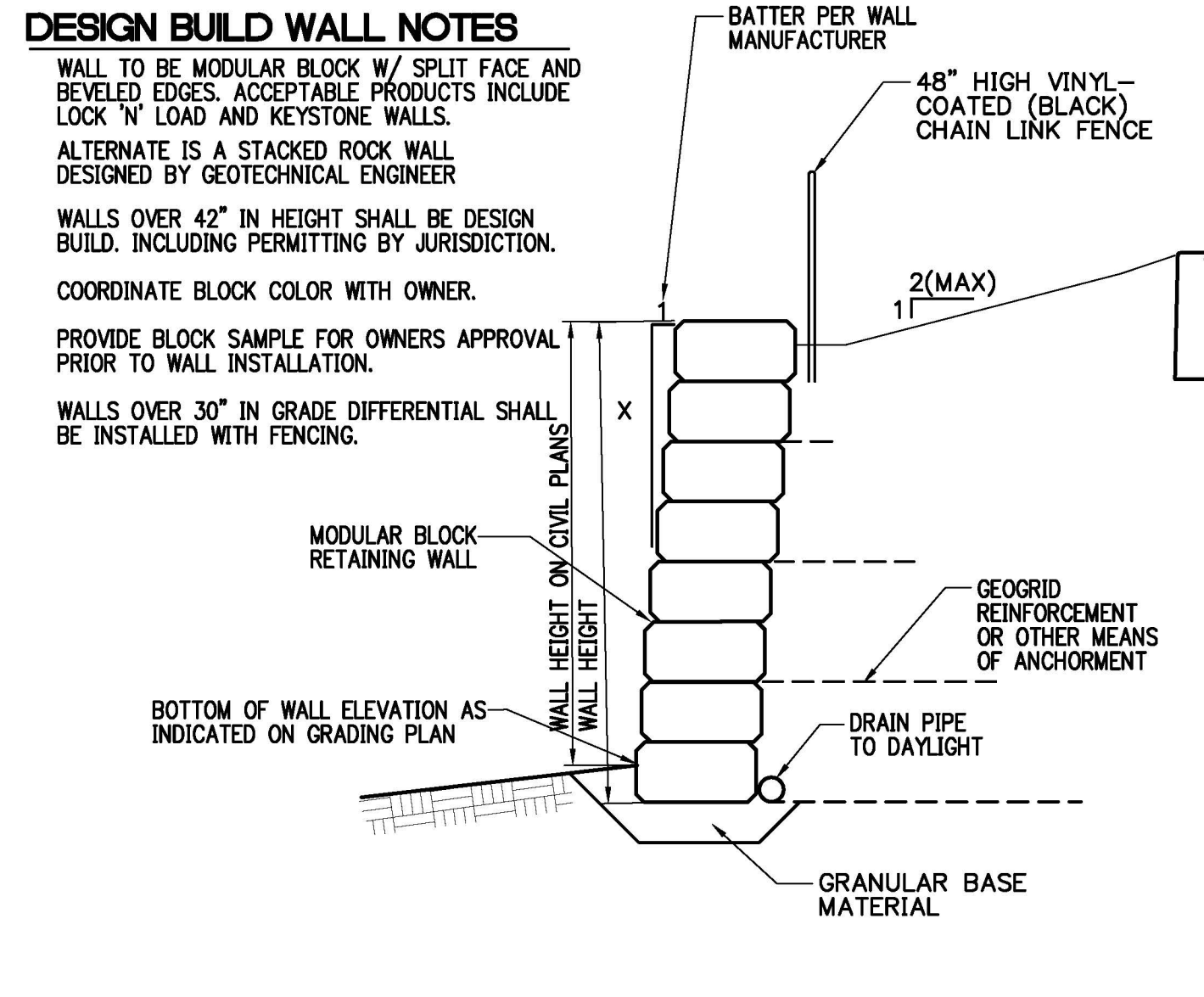


**11 ADA COMPLIANT VAN PARKING SIGN**  
C8.1 N.T.S. HSIGN-VAN-101

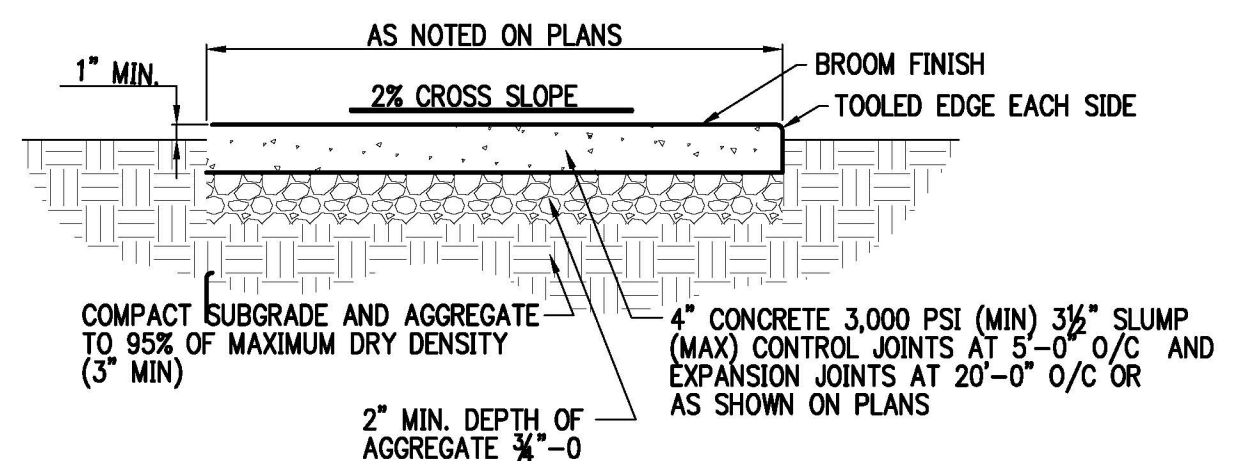
NO.	DATE	REVISIONS THIS SHEET	REVISION DELTA	CLOSING DATE
1		X		



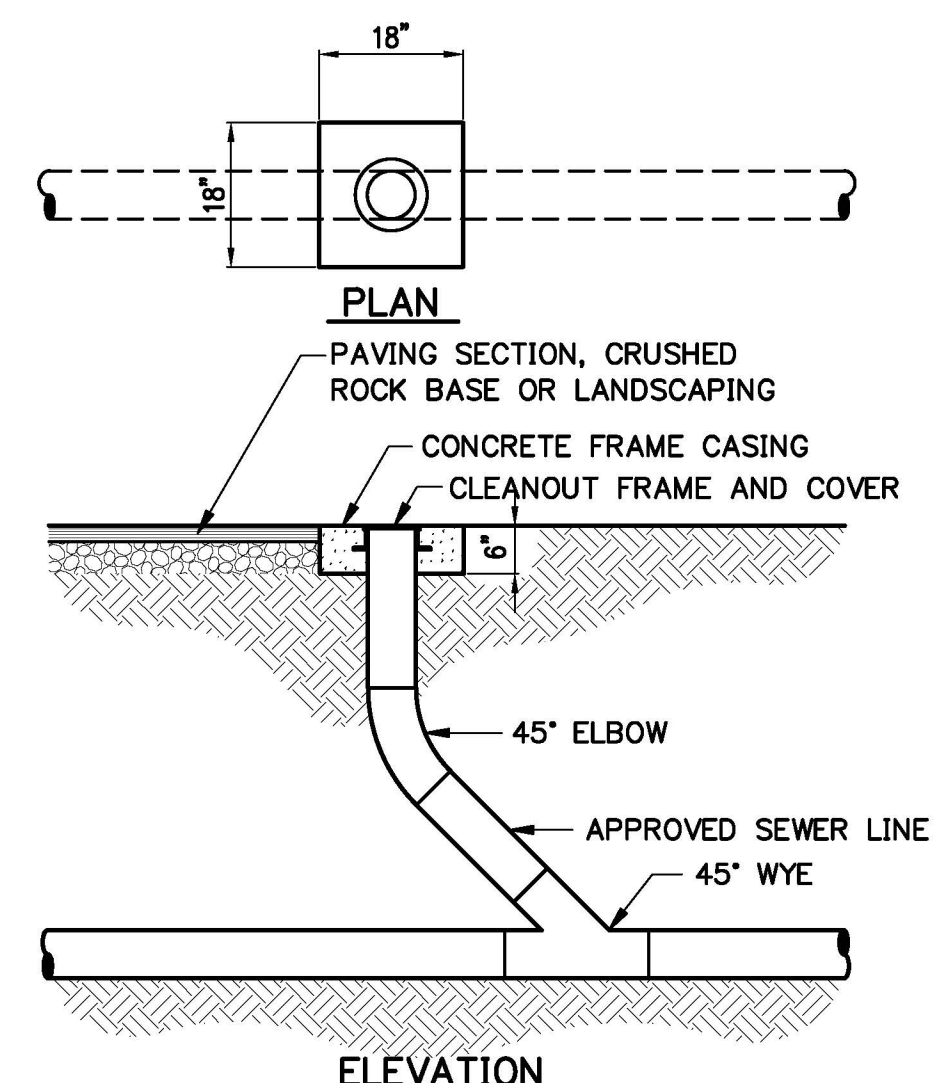
**4 FDC DETAIL W/CONCRETE PAD**  
C8.2 N.T.S.



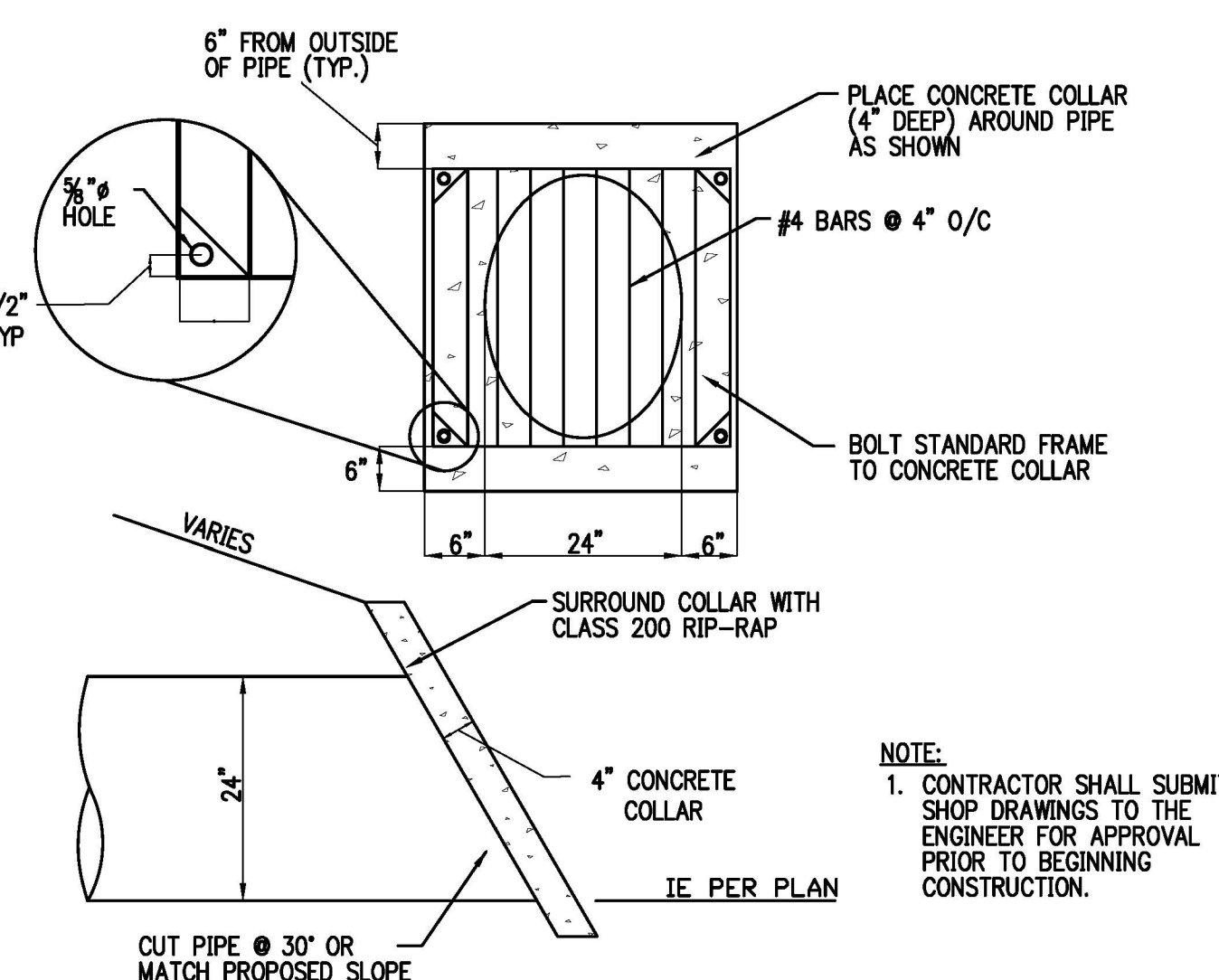
**3 MODULAR BLOCK RETAINING WALL SECT.**  
C8.2 N.T.S.



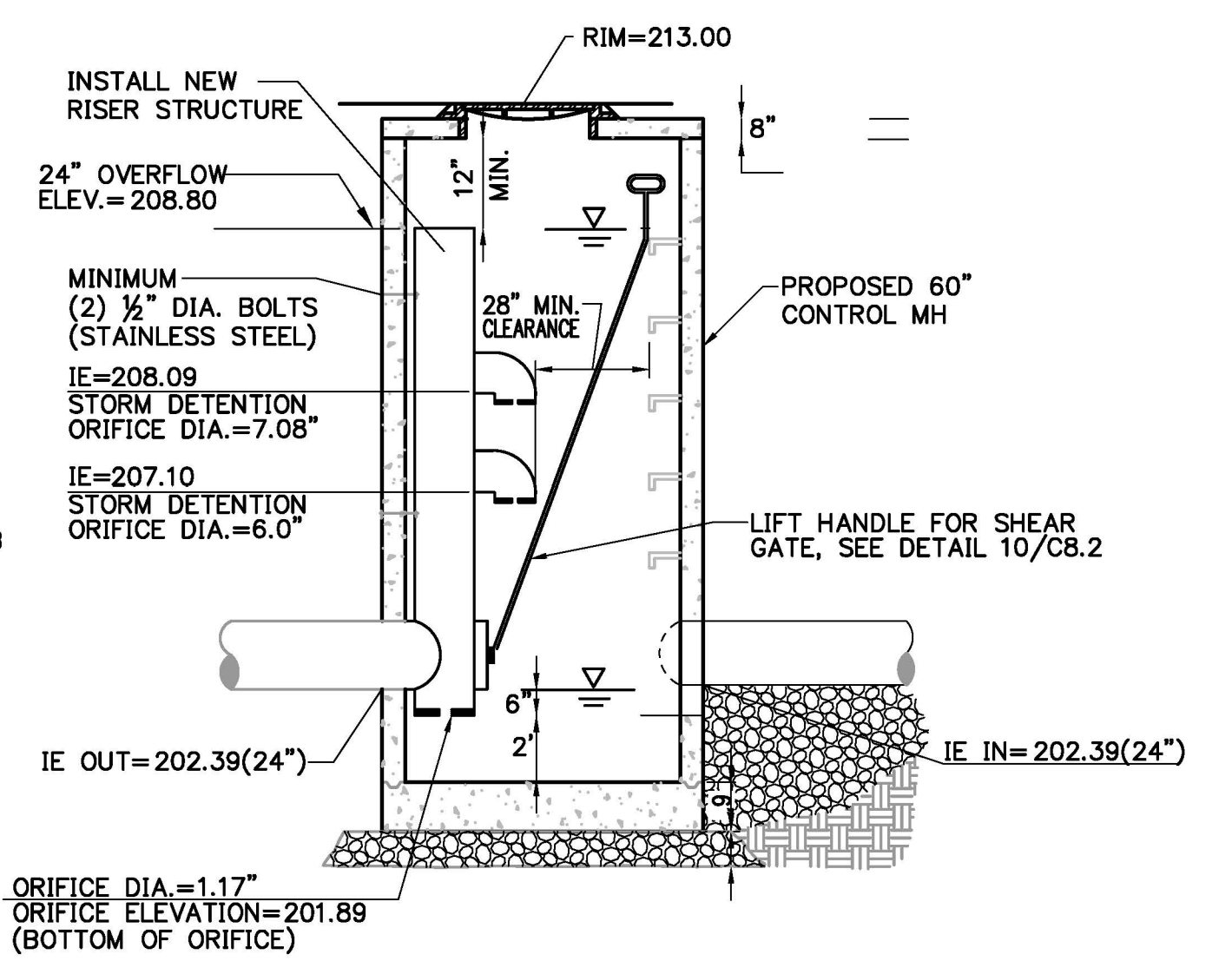
**2 CONCRETE SIDEWALK**  
C8.2 N.T.S.



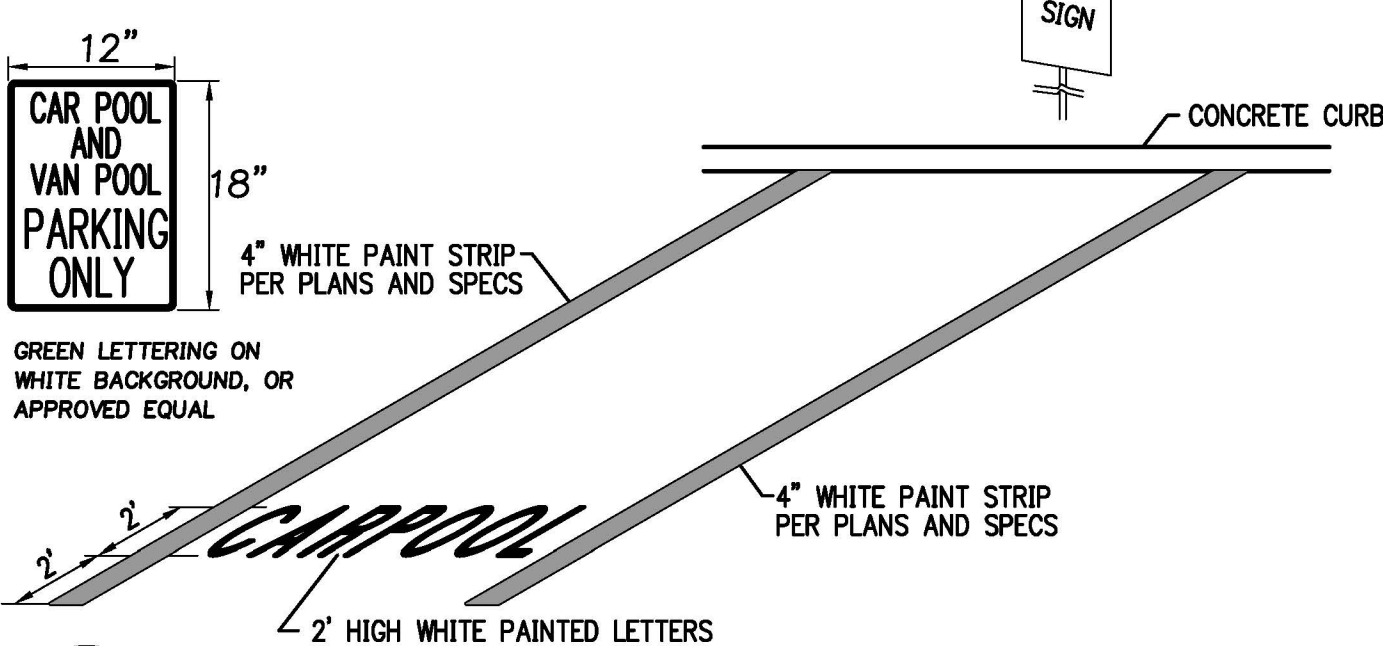
**1 CLEANOUT**  
C8.2 N.T.S.



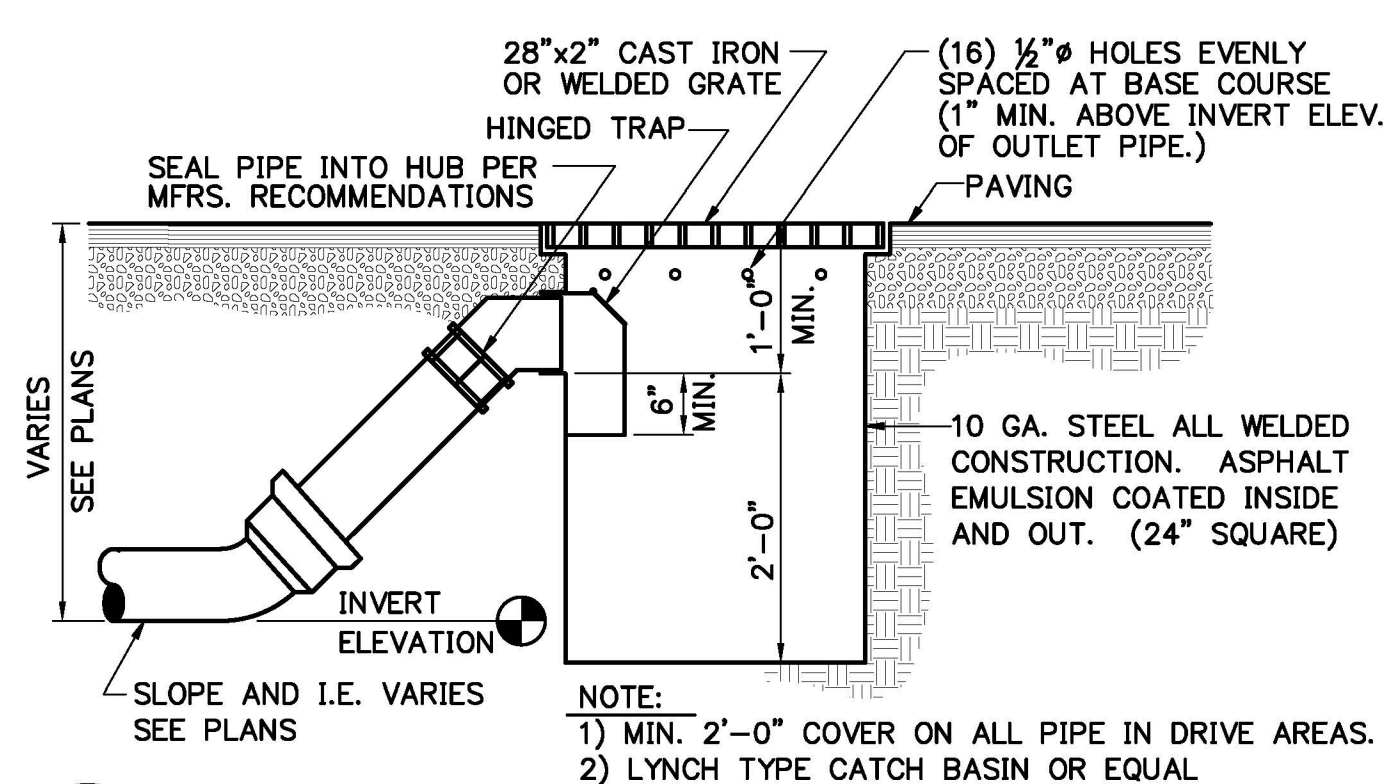
**8 PIPE END GRATE AT INLET**  
C8.2 N.T.S.



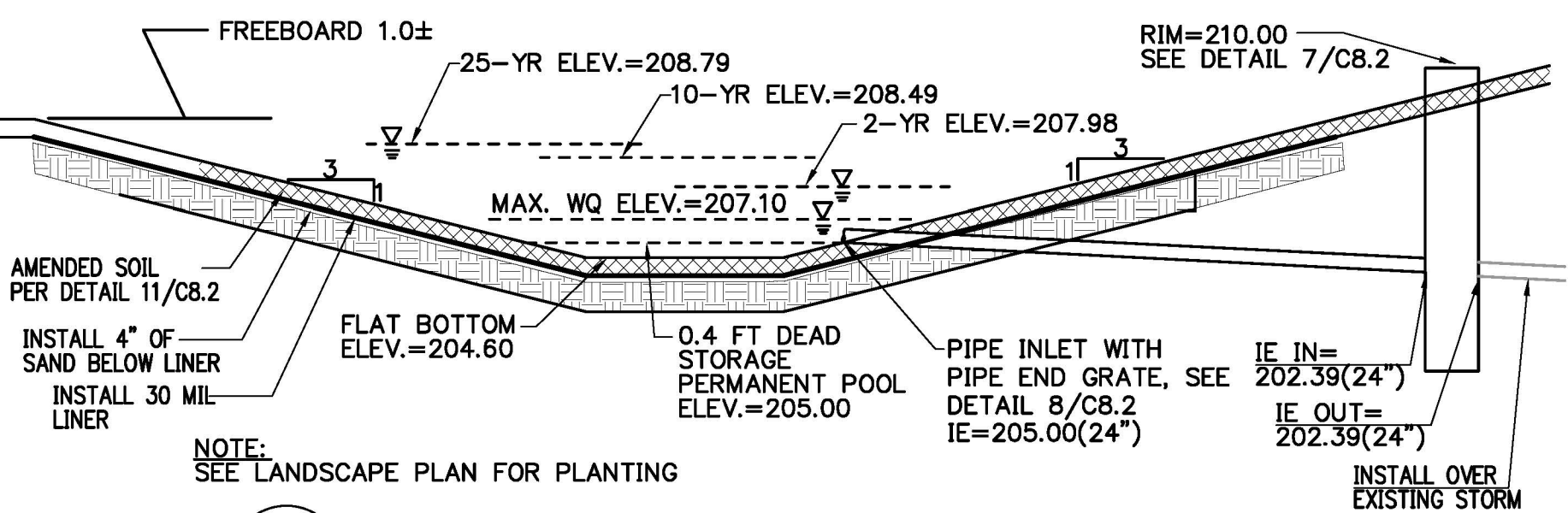
**7 CONCRETE CONTROL MANHOLE**  
C8.2 N.T.S.



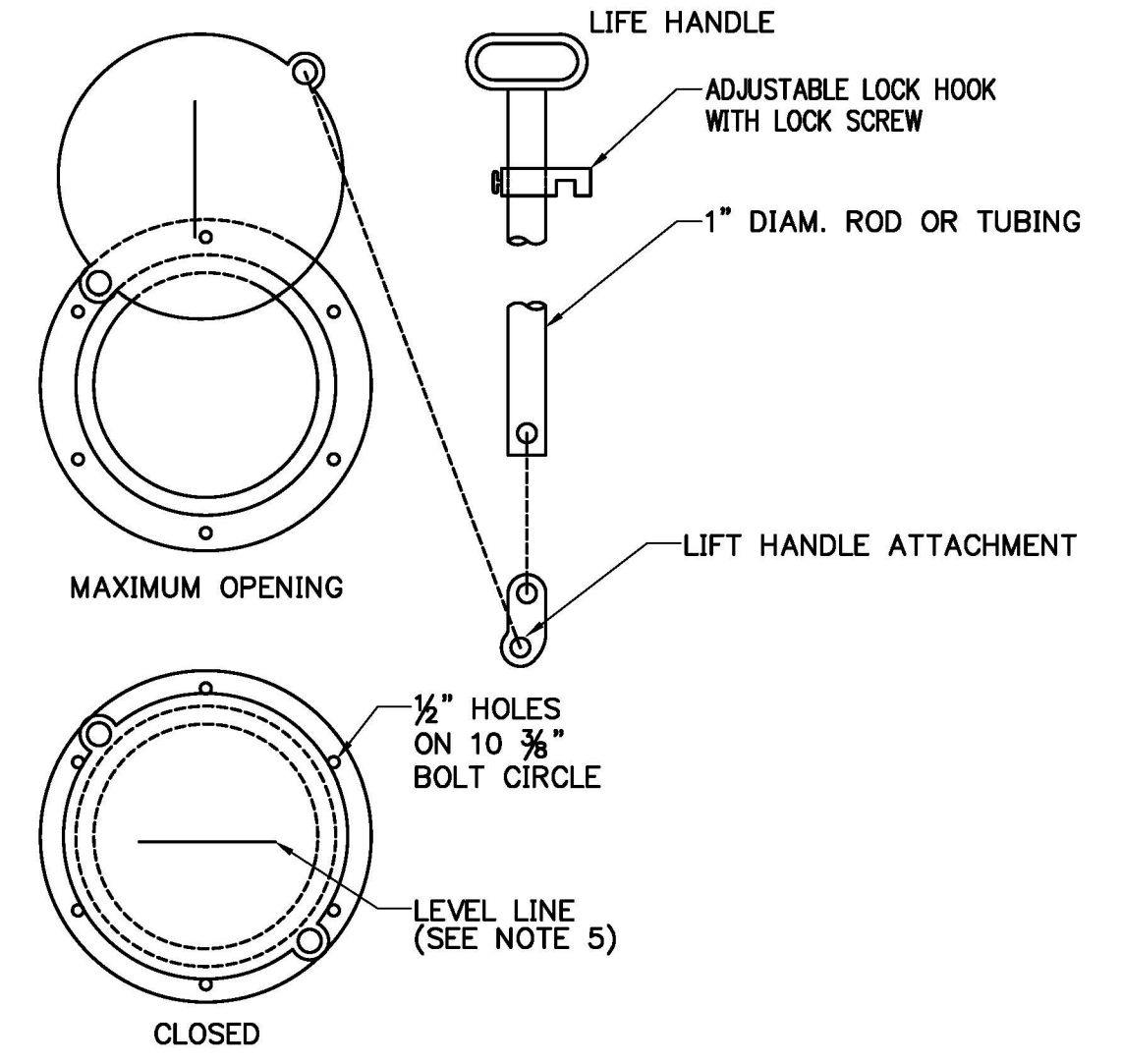
**6 CARPOOL PAVEMENT MARKING**  
C8.2 N.T.S.



**5 CATCH BASIN**  
C8.2 N.T.S.



**9 POND SCHEMATIC**  
C8.2 N.T.S.



**10 SHEAR GATE**  
C8.2 N.T.S.

**STORMWATER FACILITY BLENDED SOIL**

FURNISH IMPORTED BLENDED SOIL FOR ALL VEGETATED LIDA FACILITIES CONFORMING TO THE FOLLOWING:

- GENERAL COMPOSITION - USE MATERIAL THAT IS ANY BLEND OF LOAMY SOIL, SAND, AND COMPOST THAT IS 30-40% COMPOST (BY VOLUME) AND MEETS THE OTHER CRITERIA IN THIS SPECIFICATION.
- ANALYSIS REQUIREMENTS FOR THE BLENDED MATERIAL:
  - PARTICLE GRADATION - A SIEVE ANALYSIS OF THE BLENDED MATERIAL, INCLUDING COMPOST, SHALL BE CONDUCTED IN CONFORMANCE WITH ASTM C117/C117M, ASTM D1557, ASTM D422/D422M, OR ASTM D6913. THE ANALYSIS SHALL INCLUDE THE FOLLOWING SIEVE SIZES: 1 INCH, 3/8 INCH, #4, #10, #20, #40, #60, #100, #200. THE GRADATION OF THE BLEND SHALL MEET THE FOLLOWING GRADATION CRITERIA.

SIEVE SIZE	PERCENT PASSING
1 INCH	100
#4	75-100
#10	40-100
#40	15-50
#100	5-25
#200	5-15

- THE MATERIAL SHALL BE LOOSE AND EASILY BROKEN INTO SMALL PIECES
- IT SHALL BE WELL MIXED AND HOMOGENEOUS.
- IT SHALL BE FREE OF WOOD PIECES, PLASTIC, AND OTHER FOREIGN MATTER.
- IT SHALL HAVE NO VISIBLE FREE WATER.

**COMPOST**

THE COMPOST SHALL BE DERIVED FROM PLANT MATERIAL AND PROVIDED BY A MEMBER OF THE US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE (STA) PROGRAM. SEE WWW.COMPOSTINGCOUNCIL.ORG FOR A LIST OF LOCAL PROVIDERS.

THE COMPOST SHALL BE THE RESULT OF THE BIOLOGICAL DEGRADATION AND TRANSFORMATION OF PLANT-DERIVED MATERIALS UNDER CONDITIONS DESIGNED TO PROMOTE AEROBIC DECOMPOSITION. THE MATERIAL SHALL BE WELL COMPOSTED, FREE OF VISIBLE WEED SEEDS, AND STABLE WITH REGARD TO OXYGEN CONSUMPTION AND CARBON DIOXIDE GENERATION. THE COMPOST SHALL HAVE NO VISIBLE FREE WATER AND PRODUCE NO MUST WHEN HANDLED. IT SHALL MEET THE FOLLOWING CRITERIA, AS REPORTED BY THE US COMPOSTING COUNCIL STA COMPOST TECHNICAL DATA SHEET PROVIDED BY THE VENDOR.

- 100% OF THE MATERIAL MUST PASS THROUGH A 1/2-INCH SCREEN.
- THE PH OF THE MATERIAL SHALL BE BETWEEN 6 MIN. AND 8.5 MAX.
- MANUFACTURED INERT MATERIAL (PLASTIC, CONCRETE, CERAMICS, METAL, ETC.) SHALL BE LESS THAN 1.0% BY WEIGHT.
- THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 30 AND 70% (DRY WEIGHT BASIS).
- SOLUBLE SALT CONTENT SHALL BE LESS THAN 6.0 MMHOS/CM.
- MATURITY INDICATOR SHALL BE GREATER THAN 80% FOR GERMINATION AND WOOD.
- STABILITY SHALL BE "STABLE" TO "VERY STABLE".
- CARBON/NITROGEN (C/N) RATIO SHALL BE LESS THAN 25:1.
- TRACE METALS TEST RESULT = "PASS".

**CONSTRUCTION**

STORMWATER FACILITY BLENDED SOIL

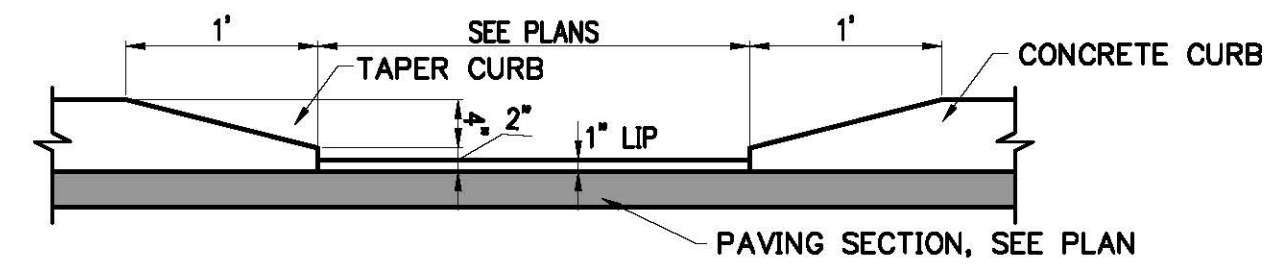
- PROTECTION OF THE SOIL - THE MATERIAL SHALL BE PROTECTED FROM ALL SOURCES OF CONTAMINATION, INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE.
- WET AND WINTER CONDITIONS - HAULING AND PLACEMENT OF THE MATERIAL WILL NOT BE ALLOWED WHEN THE WEATHER IS 100 WET OR THE GROUND IS FROZEN OR SATURATED AS DETERMINED BY THE OWNERS REPRESENTATIVE.
- PLACEMENT OF THE SOIL - PLACE THE MATERIAL IN LOOSE LIFTS, NOT TO EXCEED 8 INCHES EACH AND EACH LIFT SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. DO NOT OTHERWISE MECHANICALLY COMPACT THE MATERIAL.
- TIMING OF PLANT INSTALLATION - WEATHER PERMITTING AND AS APPROVED, INSTALL PLANTS AS SOON AS POSSIBLE AFTER PLACING AND GRADING THE SOIL IN ORDER TO MINIMIZE EROSION AND FURTHER COMPACTION.
- EROSION CONTROL - TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION MEASURES ARE FUNCTIONAL.
- PROTECTION OF THE INSTALLED SOIL - IN ALL CASES, THE PROJECT INSTALLED MATERIAL FROM FOOT OR EQUIPMENT TRAFFIC AND SURFACE WATER RUNOFF. INSTALL TEMPORARY FENCING OR WALKWAYS AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE AREA. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND EQUIPMENT BE STORED ON TOP OF THE INSTALLATION AREA.

BLENDING SOIL SPECIFICATION FOR VEGETATED LIDA FACILITIES  
DRAWING NO. 798

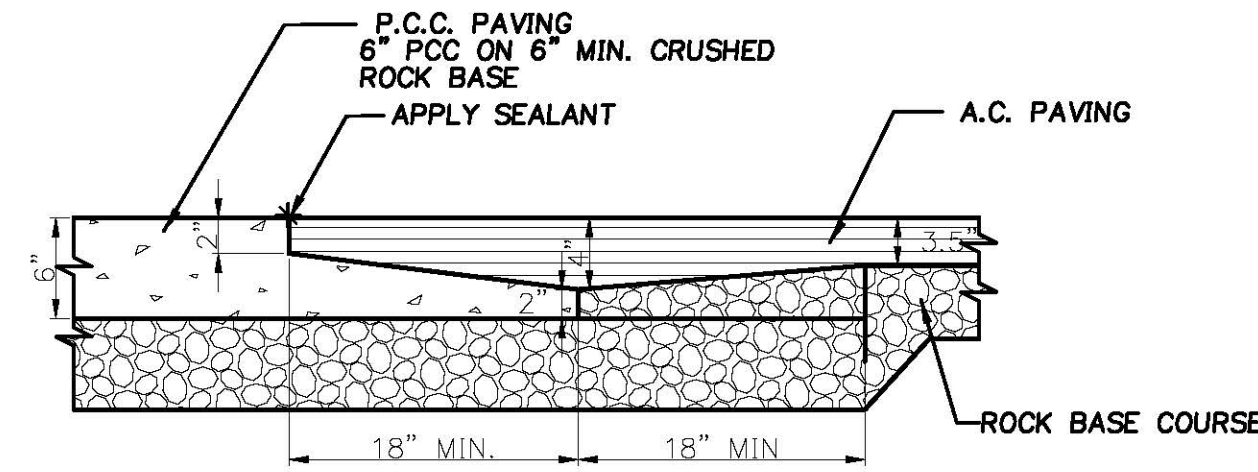
LIDA HANDBOOK  
06-16

CleanWater Services

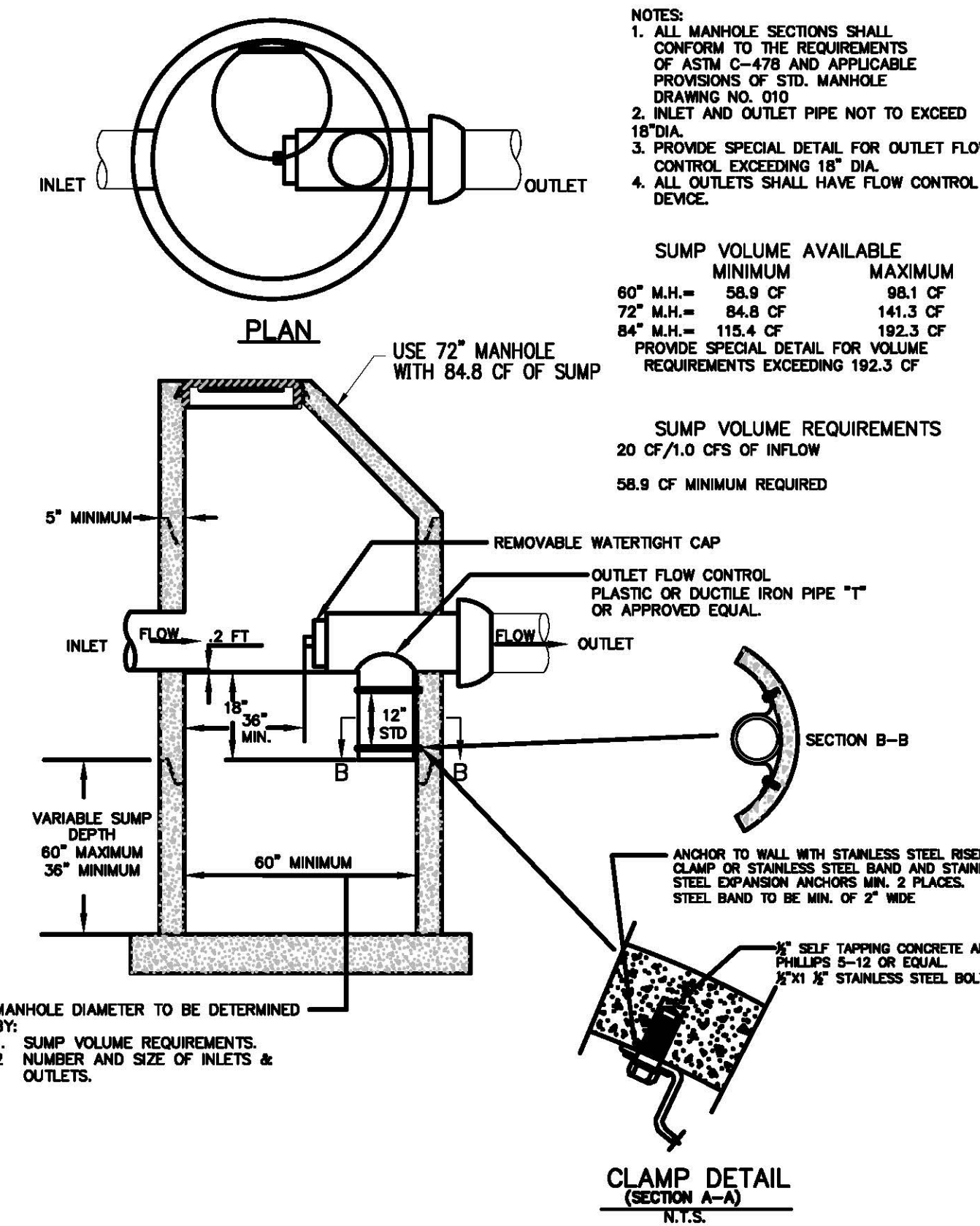
**11 CLEAN WATER SERVICES DRAWING 798**  
C8.2 N.T.S.



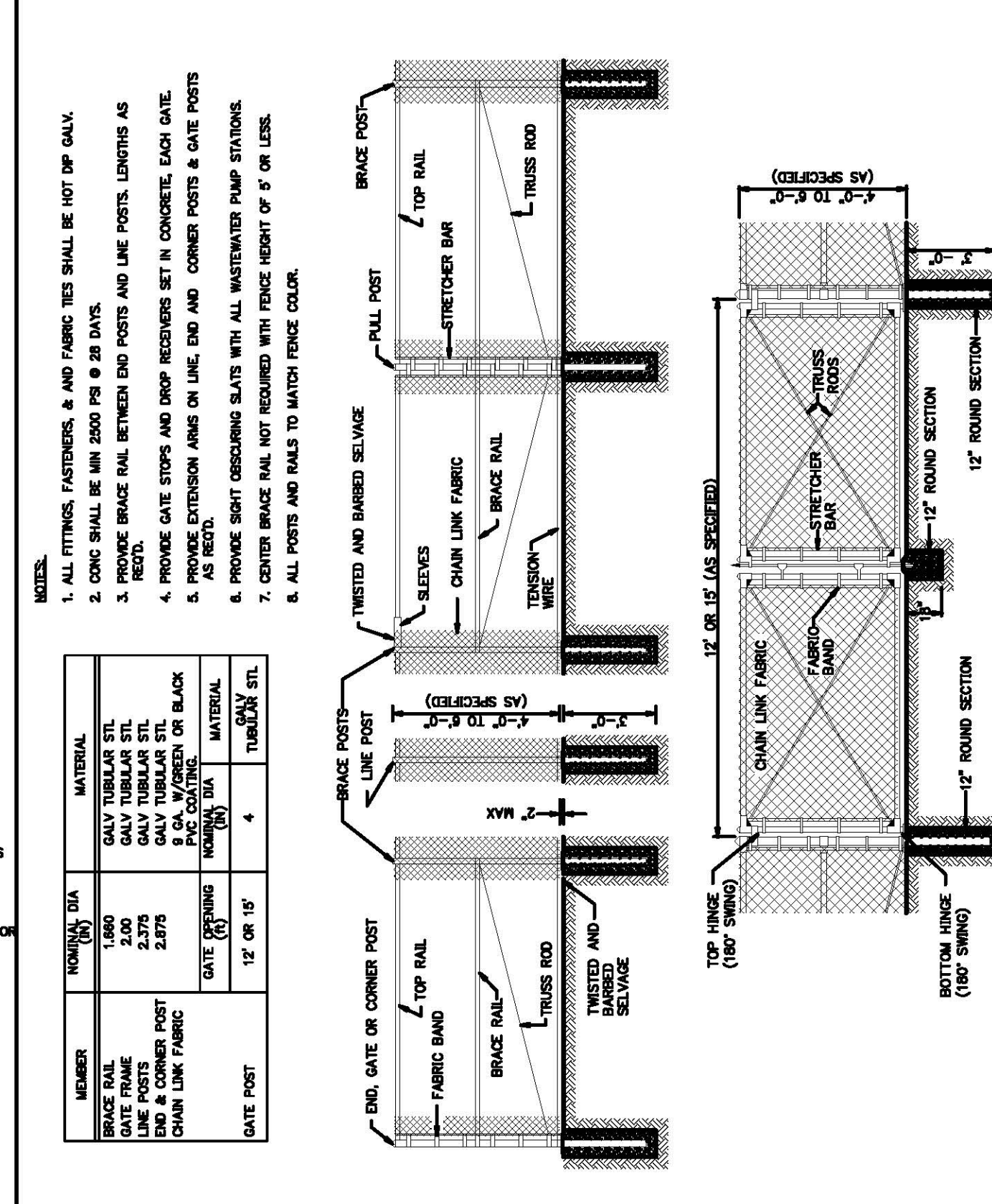
**1 CONCRETE CURB BREAK AT FIRE ROAD**  
C8.3 N.T.S. CURB-BREAK



**2 A.C.-CONCRETE TRANSITION**  
C8.3 N.T.S. AC-CONCT



**WATER QUALITY  
MANHOLE (MECHANICAL)**  
DRAWING NO. 240 REVISED 12-08



**CHAIN LINK FENCE  
AND GATE**  
DRAWING NO. 740 REVISED 12-08



Project  
**SW 115TH AVE  
INDUSTRIAL  
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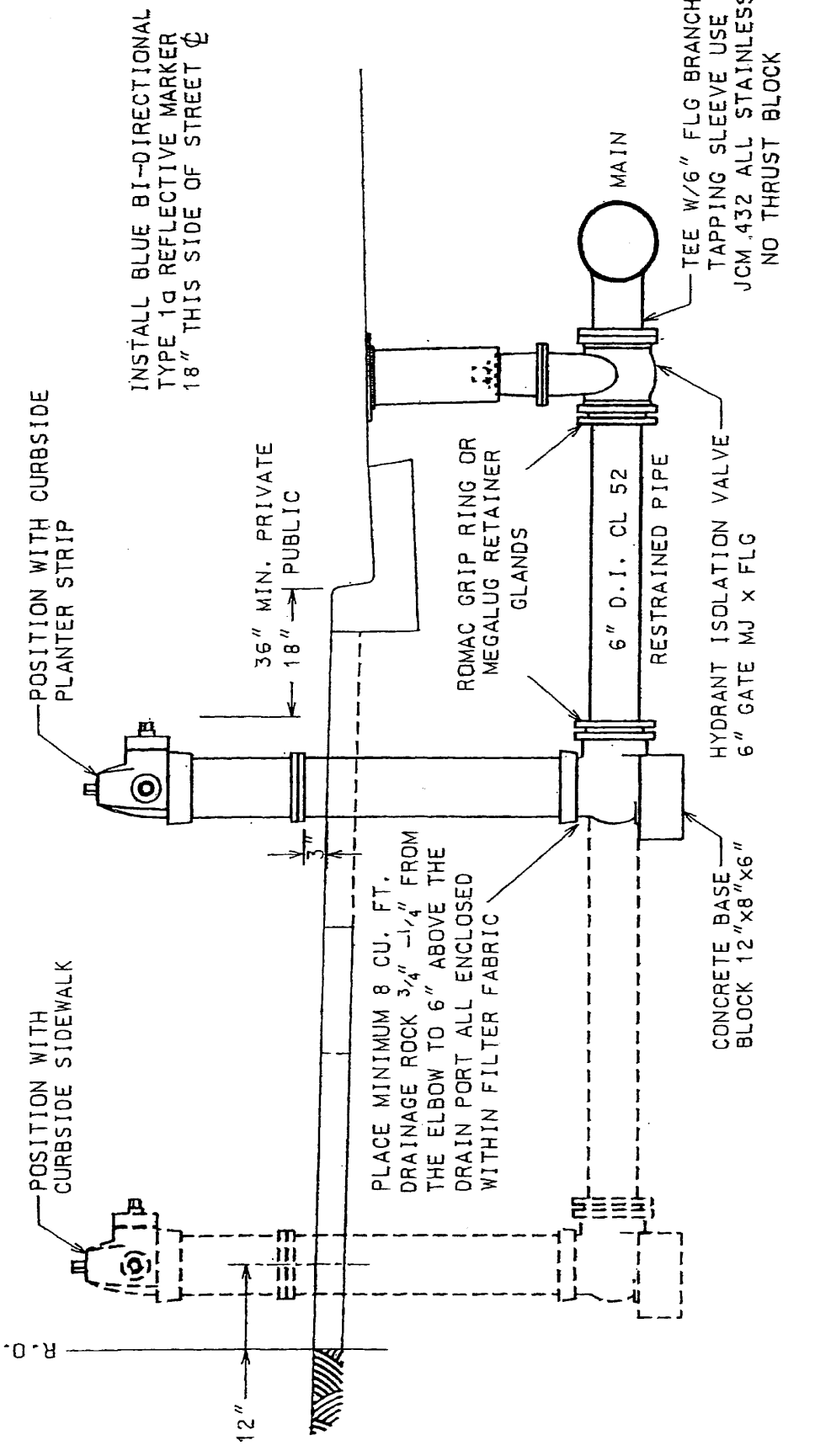
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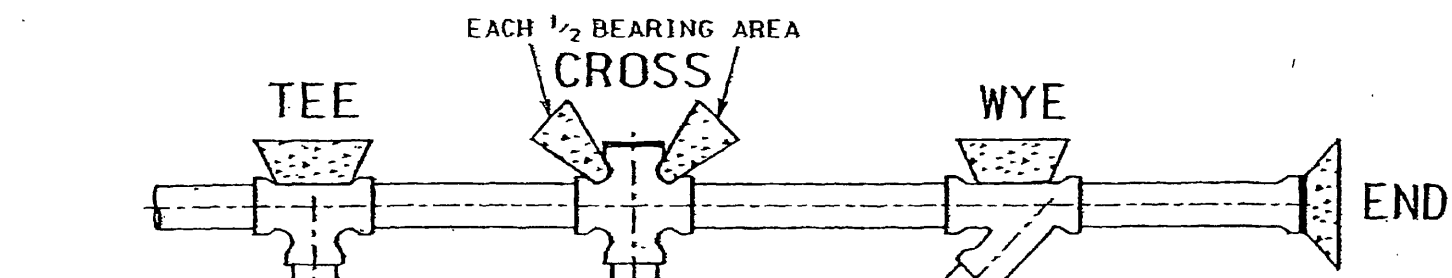
JOB NO. **2160026.00**



NOTE:

1. APPLY MAINS TEST PRESSURE AGAINST CLOSED MAIN VALVE IN THE HYDRANT AND NOT THROUGH THE HYDRANT
2. FIRE HYDRANT SHALL BE WATEROUS PAPER W/67 (WITH 16\"/>

**THRUST BLOCK REQUIREMENTS AT SOIL/CONCRETE INTERFACE**

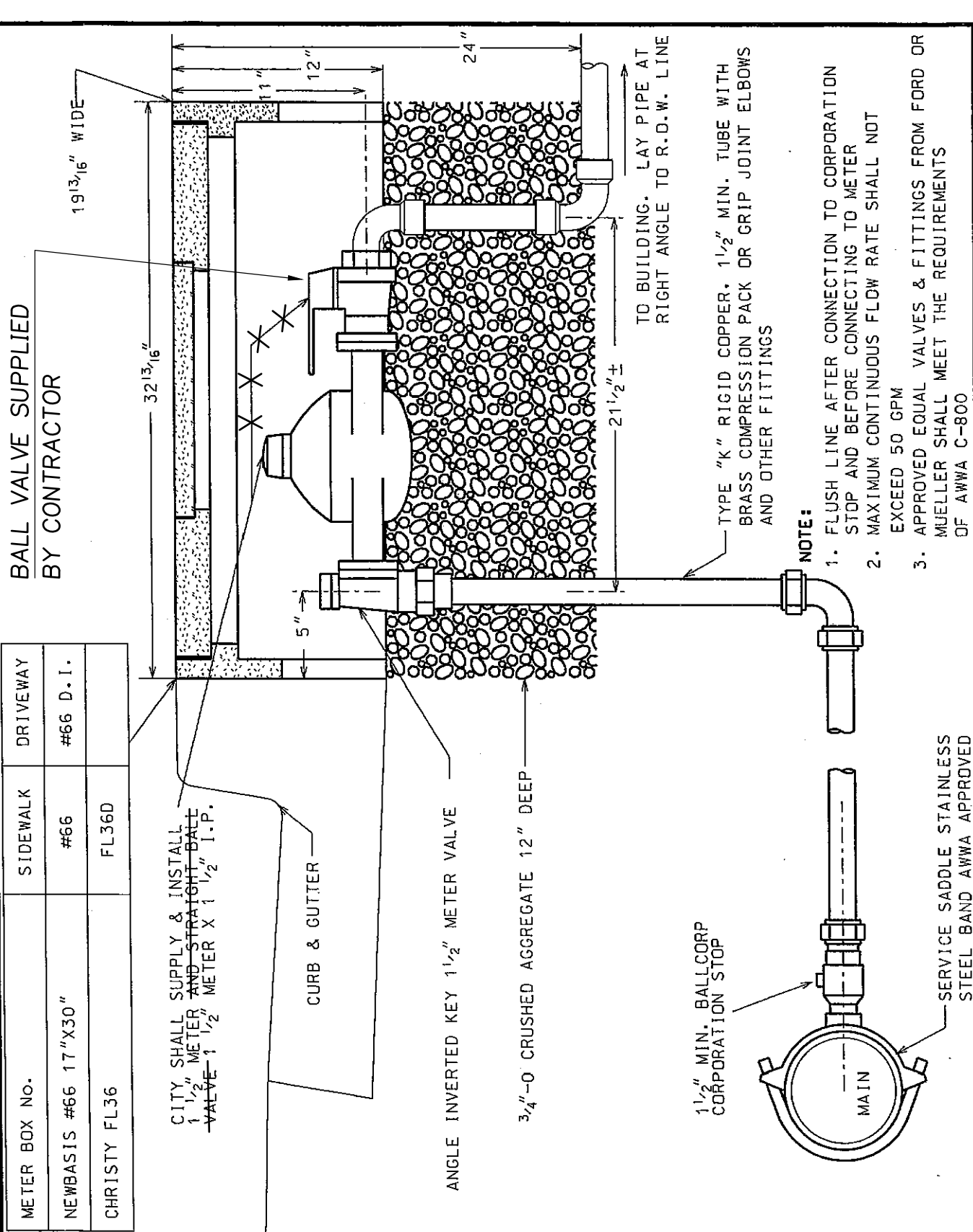


1. BLOCK HEIGHT TO BE LESS THAN 1/2 TOTAL DEPTH SOIL SURFACE TO BOTTOM OF BLOCK BUT NOT LESS THAN PIPE DIAMETER
2. BLOCK WIDTH TO VARY BETWEEN EQUAL TO OR NOT GREATER THAN TWICE BLOCK HEIGHT

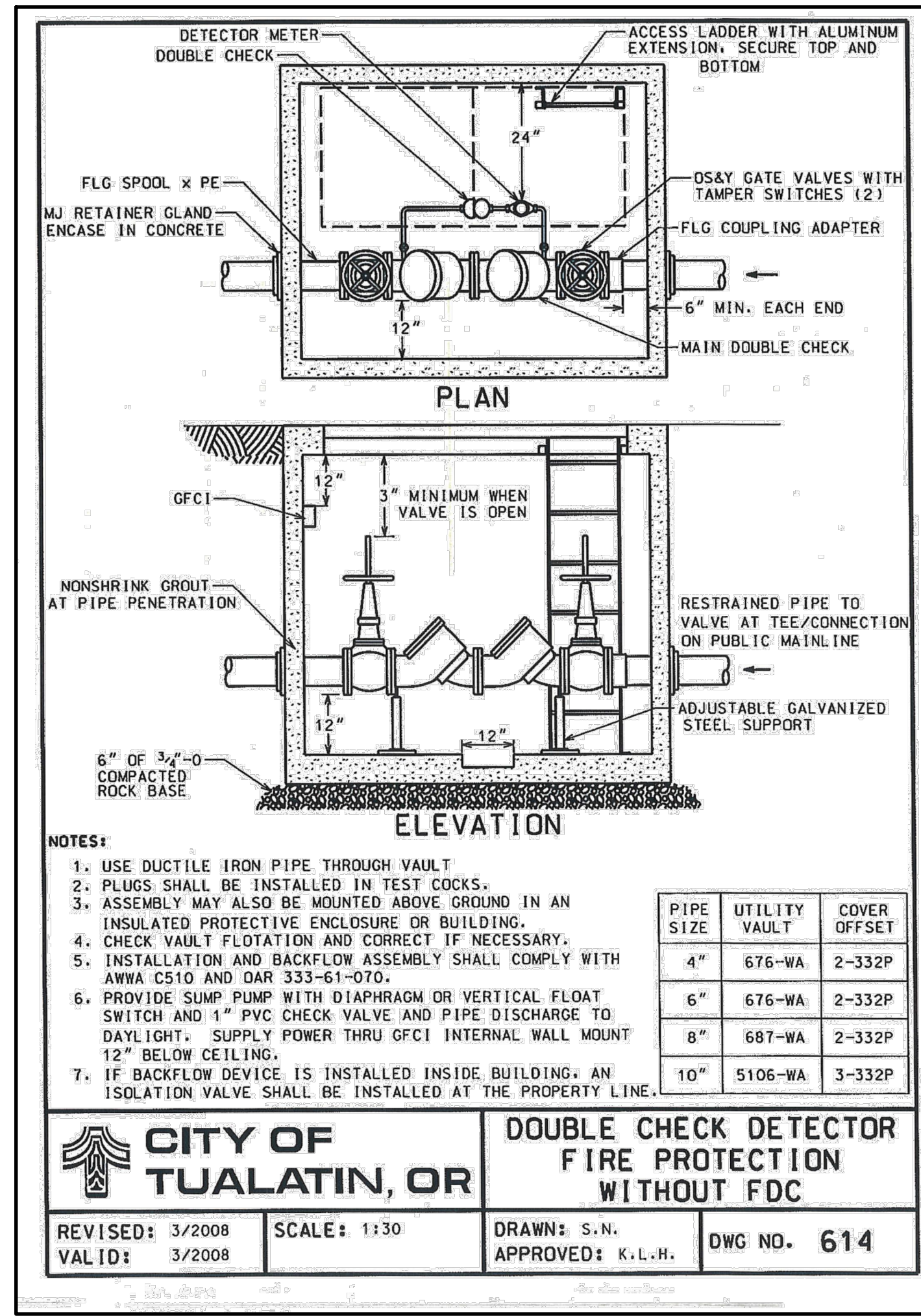
NOTE:  
THRUST BLOCKS TO BE USED ONLY WHEN CONNECTING TO AN UNKNOWN LENGTH OF PIPE OTHERWISE USE APPROVED MU RETAINER GLANDS AND RESTRAINED PIPE

FITTING SIZE INCHES	BEARING AREA SQ. FT.					
	BEND 90° CROSS TEE A1	TEE A2	TEE WYE END	BEND 45°	BEND 22.5°	BEND 11.25°
3	1.31	1.85	0.92	0.71	0.36	0.18
4	1.92	2.71	1.36	1.04	0.53	0.27
6	3.97	5.61	2.80	2.15	1.09	0.55
8	6.82	9.65	4.82	3.69	1.88	0.95
10	10.26	14.52	7.26	5.55	2.83	1.42
12	14.51	20.53	10.26	7.86	4.00	2.01
14	19.50	27.58	13.79	10.55	5.38	2.70
16	25.22	35.67	17.83	13.65	6.96	3.50
18	31.68	44.80	22.40	17.14	8.74	4.39
20	38.87	54.97	27.48	21.03	10.72	5.39
24	55.45	78.42	39.21	30.01	15.30	7.69

- DESIGN CRITERIA:
1. TEST PRESSURE 150 LB/SQ. IN.. CONCRETE 3300-11/2\"/>



METER BOX NO.	DRIVEWAY	DRIVEWAY	DRIVEWAY
CHRISTY FL36	FL360	FL360	FL360

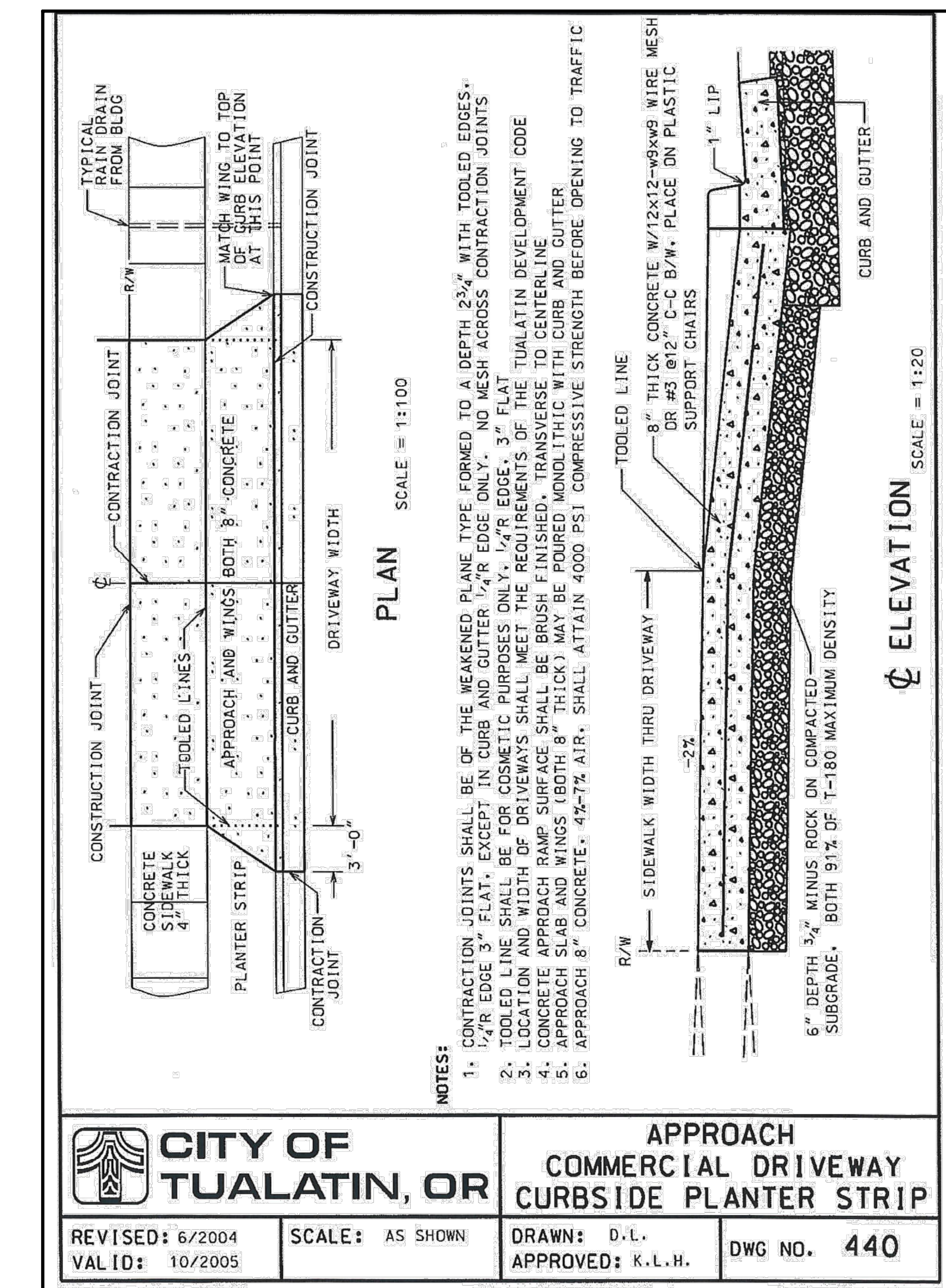


<b>CITY OF TUALATIN, OR</b>	<b>FIRE HYDRANT ASSEMBLY</b>
	REVISED: 8/2004 VAL ID: 10/2005

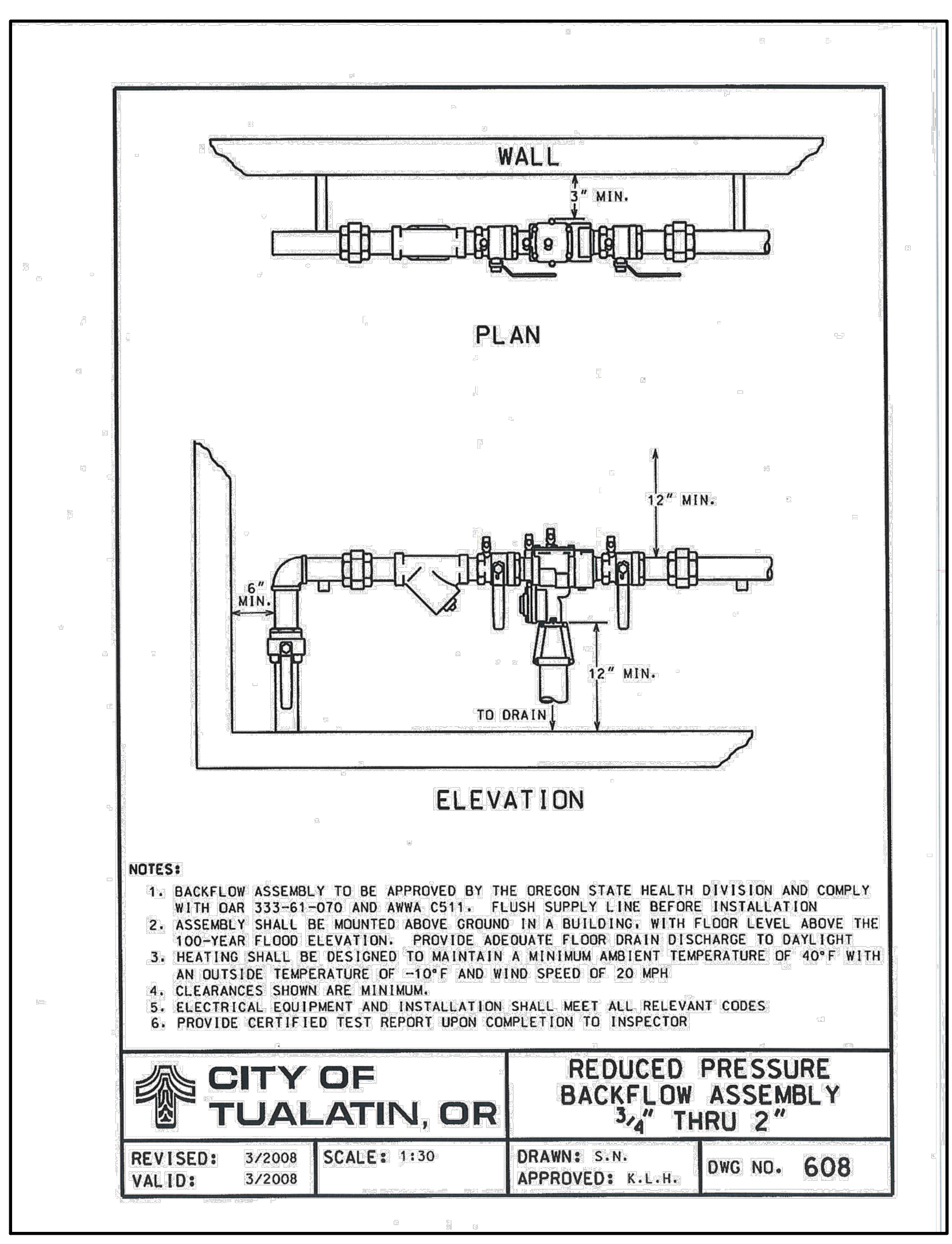
<b>CITY OF TUALATIN, OR</b>	<b>PIPE JOINT RESTRAINT BEARING THRUST BLOCKS</b>
	DATE OF LAST REVISION: 2/2002 SCALE: NOT TO SCALE

<b>CITY OF TUALATIN, OR</b>	<b>WATER SERVICE 1 1/2\"/&gt; </b>
	REVISED: 3/2008 VAL ID: 3/2008

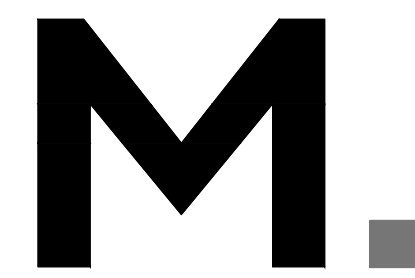
<b>CITY OF TUALATIN, OR</b>	<b>DOUBLE CHECK DETECTOR FIRE PROTECTION WITHOUT FDC</b>
	REVISED: 3/2008 VAL ID: 3/2008



<b>CITY OF TUALATIN, OR</b>	<b>APPROACH COMMERCIAL DRIVEWAY CURBSIDE PLANTER STRIP</b>
	REVISED: 6/2004 VAL ID: 10/2005



<b>CITY OF TUALATIN, OR</b>	<b>REDUCED PRESSURE BACKFLOW ASSEMBLY 3/4\"/&gt; </b>
	REVISED: 3/2008 VAL ID: 3/2008



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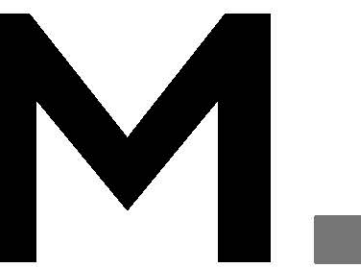
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DRAWN BY: JSR  
CHECKED BY:  
SHEET:

**C8.4**

JOB NO. **2160026.00**

# SW 115TH AVE INDUSTRIAL BUILDING EROSION AND SEDIMENT CONTROL PLANS FOR 1200-C PERMIT



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NO.	NO.	NO.	NO.

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**SEDIMENT AND  
EROSION CONTROL  
COVER SHEET**

DRAWN BY: ASP

CHECKED BY: RLF

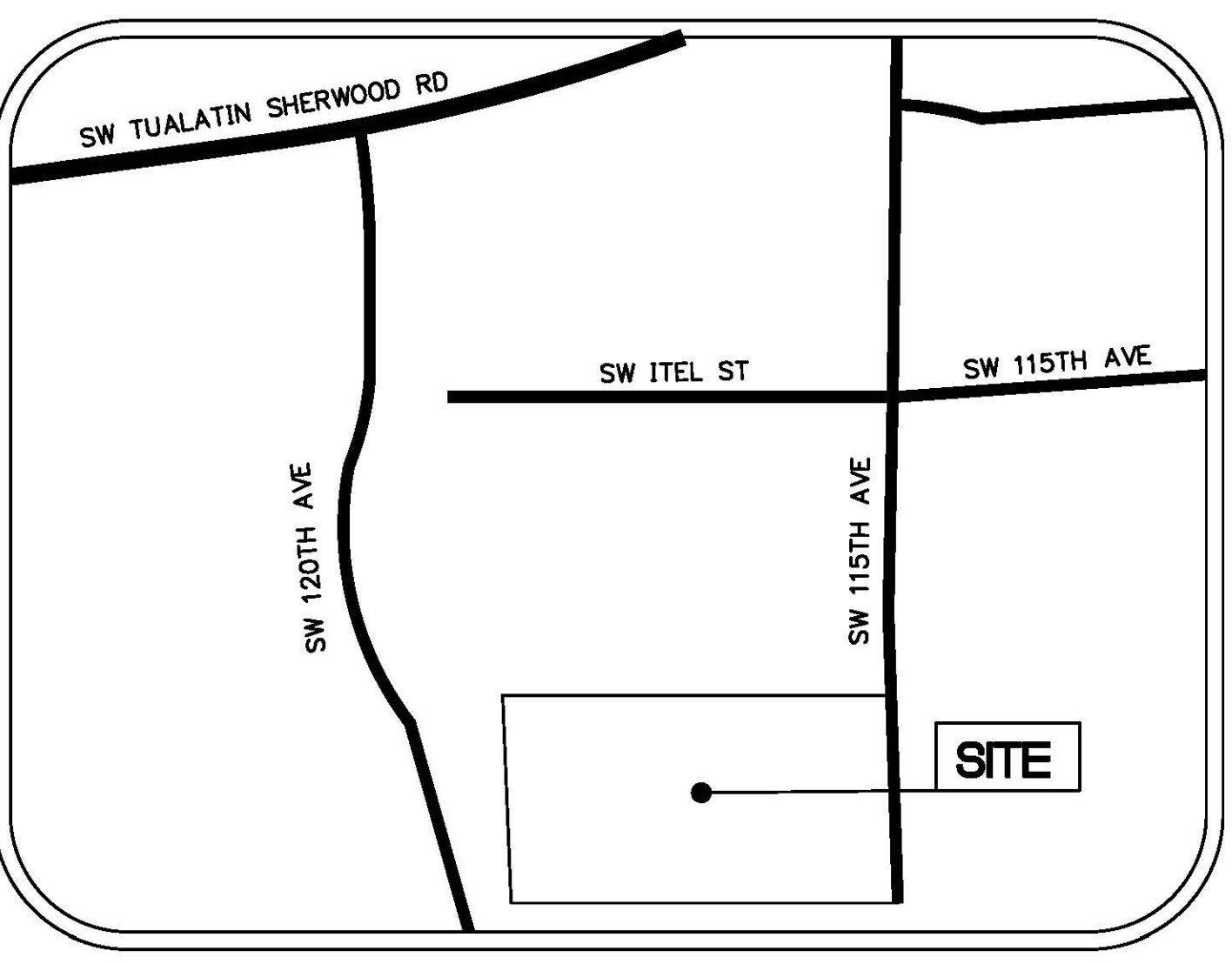
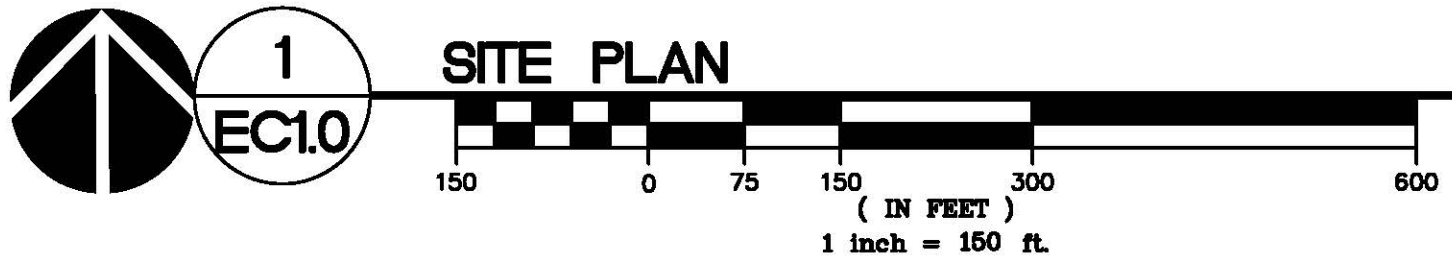
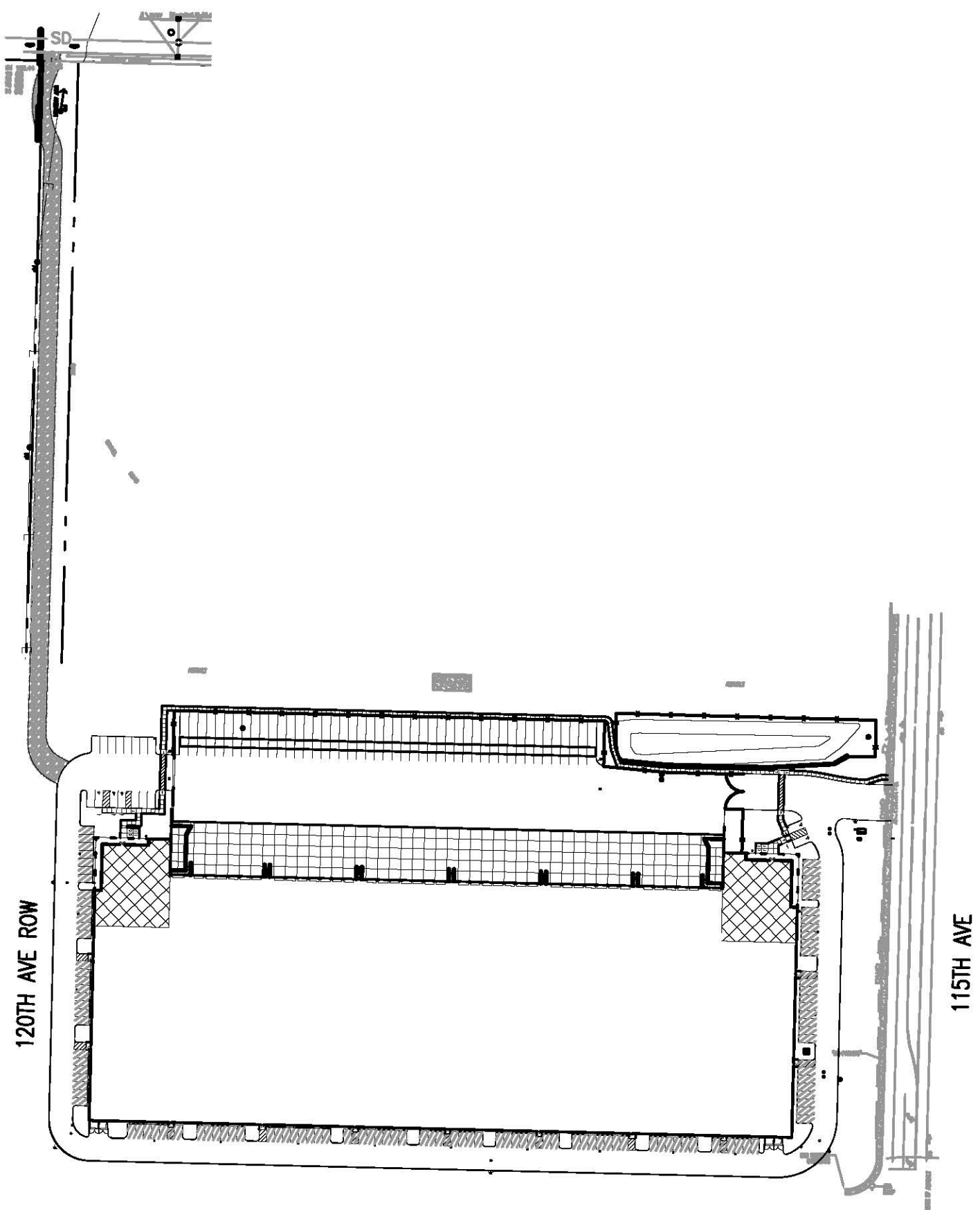
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REVISED ARCHITECTURAL REVIEW: 5-11-17

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**DEVELOPER**  
MAJESTIC HILLSBORO BROOKWOOD, LLC  
13191 CROSSROADS PKWY, N, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746  
CONTACT: PHILLIP BROWN  
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**OWNER**  
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**NARRATIVE DESCRIPTIONS**

**EXISTING SITE CONDITIONS**

- \* PREVIOUSLY UNDEVELOPED SITE

**DEVELOPED CONDITIONS**

- \* BUILDING AND ASSOCIATED PARKING

**NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE**

- \* CLEARING (AUG 2017-SEP 2017)
- \* MASS GRADING (AUG 2018-SEP 2018)
- \* UTILITY INSTALLATION (OCT 2018-NOV 2018)
- \* PARKING LOT CONSTRUCTION (NOV 2018-FEB 2019)
- \* FINAL GRADING STABILIZATION (FEB 2019-MAR 2019)

TOTAL SITE AREA = 513,557 SF = 11.79 ACRES

TOTAL DISTURBED AREA = 656,790.30 SF = 15.08 ACRES

**SITE SOIL CLASSIFICATION:**

- 5B - BRIEDWELL STONY SILT LOAM, 0 TO 7 PERCENT SLOPES
- 21A - HILLSBORO LOAM, 0 TO 3 PERCENT SLOPES
- 21D - HILLSBORO LOAM, 12 TO 20 PERCENT SLOPES
- 27 - LABISH MUCKY CLAY
- 37A - QUATAMA LOAM, 0 TO 3 PERCENT SLOPES
- 38B - SAUM SILT LOAM, 2 TO 7 PERCENT SLOPES
- 38C - SAUM SILT LOAM, 7 TO 12 PERCENT SLOPES

ON-SITE SOILS HAVE A SLIGHT EROSION POTENTIAL. ALL FILL MATERIAL SHALL BE GENERATED ON-SITE FROM GRADING CUT AREAS.

**RECEIVING WATER BODIES:**

SITE CONDITION	MINIMUM FREQUENCY
ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOWMELT, IS OCCURRING
PRIOR TO SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY	AT LEAST ONCE EVERY (14) CALENDAR DAYS REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
INACTIVE PERIODS GREATER THAN (14) CONSECUTIVE CALENDAR DAYS	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE
PERIODS AT WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER	ONCE EVERY MONTH
PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION
PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

- \* HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (Schedule A.8.c.i.(3))
- \* ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS.
- \* INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER LOCATION. (Schedule B.2.a)

**SURVEYORS**  
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THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

**STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:**

- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A 8.A)
- THE ESCP MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE MEASURES AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION AND SEDIMENT CONTROL REGULATIONS. (SCHEDULE A.8.C.I.(1)(C))
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT. (SCHEDULE A.12.C.IV)
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A 8.C.II.(1)(D))
- IDENTIFY, MARK, AND PROTECT (BY FENCING OFF OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.C.I.(1) & (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.g.v.(1) AND A.7.g.v.(3))
- EROSION AND SEDIMENT CONTROL MEASURES INCLUDING PERIMETER SEDIMENT CONTROL MUST BE IN PLACE BEFORE VEGETATION IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING PROTECTION FOR ACTIVE STORM DRAIN INLETS AND CATCH BASINS AND APPROPRIATE NON-STORMWATER POLLUTION CONTROLS. (SCHEDULE A.7.d.i AND A.8.C)
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. DIRECT ALL WASH WATER INTO A PIT OR LEAK-PROOF CONTAINER. HANDLE WASH WATER AS WASTE. CONCRETE DISCHARGE TO WATERS OF THE STATE IS PROHIBITED. (SCHEDULE A.8.c.i.(6) AND A.8.c.ii.(2))
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES AND FOR ALL ROADWAYS INCLUDING GRAVEL ROADWAYS. (SCHEDULE A.8.c.ii.(3))
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.I.(7))
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPs SUCH AS: GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPs BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (SCHEDULE A 7.d.ii.(1) AND A.8.C.I.(4))
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.II.(5))
- USE BMPs TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER FLUIDS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, LEFTOVER PAINTS, SOLVENTS, AND GLUES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.I.(2))
- IMPLEMENT THE FOLLOWING BMPs WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES (SUCH AS 7.E.III.)
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A 7.g.v.)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.III)
- IF A STORMWATER TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A 7.g.ii)
- AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPs MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A 7.E.II.(2))
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND DURING WET WEATHER. (SCHEDULE A.7.A.I)
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT. AND BEFORE BMP REMOVAL. (SCHEDULE A.9.C.II)
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.III & IV)
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME (SCHEDULE A.9.B.I)
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
- PROVIDE PERMANENT EROSION CONTROL MEASURES ON ALL EXPOSED AREAS. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. HOWEVER, DO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AS EXPOSED AREAS BECOME STABILIZED, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. PROPERLY DISPOSE OF CONSTRUCTION MATERIALS AND WASTE, INCLUDING SEDIMENT RETAINED BY TEMPORARY BMPs. (SCHEDULE A.7.g.v.(2) AND A.8.C.III)
- IF THE STATE IS WITHIN THE PROJECT SITE OR WITHIN 50 FEET OF THE PROJECT BOUNDARY, MAINTAIN THE EXISTING NATURAL BUFFER WITHIN THE 50-FOOT ZONE FOR THE DURATION OF THE PERMIT COVERAGE, OR MAINTAIN LESS THAN THE ENTIRE EXISTING NATURAL BUFFER AND PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs. (SCHEDULE A.7.b.i)

**LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES:**

- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAT COVER 1; THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP I.E. (FILTER BAG).
- ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 - MAY 31.

**BMP MATRIX FOR CONSTRUCTION PHASES**

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1-MAY 31ST)
<b>EROSION PREVENTION</b>						
PRESERVE NATURAL VEGETATION	X	X	X	X	X	X
BIOMASS COVERS					X	X
HARDWARE APPLICATIONS					X	X
FLYDUST BARRIERS					X	X
MATTING					X	X
DUST CONTROL	X	X	X	X	X	X
TEMPORARY PERMANENT SEEDING					X	X
BUFFER ZONE	X	X	X	X	X	X
<b>SEDIMENT CONTROL</b>						
SEDIMENT FENCE (PERIMETER)	X	X	X	X	X	X
SEDIMENT FENCE (INTERIOR)					X	X
STORMWATER						
FILTER BERM			X	X	X	
INLET PROTECTION	X	X	X	X	X	X
SWEEPING						X
SEDIMENT TRAP						X
MULTI-LAYER BUFFER ENHANCEMENT						X
<b>OTHER</b>						
SURFACE PROTECTION	X	X	X	X	X	X
CONSTRUCTION DRAINAGE						
PRE-CONCRETE						
OUTLET PROTECTION						
SURFACE REPAIRS						
CHECK DAMS						
<b>EROSION PREVENTION</b>						
PROPOSED BARRIERS	X	X	X	X	X	X
MULCH MATTING	X	X	X	X	X	X
WELL CUT GRASS	X	X	X	X	X	X
CONCRETE WASHOUT AREA			X	X	X	X
<b>OTHER</b>						

\*SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.  
\*\*SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

**RATIONALE STATEMENT**

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

INITIAL

**PERMITTEE'S SITE INSPECTOR:**

COMPANY/AGENCY: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
FAX: \_\_\_\_\_  
E-MAIL: \_\_\_\_\_  
DESCRIPTION OF EXPERIENCE: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SHEET INDEX**

EC#	DESCRIPTION
EC1.0	SEDIMENT AND EROSION CONTROL COVER SHEET
EC2.0	CLEARING AND DEMOLITION EROSION AND SEDIMENT CONTROL PLAN
EC3.0	GRADING AND UTILITY CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN
EC3.1	FIRE ACCESS GRADING AND UTILITY CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN
EC4.0	EROSION AND SEDIMENT CONTROL DETAILS





REVISIONS:

REVISION	REVISIONS DELTA THIS SHEET	REVISION CLOSING DATE

SHEET TITLE:  
**CLEARING  
AND DEMOLITION  
EROSION AND  
SEDIMENT CONTROL  
PLAN**

DRAWN BY: ASP

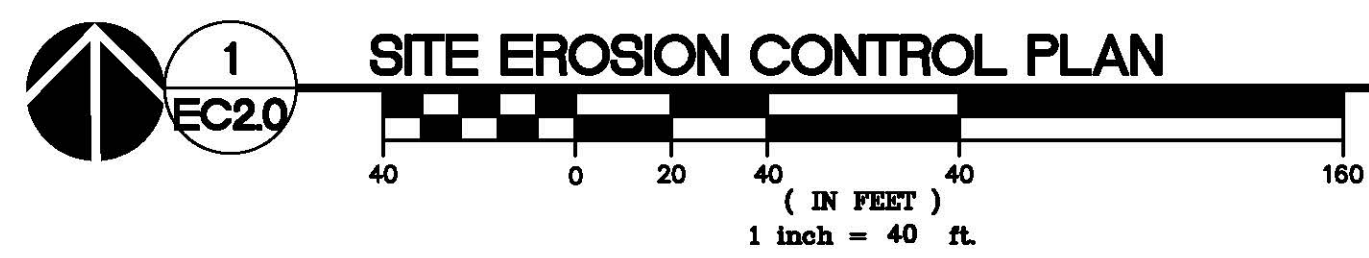
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SHEET:

**EC2.0**

JOB NO. **2160026.00**

REVISED ARCHITECTURAL REVIEW: 5-11-17



- LEGEND**
- CONCRETE WASHOUT
  - INLET PROTECTION
  - SEDIMENT FENCE
  - CONSTRUCTION ENTRANCE
  - DRAINAGE FLOW DIRECTION

**PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES**

- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
- SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

**DUST CONTROL NOTES**

- CONTRACTOR SHALL MINIMIZE WIND BLOWN DUST FROM LEAVING SITE TO EXTENT PRACTICABLE.
- CONTRACTOR SHALL KEEP EXPOSED SOILS MOIST TO PREVENT DUST.
- CONTRACTOR SHALL APPLY RANTEC SUPER TACK AS REQUIRED TO PREVENT WIND BLOWN SEDIMENT FROM LEAVING SITE.



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SHEET TITLE:  
**GRADING  
AND UTILITY  
CONSTRUCTION  
EROSION AND  
SEDIMENT CONTROL  
PLAN**

DRAWN BY: ASP

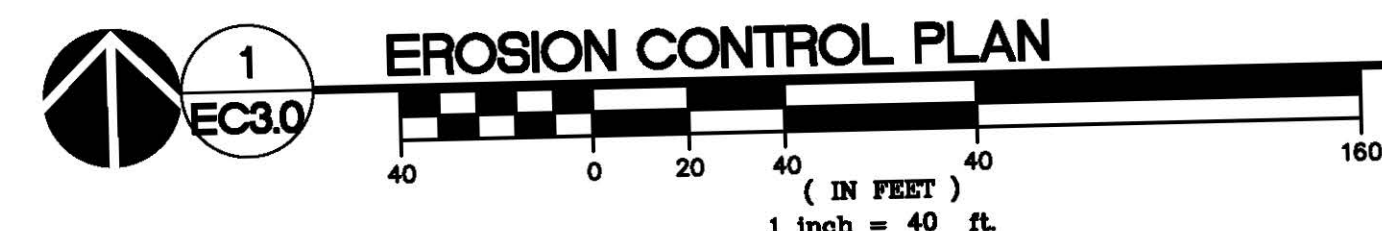
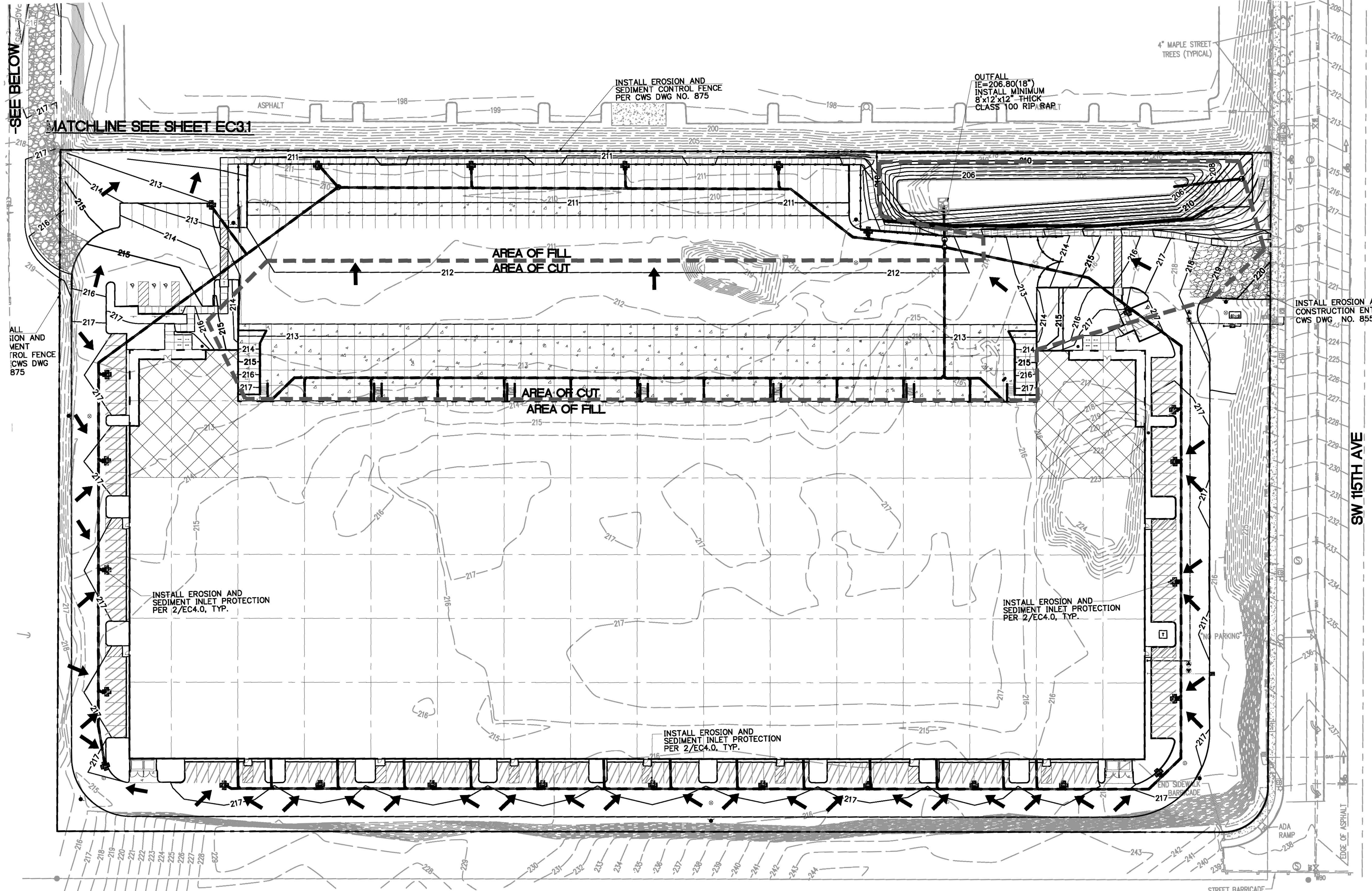
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**EC3.0**

JOB NO. **2160026.00**

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**LEGEND**

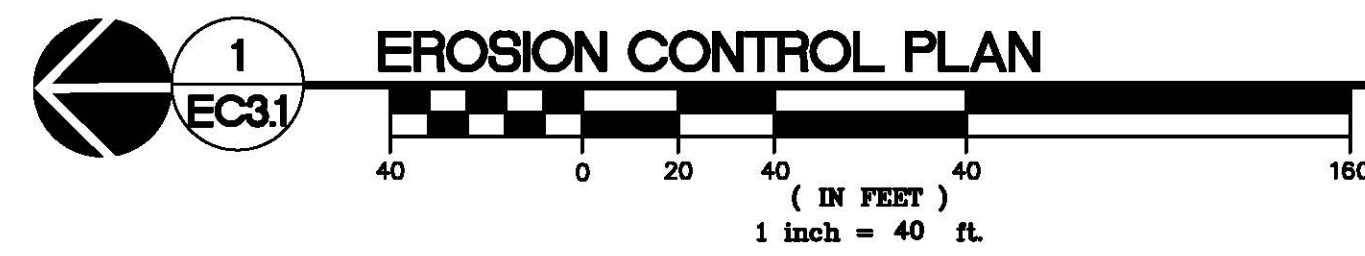
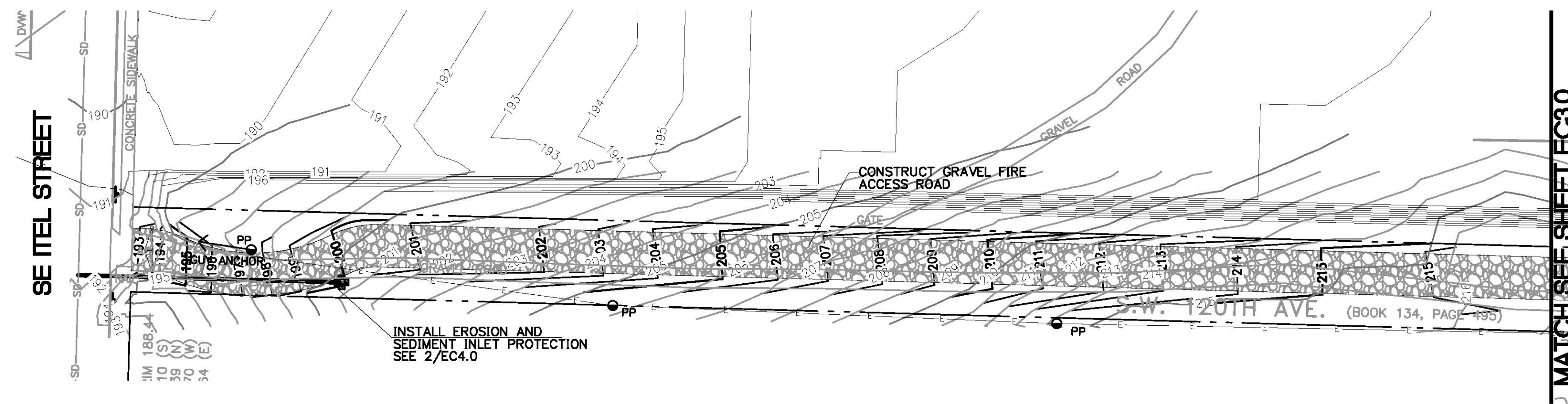
	CONCRETE WASHOUT
	INLET PROTECTION
	SEDIMENT FENCE
	CONSTRUCTION ENTRANCE
	DRAINAGE FLOW DIRECTION
	EXISTING CONTOUR
	PROPOSED FINAL CONTOURS (POST STOCKPILE)
	CUT/FILL LINE

**EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION**

- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- THE STORM WATER FACILITY SHALL BE CONSTRUCTED AND LANDSCAPED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
- INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY A SUITABLE APPLICATION OF BMP'S (REVEGETATED, MULCHED, COVERED WITH PLASTIC OR BURLAP ETC.) DURING THE WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY. STABILIZATION OF ALL SOILS IS REQUIRED AT THE COMPLETION OF THE PROJECT, AND INCLUDES OF REMOVAL OF SEDIMENT FENCING.

**GRADING AND EROSION AND SEDIMENT CONTROL NOTES**

- SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
  - VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
  - DWARF GRASS MIX (MIN. 100 LB./AC.)
    - DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
    - CREeping RED FESCUE (20% BY WEIGHT)
  - STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
    - ANNUAL RYEGRASS (40% BY WEIGHT)
    - TURF-TYPE FESCUE (60% BY WEIGHT)
- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION, DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHERS, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM, OR SURFACE WATERS. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMP'S SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.



## GRADING AND EROSION AND SEDIMENT CONTROL NOTES

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## LEGEND

- CONCRETE WASHOUT
- INLET PROTECTION
- SEDIMENT FENCE
- CONSTRUCTION ENTRANCE
- DRAINAGE FLOW DIRECTION
- EXISTING CONTOUR
- PROPOSED FINAL CONTOURS (POST STOCKPILE)
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## EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION

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Project  
**SW 115TH AVE  
INDUSTRIAL  
BUILDING**



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## REVISIONS:

REVISION	REVISIONS THIS SHEET	REVISION DATE	DELTA	CLOSING DATE

SHEET TITLE:  
**FIRE ACCESS  
GRADING AND UTILITY  
CONSTRUCTION  
EROSION AND  
SEDIMENT CONTROL  
PLAN**

DRAWN BY: ASP

CHECKED BY: RLF

SHEET:

**EC3.1**

JOB NO. **2160026.00**

REVISED ARCHITECTURAL REVIEW: 5-11-17

REVISIONS:

NO.	REVISIONS	REVISION	DELTA	CLOSING DATE

SHEET TITLE:  
**EROSION AND**  
**SEDIMENT CONTROL**  
**DETAILS**

DRAWN BY: ASP

CHECKED BY: RLF

SHEET:

**EC4.0**

JOB NO. **2160026.00**

**SEDIMENT FENCE**  
DRAWING NO. 875 REVISED 12-06

**PLAN VIEW**  
NTS  
ANGLE FILTER FABRIC FENCE TO ASSURE SOIL IS TRAPPED  
INTERLOCKED 2"x 2" POSTS AND ATTACH

**PROFILE**  
NTS  
USE STITCHED LOOPS OVER 2"x 2" POSTS  
3' minimum from toe slope  
2'-6"  
4'-0"

**FRONT VIEW**  
NTS  
FILTER FABRIC MATERIAL 36" WIDE ROLLS  
6" MAXIMUM SPACING  
4'-0"  
1'-6"  
2'-6"

NOTES:  
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.  
2. 2" x 2" FIR, PINE OR STEEL FENCE POSTS.  
3. POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.  
4. COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.  
5. PANELS MUST BE PLACED ACCORDING TO SPACING ON DETAIL NO.940

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

CleanWater Services  
Our commitment is clear.

**CONSTRUCTION ENTRANCE**  
Detail Drawing 855 REVISED 12-06

**PLAN VIEW**  
EXISTING PAVEMENT OR APPROVED ACCESS POINT  
RADIUS = 25' MIN.  
CLEAN PIT RUN OR 3"- 6" CLEAN ROCK  
SUBGRADE REINFORCEMENT GEOTEXTILE, AS REQUIRED  
8" MIN. DEPTH  
PROVIDE FULL WIDTH OF INGRESS/EGRESS AREA  
50' MIN.

**PROFILE**  
GRAVEL CONSTRUCTION ENTRANCE  
CURB RAMP  
PAVEMENT  
\*20' MIN. FOR SINGLE FAMILY AND DUPLEX RESIDENTIAL

NOTES:  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.  
4. WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.  
5. DIMENSIONS:  
SINGLE FAMILY  
20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.  
COMMERCIAL  
50' LONG BY 20' WIDE 3-6" CLEAN ROCK.  
GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

CleanWater Services  
Our commitment is clear.

**OUTLET PROTECTION RIP RAP**  
Detail Drawing 820 REVISED 12-06

**PLAN VIEW**  
NTS  
ENDS OF BAGS OVERLAP 6' TYPICAL

**PROFILE**  
NTS  
BIOFILTER BAG

NOTE:  
1. BIO BAGS ONLY REQUIRED WHEN DISCHARGING SEDIMENT LADEN WATER.  
2. STAKING OF BAGS REQUIRED WITH EITHER METHOD USING (2) 1"x 2" WOOD STAKES OR APPROVED EQUAL PER BAG.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

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**PLASTIC SHEETING**  
DRAWING NO. 810 REVISED 12-06

MINIMUM 12" OVERLAP OF SEAMS.  
BARRIER REQUIRED @ TOE OF SLOPE.

NOTES:  
1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.  
2. BARRIER REQUIRED @ TOE OF STOCK PILE.  
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

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**INLET PROTECTION TYPE 4**  
DRAWING NO. 915 REVISED 12-06

MAY BE USED SHORT TERM W/ UTILITY WORK AND W/ PHASING OF DEVELOPMENT  
30"  
60"  
CATCH BASIN  
AREA DRAIN  
16"  
16"  
DITCH INLET  
PLAN VIEW  
6" overlap of bags.

NOTES:  
1. ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPES.  
2. BIO-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1"x2" WOODEN STAKES OR APPROVED EQUAL PER BAG.  
3. WHEN USING 30" BIO-BAGS TO PROTECT A CATCH BASIN YOU MUST HAVE 4 BAGS AND THEY SHALL BE OVERLAPPED BY 6".

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

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**CONCRETE WASHOUT**  
Detail Drawing 810 REVISED 12-06

CONCRETE TRUCK WASH-OUT SEE PLANS FOR LOCATION  
1:1  
16'  
2'  
2'  
ELEVATION VIEW  
16' MIN.  
12'  
1:1 SLOPE  
SECTION A-A

NOTES:  
1. CONCRETE WASHOUT AREA. LOCATED SO RUNOFF CANNOT ENTER STORM SYSTEM. IF WASH-OUT CANNOT BE LOCATED MINIMUM OF 50' FROM ENTRY TO STORM SYSTEM, THAN SECONDARY MEASURES SUCH AS BERMS AND TEMPORARY SETTLING PITTS MAY BE REQUIRED.  
2. CONTRACTOR SHALL CLEAN OUT CONCRETE TRUCK WASH-OUT AREA WHEN WHEN DEPTH REACHES 1".

**1 CONCRETE WASHOUT**  
EC4.0 N.T.S.

**CATCH BASIN SEDIMENT FILTER BAG**  
Detail Drawing 830 REVISED 12-06

DUMP STRAP  
1" REBAR FOR BAG REMOVAL FROM INLET  
DUMP STRAP  
2 EACH DUMP STRAPS  
EXPANSION RESTRAINT (1/4" NYLON ROPE, 2" FLAT WASHERS)  
SEDIMENT CONTROL BAG "SILTSACK" OR EQUAL  
DEPTH  
BAG DETAIL  
BAG DEPTH TO TOP OF PIPE  
INSTALLATION DETAIL

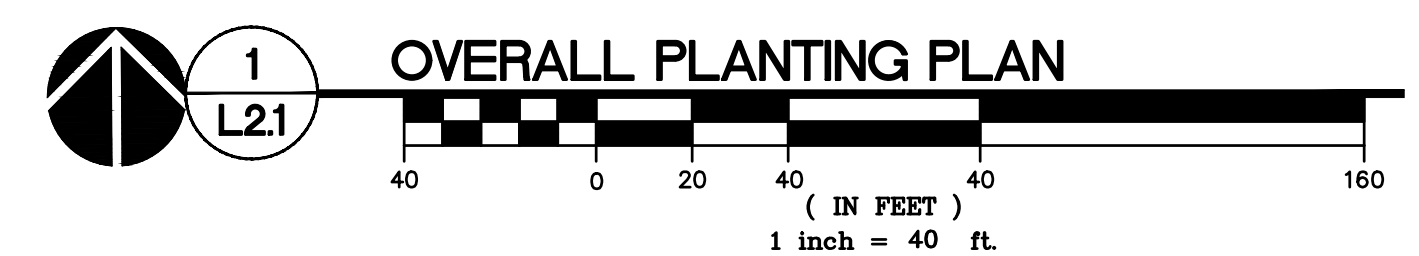
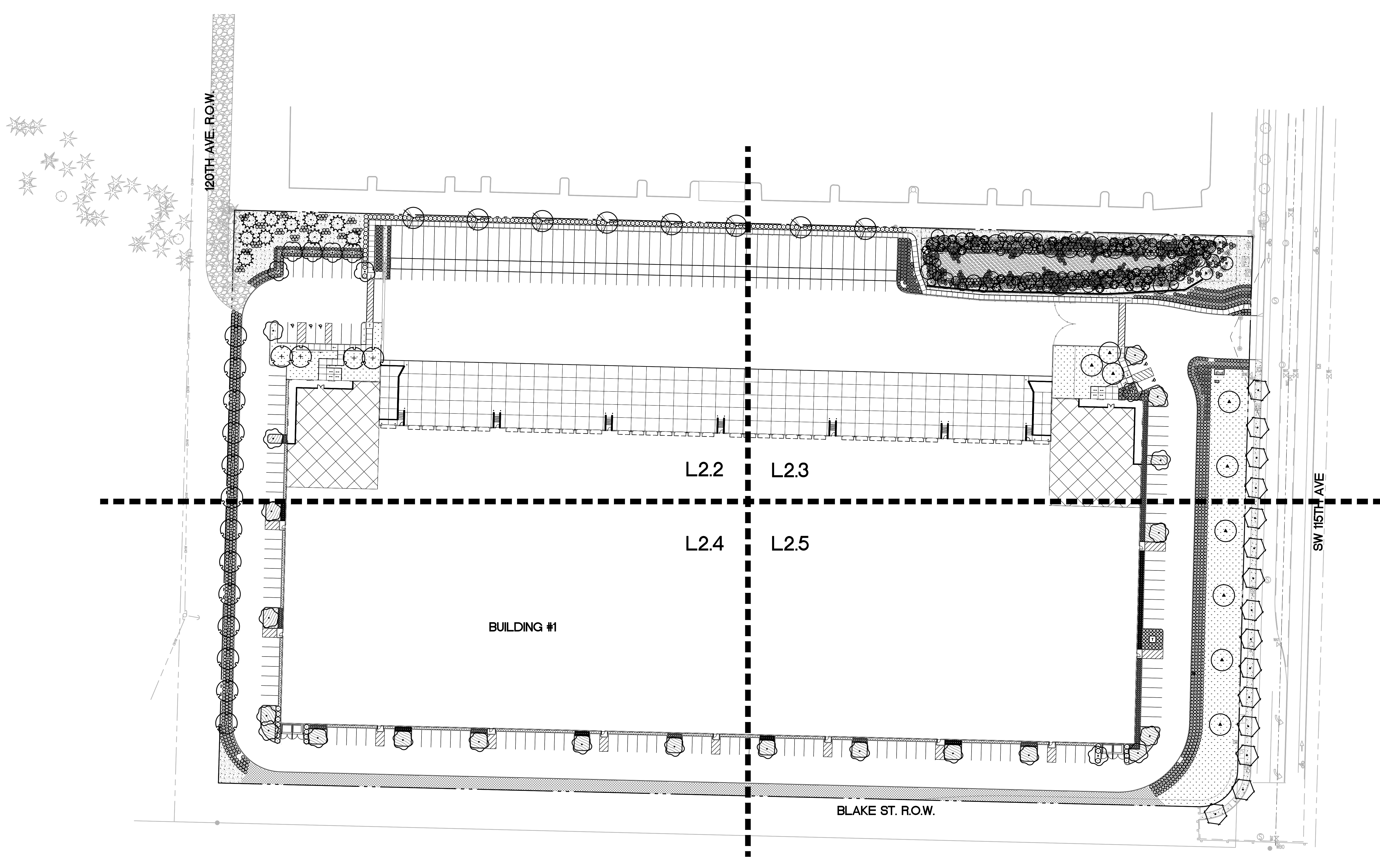
NOTE:  
1. THE DIMENSION CHART ABOVE IS FOR STANDARD CATCH BASINS AND INLETS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH INLET.  
2. THE CONTRACTOR SHALL MEASURE DIMENSIONS IN THE FIELD AND ORDER THE APPROPRIATE SIZE(S).  
3. THE INLET SEDIMENT CONTROL DEVICE SHALL BE OF NORMAL FLOW DESIGN, 40 GAL/MIN/SF WITH NO OVERFLOWS.  
4. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.  
5. SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.

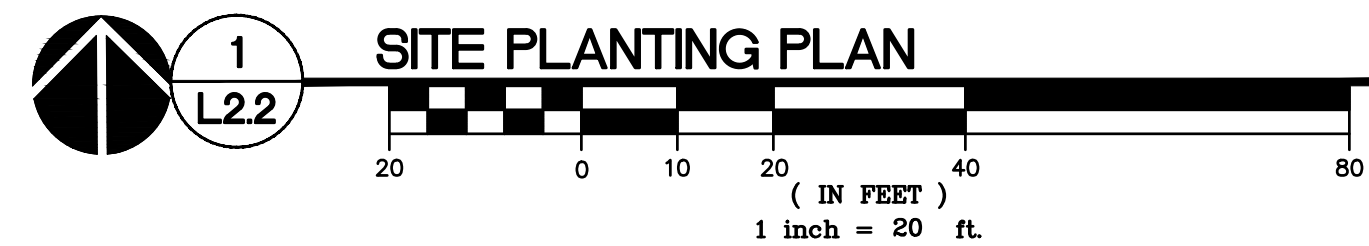
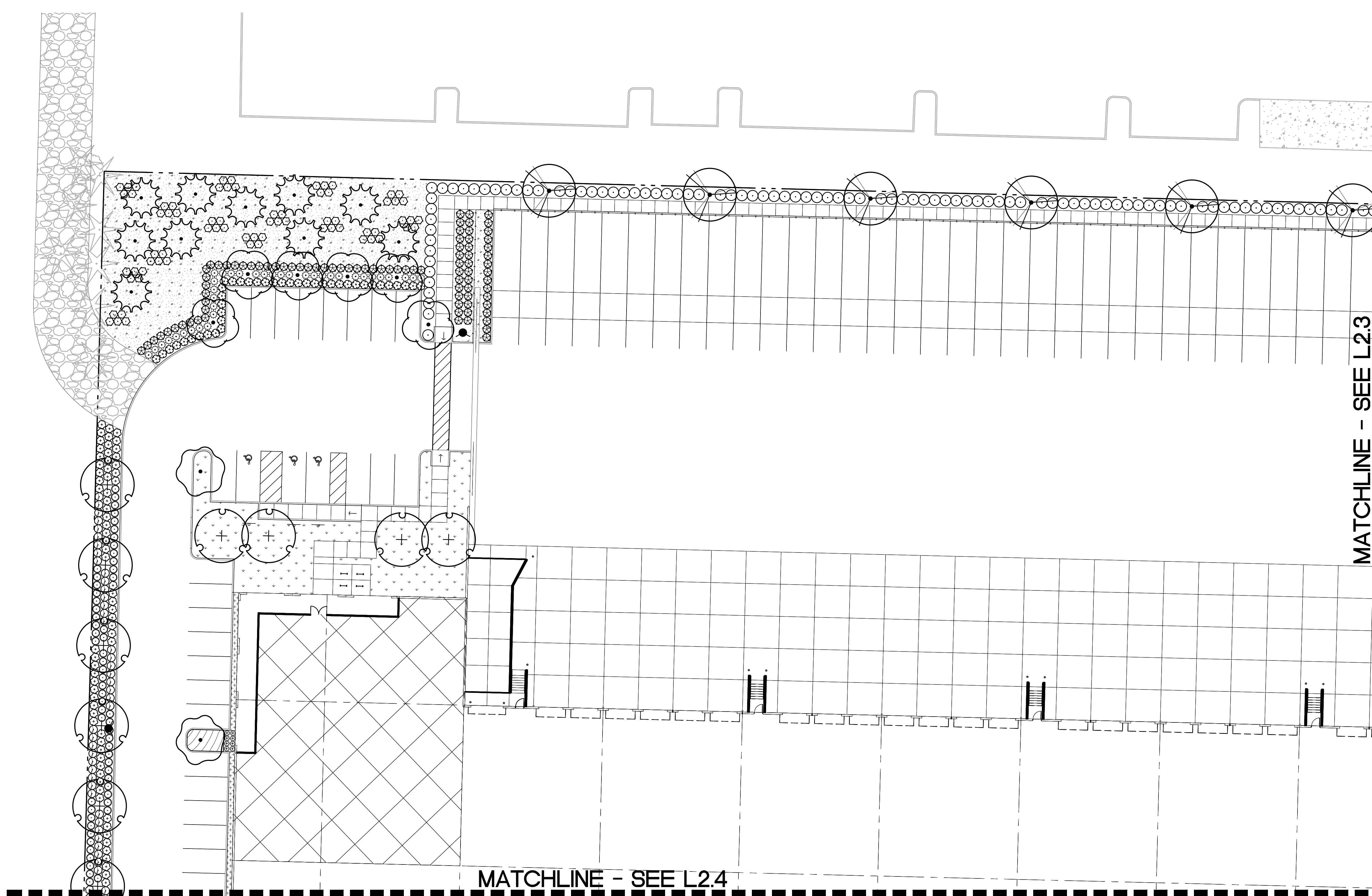
**2 CATCH BASIN SEDIMENT FILTER BAG**  
EC4.0 N.T.S.

**SEDIMENT FENCE CONSTRUCTION NOTES**

- SELECTION OF FILTER FABRIC TENSILE AND BURSTING STRENGTH DEPENDS ON THE SLOPE CHARACTERISTICS. THE USE OF STANDARD OR HEAVY DUTY FILTER FABRIC SHALL MEET DESIGN STANDARDS. SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES TO 120 DEGREES. SELECTION SHALL BE BASED ON STANDARD ENGINEERING PRINCIPLES FOR DESIGN.
- STANDARD OR HEAVY DUTY FILTER FABRIC FENCE SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS SHALL BE INSTALLED ON THE UP-HILL SIDE OF THE SLOPED AREA, WITH POSTS SPACED A MAXIMUM OF 6 FEET APART.
- FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6 INCHES DOWNHILL OF POSTS ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE DOWNHILL SIDE OF THE FENCE.
- THE PHYSICAL INTEGRITY OF ALL MATERIALS SHALL BE SUFFICIENT TO MEET THE REQUIREMENTS OF THEIR INTENDED USE AND WITHSTAND NORMAL WEAR AND TEAR.
- WHERE PRACTICAL THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, 2"x2" POSTS SHALL BE INTERLOCKED WITH EACH OTHER AND BE ATTACHED SECURELY.
- SEDIMENT FENCES SHALL BE INSPECTED BY APPLICANT/CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS OR ADDITIONS SHALL BE MADE IMMEDIATELY.
- AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE GREATER THAN 1/3 THE HEIGHT OF THE SEDIMENT FENCE ABOVEGROUND. SEDIMENT SHOULD BE REMOVED OR REGRADED INTO SLOPES, AND THE SEDIMENT FENCES REPAIRED AND RE-ESTABLISHED AS NEEDED.







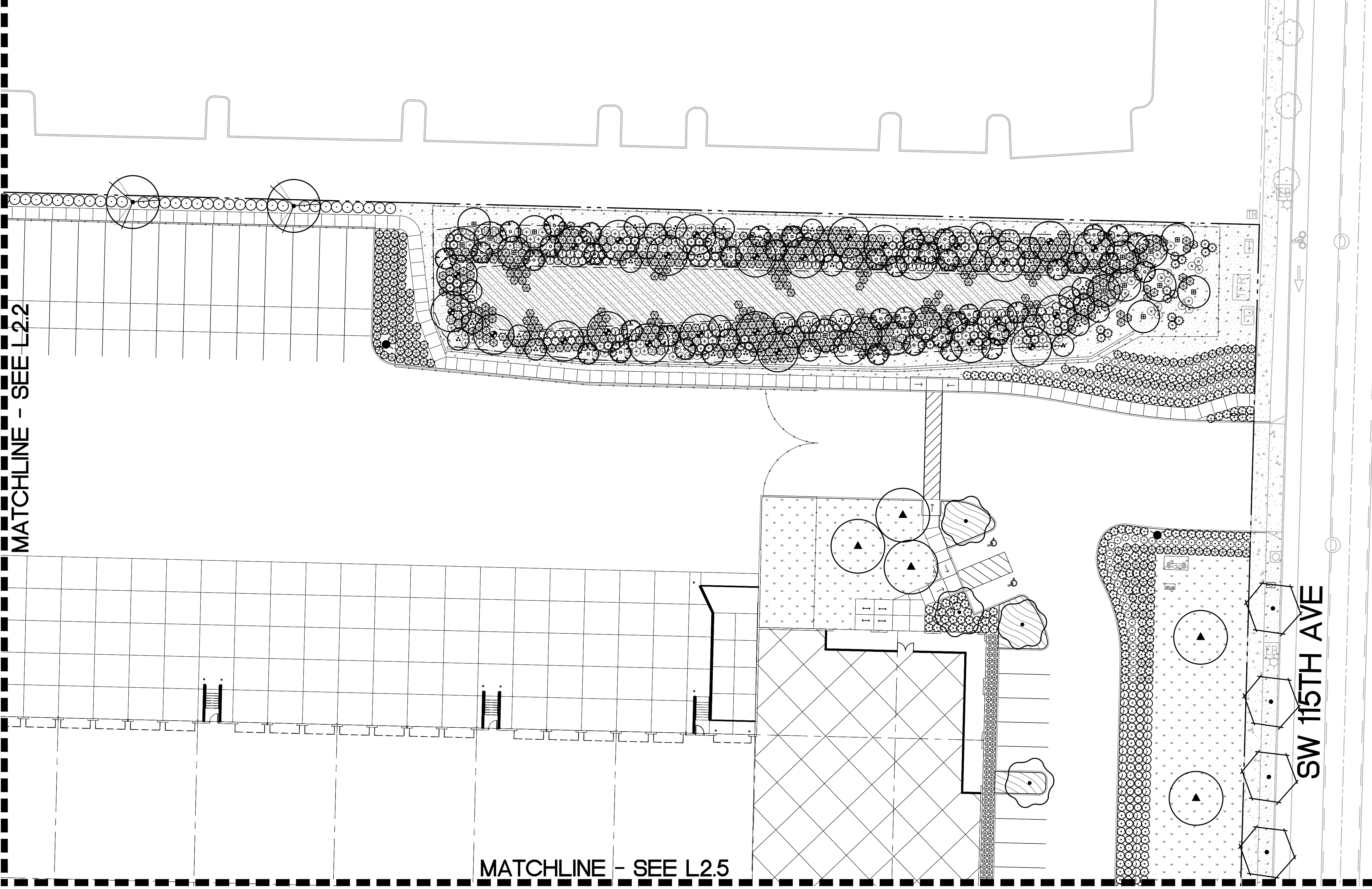


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Project  
**SW 115TH AVE  
INDUSTRIAL  
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REVISIONS:

NO.	REVISIONS	REVISION CLOSING DATE	DELTA

SHEET TITLE:

**PLANTING  
PLAN**

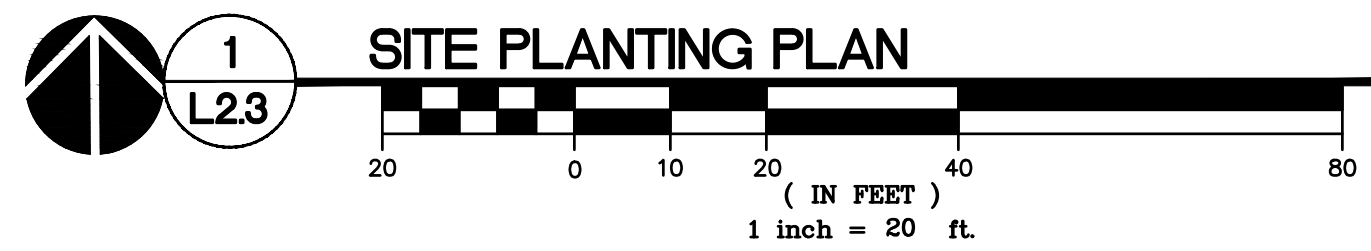
DRAWN BY: AJ

CHECKED BY: BET

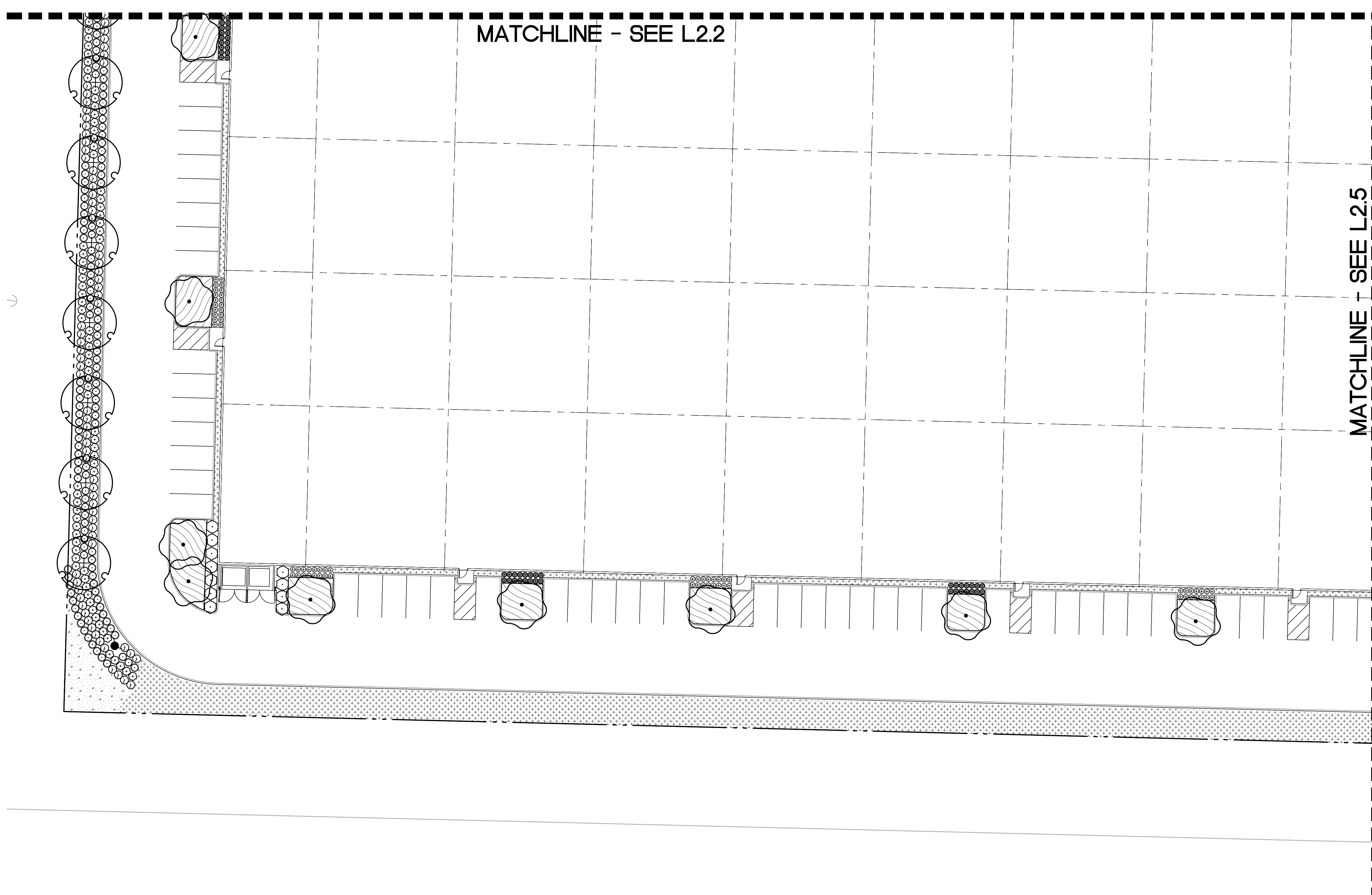
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**L2.3**

JOB NO. **2160026.00**

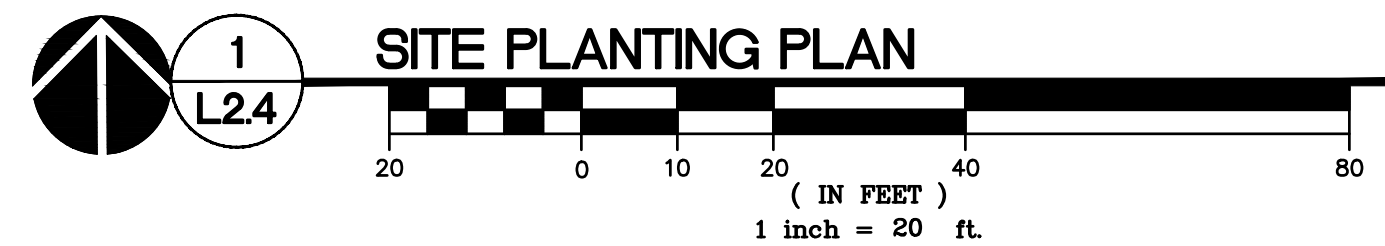






MATCHLINE - SEE L2.2

MATCHLINE - SEE L2.5



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SHEET TITLE:  
**PLANTING  
 PLAN**

DRAWN BY: AJ  
 CHECKED BY: BET  
 SHEET:

**L2.4**

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NO.	REVISIONS	REVISION DATE	REVISION DELTA

SHEET TITLE:

**PLANTING  
PLAN**

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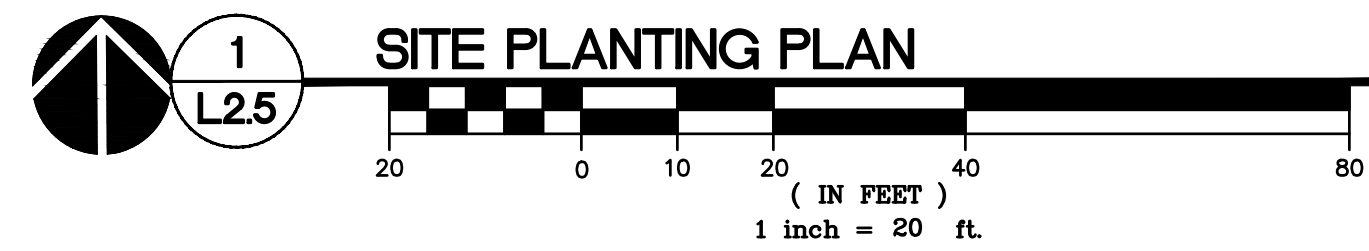
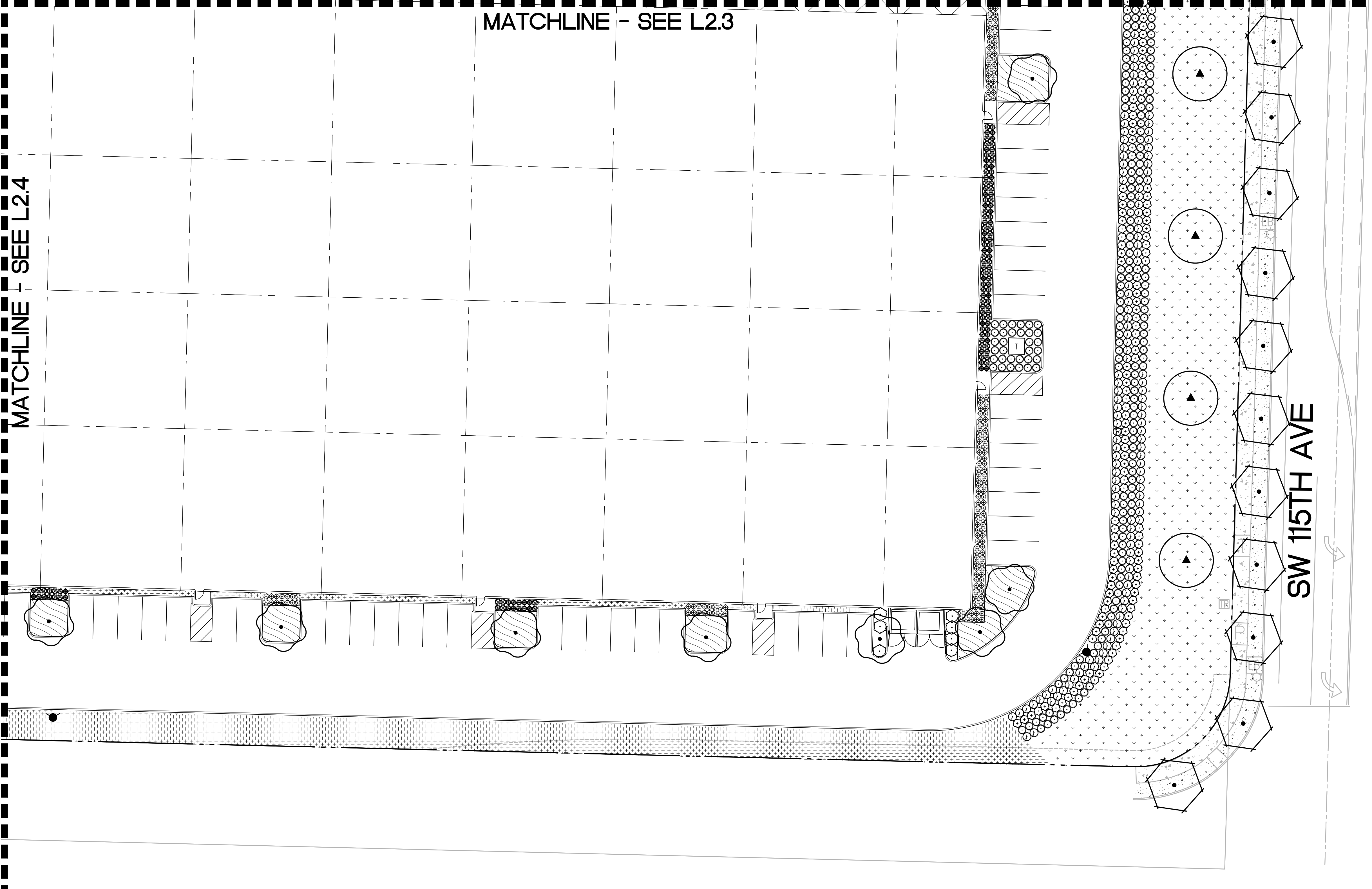
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**L2.5**

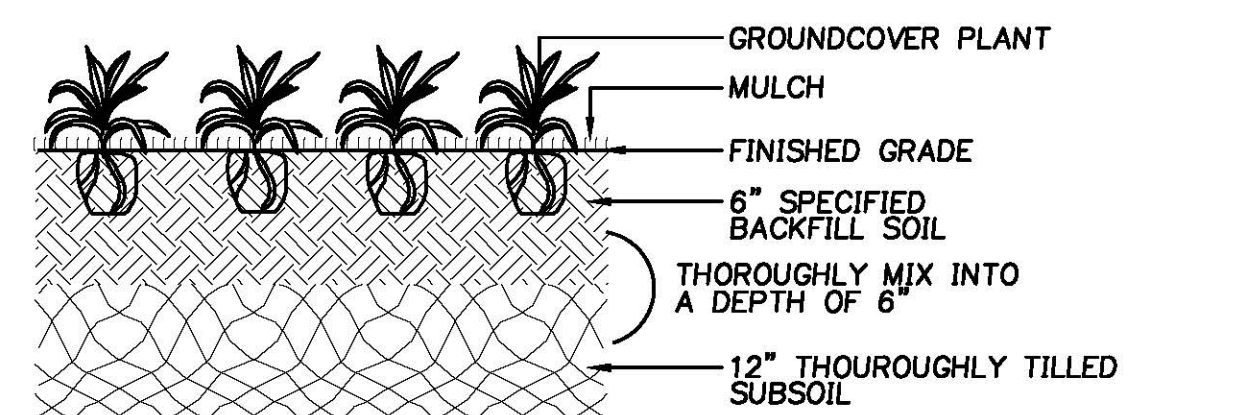
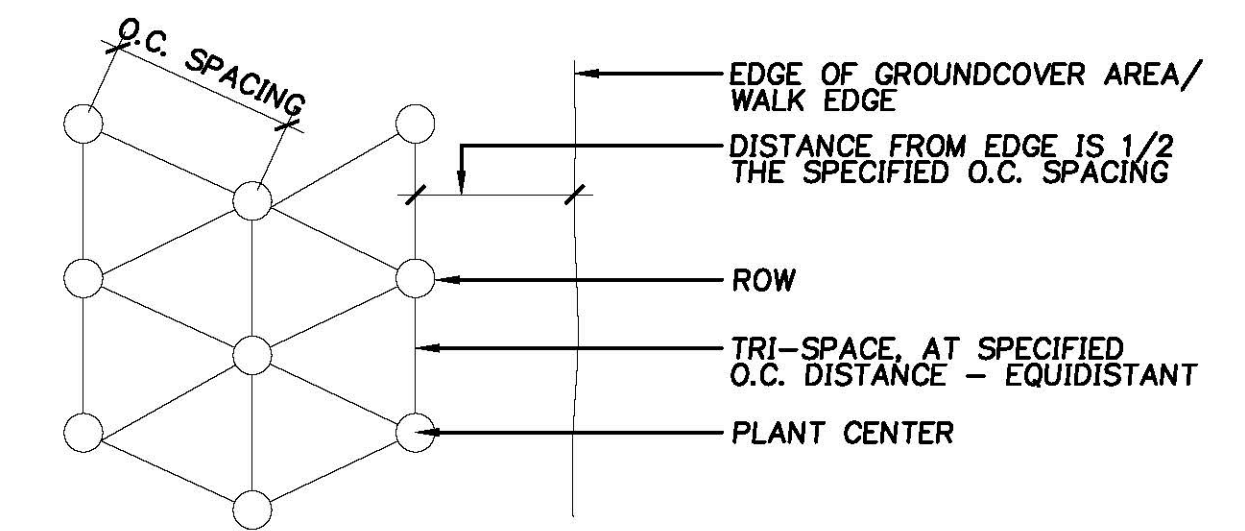
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REVISED ARCHITECTURAL REVIEW: 5-11-17

216002600\_V1\_DRAWINGS\LANDSCAPE\026 L2.0-L2.4.DWG AJ 05/11/17 11:56 11-4

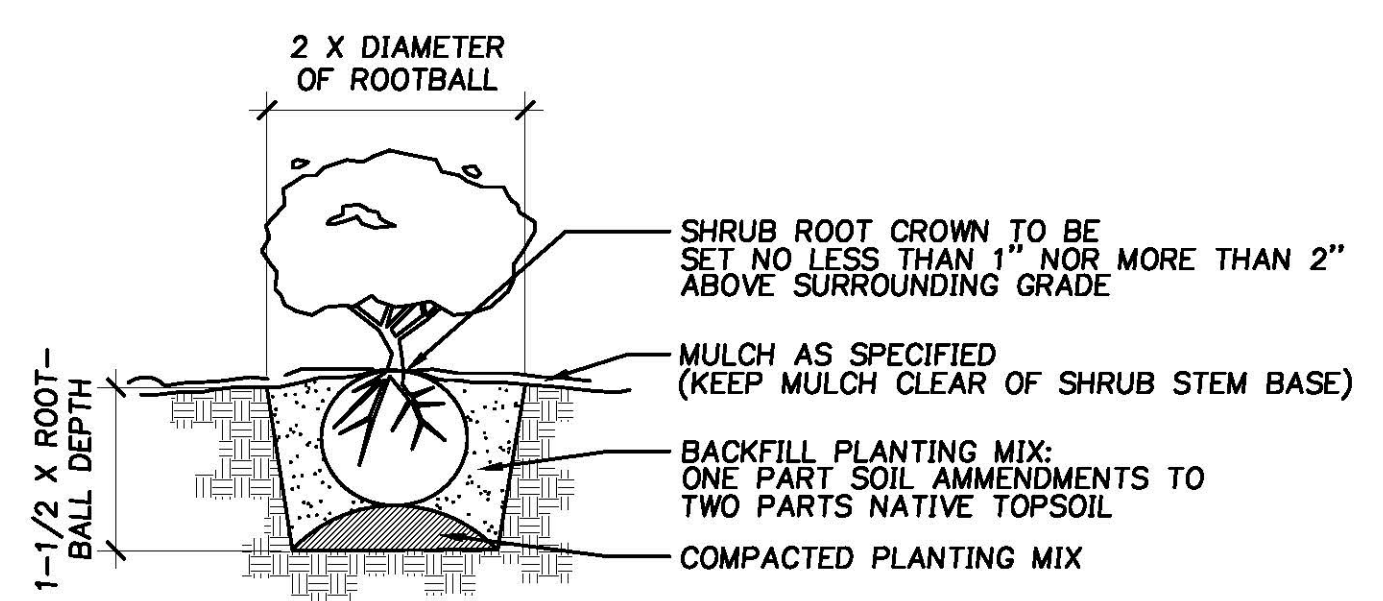


REVISED ARCHITECTURAL REVIEW: 5-11-17

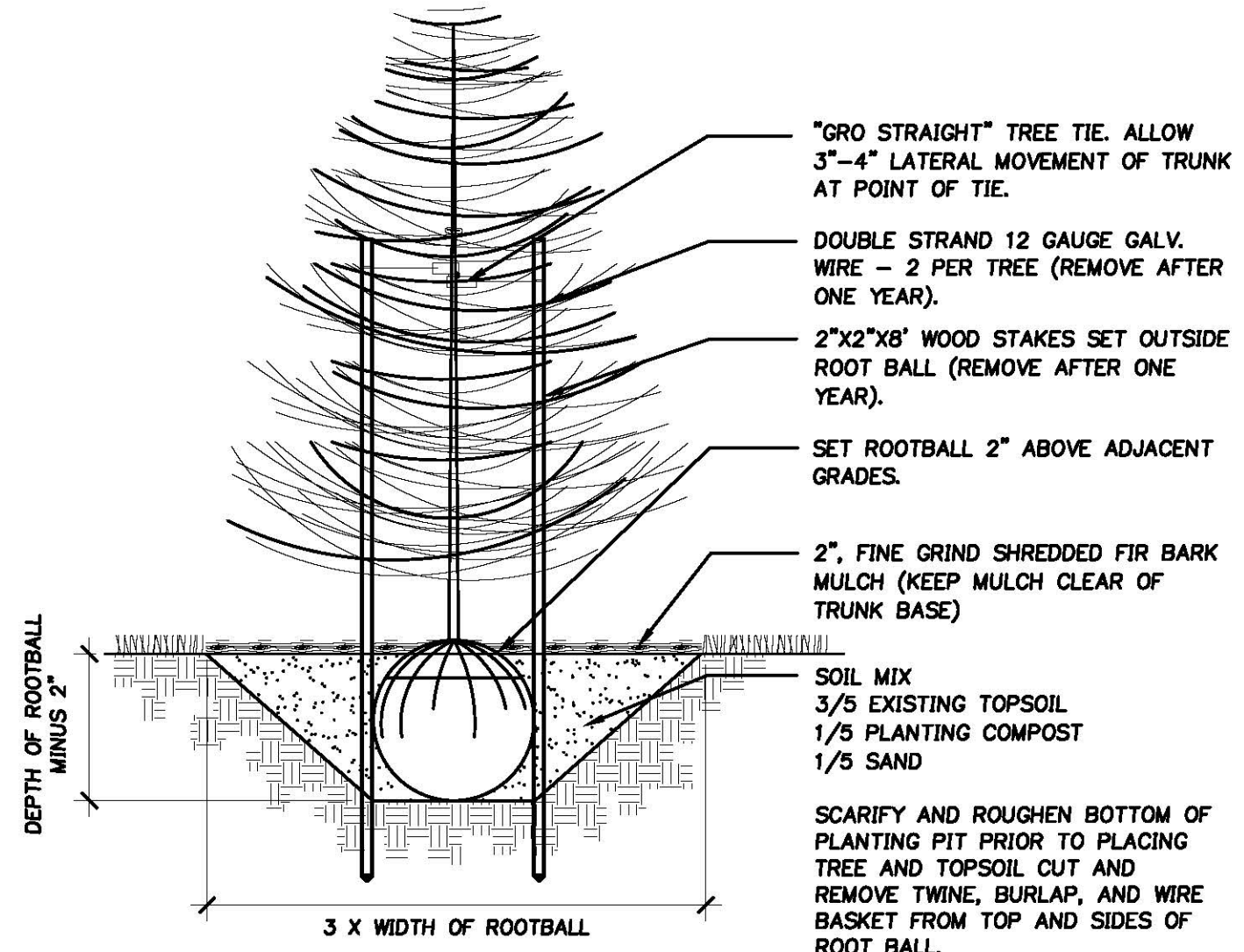


**NOTES:**  
TILL SOIL SO THAT THERE ARE NO CLODS OR CLUMPS LARGER THAN 1 1/2" DIA.

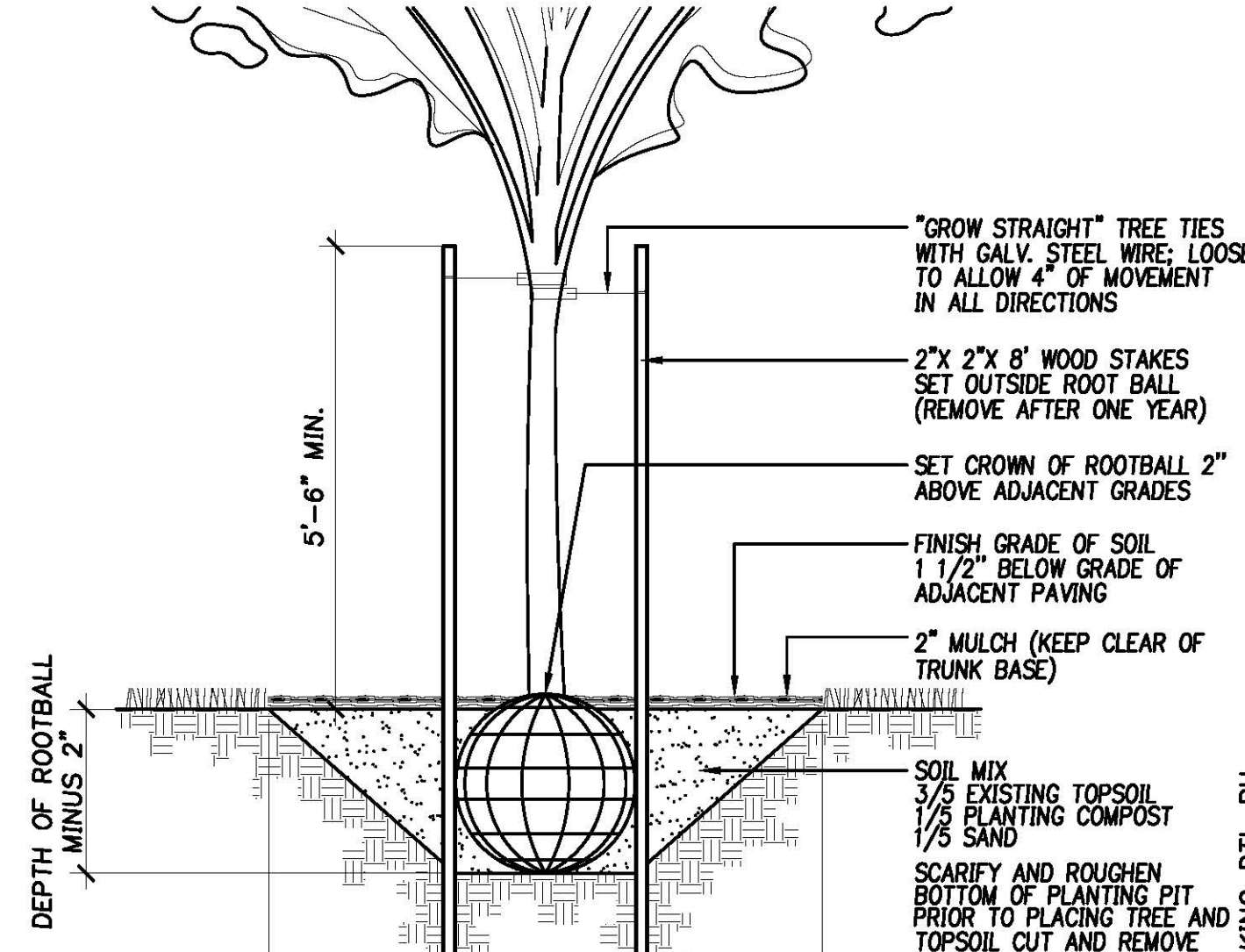
**4 GROUNDCOVER PLANTING** SCALE: NTS



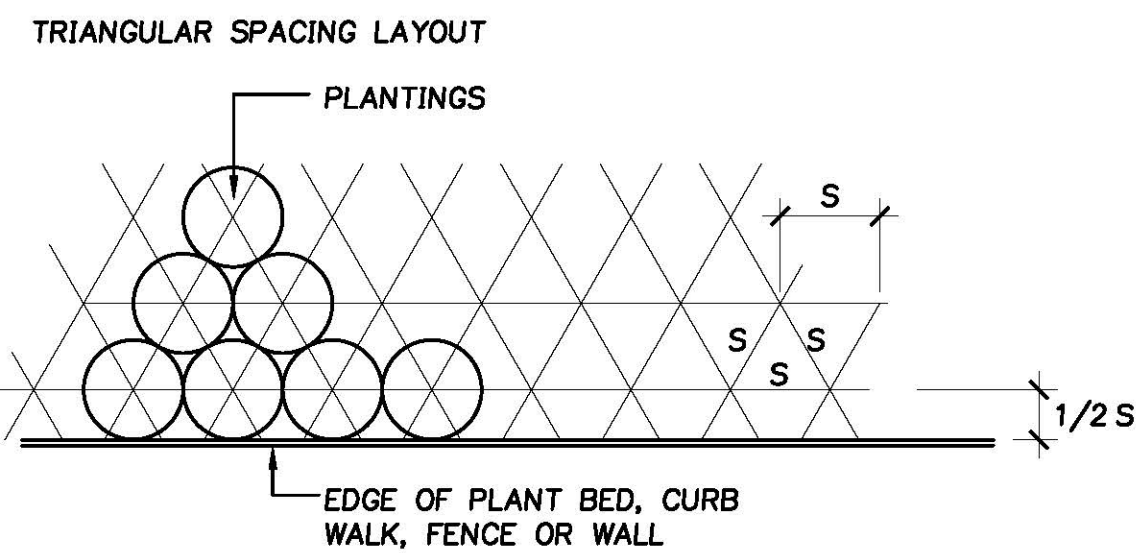
**3 SHRUB PLANTING DETAIL** SCALE: NTS



**2 CONIFER STAKING DETAIL** N.T.S.



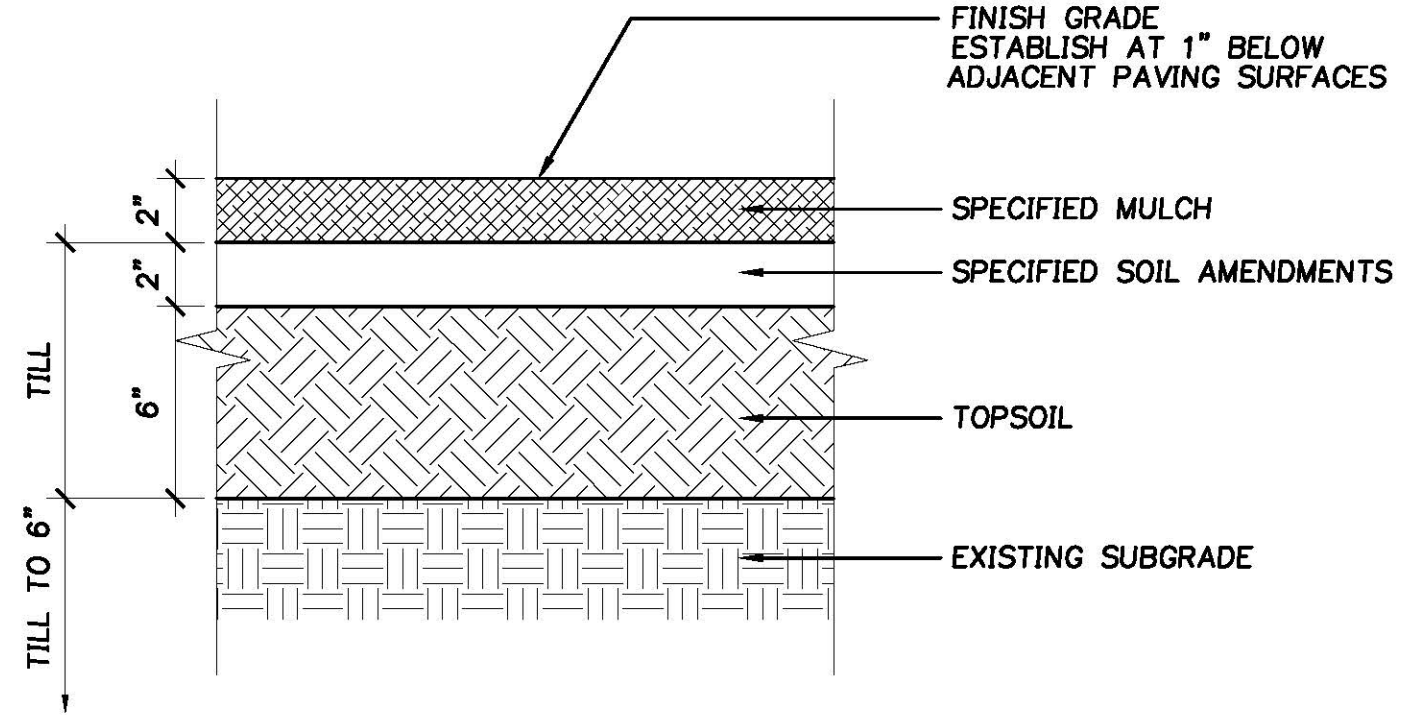
**1 DECIDUOUS TREE STAKING DETAIL** SCALE: NTS



S = SPACING AS SHOWN ON PLANS  
TO CALCULATE PLANTS PER SQUARE FOOT - IF SPACING (S)  
EQUALS: MULTIPLY S.F. AREA BY: TO EQUAL TOTAL PLANTS PER S.F.

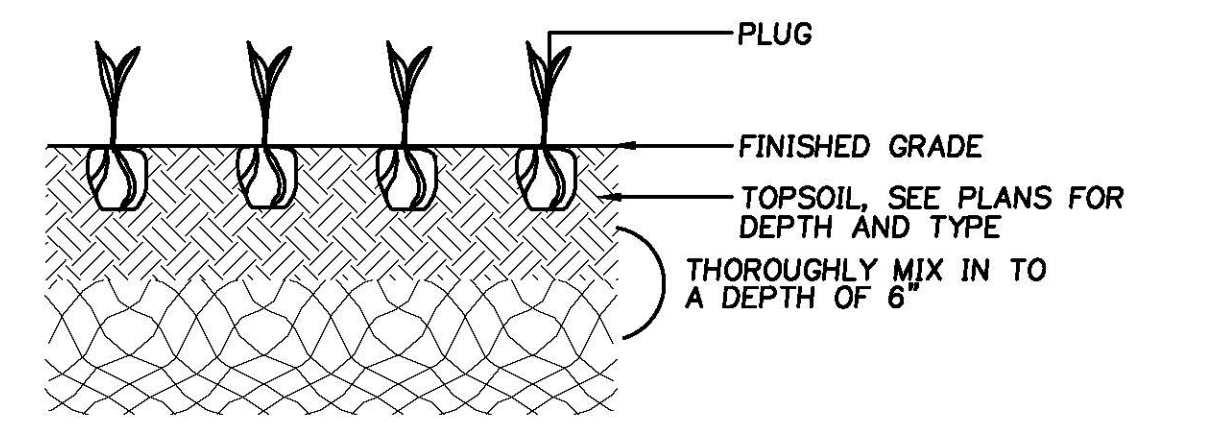
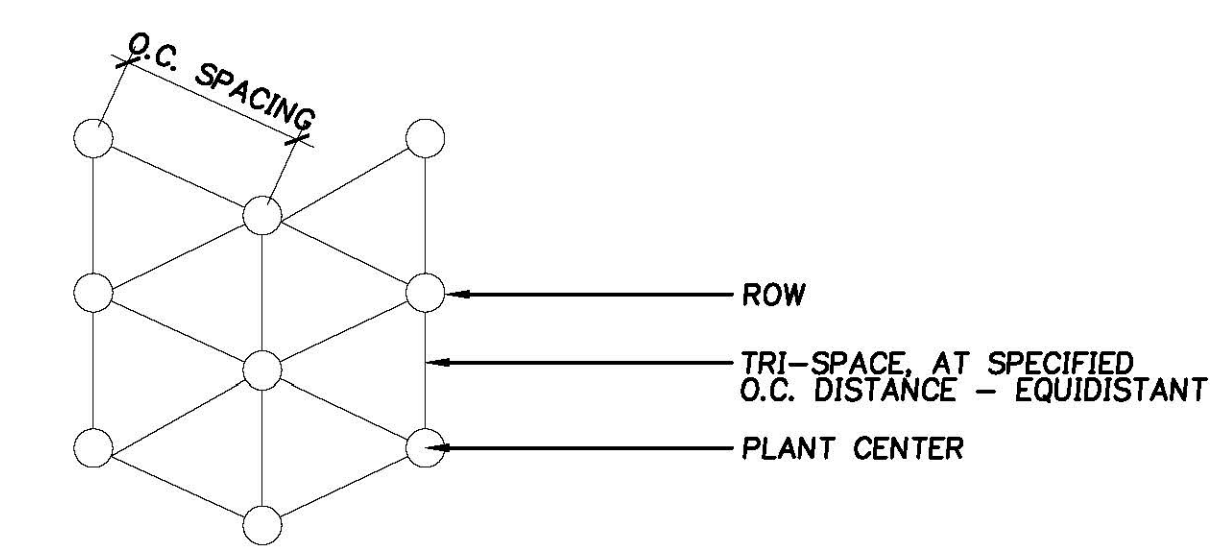
S	
6"	4.61
12"	1.156
18"	0.513
24"	0.288
30"	0.184
36"	0.120
42"	0.094
48"	0.072

**5 PLANT SPACING** SCALE: NTS



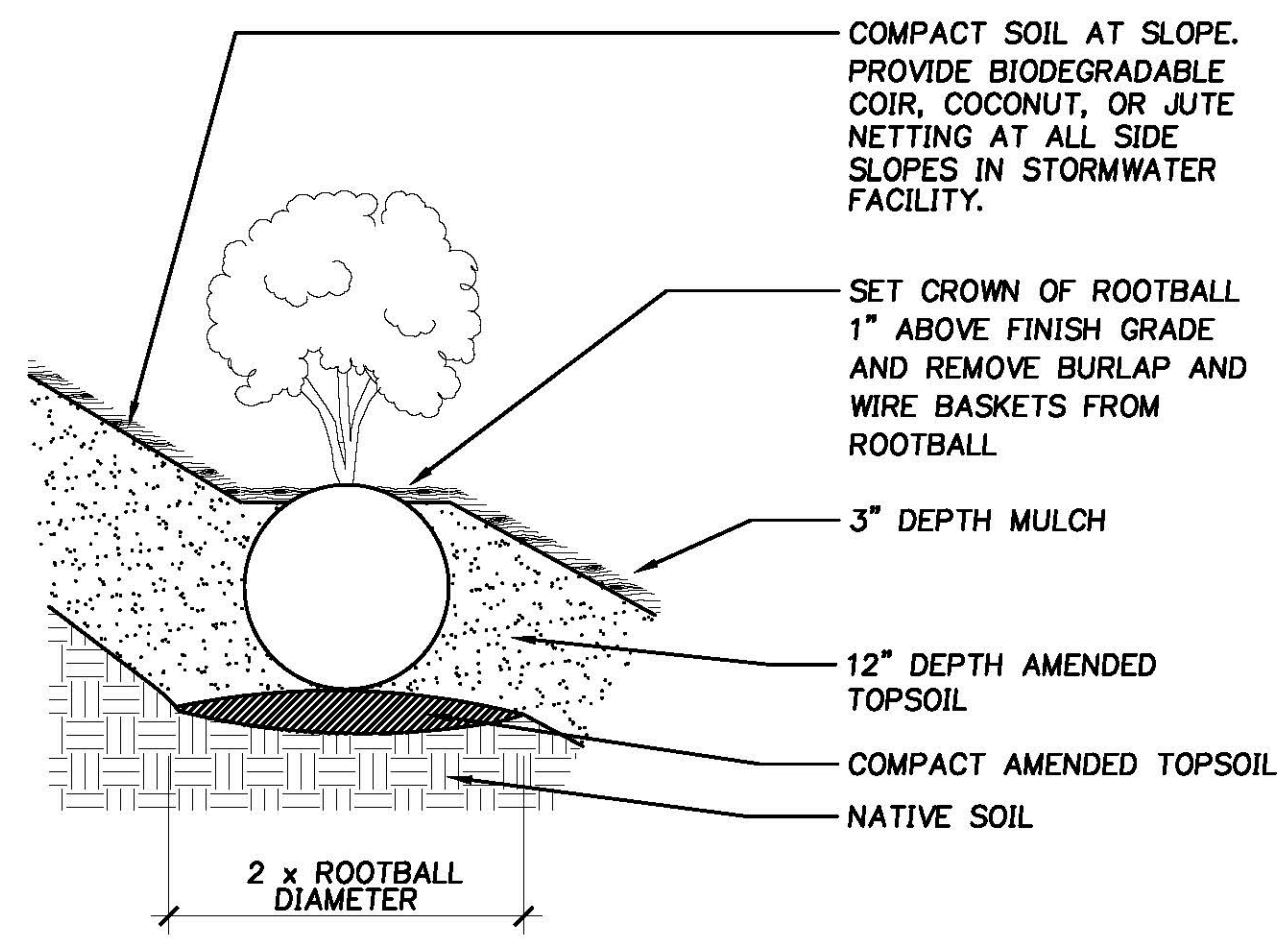
**NOTES:**  
1) REMOVE ALL ROCK, DEBRIS AND OTHER FOREIGN MATTER OVER 1" IN DIAMETER FROM TOP 12" OF SOIL.  
2) RIP AND TILL SUBGRADE TO 6" DEEP (min.) PRIOR TO INSTALLING TOPSOIL AND TILL INTERFACE OF SUBGRADE AND TOPSOIL.  
3) TILL TOPSOIL AND SOIL AMENDMENTS TO A MIN. 6" DEPTH.  
4) SUBMIT SAMPLE OF BARK MULCH & TOPSOIL FOR REVIEW PRIOR TO PLACEMENT.

**6 SOIL PREP. DETAIL** N.T.S.

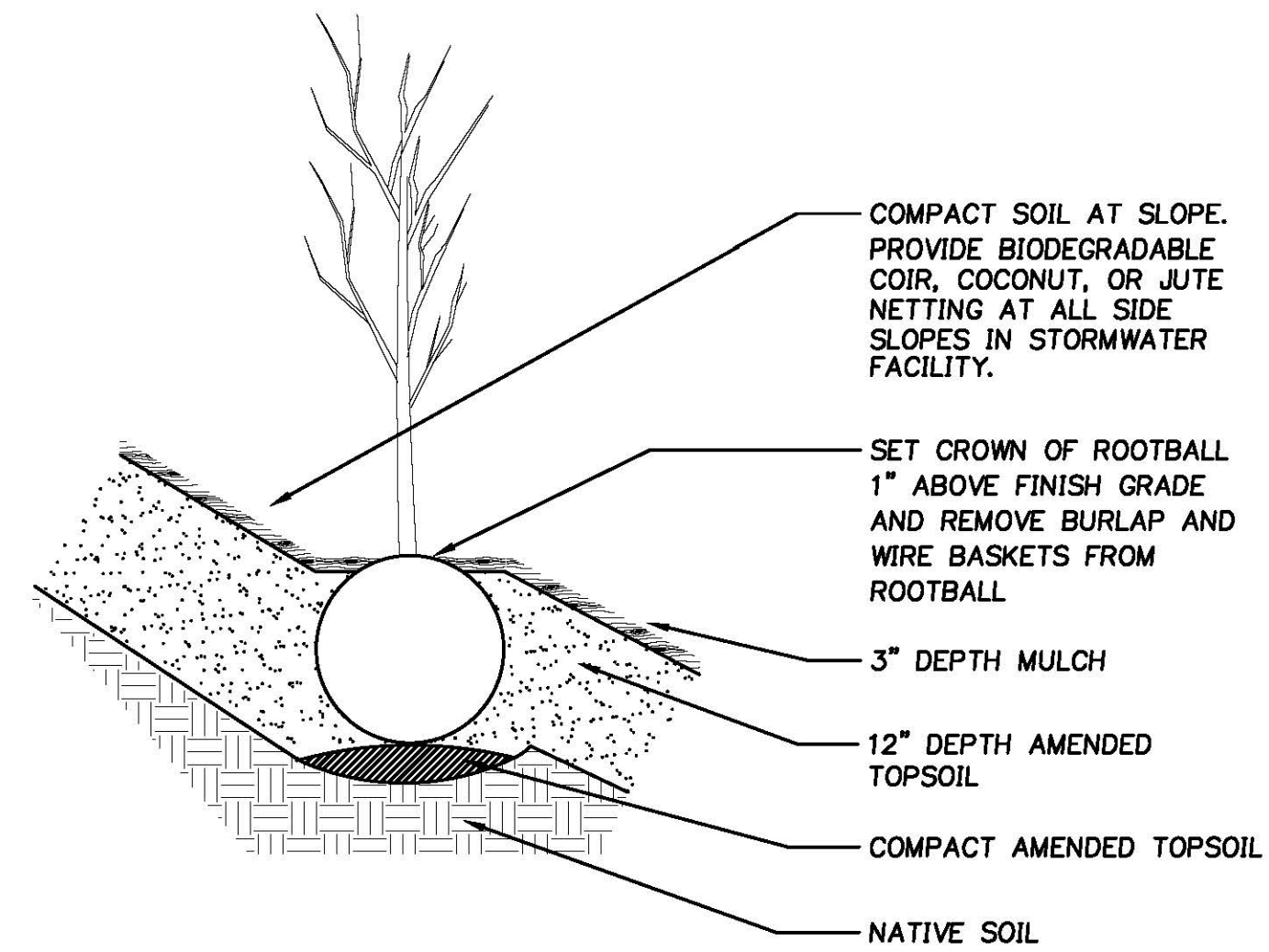


NOTE: PLANT ALL PLUGS IN STRAIGHT ROWS

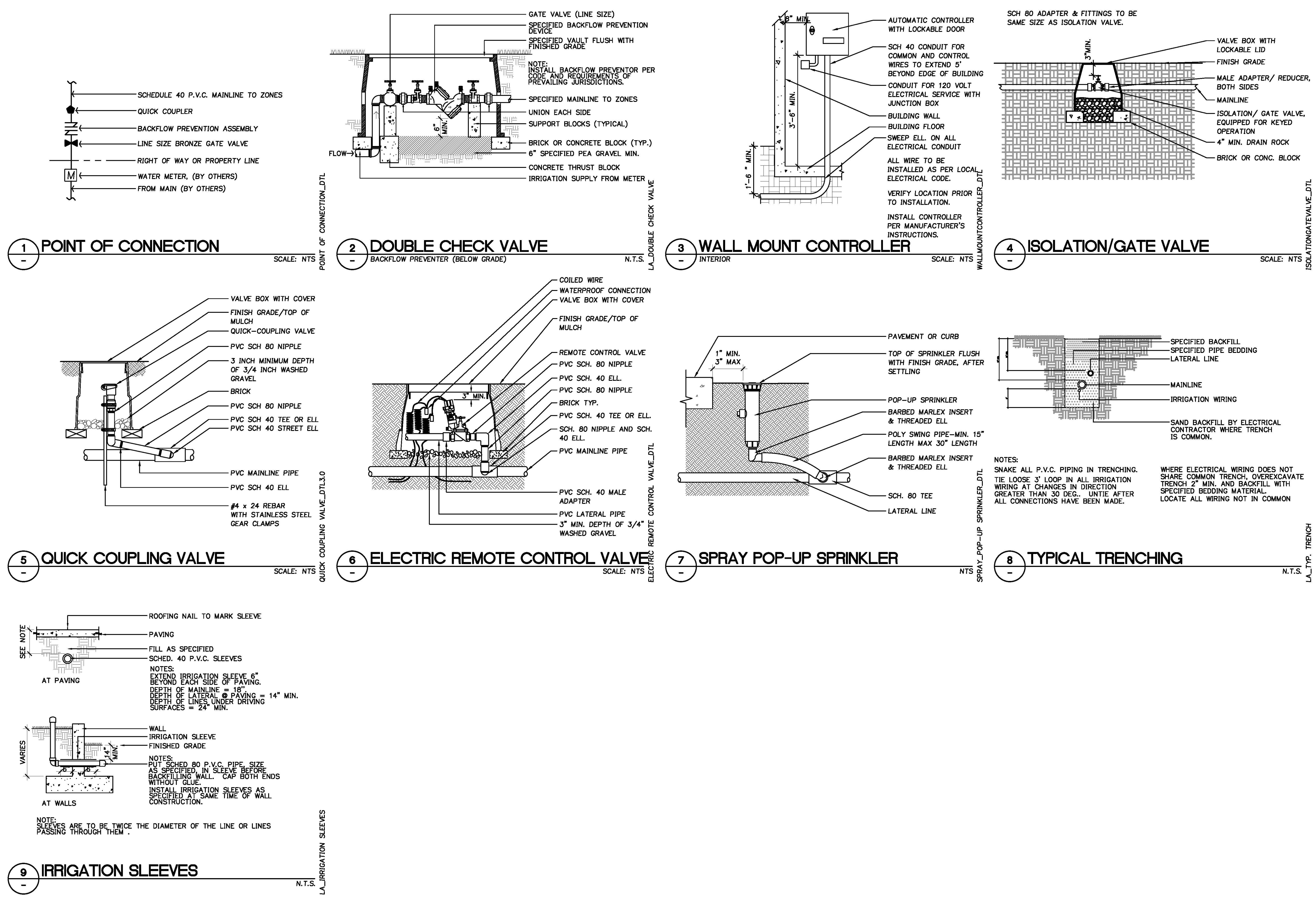
**9 PLUG PLANTING AT WATER QUALITY FACILITY** SCALE: NTS



**8 SHRUB PLANTING AT WATER QUALITY FACILITY** SCALE: NTS



**7 TREE PLANTING AT WATER QUALITY FACILITY** SCALE: NTS



Project  
**SW 115TH AVE  
INDUSTRIAL  
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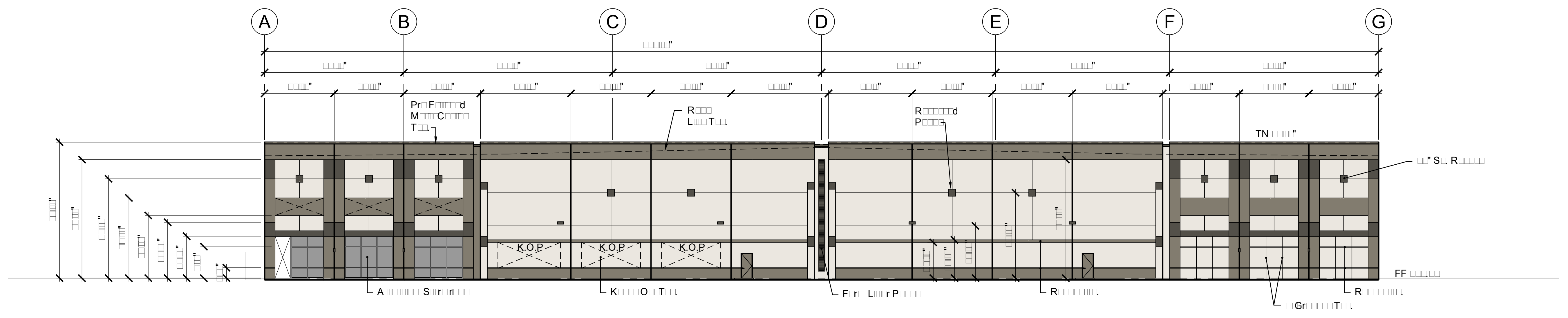
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SHEET TITLE:  
**DESIGN BUILD  
IRRIGATION DETAILS**

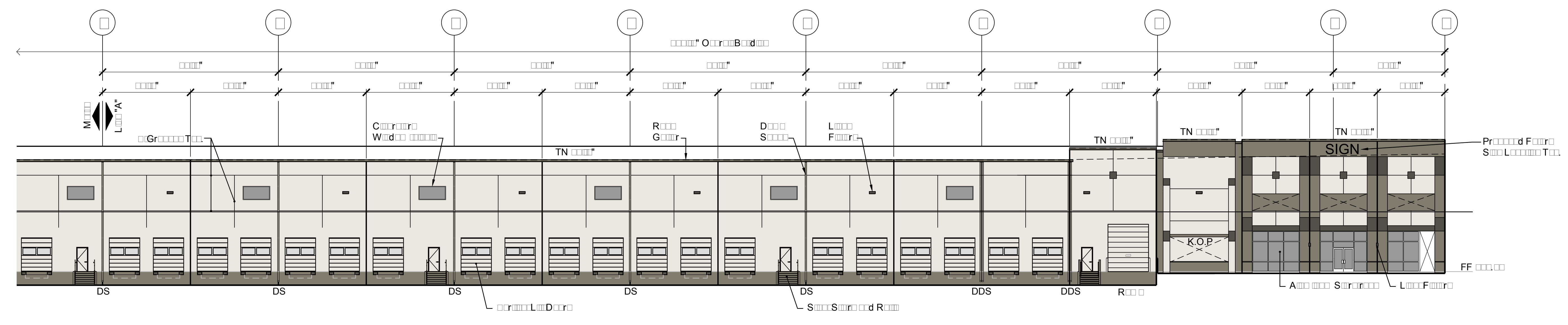
DRAWN BY: BET  
CHECKED BY: BET  
SHEET:

**L8.2**

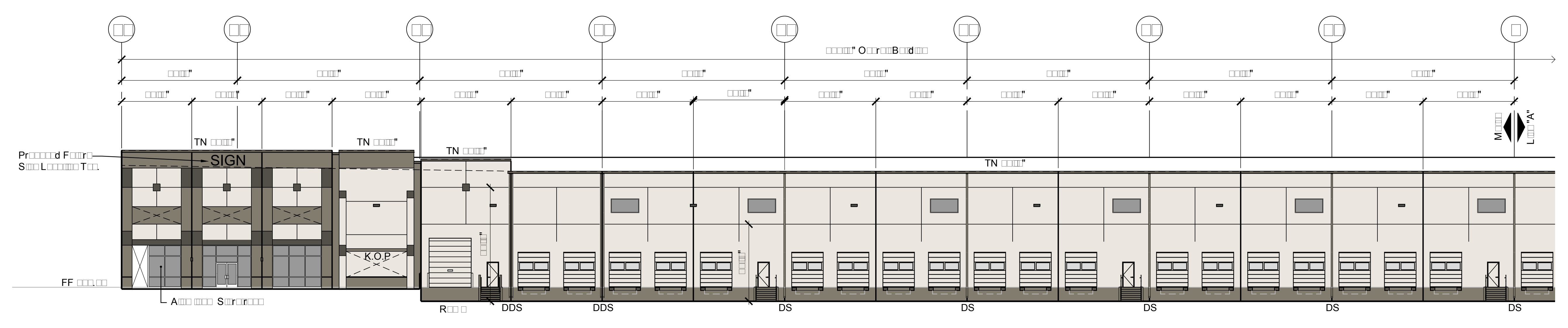
JOB NO. **2160026.00**



WEST ELEVATION A SCALE 1/4" = 1'-0"



PARTIAL NORTH ELEVATION B SCALE 1/4" = 1'-0"

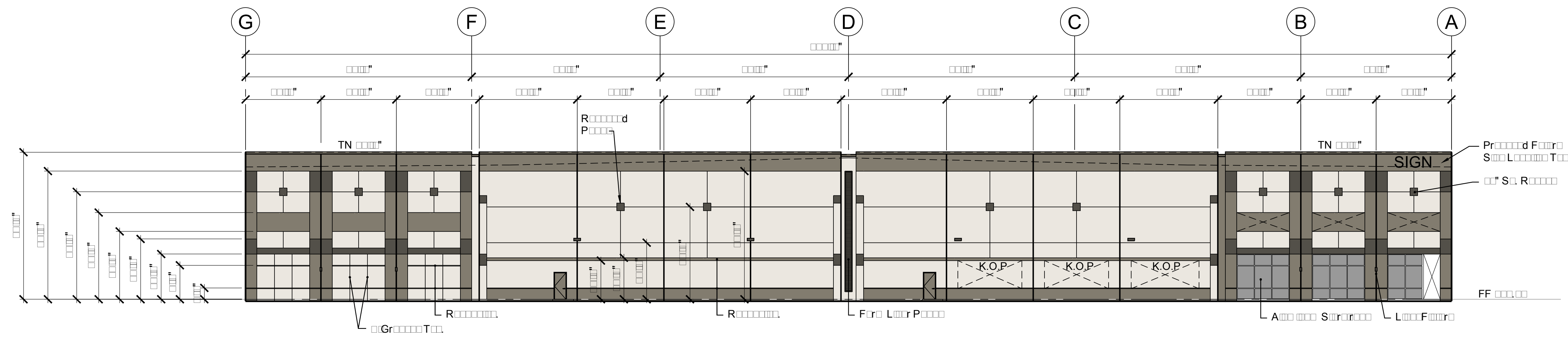


PARTIAL NORTH ELEVATION C SCALE 1/4" = 1'-0"

COLOR LEGEND

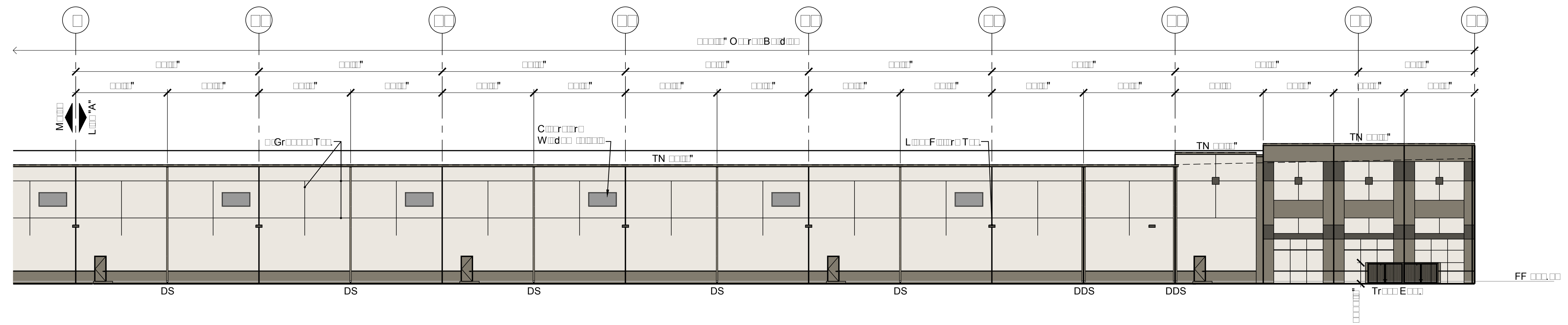
- 
 SHERWIN WILLIAMS  
 SW 0000  
 ACCESSIBLE BEIGE
- 
 SHERWIN WILLIAMS  
 SW 0005  
 ANONYMOUS
- 
 SHERWIN WILLIAMS  
 SW 0002  
 URBAN BRONZE
- 
 DARK BRONZE ALUMINUM  
 STOREFRONT SYSTEM WITH  
 SOLAR COOL GLAZING

COMMERCIAL CONSTRUCTION CO., L.P. 10000 SW 10th Ave, Portland, OR 97204 (503) 253-1100 www.commercialconstructionco.com
PROJECT NO. 2024-001 SHEET NO. A
DRAWN BY: SDG DATE: 10/20/2024
CCC JOB NO. 2024-001
SCALE: 1/4" = 1'-0"
REVISIONS 1. 10/20/2024 BY SDG 2. 10/20/2024 BY SDG 3. 10/20/2024 BY SDG
COLOR ELEVATIONS PROPOSED INDUSTRIAL BUILDING FOOT CLEAR TUALATIN, OREGON



EAST ELEVATION A

SCALE 1/8" = 1'-0"

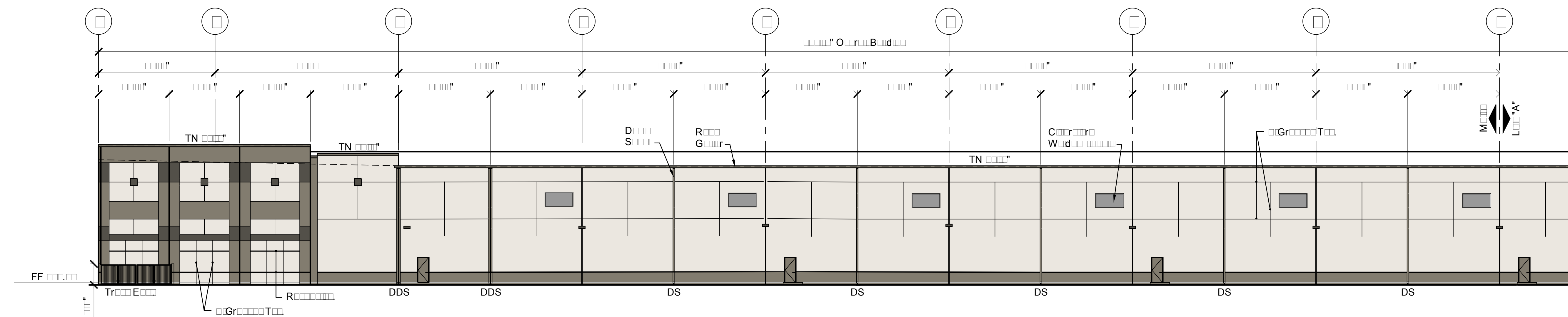


PARTIAL SOUTH ELEVATION B

SCALE 1/8" = 1'-0"

COLOR LEGEND

- SHERWIN WILLIAMS  
SW 0000  
ACCESSIBLE BEIGE
- SHERWIN WILLIAMS  
SW 0000  
ANONYMOUS
- SHERWIN WILLIAMS  
SW 0000  
URBAN BRONZE
- DARK BRONZE ALUMINUM  
STOREFRONT SYSTEM WITH  
SOLAR COOL GLAZING



PARTIAL SOUTH ELEVATION C

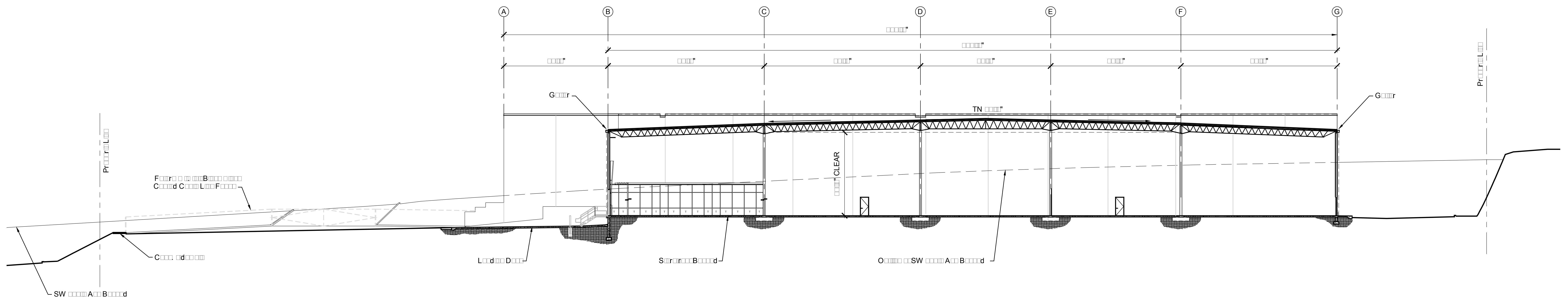
SCALE 1/8" = 1'-0"

COMMERCIAL CONSTRUCTION CO., L.P.  
 10000 N. TUALATIN AVENUE, SUITE 100  
 TUALATIN, OREGON 97062  
 TEL: 503.281.1100 FAX: 503.281.1101  
 WWW.COMMERCIALCONSTRUCTIONCO.COM

REVISIONS	DATE
BY	DATE
REVISIONS	DATE
BY	DATE

COLOR ELEVATIONS  
 PROPOSED INDUSTRIAL BUILDING  
 100' FOOT CLEAR  
 TUALATIN, OREGON

DRAWN BY DATE  
 SDG 10/15/11  
 CCC JOB NO.  
 11111  
 SHEET NO.  
**A**



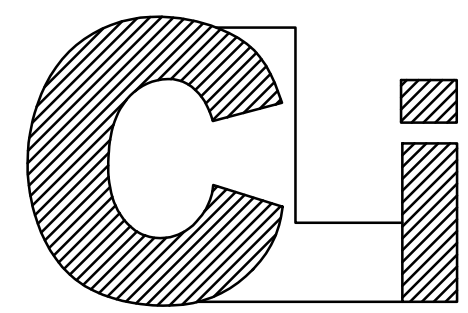
COMMERCIAL CONSTRUCTION CO., L.P. 1000 N. W. 10th St., Suite 100 Portland, Oregon 97227 Phone: (503) 228-1111 Fax: (503) 228-1112	
BUILDING SECTION PROPOSED INDUSTRIAL BUILDING 100 FOOT CLEAR TUALATIN, OREGON	DRAWN BY DATE
CCC JOB NO. SHEET NO.	REVISIONS BY DATE
SCALE 1/8" = 1'-0"	DATE

BUILDING SECTION A

A







**Commercial Lighting Industries**  
 81161 Indio Boulevard, Indio, CA 92201  
 Tel: 800-755-0155 | Fax: 760-262-3940

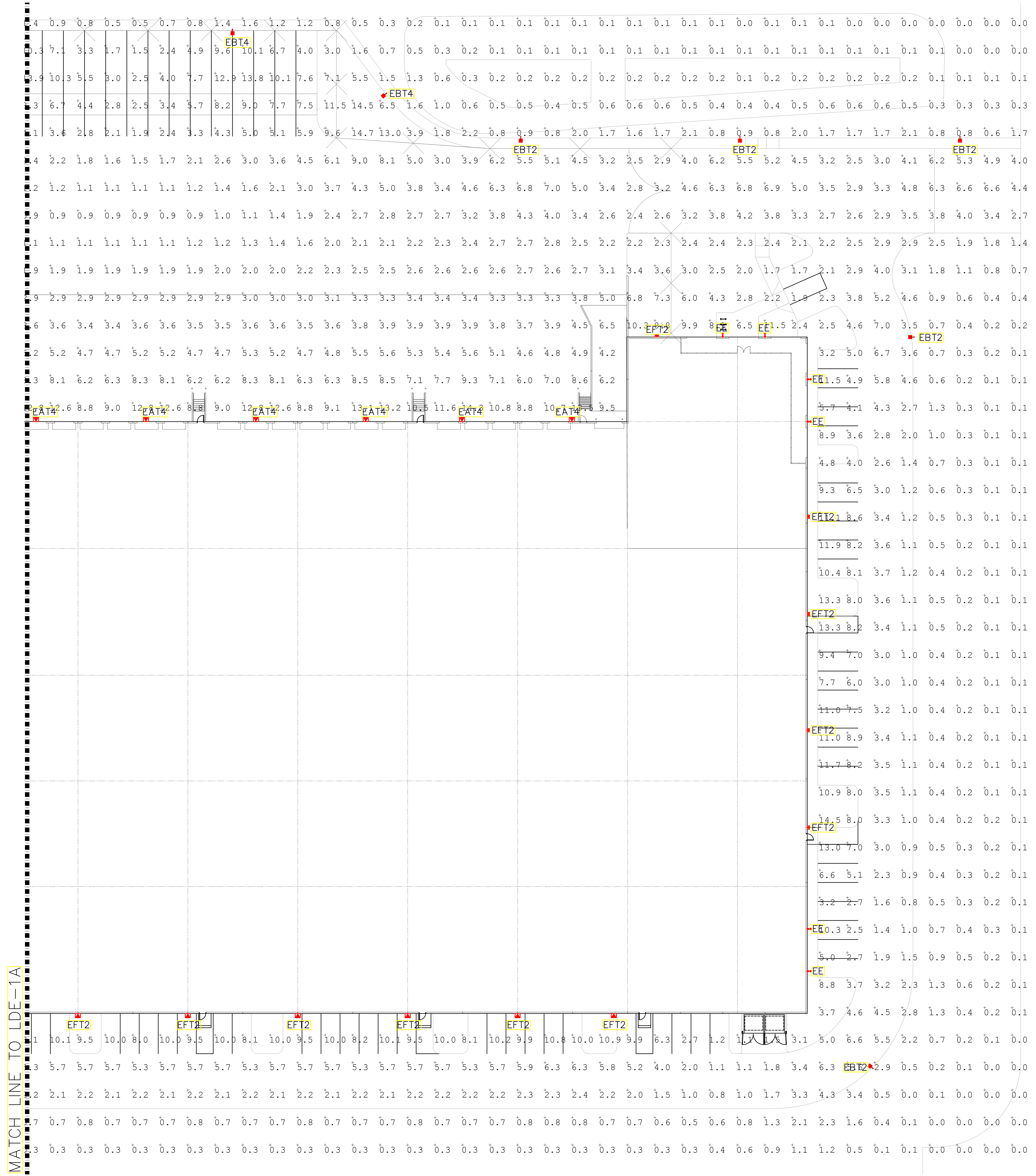
No. Issue Date


**PROPOSED INDUSTRIAL BUILDING**  
 TUALATIN, OREGON

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF COMMERCIAL LIGHTING INDUSTRIES. ALL MEASUREMENTS MUST BE CHECKED ON SITE BY THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

**SITE LIGHTING & PHOTOMETRIC (CONTINUED)**

Scale: AS NOTED Date: 04.04.17  
 Drawn By: M.S. Checked By: I.D.  
 Job No: 70331  
 Sheet No.  
**LDE-1B**



**SITE LIGHTING & PHOTOMETRIC (CONTINUED)**  
 SCALE: 1" = 250'



The Series is a collaboration of form, optics and thermal management. These combined high-quality features reduce energy costs, utilize the least amount of poles and fixtures per project while meeting IES minimum foot candle levels and extend maintenance cycles at a competitive price.

The has specific optical systems designed for Parking Lots, Roadways, Auto Dealerships, Tennis Courts, and Field Lighting. The VŪe's patent pending optical system is called Star Power. The flexibility and power of the Star Power optics enables the VŪe to gain a distinct advantage over its competitors for almost any distribution pattern. The system features 95% optical material which goes through a linear diffusion process to stretch the virtual image of the diode both magnifying it and creating a large range of angular flux both horizontally and vertically. This added range increases the width of the light pattern at a greater distance compared to optical systems which rely on refraction principles using plastics. Star Power optics are also the most reliable, other plastic optics will oxidize over time as well as tend to lose its seal while exposed long-term to the elements.

### Product Features

**The "Series" is the Best Value Outdoor Lighting Solution**

- Produces up to 128 lumens per System Watt of controlled illumination.
- Has an End of Life modular efficient chip upgrade solution, which takes less than a minute to perform.
- Has a Beautiful, Sleek and Stealth shape.
- Can be mounted directly on to a Wall, Pole, Mast Arm, or adjustable Knuckle Mount.
- 20 Degree maximum tilt available
- Light Distributions are Types 2, 3, 4, 5 and Tennis Optic.
- Is the Perfect Long Life Solution for any Municipality, School, or Infrastructure.
- The VŪe conforms to the strictest Made in the USA standards.
- Designed, Tooled, Fabricated and Assembled in California.



**LED WATTAGE CHART**

	16L	32L	48L	64L	80L	96L	112L	128L	144L	160L	176L	192L
<b>530 milliamps</b>	28w	54w	80w	102w	128w	153w	177w	202w	225w	-	-	-
<b>700 milliamps</b>	36w	71w	104w	136w	168w	200w	243w	265w	300w	335w	365w	396w
<b>1050 milliamps</b>	56w	106w	156w	205w	263w	316w	330w	409w	458w	505w	551w	594w
	<b>SIZE 1</b>			<b>SIZE 2</b>			<b>SIZE 3</b>					

Project Name:

Type:

--	--	--	--	--	--	--	--	--	--	--	--	--

	Light Dist.	No. of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Shields	Options
(205W Max)	Type 2	16	530	3000K	120-277	Direct Pole Square	Bronze	House Side Shield	Bird Spikes
		32				Direct Pole Round			Marine Grade Finish
(316W Max)	Type-3	48	700	4000K	347-480	Knuckle Mount	White	Front Side Shield	Photocell *Universal Voltage 120-277
		64	1050	5500K		Trunion Mount	Silver		Photocell + Receptacle
(594W Max)	Type-4	80				Tennis Arm	Hunter Green		Receptacle + Shorting Cap
	Type-5	96				Mast Arm	Black		NEMA 5 Pin Receptacle + Shorting Cap
	Tennis Optic	112							NEMA 7 Pin Receptacle + Shorting Cap
		128				Wall Mount			FSP-211 with Motion Sensor (UNV Voltage)
		144				*Includes 6" Bolt On Arm	Graphite		*For 8' + Below
		160				Direct Wall Mount			*For 9' to 20'
		176				*Includes Wall Plate	Grey		*For 21' to 40'
		192				*VUE-1 Only	Custom		Motion Sensor
									Surge Protector
									Rotate Optic Right
									Rotate Optic Left



PRODUCT SPECIFICATIONS

Housing: Aluminum.

LED: Luxeon M Series by Lumileds

Optics: Optics Type T2, T3, T4, T5 and Tennis (TT)

Watts: 28-594 Watts

L70: 96,000 to 161,000

UL: UL 1598 Listed

Driver: Dimming driver as standard by Advance or ULT

Kelvin: 4000, or 5500

Finish: 5 Millimeters Powder Coat

Warranty: Standard Warranty is 5 years for Driver and LEDs

LUMEN DATA CHART

Table with columns: T2 OPTIC, Lm/W, T3 OPTIC, Lm/W, T4 OPTIC, Lm/W, T5 OPTIC, Lm/W, TT Optic, Lm/W, Calc. L70 Hrs, WATTS. Rows include various optic types and wattages, with some cells highlighted in yellow.

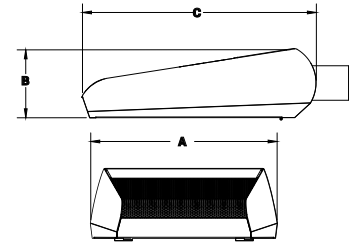
EFT2

EAT4

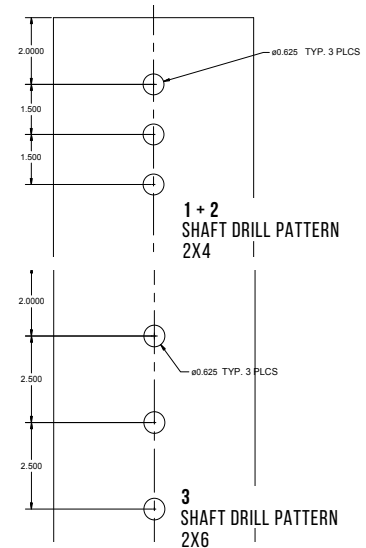
EBT2

EBT4

DIMENSION table with columns: DIMENSION, 1, 2, 3. Rows: A, B, C, Weight.



EPA table with columns: EPA, 1, 2, 3. Rows: Single, Double, Triple, Quad.



DesignLights Consortium (DLC) qualified Product. Some configurations of this product family may not be DesignLights Consortium (DLC) listed, please refer to the DLC qualified products list to confirm listed configurations. http://www.designlights.org



POLES + BASES

**POLE**

Shall be Straight Steel Grade B Extrusion with yield of 46,000 PSI. Conforms to ASTM A500 Standards. Poles have ground bolt welded inside hand-hole opposite side of the pole extrusion. Pole Extrusion is conjoined to Anchor Base by welding internal to pole shaft and external to pole shaft. Hand Hole reinforcement is Constructed of 3"x 5" rectangular steel tubing which is welded to pole shaft for added strength.

**ANCHOR BASE**

Manufactured from A36 Steel rated at 36,000 PSI, conforms the ASTM –A36 standards. Base Plate vary in size from 1" thick for poles 21 feet and over, 3/4" thick for poles 10 to 20 feet.

**COATING**

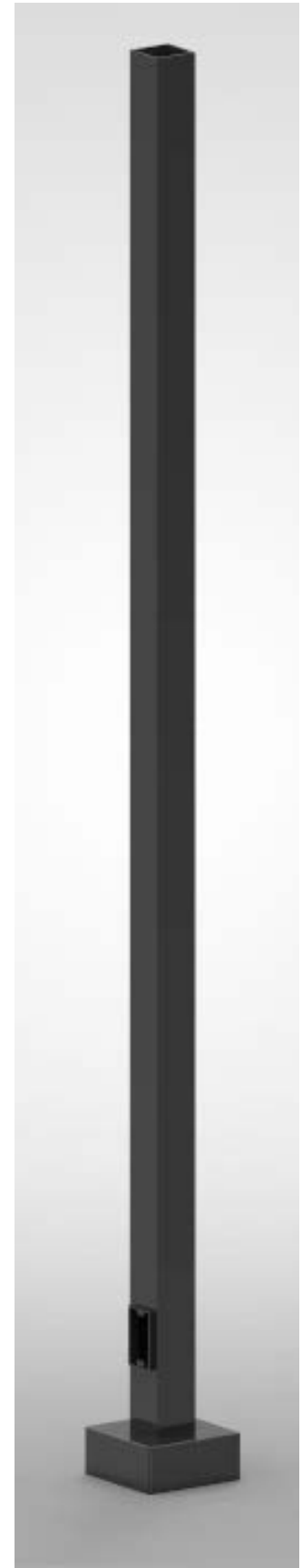
All poles have minimum 3mm powder coat finish. All poles are sandblasted prior to powder coat application.

**ANCHORAGE**

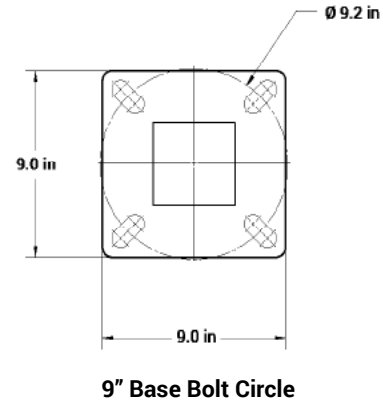
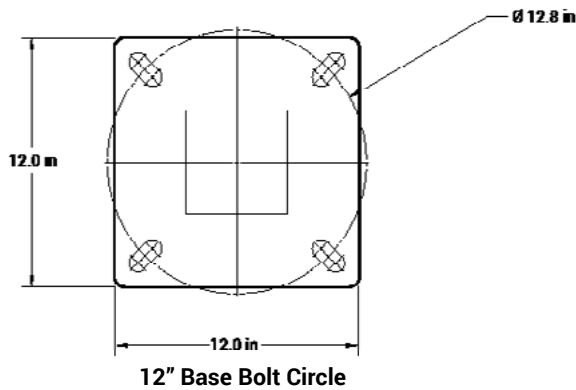
All anchor bolts are fully hot dipped galvanized and come with two galvanized nuts and washers per bolt.

**BASE COVER, HAND HOLE COVER AND POLE CAP**

All poles come with removable polymer pole cap installed. All poles caps are black finish. All base covers are made of aluminum and powder coated to match the pole. The hand hole covers are provided with internal bridge support and also powder coated to match pole finish.



Height	Pole Dim.	Size	Base Pattern	Orient	Color	Bolts	Enhancements
10'	4" Square	.120 in	(10'-20')	Single	Bronze	3/4" x 30"	GFI Kit
12'			8 3/16" - 10 3/16"				GFI Provision Only
14'	5" Square	.180 in		Double	White	1" x 36"	Galvanized
16'				90	Silver		Anti Corrosion
18'				180			
20'	6" Square						
22'			(22'-35')	Triple	Green		
24'			11 1/2" - 14"				
24'				Quad	Hunter Green		
25'							<b>Tenon</b>
26'							2 3/8" Round
28'			(39')		Black		3" Round
30'			15 in				3 1/2" Round
30'			15 in				4 1/2" Round
35'			Bolt Circle		Graphite		3 1/2" Square
					Grey		4 1/2" Square
					Custom		5 1/2" Square



**POLE EPA DATA**

*Maximum EPA (ft) Allowable*

POLE HEIGHT	POLE DIA.	SIZE	BASE PLATE	BOLT CIRCLE BOLTS	BOLTS	80 Mph	90 Mph	100 Mph
10'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	26.8	18.7	15.5
12'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	20.5	15.5	9.7
14'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	16.5	11.4	9.7
15'	4" SQ	.180	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	18.2	12.2	10.4
16'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	13.5	9.8	8.6
17-1/2'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	12.4	9.0	7.2
18'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	9.8	7.2	5.4
20'	4" SQ	.120	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	8.2	5.5	4.0
20'	4" SQ	.180	9" Sq. x 3/4"	9 3/16"	3/4" x 30"	14.5	10.0	7.6
20'	5" SQ	.120	12" Sq. x 1"	9 3/16"	3/4" x 30"	16.2	11.3	7.9
20'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	26.2	21.2	15.4
22'	4" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	6.3	3.7	1.8
22'	4" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	11.8	7.9	5.3
22'	5" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	12.5	8.3	5.4
22'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	21.1	15.2	10.9
24'	4" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	5.3	2.7	1.5
24'	4" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	10.8	6.8	4.2
24'	5" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	5.3	2.7	1.5
24'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	19.8	13.7	9.1
25'	4" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	4.7	2.5	1.2
25'	4" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	10.9	7.4	5.2
25'	5" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	10.2	6.6	1.6
25'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	18.9	13.2	9.6
26'	4" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	4.7	2.5	1.2
26'	4" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	10.7	7.1	4.9
26'	5" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	9.8	6.3	1.3
26'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	18.5	12.9	9.4
28'	4" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	6.0	2.2	1.6
28'	5" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	5.8	3.2	1.5
28'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	12.2	7.8	4.6
28'	6" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	21.7	14.6	9.8
30'	5" SQ	.120	12" Sq. x 1"	12 3/4"	1" x 36"	5.2	2.3	-
30'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	11.6	6.9	4.1
30'	6" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	18.8	12.7	8.3
32'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	10.1	4.9	2.6
32'	6" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	16.6	8.4	5.2
35'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	6.8	2.4	1.9
35'	6" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	12.2	7.1	3.9
39'	5" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	3.1	-	-
39'	6" SQ	.180	12" Sq. x 1"	12 3/4"	1" x 36"	7.3	3.0	-

## 6" CYLINDER FORWARD THROW



6" Square LED series cylinder with forward throw optic (peak candela at 50° above nadir.) Ideal for wall, stairwell, and pathway illumination.

### FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. A wide variety of standard and custom finishes are available. All exposed materials are chromate pretreated to resist corrosion.

### ELECTRONICS

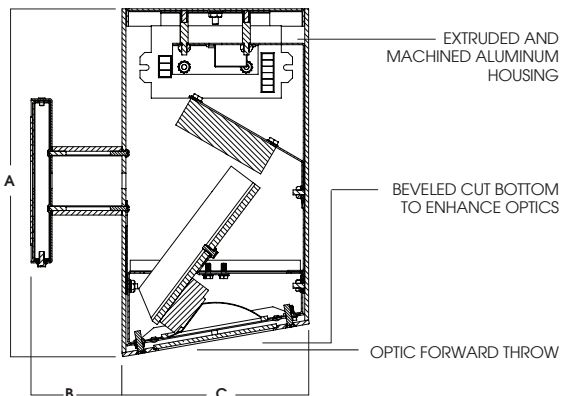
LED system features Xicato LED module with proprietary phosphor technology that provides consistent, stable color with CCT control of +/- 100K over life of the light engine. Base CRI is 83 with 2 MacAdam Ellipse binning. Variety of electronic 120v/277v and dimming drivers.

### CONSTRUCTION

The housing is made from a heavy walled aluminum extrusion. Within the housing, the design uses a combination of corrosion resistant and stainless steel components. Optics formed high purity aluminum. Tempered glass safety lens. Die cut neoprene gasket.

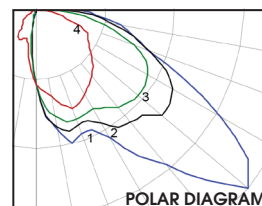
### CODE COMPLIANCE

ARRA Compliant. ETL listed for damp locations. Wet location option. Manufactured and tested to UL standard No.1598/8750.



A	B	C
11.25	3.0	6.0
285.7 mm	76.2 mm	152.4 mm

WATTAGE / LUMENS DATA			
SOURCE LUMENS <sup>1</sup>	DELIVERED LUMENS <sup>2</sup>	SYSTEM WATTS	LPW
1000	920	14.8	62.2
1300	1309	21.6	60.6
2000	1698	31.2	54.4
3000	2359	48.7	48.4



### CANDELA CURVES

- 1 Vertical Plane at Horizontal Angle 0°
- 2 Vertical Plane at Horizontal Angle 22.5°
- 3 Vertical Plane at Horizontal Angle 45°
- 4 Vertical Plane at Horizontal Angle 67.5°

LUMENS <sup>1</sup>	CCT	BEAM	DRIVER / DIMMING <sup>3</sup>	OPTIONS	TRIM / FINISH	MOUNTING <sup>4</sup>	FINISH <sup>5</sup>
1000 Lm 1300 Lm 2000 Lm 3000 Lm	2700K 3000K 3500K 4000K	Forward Throw	Electronic Driver, 120V/277V, 10% 0-10v Dimming, 120V/277V ELV MLV 1% Phase Dimming, 120v Only	Fuse Holder and Fuse Corrosion Resistant Gasket Wet Location	Clear Glass Lens	Wall Mount  EM OPTIONS Remote Emergency Battery for LED 120v/277	Matte White Matte Black Platinum Textured White Textured Black Textured Silver Bronze Oil Rubbed Bronze Charcoal Graphite Champagne Sun Gold Brecchia Rust Anodic Natural Copper Metallic Custom Color



Water supply modeling is necessary for larger projects to determine the impact of the project’s water demand on the water supply system. Water supply modeling will be performed by a consulting engineer based on the most recent version of the Tualatin Water System Master Plan.

Due to possible impacts to the water supply system, the following projects in Tualatin require hydraulic modeling based on the size and type of the project and projected water use for the finished project. The outcome of modeling could require offsite improvements to the water supply system in order to ensure that adequate water supply is available to serve the project and reduce impacts to the overall system.

**Hydraulic modeling of the water supply system is required for the following project type/sizes/demand:**

Project Type	Criteria	Permit Fee
<b>Commercial or Industrial Building</b>	Building floor area greater than 48,300 square feet <b>or</b> Anticipated daily water demand greater than 870 gallons per acre per day	\$ 300 per building
<b>Residential development</b>	More than 49 dwelling units	\$ 1,000
<b>Multi-family development</b>	More than 49 dwelling units <b>or</b> a combined building floor area greater than 48,300 square feet	\$ 300 per building

**Please complete this form and submit the form and required fee (if applicable) with your land-use application (architectural review, subdivision, etc.).**

Commercial or Industrial Development

- Building floor area 229,146 SF square feet
- Anticipated water demand (if known) \_\_\_\_\_ gallons per day
- Described planned building use Speculative industrial (206,231 SF warehousing, 22,915 SF office)

Residential Development

- Number of dwelling units or single family home lots \_\_\_\_\_

Multi-Family Residential Development

- Number of dwelling units \_\_\_\_\_
- Building floor area (sum of all building) \_\_\_\_\_
- Number of multi-family buildings \_\_\_\_\_

**Permit fee required based on the information provided above \$ 300.00**

- If no fee is required, enter \$0.

NOTE: Water Supply Modeling does not replace the requirement for fire hydrant flow testing. Flow testing of fire hydrants will still be required to verify adequate fire flow of finished system

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DESIGN DRIVEN | CLIENT FOCUSED



## STORMWATER REPORT

**To**  
City of Tualatin

**For**  
Majestic SW 115th

**Project Number**  
2160026.00



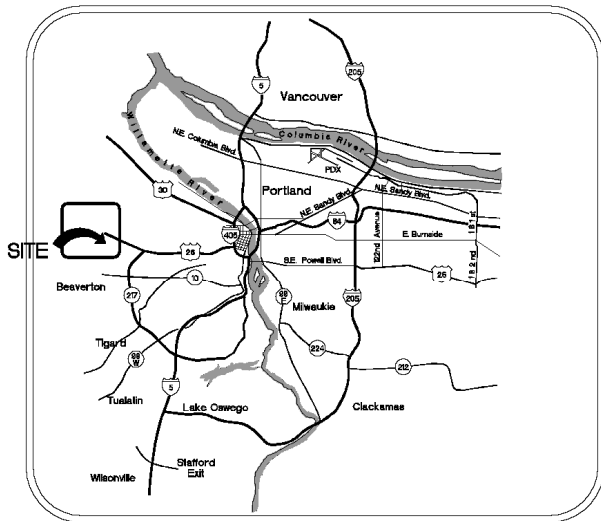
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Since 1960

Heritage Building | 601 Main Street, Suite 101, Vancouver, WA 98660  
T 360.695.7879 | T 360.693.6637 | [www.mcknze.com](http://www.mcknze.com)

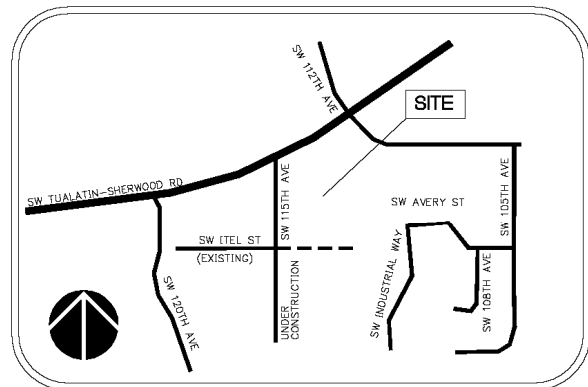


## 1. PROJECT DESCRIPTION

The proposed industrial building and associated parking and landscaping is a division of approximately 12 acres of property located on the SE corner of Tualatin Sherwood Road and SW 115th Avenue.



VICINITY MAP NOT TO SCALE



VICINITY MAP NOT TO SCALE

The site lies in the southwest corner of SW 115th Ave and south of SW IteI Street. The site shall have on-site water quality and detention facilities, and discharge to a public storm line in SW 115th Ave that has been constructed for receiving stormwater from this site.

The proposed development is covered in this report. This site will be served by a single extended dry detention stormwater pond that has been designed to meet Clean Water Services water quality and detention standards.

## 2. WATER QUALITY DESIGN

The existing undeveloped site has been mass graded for development. Water quality for the developed site will be accomplished by the use of the proposed extended detention dry stormwater pond. The proposed pond is sized to treat the CWS water quality “summer storm” event. The Clean Water Services “summer storm” event is defined as the first 0.36 inches of precipitation falling in 4 hours with an average storm return period of 96 hours. The water quality volume required for this development is 12,732 CF. The water quality volume of 12,732 CF is provided between the permanent pool elevation of 205.00 and

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elevation 207.10. See Attachment E for Stormwater Quality Volume calculations.

### 3. DETENTION DESIGN

In its existing condition, site runoff discharges to the northeast and eventually to Hedges Creek. The developed site runoff will flow to an extended dry detention pond located on the northeast corner of the property, adjacent to SW 115th Street. The pond will be maintained as a private stormwater facility. Detention is proposed to match existing runoff rates for storm events up to and including the 25 year event, per City of Tualatin standards. The detention volume required for the proposed improvements is 16,022 CF. The proposed detention pond will match the existing conditions runoff discharge from the site by detaining and providing a managed runoff release through a flow control manhole. The pond will outlet through the flow control manhole to a 24" stub out from SW 115th Street. The stormline in SW 115<sup>th</sup> Ave was designed to convey the stormwater from the site. The existing storm system in SW 115th flows north and is routed through a regional stormwater facility on the south side of Tualatin Sherwood Road.

### 4. DESIGN ASSUMPTIONS

Conveyance System:

- 1) SCS/SBUH Method used
- 2) 24-hr design storm from CWS Storm Water Manual
- 3) Tc=5 minutes
- 4) Intensity up to the 25-yr Storm per CWS
- 5) Mannings n-0.013

Conveyance System:

- 6) SCS/SBUH Method used
- 7) 24-hr design storm
- 8) Tc= (see calc's)
- 9) Precipitation: varies per storm event



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## 5. ATTACHMENTS

- A. C1.0 – Existing Conditions Plan
- B. C2.3 – Overall Storm Drainage Plan
- C. C8.2 – Storm Details
- D. Drainage/Conveyance Basin Map
- E. Stormwater Quality Volume Calculations
- F. Pond Sizing Calculations
- G. Conveyance Calculations





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REVISIONS:

NO.	DATE	REVISION	REVISION DATE	DELTA	CLOSING DATE

SHEET TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWN BY:

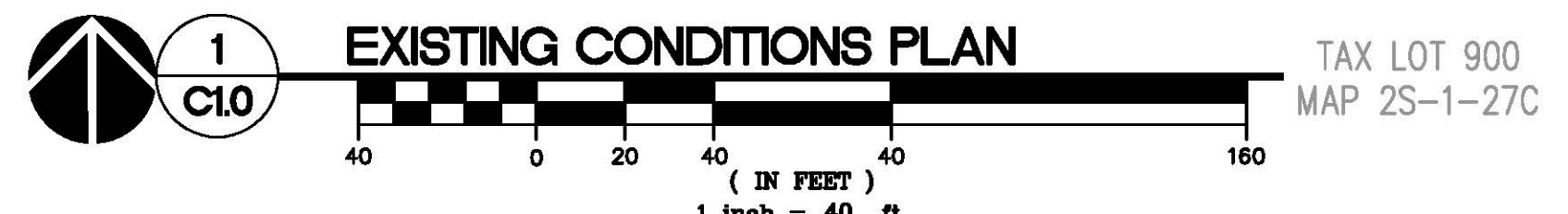
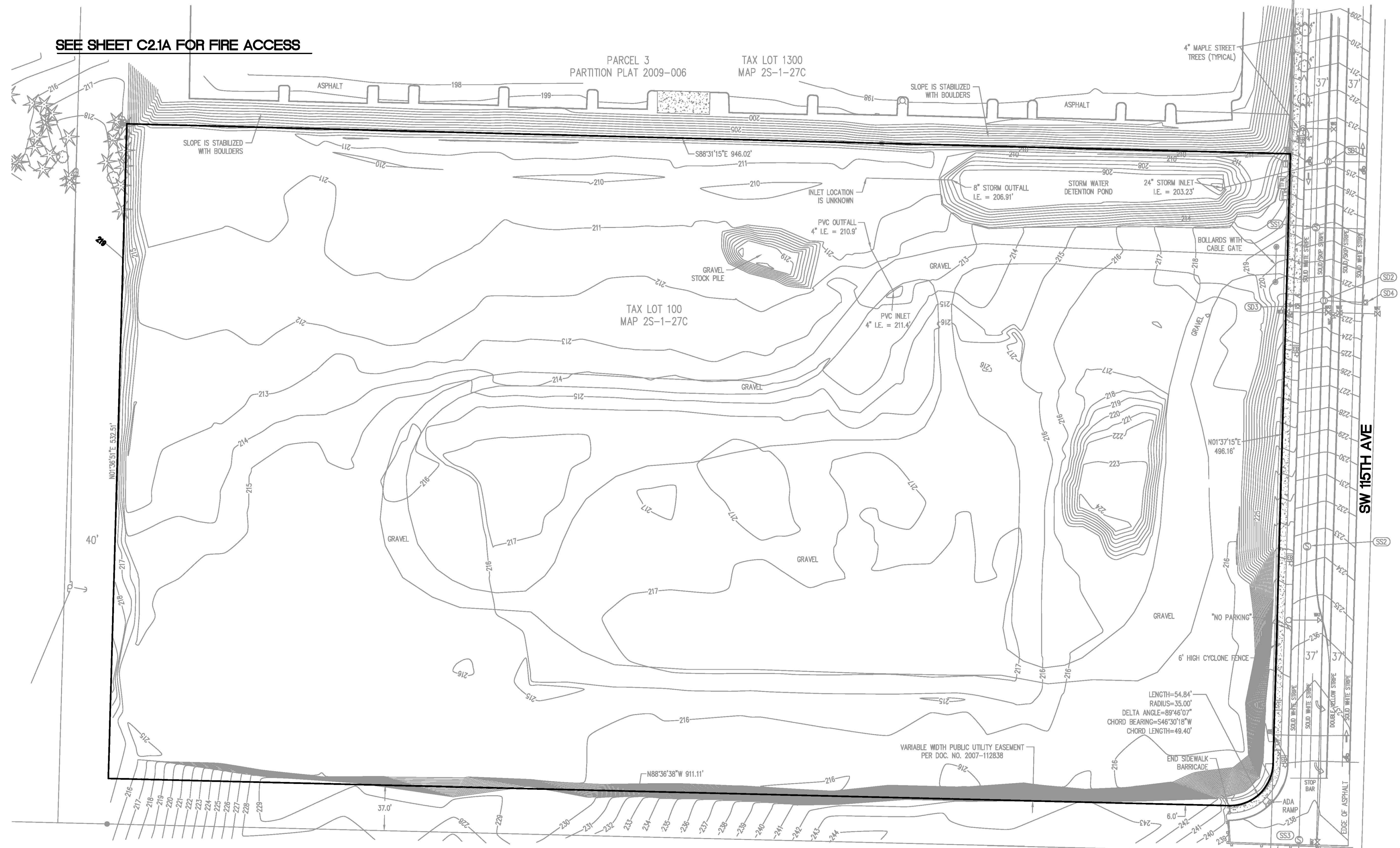
CHECKED BY:

SHEET:

**C1.0**

JOB NO. **2160026.00**

SEE SHEET C2.1A FOR FIRE ACCESS



**NOTES**

- 1) THE FIELD SURVEY FOR THIS MAP WAS COMPLETED ON MARCH 21, 2017.
- 2) ELEVATIONS AND CONTOURS ARE BASED ON GPS MEASUREMENTS AND ARE BASED ON THE NAVD 1988 DATUM.
- 3) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD(83).
- 4) THE RIGHT-OF-WAY WIDTHS ARE BASED ON MULTIPLE SURVEYS, THE COUNTY ASSESSOR'S MAP AND THE DEDICATION DEED.
- 5) THE EASEMENT SHOWN ON THIS MAP IS BASED ON THE TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE COMPANY OF OREGON, WITH ORDER NUMBER 45141521191 AND AN EFFECTIVE DATE OF FEBRUARY 8, 2016 AT 8:00 AM.
- 6) THE UNDERGROUND UTILITIES ARE BASED ON THE MARKINGS PER LOCATE TICKET NUMBERS 17007677 AND 17016129.

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**STORM INFORMATION SAN. INFORMATION TREE NOTES**

<b>(S1) MANHOLE</b> RIM = 214.86' 12" I.E. IN (E) = 202.0' 12" I.E. IN (S) = 200.9' 24" I.E. IN (SW) = 200.9' 24" I.E. OUT (N) = 200.0'	<b>(S2) MANHOLE</b> RIM = 222.61' 10" I.E. IN (W) 10" IN (E) 12" OUT (N) FLOWLINE I.E. = 217.6'	<b>(S3) CURB INLET</b> RIM = 222.99' INLET ELEV. = 222.4' 10" I.E. OUT (E) = 218.0'	<b>(S4) CURB INLET</b> RIM = 222.40' INLET ELEV. = 221.8' 10" I.E. OUT (W) = 218.0'	<b>(SS1) MANHOLE</b> RIM = 218.09' 6" I.E. IN (E) = 201.4' 12" I.E. IN (S) = 207.8' 12" I.E. OUT (N) = 201.1'	<b>(SS2) MANHOLE</b> RIM = 233.60' 12" I.E. IN (S) = 224.2' 12" I.E. OUT (N) = 224.1'	<b>(SS3) MANHOLE</b> RIM = 238.25' 12" I.E. IN (S) = 232.8' 12" I.E. OUT (N) = 232.7'	10767 29" FIR 10768 23" FIR 10769 11" FIR 10770 10" OAK 10771 19" FIR 10773 11" FIR 10774 25" FIR 10775 8" FIR 10776 23" FIR 10777 25" FIR 10778 12" FIR 10779 8" FIR 10780 17" FIR 10781 31" FIR 10782 28" FIR 10783 26" FIR 10784 8" FIR 10785 8" OAK 10786 28" FIR 10787 27" FIR 10788 27" FIR 10789 27" FIR 10790 21" FIR 10791 22" FIR	10792 27" FIR 10793 23" FIR 10794 23" FIR 10795 16" FIR 10796 26" FIR 10797 10" FIR 10798 25" FIR 10799 7" FIR 10800 18" FIR 10801 12" FIR 10802 7" FIR 10803 21" FIR 10805 24" FIR 9" DECIDUOUS 8" FIR 12" FIR 10" MADRONE 23" FIR 21" MADRONE 16" MADRONE 10" FIR
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EXPIRES: 12/31/17

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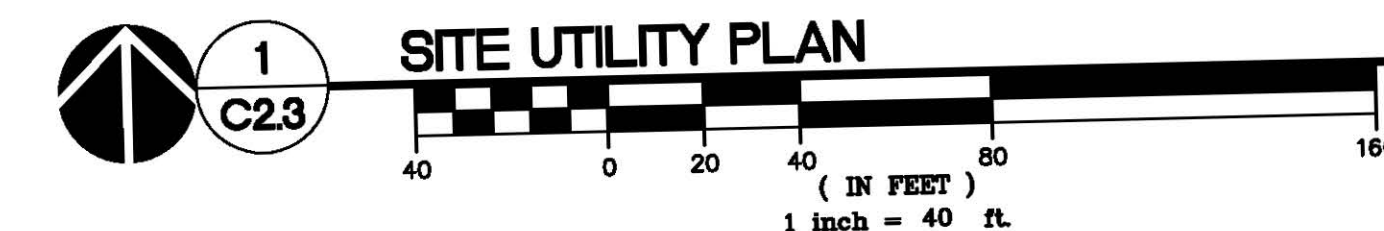
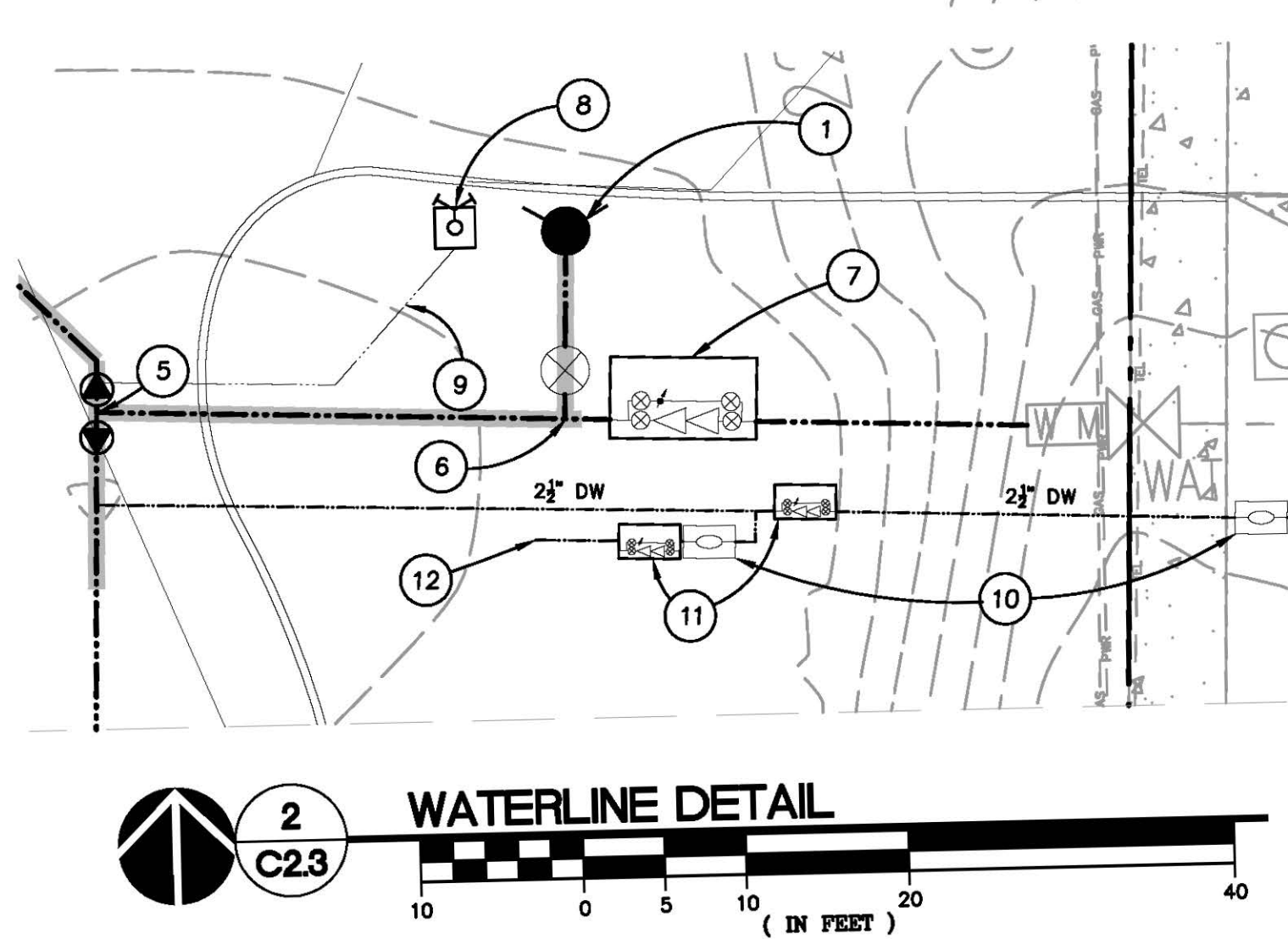
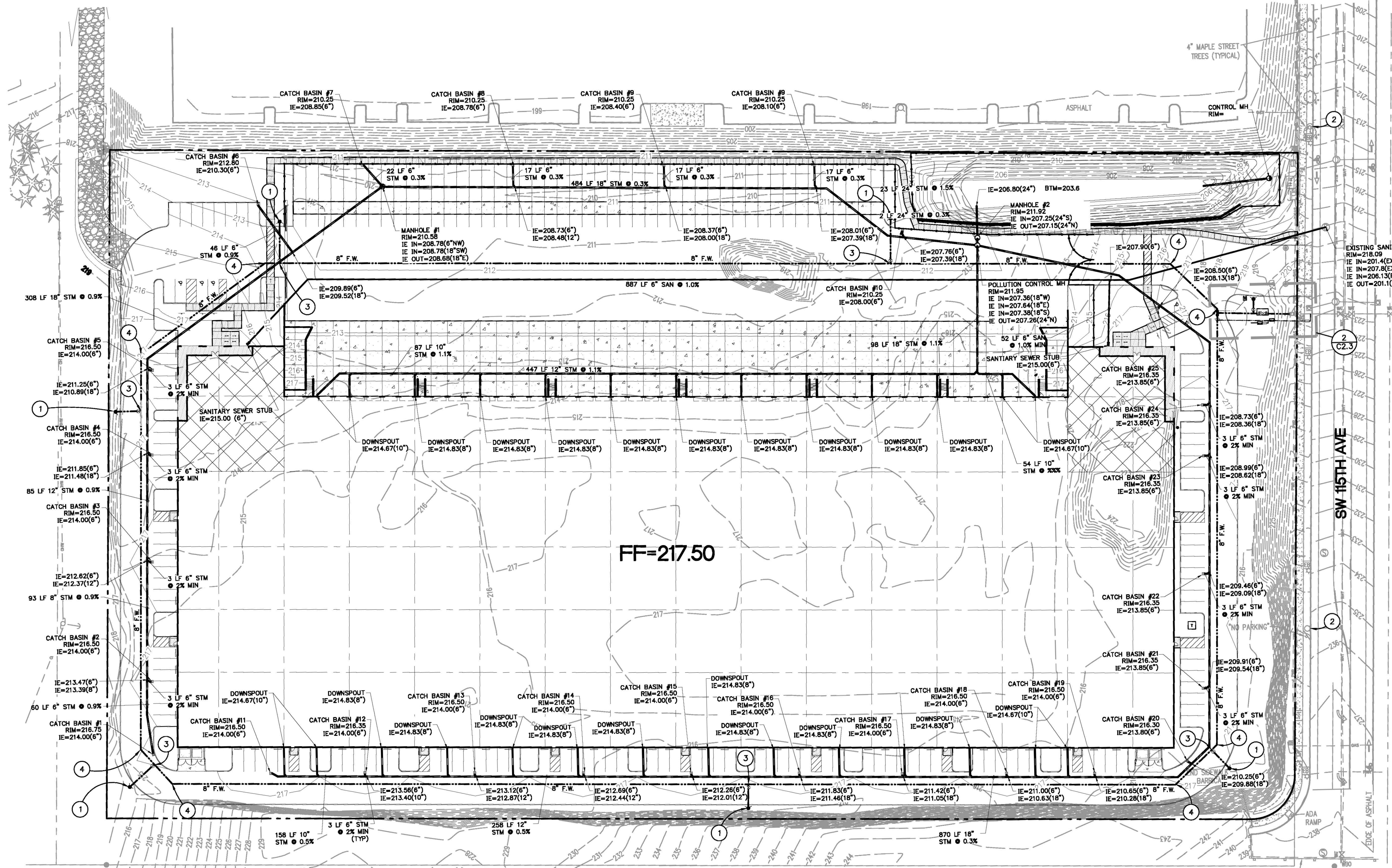
REVISIONS:  
REVISION NUMBER REVISION DESCRIPTION DATE  
1 1 1 1 1 1

SHEET TITLE:  
**SITE  
UTILITY  
PLAN**

DRAWN BY: ASP  
CHECKED BY: RLf  
SHEET:

**C2.3**

JOB NO. 2160026.00



- WATERLINE KEYNOTES**
- PROPOSED FIRE HYDRANT
  - EXISTING FIRE HYDRANT
  - 8" X 6" TEE WITH RESTRAINT JOINTS
  - 8" 45° MJ BEND WITH RESTRAINT JOINTS
  - (1) 10" TEE (2) 10" X 8" REDUCERS WITH RESTRAINT JOINTS
  - 10" X 6" TEE WITH RESTRAINT JOINTS
  - 10" DDCV ASSEMBLY
  - PROPOSED FDC
  - PROPOSED 6" LINE FROM RISER TO FDC
  - 2" METER
  - 2" DDCV FOR IRRIGATION
  - POINT OF IRRIGATION CONNECTION

- RESTRAINED JOINT NOTES**
- TEST PRESSURE: 200 PSI  
DEPTH TO BURY: 3 FT  
PIPE MATERIAL: PVC C-900  
SAFETY FACTOR: 1 TO 1.5  
LENGTH OF RESTRAINT: 20 FT  
ALONG MAIN ON TEEs, LR:
- NOTIFY ENGINEER IF DEVIATING FROM ABOVE SPECIFICATIONS. LENGTH OF PIPE REQUIRING RESTRAINED JOINTS.

	6"	8"	10"
8" x X" TEE	1'	1'	27'
10" x X" TEE	1'	13'	48'
45° BENDS	11'	14'	17'

CITY RETAINS AUTHORITY TO MODIFY AND/OR ADD JOINT RESTRAINTS AT THE DISCRETION OF THE CITY ENGINEER.

**UTILITY NOTES**

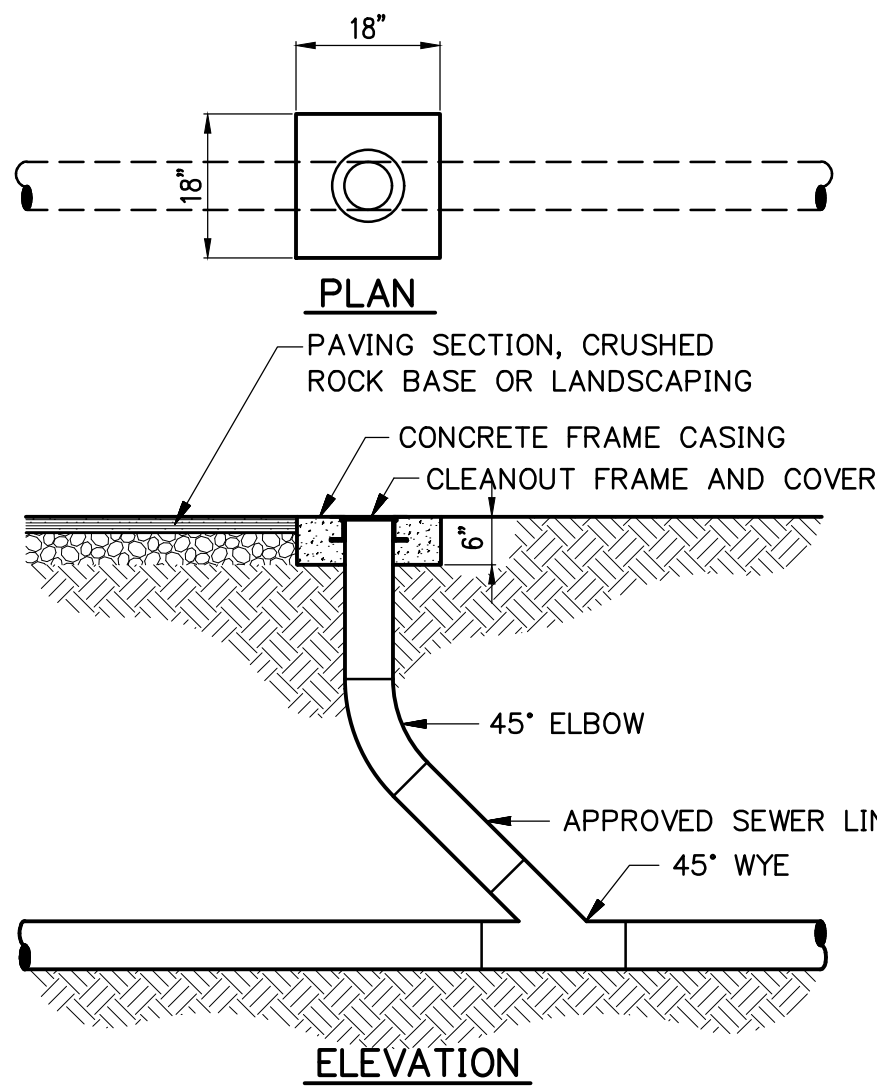
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF TUALATIN, CLEAN WATER SERVICES, AND THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE AND THE INTERNATIONAL BUILDING CODE. ALL WORK WITHIN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR FLOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION. SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.12. NOTE: NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS.
- ALL STORM PIPING IS SIZED FOR A MANNING'S "N" VALUE = 0.013. ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- SEE MECHANICAL DRAWINGS FOR UTILITIES LOCATED WITHIN THE BUILDING AND TO 5' OUTSIDE THE BUILDING.
- ALL DOWNSPOUT LEADERS TO BE 6" AT 2.0% MIN. UNLESS NOTED OTHERWISE. VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
- PROVIDE 2" PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2" PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4" INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY PREPARED BY WESTLAKE CONSULTANTS, INC. DATED JANUARY 30, 2015.
- CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE SPECIFICATIONS AND LANDSCAPE PLANS.
- SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5' OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
- CONTRACTOR TO MAINTAIN MINIMUM 3 FT OF COVER OVER ALL WATER LINE.
- 30 MIL LINER TO BE INSTALLED AT BOTTOM OF ALL LIDA BASINS WITHIN 10 LINEAL FEET OF FOOTING.

### DESIGN BUILD WALL NOTES

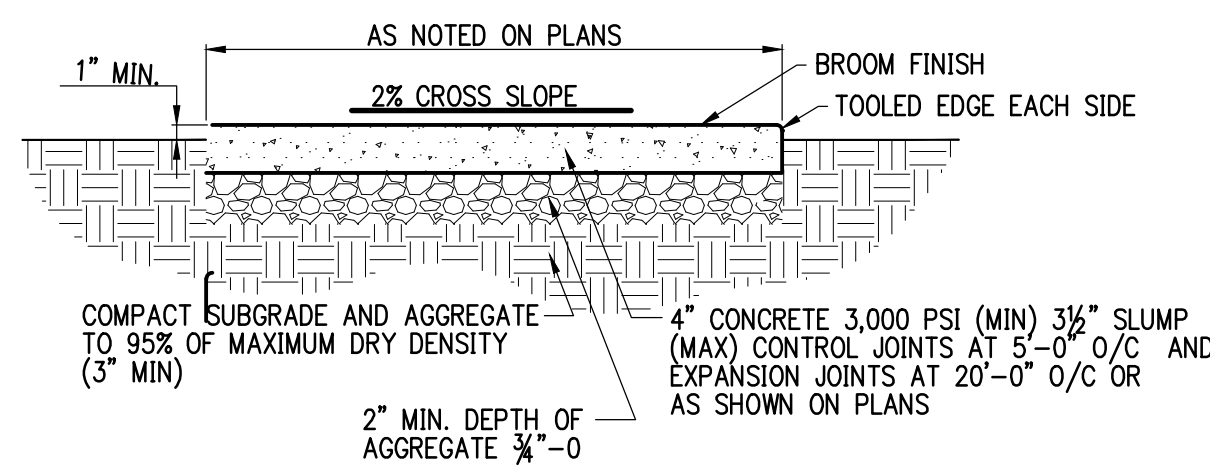
WALL TO BE MODULAR BLOCK W/ SPLIT FACE AND BEVELED EDGES. ACCEPTABLE PRODUCTS INCLUDE LOCK 'N' LOAD AND KEYSTONE WALLS.  
ALTERNATE IS A STACKED ROCK WALL DESIGNED BY GEOTECHNICAL ENGINEER.  
WALLS OVER 42" IN HEIGHT SHALL BE DESIGN BUILD, INCLUDING PERMITTING BY JURISDICTION.  
COORDINATE BLOCK COLOR WITH OWNER.  
PROVIDE BLOCK SAMPLE FOR OWNERS APPROVAL PRIOR TO WALL INSTALLATION.  
WALLS OVER 30" IN GRADE DIFFERENTIAL SHALL BE INSTALLED WITH FENCING.

48" HIGH VINYL-COATED (BLACK) CHAIN LINK FENCE  
STANDARD CURB  
PARKING LOT PAVEMENT SECTION  
INSTALL 20 MILL LINER WHERE RAINGARDENS ARE LOCATED NEAR TOP OF WALL  
GEOGRID REINFORCEMENT OR OTHER MEANS OF ANCHORMENT  
DRAIN PIPE TO DAYLIGHT  
GRANULAR BASE MATERIAL  
BATTER PER WALL MANUFACTURER  
2(MAX)  
1

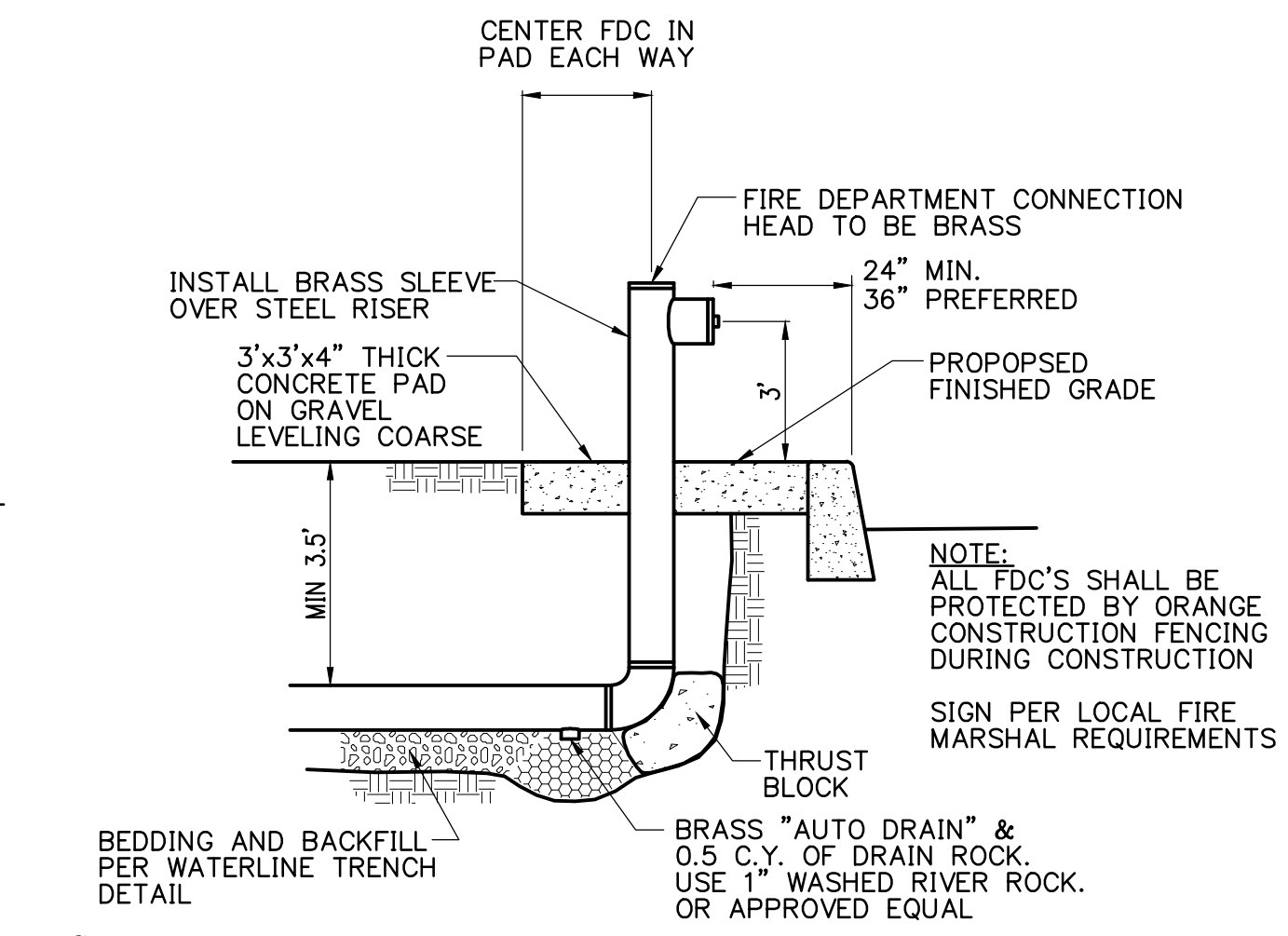
**3 MODULAR BLOCK RETAINING WALL SECT.**  
C8.2 N.T.S. RET-WALL-ULTRA 1:1



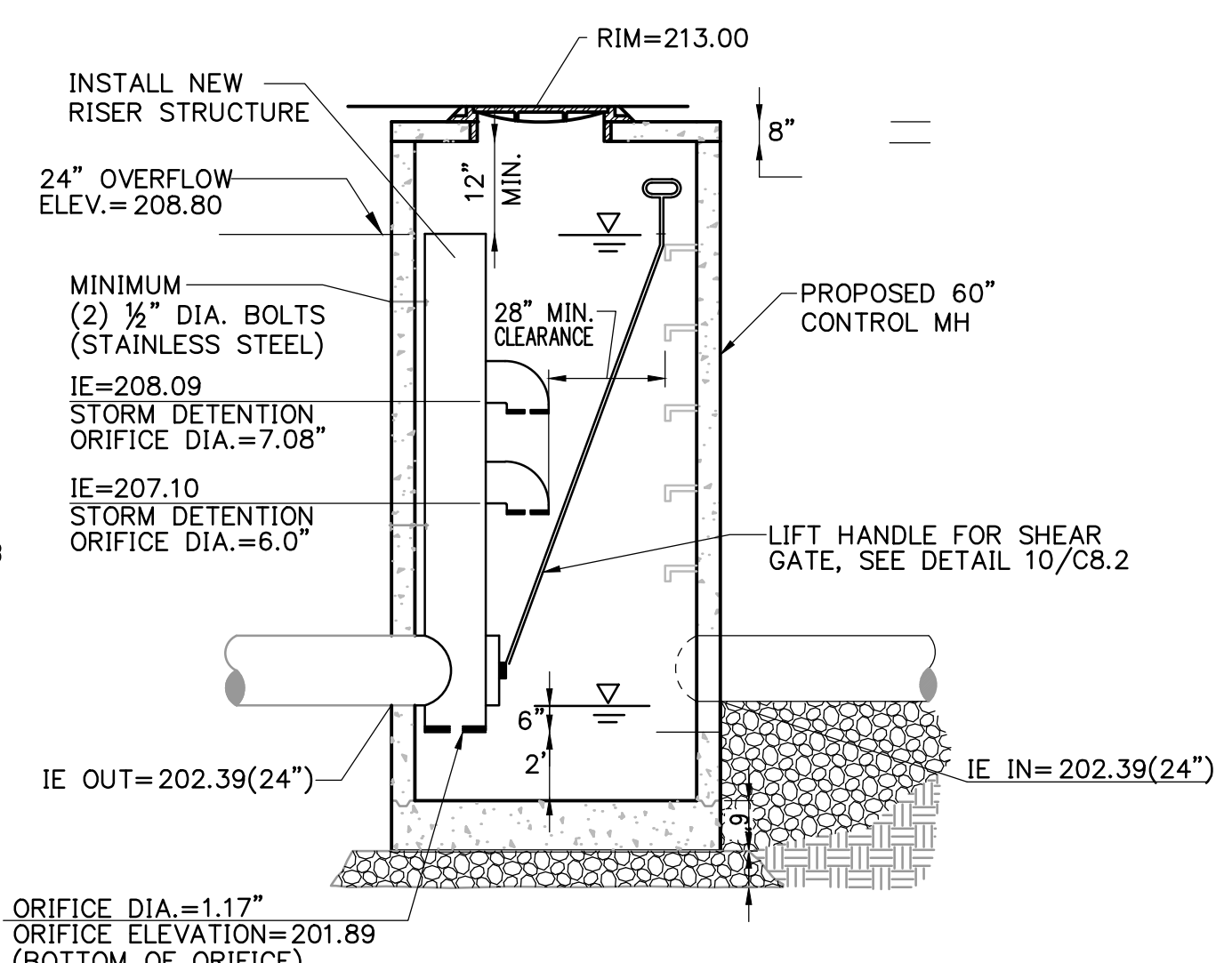
**1 CLEANOUT**  
C8.2 N.T.S.



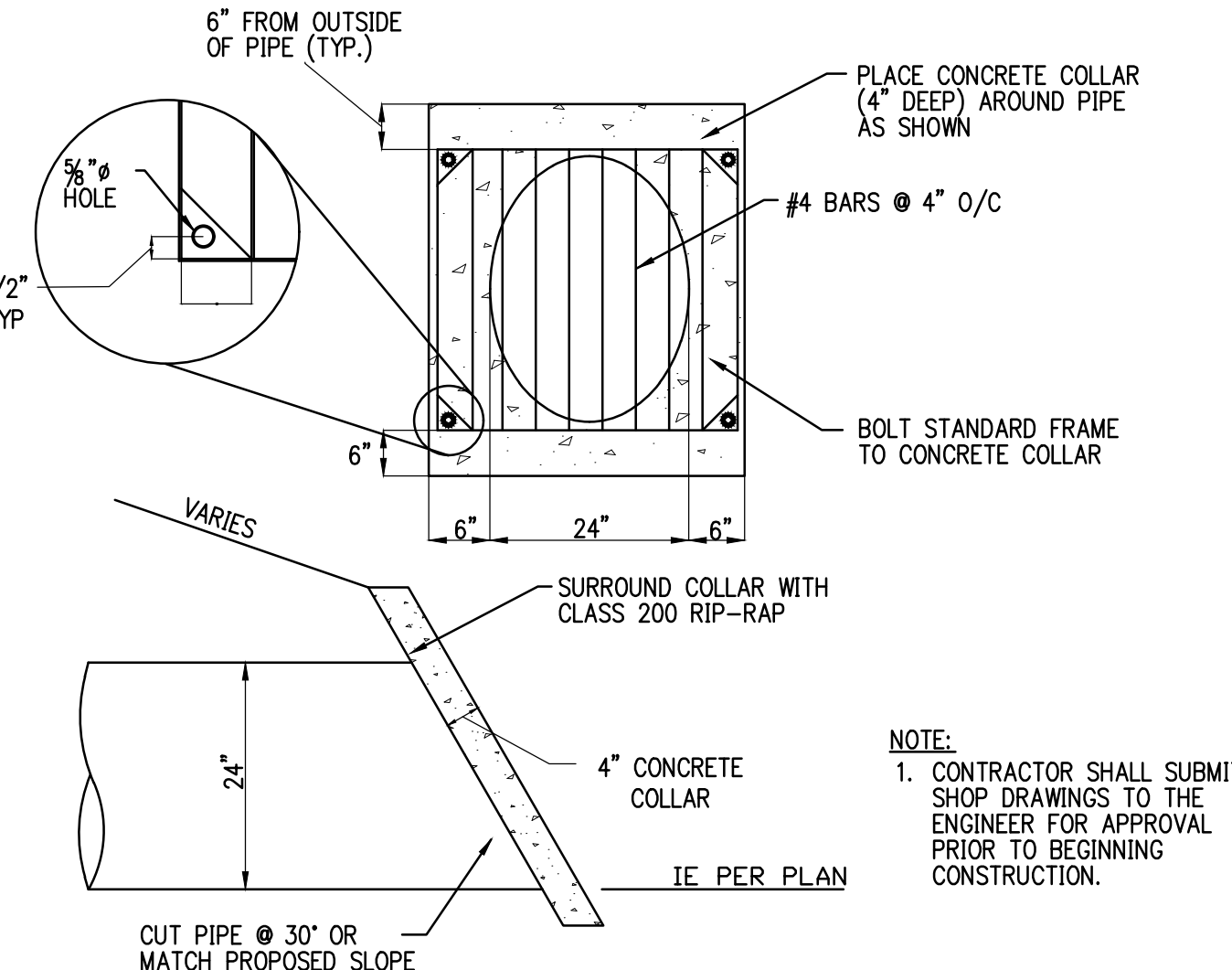
**2 CONCRETE SIDEWALK**  
C8.2 N.T.S.



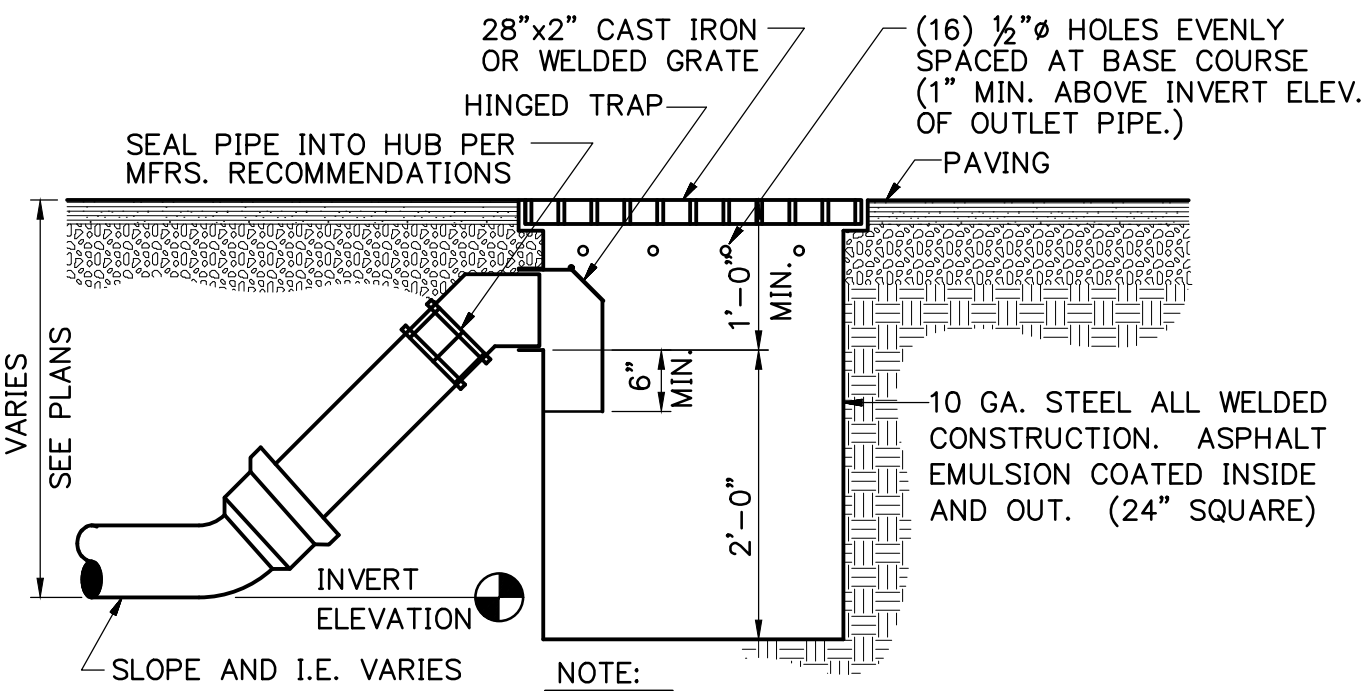
**4 FDC DETAIL W/ CONCRETE PAD**  
C8.2 N.T.S.



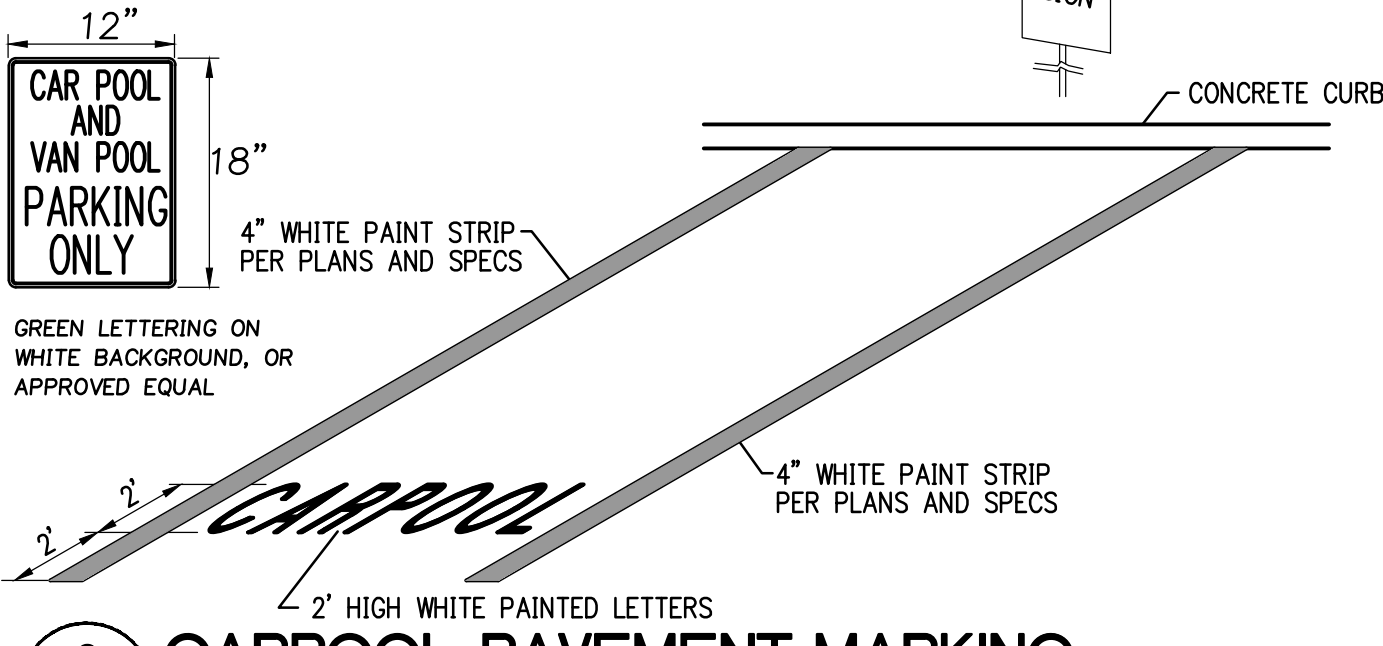
**7 CONCRETE CONTROL MANHOLE**  
C8.2 N.T.S.



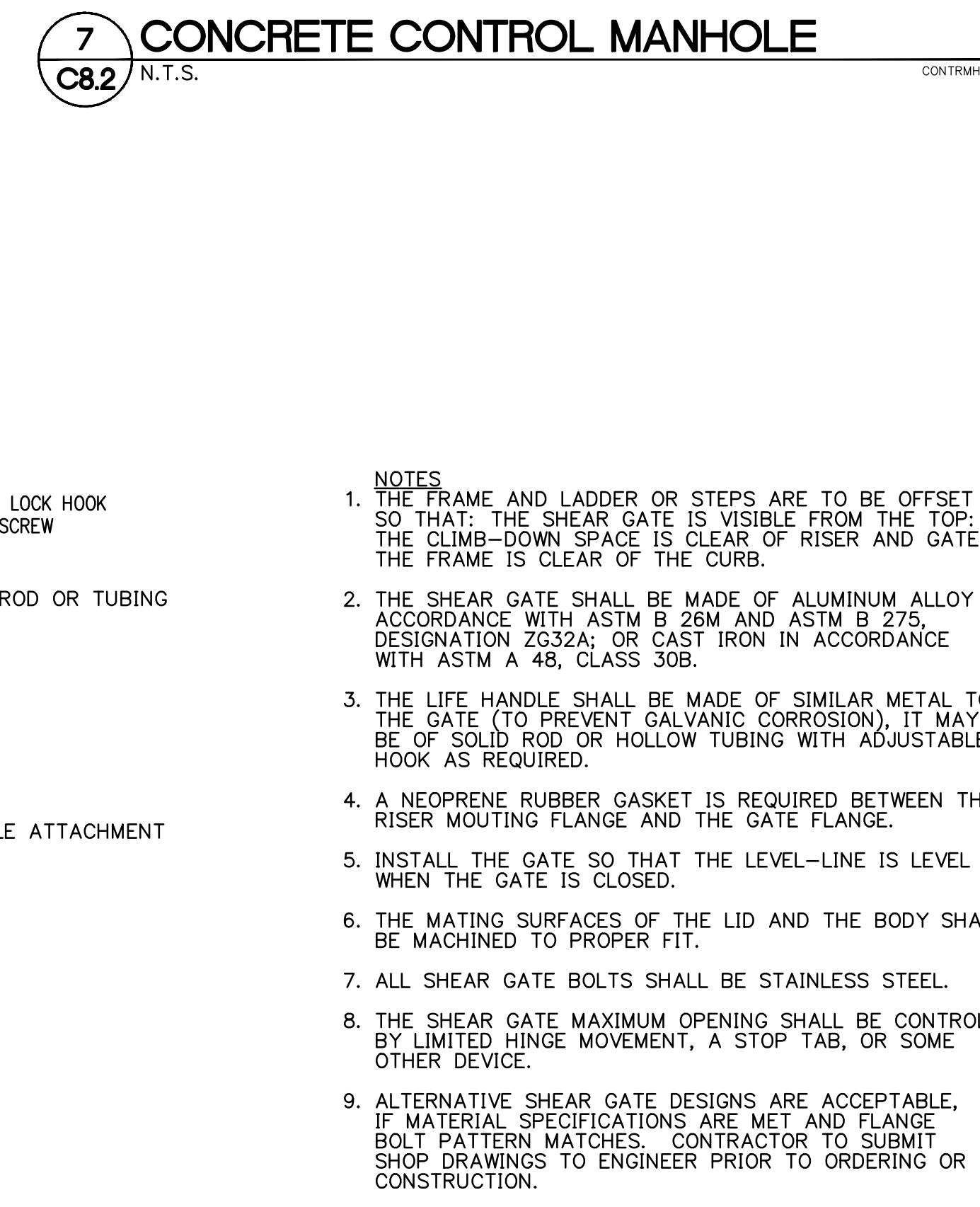
**8 PIPE END GRATE AT INLET**  
C8.2 N.T.S.



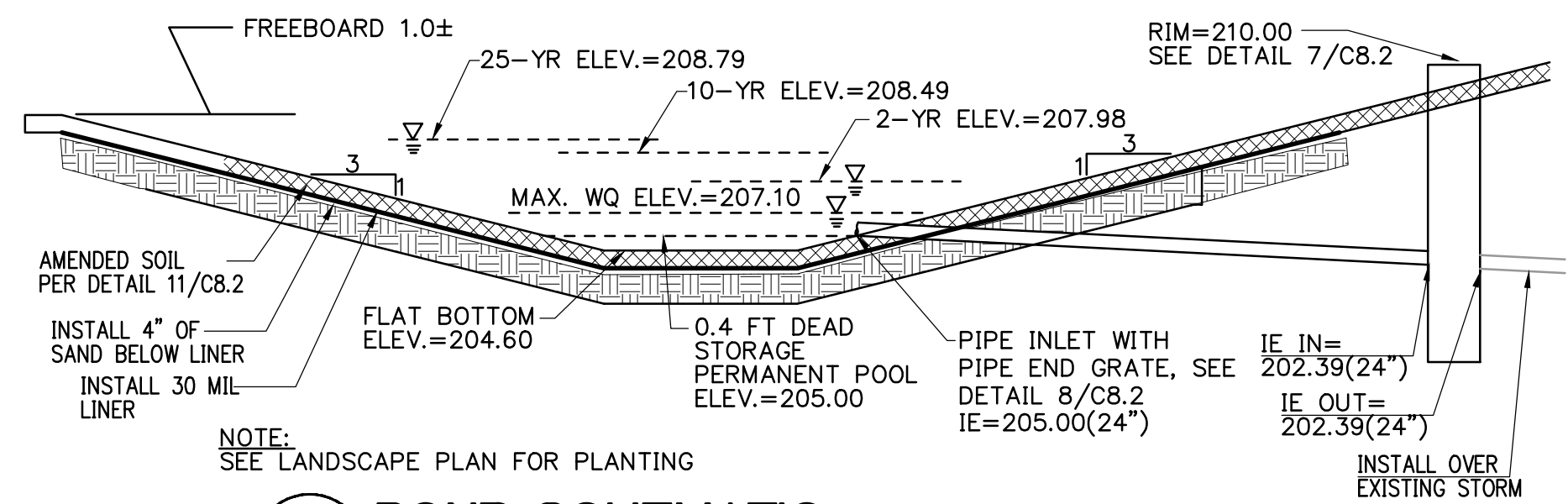
**5 CATCH BASIN**  
C8.2 N.T.S. LYNCH STYLE



**6 CARPOOL PAVEMENT MARKING**  
C8.2 N.T.S.



**10 SHEAR GATE**  
C8.2 N.T.S.



**9 POND SCHEMATIC**  
C8.2 N.T.S.

**STORMWATER FACILITY BLENDED SOIL**

FURNISH IMPORTED BLENDED SOIL FOR ALL VEGETATED LIDA FACILITIES CONFORMING TO THE FOLLOWING:

- GENERAL COMPOSITION - USE MATERIAL THAT IS ANY BLEND OF LOAMY SOIL, SAND, AND COMPOST THAT IS 30-40% COMPOST (BY VOLUME) AND MEETS THE OTHER CRITERIA IN THIS SPECIFICATION.
- ANALYSIS REQUIREMENTS FOR THE BLENDED MATERIAL: PARTICLE GRADATION - A SIEVE ANALYSIS OF THE BLENDED MATERIAL, INCLUDING COMPOST, SHALL BE CONDUCTED IN CONFORMANCE WITH ASTM C117/C136, AASHTO T11/T27, ASTM D422/D1140, OR ASTM D6913. THE ANALYSIS SHALL INCLUDE THE FOLLOWING SIEVE SIZES: 1 INCH, 3/8 INCH, #4, #10, #20, #40, #60, #100, #200. THE GRADATION OF THE BLEND SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE	PERCENT PASSING
1 INCH	100
#4	75-100
#10	40-100
#40	15-50
#100	5-25
#200	5-15

- THE MATERIAL SHALL BE LOOSE AND EASILY BROKEN INTO SMALL PIECES
- IT SHALL BE WELL MIXED AND HOMOGENEOUS.
- IT SHALL BE FREE OF WOOD PIECES, PLASTIC, AND OTHER FOREIGN MATTER.
- IT SHALL HAVE NO VISIBLE FREE WATER.

**COMPOST**

THE COMPOST SHALL BE DERIVED FROM PLANT MATERIAL AND PROVIDED BY A MEMBER OF THE US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE (STA) PROGRAM. SEE WWW.COMPOSTINGCOUNCIL.ORG FOR A LIST OF LOCAL PROVIDERS.

THE COMPOST SHALL BE THE RESULT OF THE BIOLOGICAL DEGRADATION AND TRANSFORMATION OF PLANT-DERIVED MATERIALS UNDER CONDITIONS DESIGNED TO PROMOTE AEROBIC DECOMPOSITION. THE MATERIAL SHALL BE WELL COMPOSTED, FREE OF VISIBLE WEED SEEDS, AND STABLE WITH REGARD TO OXYGEN CONSUMPTION AND CARBON DIOXIDE GENERATION. THE COMPOST SHALL HAVE NO VISIBLE FREE WATER AND PRODUCE NO DUST WHEN HANDLED. IT SHALL MEET THE FOLLOWING CRITERIA, AS REPORTED BY THE US COMPOSTING COUNCIL STA COMPOSTING TECHNICAL DATA SHEET PROVIDED BY THE VENDOR:

- 100% OF THE MATERIAL MUST PASS THROUGH A 1/2-INCH SCREEN.
- THE PH OF THE MATERIAL SHALL BE BETWEEN 6 MIN. AND 8.5 MAX.
- MANUFACTURED INERT MATERIAL (PLASTIC, CONCRETE, CERAMICS, METAL, ETC.) SHALL BE LESS THAN 1.0% BY WEIGHT.
- THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 30 AND 70% (DRY WEIGHT BASIS).
- SOLUBLE SALT CONTENT SHALL BE LESS THAN 6.0 MMDS/CM.
- MATURITY INDICATOR SHALL BE GREATER THAN BOX FOR GERMINATION AND WGR.
- STABILITY SHALL BE "STABLE" TO "VERY STABLE".
- CARBON/NITROGEN (C/N) RATIO SHALL BE LESS THAN 25:1.
- TRACE METALS TEST RESULT = "PASS."

**CONSTRUCTION**

STORMWATER FACILITY BLENDED SOIL

- PROTECTION OF THE SOIL - THE MATERIAL SHALL BE PROTECTED FROM ALL SOURCES OF CONTAMINATION, INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE.
- WET AND WINTER CONDITIONS - STORAGE AND PLACEMENT OF THE MATERIAL WILL NOT BE ALLOWED WHEN THE WEATHER IS TOO WET OR THE GROUND IS FROZEN OR SATURATED AS DETERMINED BY THE OWNERS REPRESENTATIVE.
- PLACEMENT OF THE SOIL - PLACE THE MATERIAL IN LOOSE LIFTS, NOT TO EXCEED 8 INCHES EACH AND EACH LIFT SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. DO NOT OTHERWISE MECHANICALLY COMPACT THE MATERIAL.
- TIMING OF PLANT INSTALLATION - WEATHER PERMITTING AND AS APPROVED, INSTALL PLANTS AS SOON AS POSSIBLE AFTER THE GRADING AND GRADING THE SOIL IN ORDER TO MINIMIZE EROSION AND FURTHER COMPACTION.
- EROSION CONTROL - TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION MEASURES ARE FUNCTIONAL.
- PROTECTION OF THE INSTALLED SOIL - IN ALL CASES, THE PROTECT INSTALLED MATERIAL FROM FOOT OR EQUIPMENT TRAFFIC AND SURFACE WATER RUNOFF. INSTALL TEMPORARY FENCING OR WALKWAYS AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE AREA. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND EQUIPMENT BE STORED ON TOP OF THE INSTALLATION AREA.

BLENDING SOIL SPECIFICATION FOR VEGETATED LIDA FACILITIES DRAWING NO. 798

LIDA HANDBOOK 08-16

CleanWater Services

**11 CLEAN WATER SERVICES DRAWING 798**  
C8.2 N.T.S.



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REVISIONS:

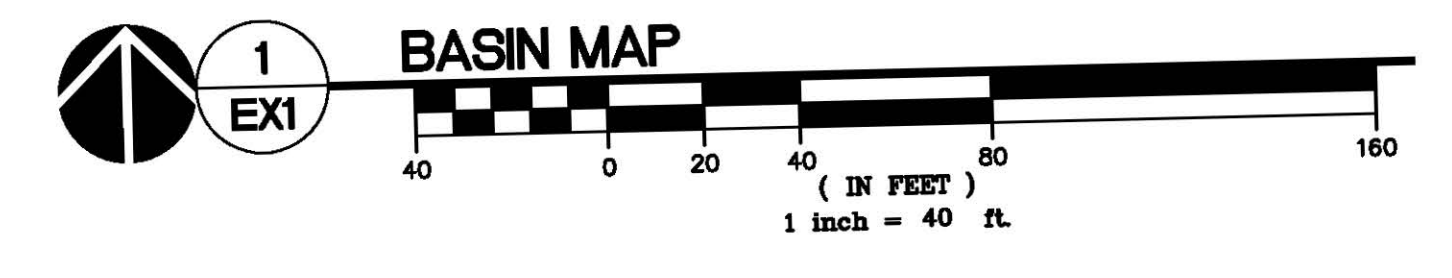
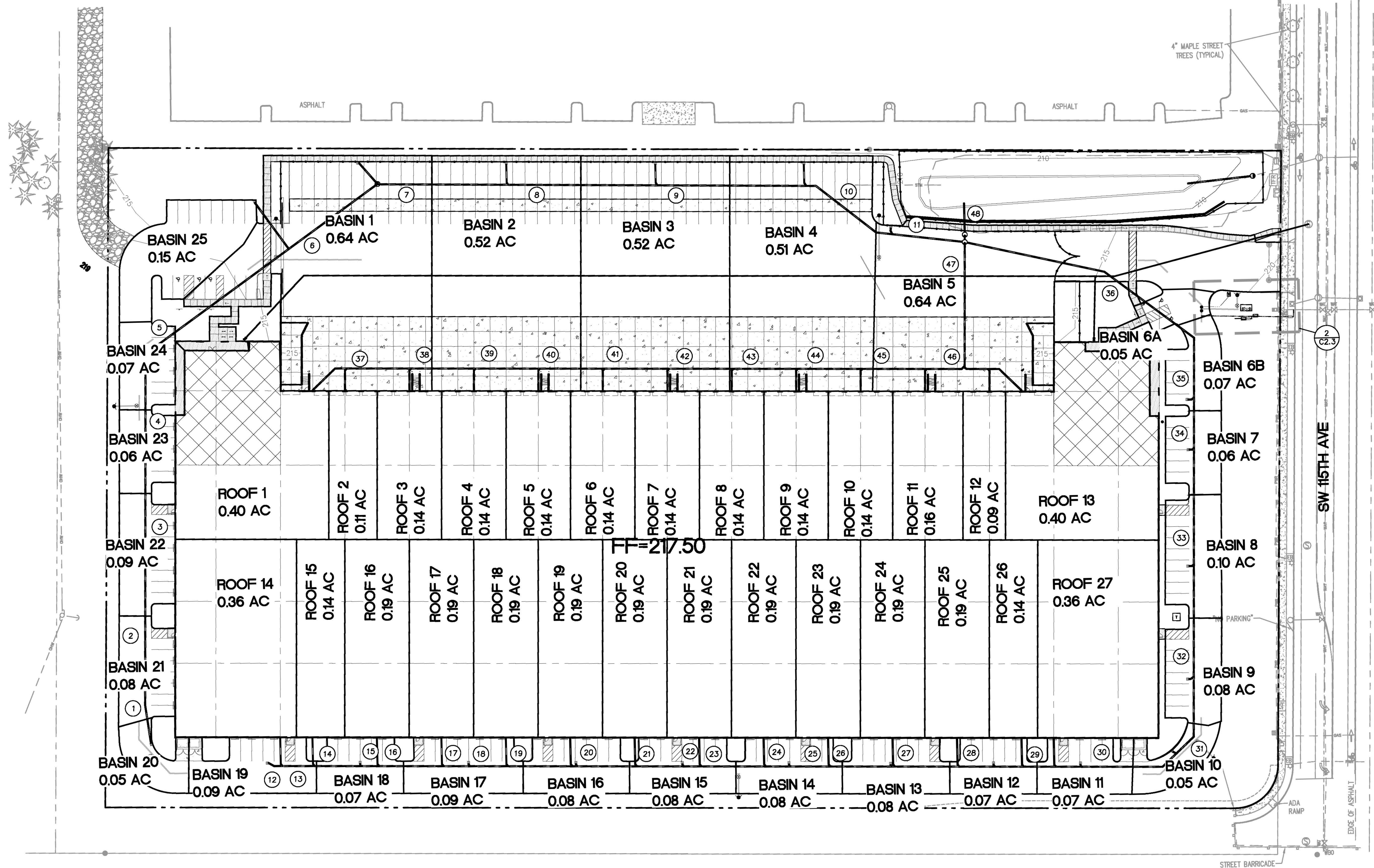
REVISION	DATE	REVISION	REVISION DELTA	REVISION CLOSING DATE

SHEET TITLE:  
**BASIN MAP**

DRAWN BY: ASP  
CHECKED BY: RLF  
SHEET:

## EX1

JOB NO. **2160026.00**



WQ OFFICINE

$$D = 24 * [(Q/C[2gH]^{0.5}) / \pi]^{0.5}$$

$$H = 206.41 - 202.39 = 4.01'$$

$$y = 32.2$$

$$C = 0.62$$

$$Q = \frac{12,728 \text{ ft}^3}{48 \text{ hrs}} \times \frac{1 \text{ hr}}{3600 \text{ s}} = 0.074 \text{ cfs}$$

$$D = 24 [(0.074 / (0.62 [2 \times 32.2 \times 4.01]^{0.5}) / \pi]^{0.5}$$

$$D = 1.17''$$

WQ MH

$$Q = \frac{12,728 \text{ ft}^3}{4 \text{ HRS}} \times \frac{1 \text{ HR}}{3600 \text{ s}} = 0.883 \text{ cfs}$$

USE 72" MH MIN 84.8 CF OF SUMP.



### TOTAL POND VOL

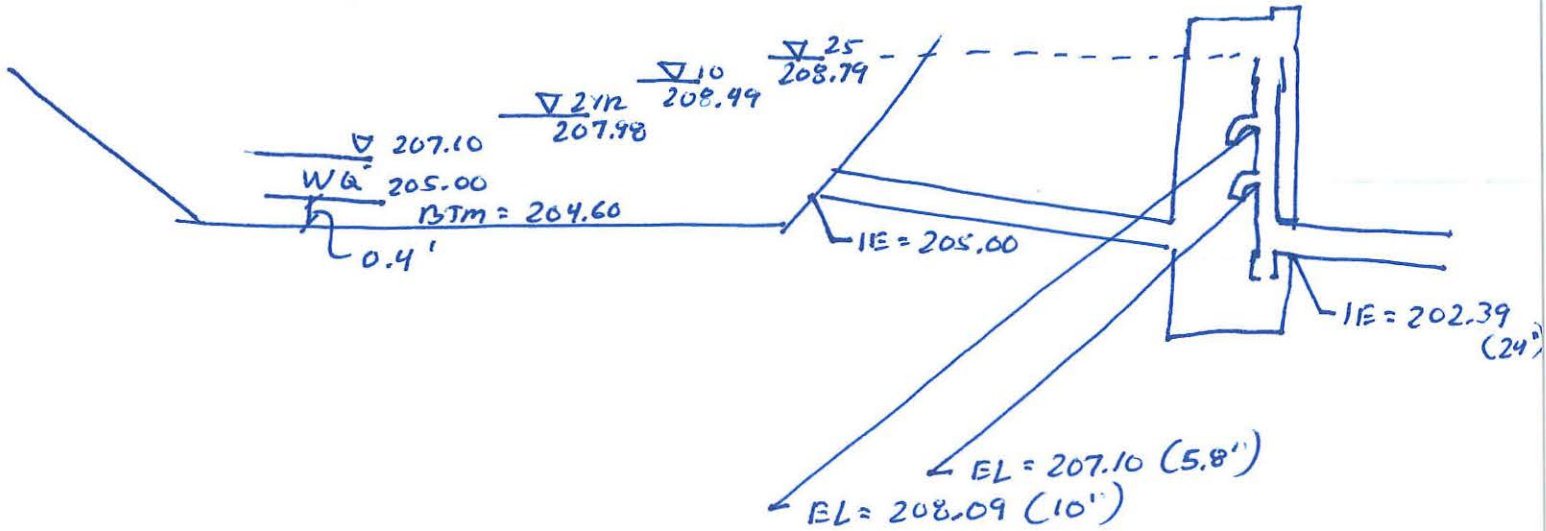
ELEV (ft)	AREA (SF)	VOL (CF)	Cum VOL (CF)
205	4482	0	0
206	5956	5,219	5,219
207	7552	6,754	11,973 ← WQ VOL EL = 207.10
208	9194	8,373	20,346
209	10,527	9,866	30,206
210	11,925	11,226	41,432

### WQ VOL

$$9.74 \text{ Ac} \times \frac{43,560 \text{ ft}^2}{\text{Ac}} \times 0.36 \text{ in} \times \frac{1 \text{ ft}}{12 \text{ in}} = 12,728 \text{ ft}^3$$

### DETENTION VOL

ELEV (ft)	AREA (SF)	VOL (CF)	Cum VOL (CF)
207.10	7,716	0	0
208	9194	8275	8275
209	10,527	9860	18,135
210	11,925	11,226	29,361



RETENTION DATA CN

IMPER AREA = 9.74 AC 98  
 PER AREA = 1.80 AC 83

SW 115<sup>th</sup> Ave

Project # 2160020.00

By: rlf

Appended on: 13:53:18 Wednesday, April 05, 2017

**LPOOLCOMPUTE [NODE] SUMMARY using Puls**

Start of live storage: 202.3900 ft

Event	Match Q (cfs)	Peak Q (cfs)	Peak Stg (ft)	Vol (cf)	Vol (acft)	Time to Empty
2 year	2.1599	2.1593	207.9818	8107.43	0.1861	24.83
10 year	4.1530	3.9608	208.4857	13063.60	0.2999	24.83
25 year	5.1706	4.5725	208.7857	16021.95	0.3678	24.83

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**Running H:\\Projects\\216002600\\3\_Design\\Calculations\\NODE Report.pgm  
on Wednesday, April 05, 2017**

**Summary Report of all Detention Pond Data**

Event	Precip (in)
other	2.1000
2 year	2.5000
10 year	3.4500
5 year	3.5000
25 year	3.9000
100 year	5.5100

**BASLIST2**

[EXISTING] Using [TYPE1A] As [2 year]  
[DEVELOPED] Using [TYPE1A] As [2 year]  
[EXISTING] Using [TYPE1A] As [10 year]  
[DEVELOPED] Using [TYPE1A] As [10 year]

[EXISTING] Using [TYPE1A] As [25 year]  
 [DEVELOPED] Using [TYPE1A] As [25 year]

**LSTEND**

BasinID	Event	Peak Q (cfs)	Peak T (hrs)	Peak Vol (ac-cf)	Area (ac)	Method/Loss	Raintype
EXISTING	2 year	2.1599	8.23	1.0167	11.54	SCS/SCS	TYPE1A
DEVELOPED	2 year	5.8722	8.00	2.0029	11.54	SCS/SCS	TYPE1A
EXISTING	10 year	4.1530	8.20	1.7497	11.54	SCS/SCS	TYPE1A
DEVELOPED	10 year	8.4139	8.00	2.8868	11.54	SCS/SCS	TYPE1A
EXISTING	25 year	5.1706	8.20	2.1187	11.54	SCS/SCS	TYPE1A
DEVELOPED	25 year	9.6252	8.00	3.3089	11.54	SCS/SCS	TYPE1A

**BASLIST [TYPE1A] AS [2 year] DETAILED**

[EXISTING] [DEVELOPED]

**LSTEND**

**Record Id: EXISTING**

<b>Design Method</b>	SCS	<b>Rainfall type</b>	TYPE1A
<b>Hyd Intv</b>	10.00 min	<b>Peaking Factor</b>	484.00
		<b>Abstraction Coeff</b>	0.20
<b>Pervious Area (AMC 2)</b>	11.54 ac	<b>DCIA</b>	0.00 ac
<b>Pervious CN</b>	83.00	<b>DC CN</b>	0.00
<b>Pervious TC</b>	31.53 min	<b>DC TC</b>	0.00 min

**Pervious CN Calc**

Description	SubArea	Sub cn
EXISTING	11.54 ac	83.00
Pervious Compositied CN (AMC 2)		83.00

**Pervious TC Calc**

Type	Description	Length	Slope	Coeff	Misc	TT
Sheet	Short prairie grass and lawns.: 0.15	200.00 ft	1.00%	0.1500	2.50 in	25.47 min
Shallow	Short grass, pasture and lawns (n=0.030)	200.00 ft	1.00%	0.0300		3.12 min

Channel (interm)	Grassed (n=0.030)	300.00 ft	1.00%	0.0300		2.94 min
Pervious TC						31.53 min

**Record Id: DEVELOPED**

<b>Design Method</b>	SCS	<b>Rainfall type</b>	TYPE1A
<b>Hyd Intv</b>	10.00 min	<b>Peaking Factor</b>	484.00
		<b>Abstraction Coeff</b>	0.20
<b>Pervious Area (AMC 2)</b>	1.80 ac	<b>DCIA</b>	9.74 ac
<b>Pervious CN</b>	83.00	<b>DC CN</b>	98.00
<b>Pervious TC</b>	13.59 min	<b>DC TC</b>	8.00 min

Pervious CN Calc		
Description	SubArea	Sub cn
LANDSCAPE	1.80 ac	83.00
Pervious Compositd CN (AMC 2)		83.00

Pervious TC Calc						
Type	Description	Length	Slope	Coeff	Misc	TT
Sheet	Short prairie grass and lawns.: 0.15	15.00 ft	1.00%	0.1500	2.50 in	3.21 min
Shallow	Paved	200.00 ft	1.00%	0.0100		1.64 min
Channel (cont)	PIPE	1000.00 ft	0.50%	0.0300		8.74 min
Pervious TC						13.59 min

Directly Connected CN Calc		
Description	SubArea	Sub cn
IMPERVIOUS	9.74 ac	98.00
DC Compositd CN (AMC 2)		98.00

Directly Connected TC Calc						
Type	Description	Length	Slope	Coeff	Misc	TT
Fixed						8.00 min
Directly Connected TC						8.00min

**HYDLIST SUMMARY**

[2 year out] [10 year out] [25 year out]

**LSTEND**

HydID	Peak Q (cfs)	Peak T (hrs)	Peak Vol (ac-ft)	Cont Area (ac)
2 year out	2.1593	8.83	2.0071	11.5400
10 year out	3.9608	8.50	2.8886	11.5400
25 year out	4.5725	8.50	3.3103	11.5400

**STORLIST**

[POND]

**LSTEND****Record Id: POND**

Descrip:	Prototype Record	Increment	0.10 ft
Start El.	207.1000 ft	Max El.	210.0000 ft
<b>Stage Volume</b>			
<b>Stage (ft)</b>		<b>Volume (cf)</b>	
207.10		0.0000	
208.00		8275.0000	
209.00		18135.0000	
210.00		29361.0000	

**DISCHLIST**

[ORIFICE]

**LSTEND****Record Id: ORIFICE**

Descrip:	Prototype Structure	Increment	0.10 ft
Start El.	202.3900 ft	Max El.	210.0000 ft
Orif Coeff	0.62	Lowest Orif El.	202.39
Lowest Diam	5.8008 in	Dist to next	5.7000 ft
D2	10.0000 in	Dist to next	0.0000 ft

# Pipe Sizing Calculation

Based on SCS flow inputs

(Flows calculated in "AutoCAD Hydrograph Software")

Project: Majestic SW 115th  
 By: ASP  
 Date: 4/6/2017  
 Job: 2160026

Mannings n= 0.013

Link #	Storm Input Descriptions	Incremental Flow (cfs)	Total Flow (cfs)	Pipe Slope (%)	Pipe Diameter (inches)	Pipe Capacity (cfs)	Pipe Velocity (fps)
1	B20	0.044	0.044	0.3	6	0.31	1.56
2	B21	0.070	0.113	0.3	8	0.66	1.89
3	B22	0.079	0.192	0.3	12	1.95	2.48
4	B23	0.052	0.244	0.3	18	5.75	3.25
5	B24	0.061	0.306	0.3	18	5.75	3.25
6	B25	0.131	0.437	0.3	18	5.75	3.25
7	B1	0.559	0.995	0.3	18	5.75	3.25
8	B2	0.454	1.449	0.3	18	5.75	3.25
9	B3	0.454	1.903	0.3	18	5.75	3.25
10	B4	0.445	2.348	0.3	18	5.75	3.25
11	B5	0.559	2.907	0.3	18	5.75	3.25
12	B19	0.079	0.079	0.5	10	1.55	2.84
13	R14	0.314	0.393	0.5	10	1.55	2.84
14	R15	0.122	0.515	0.5	12	2.52	3.20
15	B18	0.061	0.576	0.5	12	2.52	3.20
16	R16	0.166	0.742	0.5	12	2.52	3.20
17	R17	0.166	0.908	0.5	12	2.52	3.20
18	B17	0.079	0.986	0.5	12	2.52	3.20
19	R18	0.166	1.152	0.5	12	2.52	3.20
20	R19	0.166	1.318	0.5	12	2.52	3.20
21	B16	0.070	1.388	0.5	12	2.52	3.20
22	R20	0.166	1.554	0.5	12	2.52	3.20
23	R21	0.166	1.720	0.5	12	2.52	3.20
24	R22	0.166	1.886	0.5	12	2.52	3.20
25	B14	0.070	1.956	0.5	18	7.42	4.20
26	R23	0.166	2.121	0.5	18	7.42	4.20
27	B13+R24	0.236	2.357	0.5	18	7.42	4.20
28	R25	0.166	2.523	0.5	18	7.42	4.20
29	B12+R26	0.183	2.706	0.5	18	7.42	4.20
30	B11+R27	0.375	3.082	0.5	18	7.42	4.20
31	B10	0.044	3.125	0.5	18	7.42	4.20
32	B9	0.070	3.195	0.5	18	7.42	4.20
33	B8	0.087	3.282	0.5	18	7.42	4.20
34	B7	0.052	3.335	0.5	18	7.42	4.20
35	B6B	0.061	3.396	0.5	18	7.42	4.20
36	B6A	0.044	3.440	0.5	18	7.42	4.20
37	R1+R2	0.445	0.445	0.3	10	1.20	2.20

38	R3	0.122	0.567	0.3	12	1.95	2.48
39	R4	0.140	0.707	0.3	12	1.95	2.48
40	R5	0.140	0.847	0.3	15	3.53	2.88
41	R6	0.140	0.987	0.3	15	3.53	2.88
42	R7	0.140	1.127	0.3	15	3.53	2.88
43	R8	0.140	1.267	0.3	18	5.75	3.25
44	R9	0.140	1.407	0.3	18	5.75	3.25
45	R10	0.140	1.547	0.3	18	5.75	3.25
46	R11	0.160	1.707	0.3	18	5.75	3.25
47	R12+R13	0.428	2.135	0.5	18	7.42	4.20
48	11+36+47	8.482	8.482	1.5	18	12.85	7.27