

Koch Corporate Center

Lot 10-11-12 - Tualatin, OR



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Planning • Engineering

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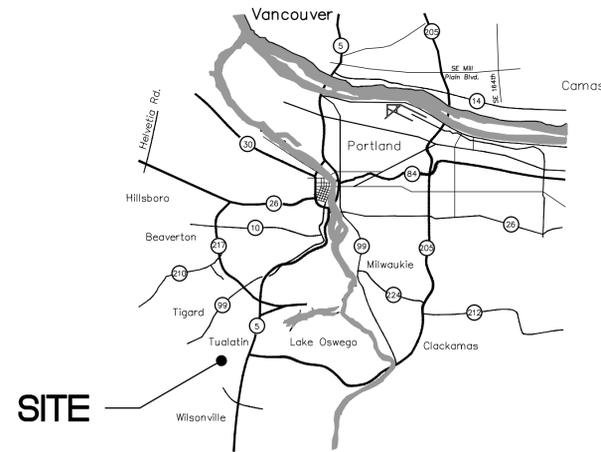
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Client

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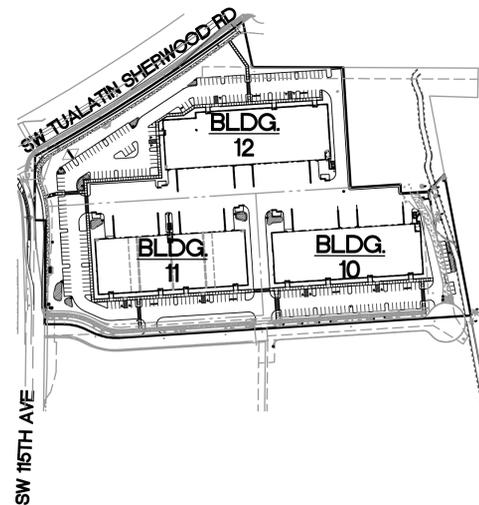


SITE



VICINITY MAP

N.T.S.



SW 15TH AVE



SITE MAP

N.T.S.

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Project

KOCH CORPORATE
CENTER

LOT 10

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REVISIONS:

REVISION	DELTA	REVISION	REVISION	DELTA	CLOSING DATE
THIS	SHEET	THIS	THIS	THIS	DATE

SHEET TITLE:
TITLE SHEET

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CHECKED BY: AJS

SHEET:

T1.0

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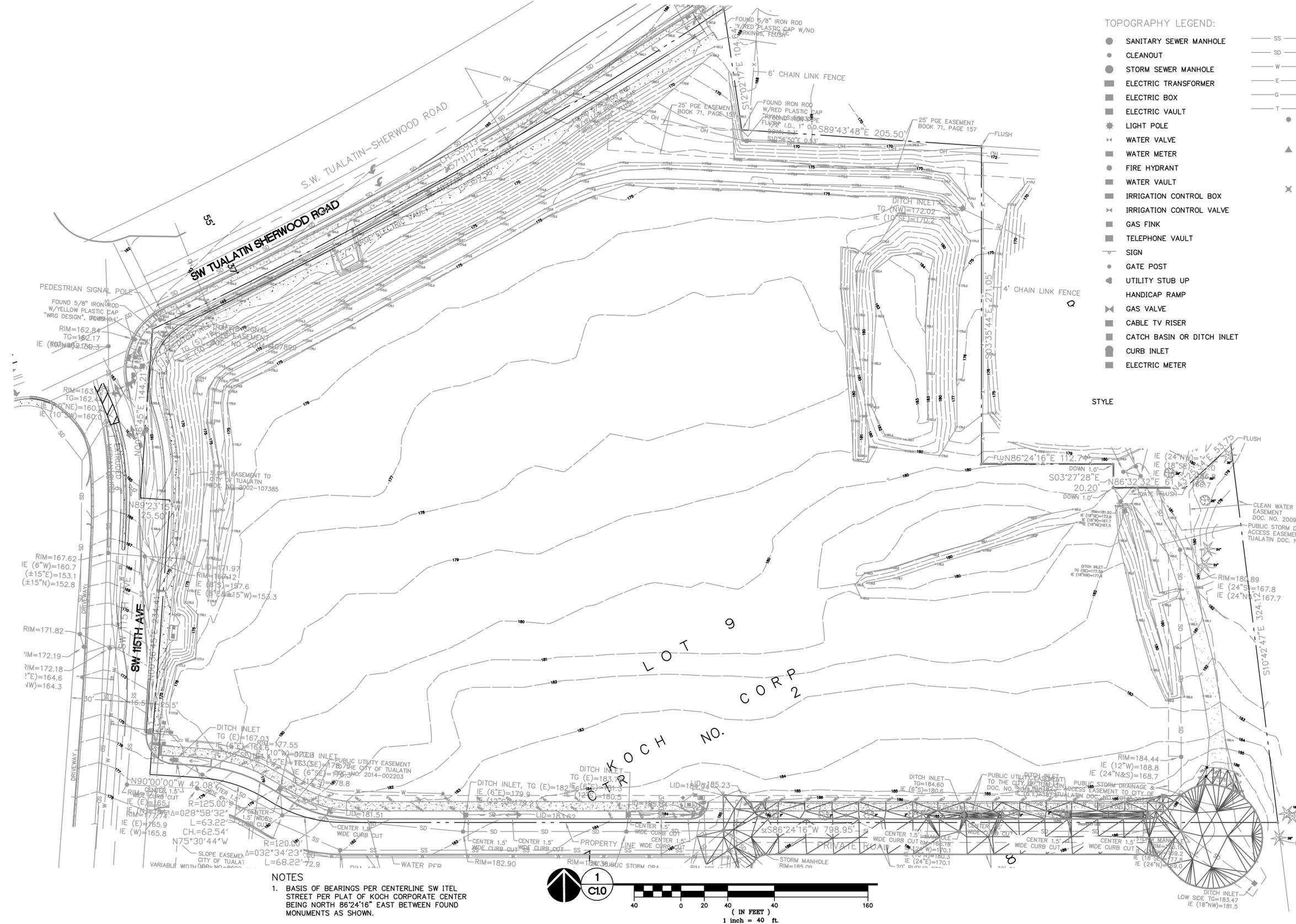
ARCHITECTURAL REVIEW SUBMITTAL: JANUARY 18, 2016

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TOPOGRAPHY LEGEND:

- SANITARY SEWER MANHOLE
 - CLEANOUT
 - STORM SEWER MANHOLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC BOX
 - ELECTRIC VAULT
 - ★ LIGHT POLE
 - ⊕ WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - WATER VAULT
 - IRRIGATION CONTROL BOX
 - ⊕ IRRIGATION CONTROL VALVE
 - GAS FINK
 - TELEPHONE VAULT
 - SIGN
 - GATE POST
 - UTILITY STUB UP
 - HANDICAP RAMP
 - ⊕ GAS VALVE
 - CABLE TV RISER
 - CATCH BASIN OR DITCH INLET
 - CURB INLET
 - ELECTRIC METER
- SS — UNDERGROUND SANITARY SEWER LINE
 - SD — UNDERGROUND STORM DRAIN LINE
 - W — UNDERGROUND WATER LINE
 - E — UNDERGROUND POWER
 - G — UNDERGROUND GAS LINE
 - T — UNDERGROUND TELE-COM
 - FOUND 5/8" IRON ROD W/RED PLASTIC CAP "RYAN LS 58833" PER PLAT OF KOCH CORPORATE CENTER OR AS NOTED
 - ▲ FOUND 5/8" IRON ROD WITH 1-1/2" ALUMINUM CAP "RYAN LS 58833" PER SN 31853 & PLAT OF KOCH CORPORATE CENTER OR AS NOTED
 - ✕ FOUND 1" COPPER DISK "LS 58833" PER SN 31853 & PLAT OF KOCH CORPORATE CENTER

STYLE



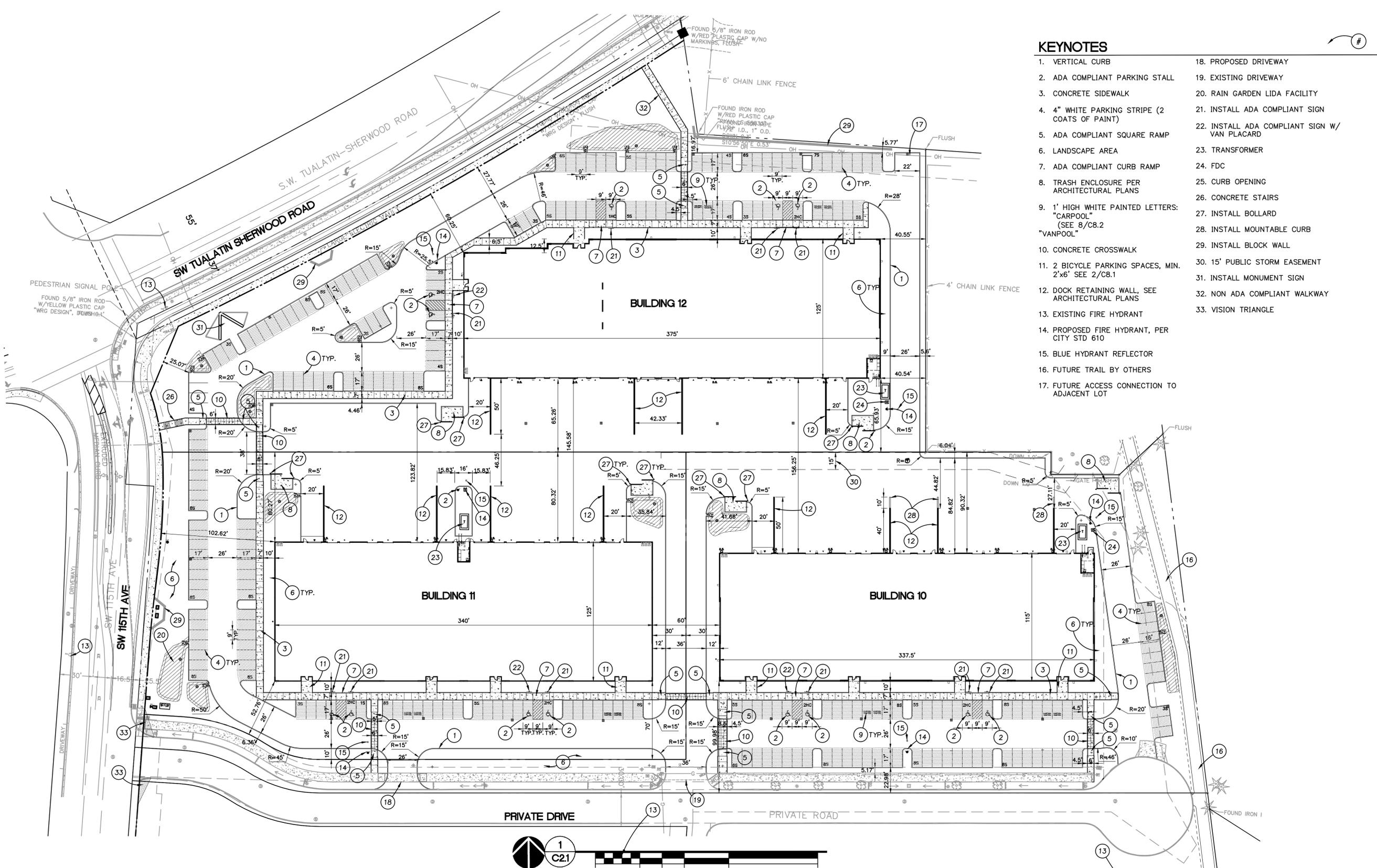
- NOTES**
- BASIS OF BEARINGS PER CENTERLINE SW ITEL STREET PER PLAT OF KOCH CORPORATE CENTER BEING NORTH 86°24'16" EAST BETWEEN FOUND MONUMENTS AS SHOWN.
 - ELEVATIONS ARE BASED ON WASHINGTON COUNTY BENCH MARK "WB26" BEING A 2" ALUMINUM CAP MARKED "CONSULTING ENGINEERING SERVICES" AT THE CENTERLINE INTERSECTION OF SW BYROM TER. & SW 10TH PL., ELEV.:241.738, DATUM NGVD29.
 - BOUNDARY PER PLATS OF KOCH CORPORATE CENTER AND KOCH CORPORATE CENTER NO. 2. MONUMENTS SHOWN HEREON AS FOUND WERE IN AGREEMENT WITH THOSE FOUND OR SET ON SAID PLATS. BEARINGS AND DISTANCES SHOWN HEREON ARE AS MEASURED AND PER SAID PLAT.
 - FIELD SURVEYED JANUARY 28, 2015 AND UPDATED TO PAD PREP SEPTEMBER 21 AND 22, 2015.
 - UTILITIES IN RECENTLY GRAVELED AREA WERE GENERALLY UNTOUCHED AND REMAINED AT THE JANUARY ELEVATION AND ARE PROTRUDING ABOVE THE GRAVELED GROUND SURFACE. THE "UTILITY STUB UPS" IN THE INTERIOR OF THE SITE WERE NOT ALL RECOVERED IN SEPTEMBER.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN MAPPED FROM FIELD SURVEY INFORMATION, OBSERVED ABOVE GROUND EVIDENCE AND GROUND MARKINGS BY OTHERS, AND EXISTING DRAWINGS SUPPLIED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

KEYNOTES

- VERTICAL CURB
- ADA COMPLIANT PARKING STALL
- CONCRETE SIDEWALK
- 4" WHITE PARKING STRIPE (2 COATS OF PAINT)
- ADA COMPLIANT SQUARE RAMP
- LANDSCAPE AREA
- ADA COMPLIANT CURB RAMP
- TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- 1' HIGH WHITE PAINTED LETTERS: "CARPOOL" (SEE 8/C8.2 "VANPOOL")
- CONCRETE CROSSWALK
- 2 BICYCLE PARKING SPACES, MIN. 2'x6' SEE 2/C8.1
- DOCK RETAINING WALL, SEE ARCHITECTURAL PLANS
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT, PER CITY STD 610
- BLUE HYDRANT REFLECTOR
- FUTURE TRAIL BY OTHERS
- FUTURE ACCESS CONNECTION TO ADJACENT LOT
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- RAIN GARDEN LIDA FACILITY
- INSTALL ADA COMPLIANT SIGN
- INSTALL ADA COMPLIANT SIGN W/ VAN PLACARD
- TRANSFORMER
- FDC
- CURB OPENING
- CONCRETE STAIRS
- INSTALL BOLLARD
- INSTALL MOUNTABLE CURB
- INSTALL BLOCK WALL
- 15' PUBLIC STORM EASEMENT
- INSTALL MONUMENT SIGN
- NON ADA COMPLIANT WALKWAY
- VISION TRIANGLE



SITE DATA

BUILDING 10	
LOT	150,999 SF (3.47 AC)
TOTAL IMPERVIOUS AREA	120,798 SF (2.77 AC, 79.9%)
BUILDING FOOTPRINT	38,812 SF (0.90 AC, 25.8%)
DRIVE AISLE/PARKING/SIDEWALK AREA	81,986 SF (1.88 AC, 54.2%)
PARKING LOT AREA	21,964 SF (0.50 AC, 14.5%)
REQUIRED PARKING LANDSCAPE	1,825 SF (25 SF/STALL)
PARKING LANDSCAPE AREA	3,384 SF (0.08 AC, 2.2%)
LANDSCAPE AREA	30,198 SF (0.69 AC, 19.9%)

PROVIDED PARKING LOT 10	
PROPOSED ADA COMPLIANT	4 SPACES
PROPOSED STANDARD	69 SPACES (4 VAN/CAR POOL SPACES)
PROPOSED COMPACT	0 SPACES
TOTAL PARKING PROVIDED	73 SPACES (1.88/1,000 SF)
BICYCLE PARKING	6 (4 EXTERIOR AND 2 INTERIOR SPACES)

BUILDING 11	
LOT	127,991 SF (2.94 AC)
TOTAL IMPERVIOUS AREA	104,867 SF (2.41 AC, 81.9%)
BUILDING FOOTPRINT	42,500 SF (1.05 AC, 33.2%)
DRIVE AISLE/PARKING/SIDEWALK AREA	62,367 SF (1.43 AC, 48.7%)
PARKING LOT AREA	22,215 SF (0.51 AC, 17.3%)
REQUIRED PARKING LANDSCAPE	1,625 SF (25 SF/STALL)
PARKING LANDSCAPE AREA	2,295 SF (0.05 AC, 1.8%)
LANDSCAPE AREA	23,240 SF (0.52 AC, 17.7%)

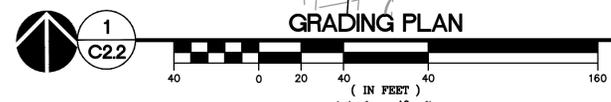
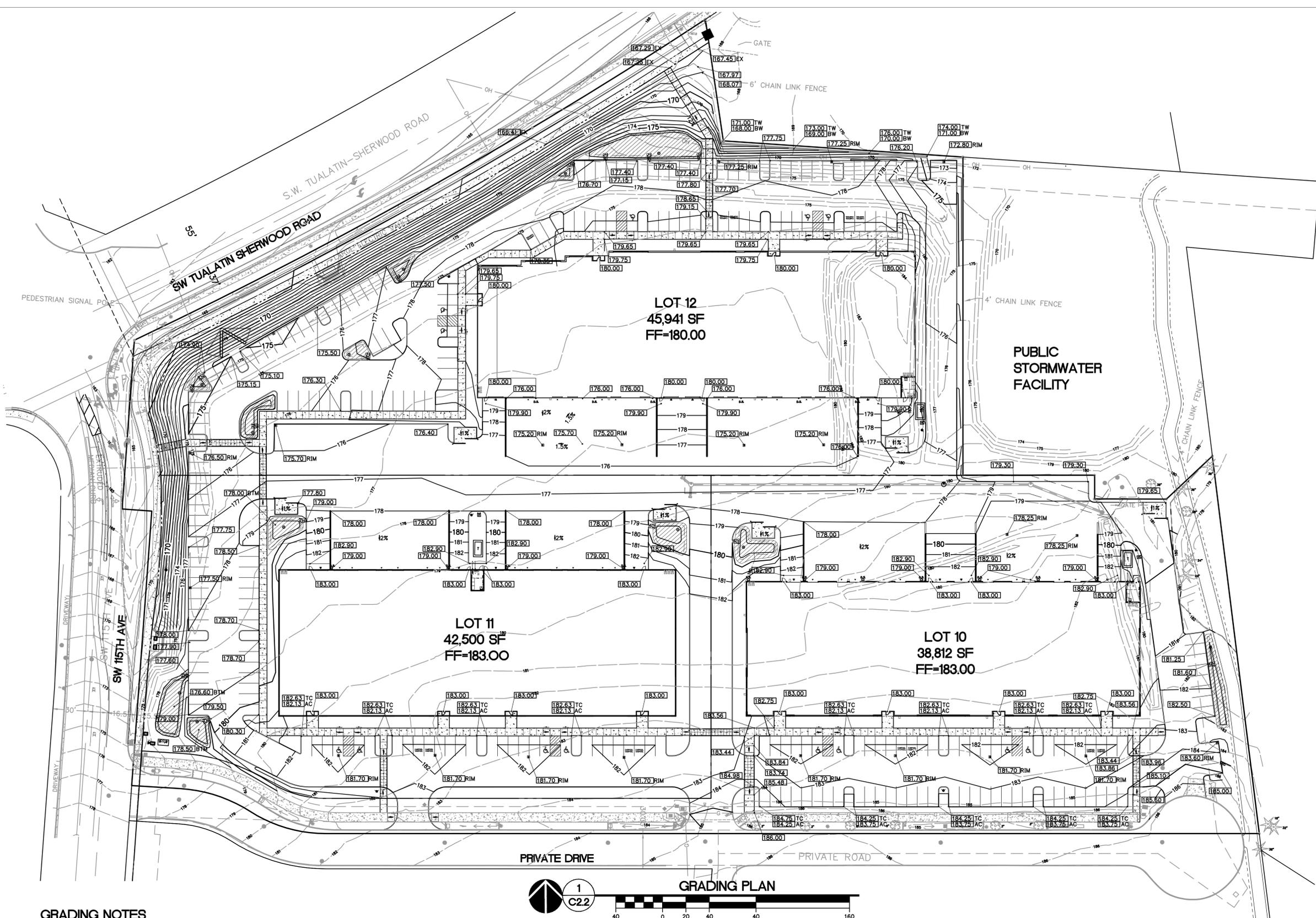
PROVIDED PARKING LOT 11	
PROPOSED ADA COMPLIANT	4 SPACES
PROPOSED STANDARD	61 SPACES (4 VAN/CAR POOL SPACES)
PROPOSED COMPACT	0 SPACES
TOTAL PARKING PROVIDED	65 SPACES (1.53/1,000 SF)
BICYCLE PARKING	6 (4 EXTERIOR AND 2 INTERIOR SPACES)

BUILDING 12	
LOT	169,334 SF (3.89 AC)
TOTAL IMPERVIOUS AREA	132,333 SF (3.04 AC, 78.1%)
BUILDING FOOTPRINT	45,941 SF (1.05 AC, 27.1%)
DRIVE AISLE/PARKING/SIDEWALK AREA	86,392 SF (1.98 AC, 51.5%)
PARKING LOT AREA	34,621 SF (0.81 AC, 20.9%)
REQUIRED PARKING LANDSCAPE	2,725 SF (25 SF/STALL)
PARKING LANDSCAPE AREA	5,712 SF (0.13 AC, 3.4%)
LANDSCAPE AREA	37,124 SF (0.85 AC, 21.9%)

PROVIDED PARKING LOT 12	
PROPOSED ADA COMPLIANT	5 SPACES
PROPOSED STANDARD	103 SPACES (5 VAN/CAR POOL SPACES)
PROPOSED COMPACT	0 SPACES
TOTAL PARKING PROVIDED	108 SPACES (2.40/1,000 SF)
BICYCLE PARKING	6 (4 EXTERIOR AND 2 INTERIOR SPACES)

PARKING DATA

REQUIRED PARKING (BASED ON 30% MANUFACTURING AND 70% WAREHOUSE USE)				
	LOT 10	LOT 11	LOT 12	
MANUFACTURING				
MINIMUM (1.6/1,000)	19	23	22	SPACES
MAXIMUM	NONE	NONE	NONE	
WAREHOUSE				
MINIMUM (0.3/1,000)	9	10	10	SPACES
MAXIMUM (0.5/1,000)	14	17	16	SPACES
TOTAL				
MINIMUM	28	33	32	SPACES
MAXIMUM	NONE	NONE	NONE	



GRADING NOTES

- ROUGH GRADING: BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS, AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.
FINISH GRADING: AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER CRAFTS HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES. GRADING TOLERANCES:
ROUGH GRADE AT PAVED OR LANDSCAPED AREAS: ±0.1 FT.
FINISH GRADE PRIOR TO PLACING FINAL SURFACING: ±0.03 FT.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATOR(S) MUST COMPLY WITH O.R.S. 757.541 THROUGH 757.571; EXCAVATOR(S) SHALL

- NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE CITY AND CLEAN WATER SERVICES REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- SITE LANDSCAPE AREAS TO EXCAVATED TO 12" BELOW FINISHED GRADE BY SITE WORK CONTRACTOR. ALL TOPSOIL EXCAVATED AS PART OF THIS EFFORT TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE SPECIFICATIONS, ALL IMPORT TOPSOIL TO BE PLACED BY LANDSCAPE CONTRACTOR.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET

- IS BASED ON A SURVEY BY WESTLAKE CONSULTANTS, INC., AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH HIS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION. CONTRACTOR TO COORDINATE GRADES AT ENTRANCE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- 2% MAXIMUM SLOPE AT ALL HANDICAP PARKING SPACES AND LANDINGS.
- 5% MAX LONGITUDINAL AND 2% MAX CROSS SLOPE (EXCLUDING RAMPS) AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.
- IF GROUNDWATER IS PRESENT IN UTILITY TRENCH EXCAVATIONS, IT IS RECOMMENDED THAT 12"-18" OF TRENCH STABILIZATION ROCK BE PLACED AT THE BASE OF THE EXCAVATION. TRENCH STABILIZATION ROCK SHOULD MEET THE REQUIREMENTS OUTLINED IN THE 'STRUCTURAL FILL' SECTION OF THE GEOTECHNICAL REPORT AND SHOULD BE PLACED IN ONE LIFT AND COMPACTED UNTIL IT IS FIRM AND UNYIELDING. GROUNDWATER SHOULD BE PUMPED OUT OF THE TRENCH FROM A SUMP EXCAVATED BELOW THE TRENCH STABILIZATION ROCK. THE CONTRACTOR WILL BE RESPONSIBLE FOR TEMPORARY DRAINAGE OF SURFACE WATER AND GROUNDWATER AS NECESSARY TO PREVENT STANDING WATER AND/OR EROSION AT THE WORKING SURFACE.

RESTRAINED JOINT NOTES

TEST PRESSURE: 200 PSI
DEPTH TO BURY: 3 FT
PIPE MATERIAL: PVC C-900
SAFETY FACTOR: 1 TO 1.5
LENGTH OF RESTRAINT
ALONG MAIN ON TEES, L: 20 FT

NOTIFY ENGINEER IF DEVIATING FROM ABOVE
SPECIFICATIONS. LENGTH OF PIPE REQUIRING
RESTRAINED JOINTS

8" BEND	3'	4'
22 1/2° BEND	6'	8'
45° BENDS	13'	15'
90° BEND	31'	36'
TEE	1'	4'
DEAD ENDS	70'	84'

CITY RETAINS AUTHORITY TO MODIFY AND/OR ADD JOINT
RESTRAINTS AT THE DISCRETION OF THE CITY ENGINEER.

11K BEND	3'	4'
22 1/2° BEND	6'	8'
45° BENDS	13'	15'
90° BEND	31'	36'
TEE	1'	4'
DEAD ENDS	70'	84'

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UTILITY NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF TUALATIN, CLEAN WATER SERVICES, AND THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE AND THE INTERNATIONAL BUILDING CODE. ALL WORK WITHIN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT.
- ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING UNDERGROUND. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.12. NOTE: NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS.
- ALL STORM PIPING IS SIZED FOR A MANNING'S "N" VALUE = 0.013 ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED. 12. 30 MIL LINER TO BE INSTALLED AT BOTTOM OF ALL LIDA BASINS WITHIN 10 LINEAL FEET OF FOOTING.
- SEE MECHANICAL DRAWINGS FOR UTILITIES LOCATED WITHIN THE BUILDING AND TO 5' OUTSIDE THE BUILDING.
- ALL DOWNSPOUT LEADERS TO BE 6" AT 2.0% MIN. UNLESS NOTED OTHERWISE. VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY PREPARED BY WESTLAKE CONSULTANTS, INC. DATED JANUARY 30, 2015.
- CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE SPECIFICATIONS AND LANDSCAPE PLANS.
- SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5' OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
- CONTRACTOR TO MAINTAIN MINIMUM 3 FT OF COVER OVER ALL WATER LINE.
- NO WATER VALVES ALLOWED ON SITE EXCEPT FOR HYDRANT VALVES ON FIRE SYSTEM.



WATERLINE KEYNOTES

- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED FDC
- PROPOSED 10" DDCV
- INSTALL 2 1/2" RP BACKFLOW IN RISER ROOM
- INSTALL 8"x8" REDUCER
- INSTALL 8"x8" TEE
- INSTALL 10" TEE (2) 10"x8" REDUCERS
- INSTALL 8" 45° BEND WITH RESTRAIN JOINTS
- INSTALL 8" 22 1/2° BEND WITH RESTRAIN JOINTS
- INSTALL 8"x8" TEE WITH RESTRAIN JOINTS
- INSTALL 10" 45° BEND WITH RESTRAIN JOINTS
- CONNECT TO AND EXTEND 2 1/2" WATERLINE TO BLDG. 10
- INSTALL 2" WATER METER IN EXISTING METER BOX
- CONTRACTOR SHALL INSTALL 2" RIGID COPPER TYPE K WATER SERVICE TO PROPOSED METER BOX AND INSTALL 2" WATER METER PER C.O.T. STANDARD PLANS
- CONNECT TO EXISTING 2 1/2" WATERLINE STUB, STUBBED 3' PAST BACK OF SIDEWALK
- REMOVE BLOWOFF AND CONNECT TO EXISTING 10" WATERLINE STUB
- INSTALL 10"x8" TEE WITH RESTRAIN JOINTS

KOCH LOTS 1 - 12

EROSION AND SEDIMENT CONTROL PLANS

1200-C PLAN MODIFICATION



Architecture • Interiors
Planning • Engineering

Portland, OR
503.224.9560

Vancouver, WA
360.695.7879

Seattle, WA
206.749.9993

www.mcknze.com

MACKENZIE
DESIGN DRIVEN | CLIENT FOCUSED

Client

PacTrust



Project

KOCH CORPORATE CENTER

LOTS 10, 11 AND 12

20950 SW 115TH AVE.
TUALATIN, OR 97062



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REVISIONS:

REVISION NO.	REVISION DESCRIPTION	DATE

SHEET TITLE:
EROSION AND SEDIMENT CONTROL COVER SHEET

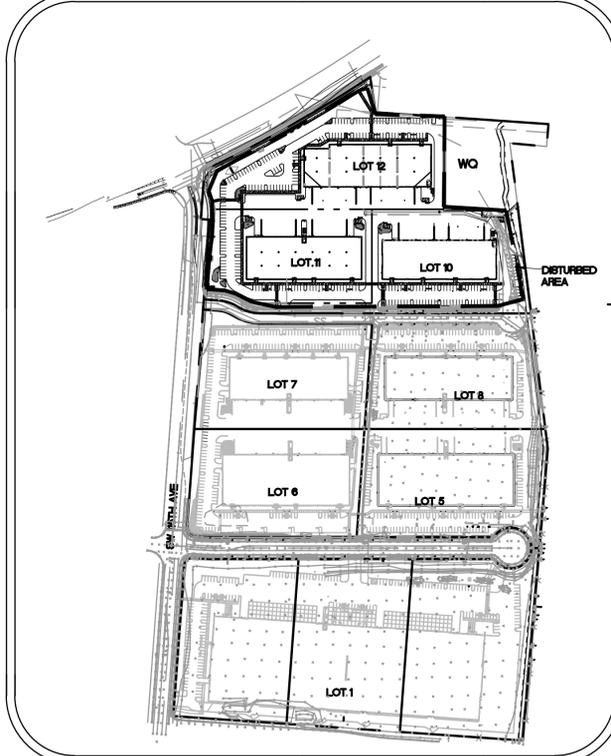
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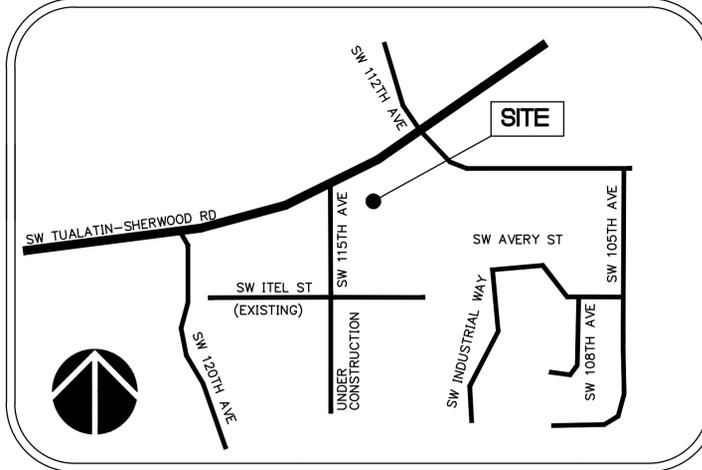
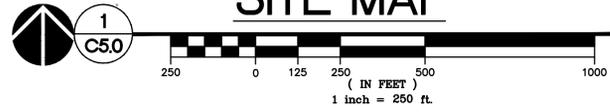
SHEET:

C5.0

JOB NO. **2140559.05**



SITE MAP



VICINITY MAP NOT TO SCALE

DEVELOPER

PACIFIC REALTY ASSOCIATES, LP
CONTACT: MATT OYAN
15350 SW SEQUOIA PARKWAY, #300 - WMI
TUALATIN, OR 97224
PHONE: (503) 624-6300
FAX:

SURVEYOR

WESTLAKE CONSULTANTS, INC.
CONTACT:
15115 SW SEQUOIA PARKWAY, SUITE 150
TIGARD, OR 97224
PHONE: (503) 684-0652

NARRATIVE DESCRIPTIONS

EXISTING SITE CONDITIONS

- * PREVIOUSLY MASS GRADED SITE (SURCHARGE HAS BEEN REMOVED)

DEVELOPED CONDITIONS

- * WAREHOUSE PARK AND ACCESS ROADWAYS

NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE

- * CLEARING (JUNE 15, 2016 - JULY 15, 2016)
- * UTILITY INSTALLATION (AUG 1, 2016 - OCT 30, 2016)
- * STREET INSTALLATION (AUG 1, 2016 - OCT 30, 2016)
- * FINAL STABILIZATION (OCT 1, 2016 - DEC 30, 2016)

TOTAL SITE AREA = 1,171,530 SF = 26.9 ACRES

TOTAL DISTURBED AREA = 421,273 SF = 9.7 ACRES (LOTS 10-12)

SITE SOIL CLASSIFICATION:

- 21A - HILLSBORO LOAM, 0 TO 3 PERCENT SLOPES
- 21B - HILLSBORO LOAM, 3 TO 7 PERCENT SLOPES
- 21C - HILLSBORO LOAM, 7 TO 12 PERCENT SLOPES
- 21D - HILLSBORO LOAM, 12 TO 20 PERCENT SLOPES
- 22 - HUBERLY SILT LOAM

ON-SITE SOILS HAVE A SLIGHT EROSION POTENTIAL. ALL FILL MATERIAL SHALL BE GENERATED ON-SITE FROM GRADING EXCAVATION AND UTILITY TRENCH SPOILS.

RECEIVING WATER BODIES:

PUBLIC STORM SYSTEM, AND HEDGES CREEK

PERMITTEE'S SITE INSPECTOR:

COMPANY/AGENCY: NORTHWEST EARTHMOVERS **
PHONE: (503)625-3100/ (971)253-9206
FAX:
E-MAIL: JAREDHARGENSON@NWEARTHWORKMOVERS.COM
DESCRIPTION OF EXPERIENCE: OVER 5YRS EXPERIENCE IN EROSION CONTROL INSTALLATION

INSPECTION FREQUENCY:

SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOWMELT, IS OCCURRING
2. PRIOR TO SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE
3. INACTIVE PERIODS GREATER THAN (7) CONSECUTIVE CALENDAR DAYS	ONCE EVERY (2) TWO WEEKS
4. PERIODS AT WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER	IF PRATICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.

- * HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (Schedule A.8.c.i.(3))
- * ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS.
- * INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS.
- * RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER LOCATION. (Schedule B.2.c)

CIVIL ENGINEER

MACKENZIE
CONTACT: BOB FRENTESS
1515 SE WATER AVE
PORTLAND, OR 97239
PHONE: 503-224-9560
FAX: 503-228-1285

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:

- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A 8.A)
- THE ESCP MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE MEASURES AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION AND SEDIMENT CONTROL REGULATIONS. (SCHEDULE A.8.C.II.(1)(C))
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT. (SCHEDULE A.12.C.III)
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A.8.C.II.(1)(D))
- IDENTIFY, MARK, AND PROTECT (BY FENCING OFF OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.C.I.(1) & (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.B.III(1) AND A.7.B.III(3))
- EROSION AND SEDIMENT CONTROL MEASURES INCLUDING PERIMETER SEDIMENT CONTROL MUST BE IN PLACE BEFORE VEGETATION IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING PROTECTION FOR ACTIVE STORM DRAIN INLETS AND CATCH BASINS AND APPROPRIATE NON-STORMWATER POLLUTION CONTROLS. (SCHEDULE A.7.D.I AND A.8.C)
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (SCHEDULE A.8.C.I.(6))
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES AND FOR ALL ROADWAYS INCLUDING GRAVEL ROADWAYS. (SCHEDULE A.8.C.II.(2))
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.II.(7))
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPs SUCH AS: GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPs MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (SCHEDULE A.7.D.II.(1) AND A.8.C.I.(4))
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.II.(3))
- USE BMPs TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS, VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, LEFTOVER PAINTS, SOLVENTS, AND GLUES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.I.(2))
- IMPLEMENT THE FOLLOWING BMPs WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES. (SCH A.7.E.III)
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A.7.B.II)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.III)
- IF STORMWATER TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A.7.B)
- AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPs MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A.7.E.II.(2))
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND DURING WET WEATHER. (SCHEDULE A.7.A.I)
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT, AND BEFORE BMP REMOVAL. (SCHEDULE A.9.C.II)
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.III & IV)
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME. (SCHEDULE A.9.B.I)
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
- PROVIDE PERMANENT EROSION CONTROL MEASURES ON ALL EXPOSED AREAS. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. HOWEVER, DO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AS EXPOSED AREAS BECOME STABILIZED, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. PROPERLY DISPOSE OF CONSTRUCTION MATERIALS AND WASTE, INCLUDING SEDIMENT RETAINED BY TEMPORARY BMPs. (SCHEDULE A.7.B.III(2) AND A.8.C.III)

LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES:

- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAT SEPTEMBER 1; THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP I.E. (FILTER BAG).
- ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 - MAY 31.

BMP MATRIX FOR CONSTRUCTION PHASES

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	MASS GRADING	UTILITY INSTALLATION	BUILDING CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)
EROSION PREVENTION					
PRESERVE NATURAL VEGETATION	X	X		X	X
GROUND COVER				X	X
HYDRAULIC APPLICATIONS					X
PLASTIC SHEETING					X
MATTING				X	X
DUST CONTROL	X	X	X	X	X
TEMPORARY PERMANENT SEEDING			X	X	X
BUFFER ZONE					X
OTHER:					
SEDIMENT CONTROL					
SEDIMENT FENCE (PERIMETER)	X*	X	X	X	X
SEDIMENT FENCE (INTERIOR)					
STRAW MATS					
FILTER BERM					
INLET PROTECTION	X	X	X	X	X
DEBRISHING					
SEDIMENT TRAP					
OTHER:					
RUN OFF CONTROL					
CONSTRUCTION ENTRANCE	X*	X	X	X	X
PIPE SCREEN					
OUTLET PROTECTION		X	X	X	X
SURFACE ROUGHENING					
CHECK DAMS					
OTHER:					
POLLUTION PREVENTION					
PROPER SIGNAGE	X	X	X	X	X
HAZ WASTE MGMT	X	X	X	X	X
SPILL KIT ONSITE	X	X	X	X	X
CONCRETE WASHOUT AREA		X	X	X	X
OTHER:					

* SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

RATIONALE STATEMENT

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

INITIAL

SHEET INDEX

EROSION AND SEDIMENT CONTROL PLANS

C5.0	EROSION AND SEDIMENT CONTROL COVER SHEET
C5.1	EXISTING CONDITIONS PLAN
C5.2A	EROSION AND SEDIMENT CONTROL PLAN LOTS 10, 11, & 12
C5.2B	EROSION AND SEDIMENT CONTROL PLAN LOTS 1
C5.2C	EROSION AND SEDIMENT CONTROL PLAN LOTS 5 & 8
C5.3	EROSION CONTROL DETAILS

PROJECT LOCATION:

SW 115TH AVE / SW ITEL STREET INTERSECTION
TUALATIN, OREGON 97062
LATITUDE = 45°21'59", LONGITUDE = -122°47'47"

PROPERTY DESCRIPTION:

TAX LOTS 100, 300, 400, 500, 600, AND 700 OF THE KOCH CORPORATE CENTER (ID 2S127A000200) LOCATED IN THE NORTHEAST AND SOUTHEAST 1/4 OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON

ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503 232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503 246-6699.

** WINNING BID CONTRACTOR SHALL TRANSFER 1200-C PERMIT FROM CURRENT PERMIT HOLDER AND PROVIDE STANDARD OF CARE OVER PROJECT PER DEQ AND CWS STANDARDS



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REVISIONS:

REVISION	DATE	REVISION	DATE
DELTA		DELTA	

SHEET TITLE:
**EXISTING
CONDITIONS PLAN**

DRAWN BY: CTL

CHECKED BY: RLF

SHEET:

C5.1

JOB NO. **2140559.05**

DUST CONTROL NOTES:
DUST CONTROL MEASURE OF SPRAYING WATER OVER AREAS OF EXPOSED SOIL TO BE MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL ALL EXPOSED SOILS HAVE BEEN COVERED OR PLANTED.

NOTES:
THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1 AND MAY 31.

PRE-DEVELOPED RUN-OFF ON THE SITE SHEET FLOWS NORTH AND IS COLLECTED BY DIVERSION SWALES. THE SWALES FLOW EAST AND ARE COLLECTED IN A MAIN DIVERSION SWALE THAT RUNS NORTH TO AN EXISTING SEDIMENT POND.

IF ANY WELLS OR SEPTIC FIELDS ARE FOUND ON SITE, ABANDON IN ACCORDANCE WITH DEQ REQUIREMENTS.

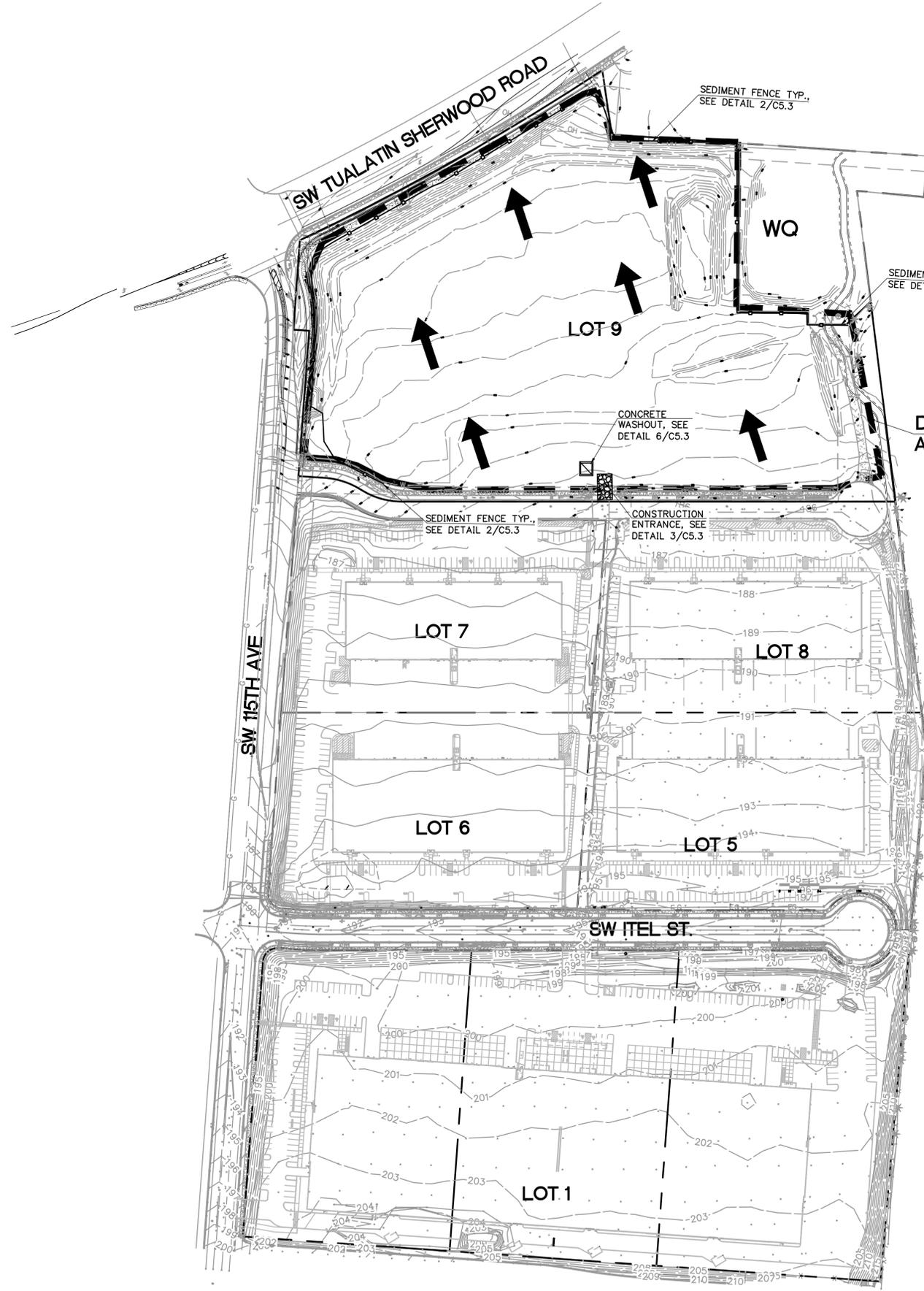
ON SITES WHERE VEGETATION AND GROUND COVER ARE REMOVED, VEGETATIVE GROUND COVER SHALL BE PLANTED AND ESTABLISHED BY OCTOBER 1 AND CONTINUE TO FUNCTION THROUGH MAY 31 OF THE FOLLOWING YEAR, OR AS APPROVED BY THE DISTRICT. IF GROUND COVER IS NOT ESTABLISHED BY OCTOBER 1, THE OPEN AREAS SHALL BE PROTECTED THROUGH MAY 31 OF THE FOLLOWING YEAR WITH STRAW MULCH, EROSION BLANKETS, OR OTHER METHODS APPROVED BY THE DISTRICT OR CITY.

PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
3. SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
5. RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

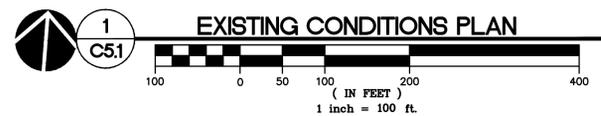
TREE PRESERVATION

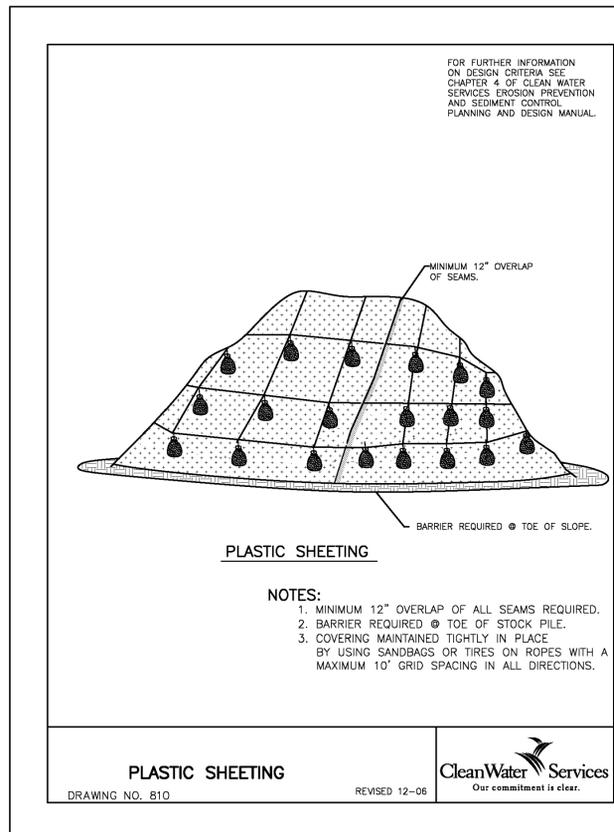
ALL EXISTING TREES TO REMAIN. TREES TO BE REMOVED WERE DONE SO UNDER THE MASS GRADING ACTIVITY.



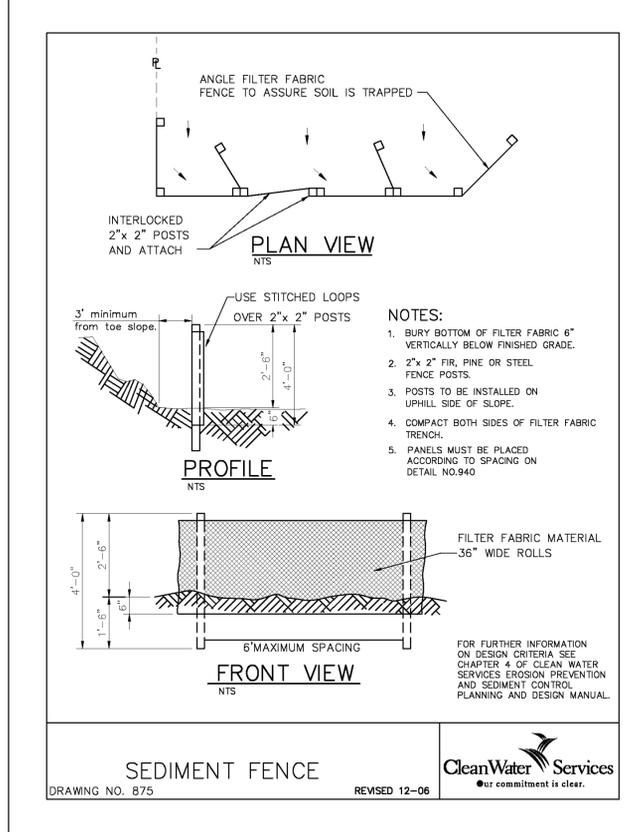
LEGEND

	CONCRETE WASH AREA		LONG-TERM SLOPE STABILIZATION MEASURES
	INLET PROTECTION		MATTING (GREENFIX STRAW/ COCONUT MAT TYPE: CFS072R)
	OUTLET PROTECTION		NEW IMPERVIOUS SURFACE
	SEDIMENT BARRIER (EXTERIOR)		DRAINAGE FLOW DIRECTION
	SEDIMENT BARRIER (INTERIOR)		EXISTING TREE
	ORANGE CONSTRUCTION FENCE		50' VEGETATED CORRIDOR PLUS 15' TOP OF BANK SETBACK
	ROCK FILTER BERM		
	CONSTRUCTION ENTRANCE		
	TEMPORARY SLOPE STABILIZATION MEASURES		

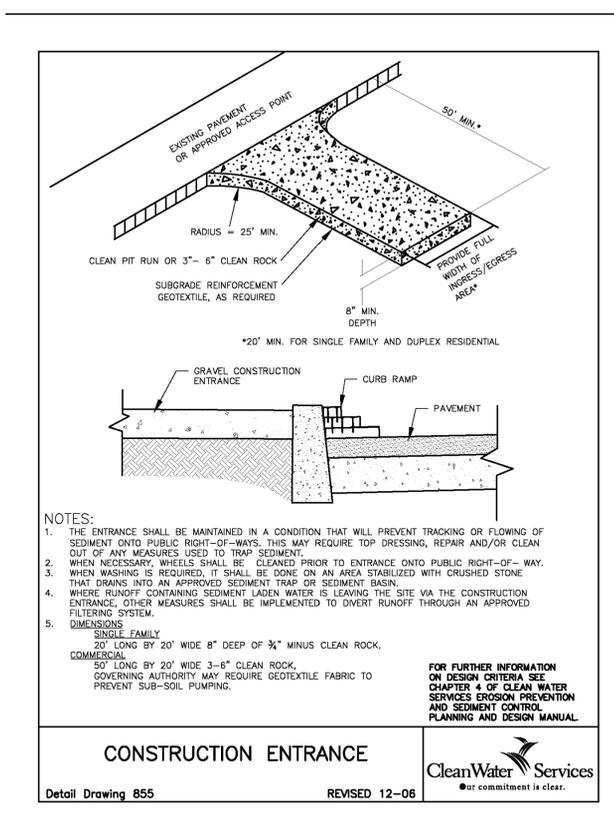




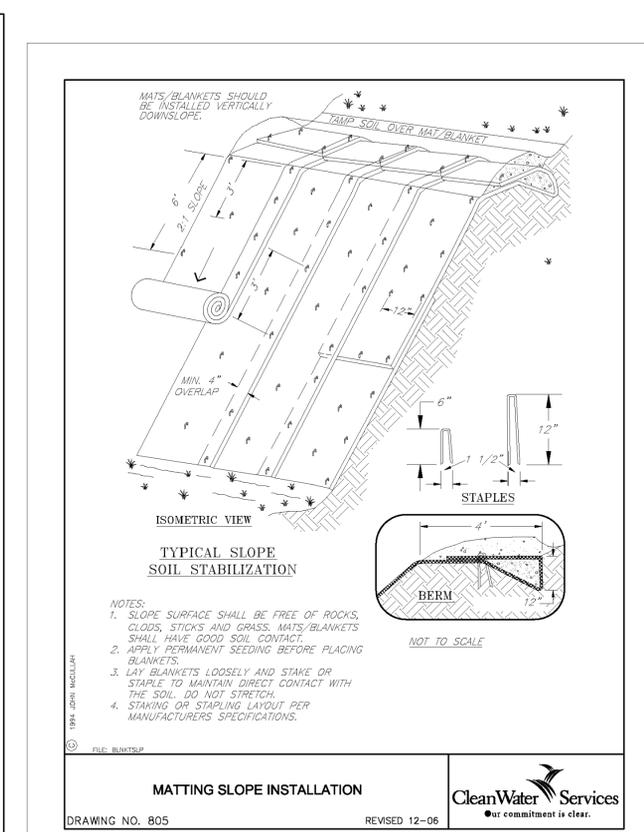
1 CLEAN WATER SERVICES DWG. 810
C5.3 N.T.S.



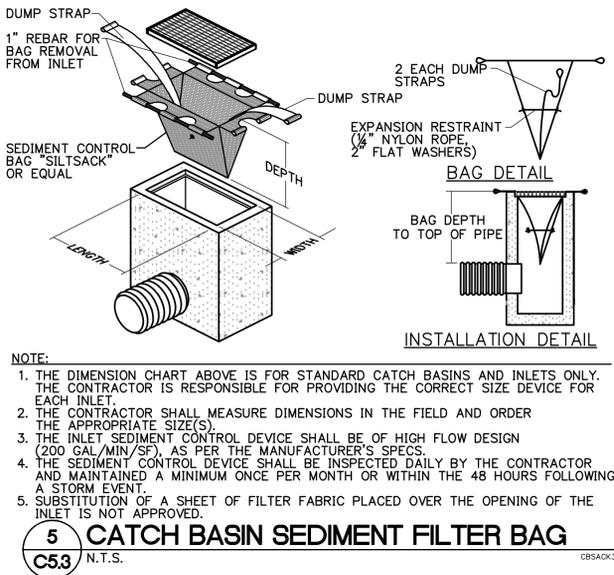
2 CLEAN WATER SERVICES DWG. 875
C5.3 N.T.S.



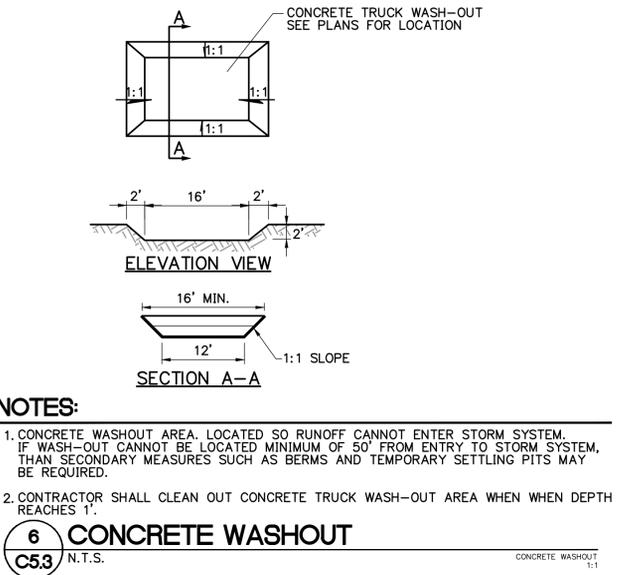
3 CLEAN WATER SERVICES DWG. 855
C5.3 N.T.S.



4 CLEAN WATER SERVICES DWG. 805
C5.3 N.T.S.



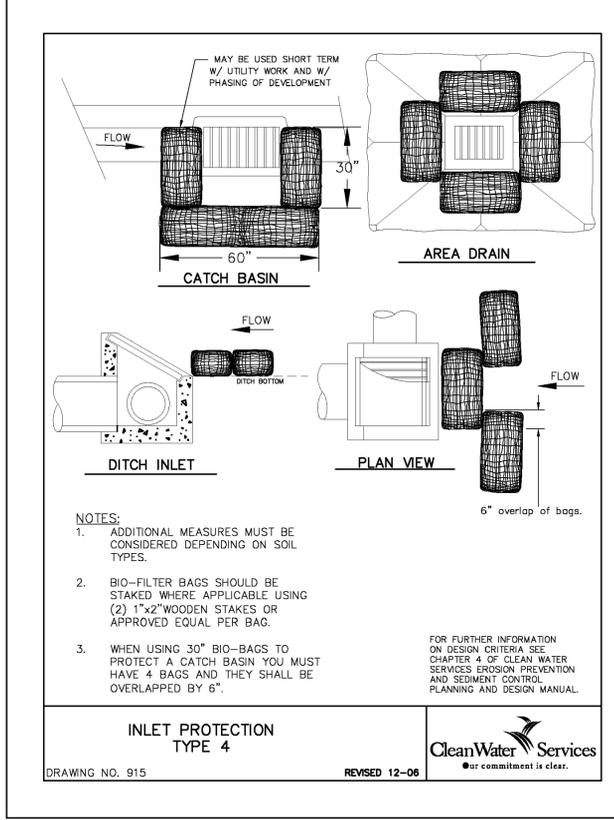
5 CATCH BASIN SEDIMENT FILTER BAG
C5.3 N.T.S.



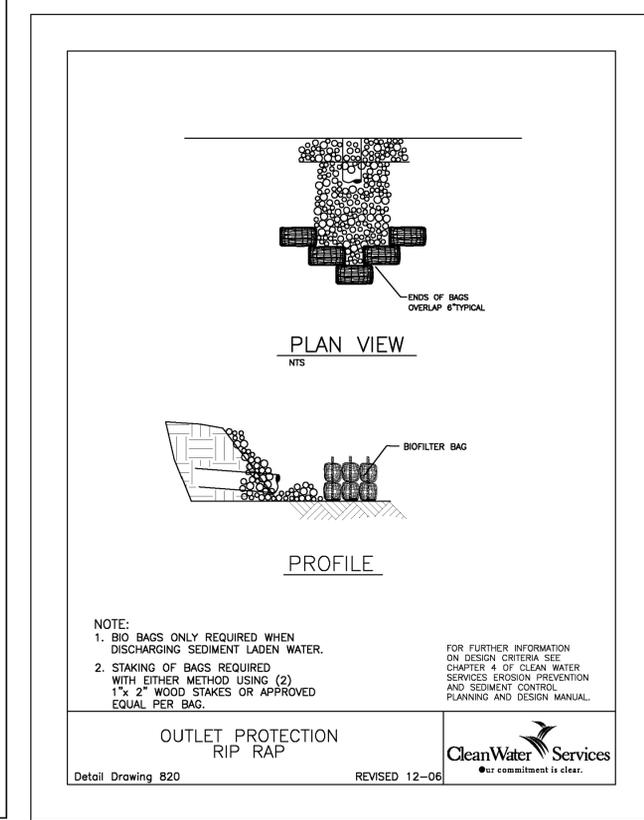
6 CONCRETE WASHOUT
C5.3 N.T.S.

SEDIMENT FENCE CONSTRUCTION NOTES

- 1) SELECTION OF FILTER FABRIC TENSILE AND BURSTING STRENGTH DEPENDS ON THE SLOPE CHARACTERISTICS. THE USE OF STANDARD OR HEAVY DUTY FILTER FABRIC SHALL MEET DESIGN STANDARDS. SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES TO 120 DEGREES. SELECTION SHALL BE BASED ON STANDARD ENGINEERING PRINCIPLES FOR DESIGN.
- 2) STANDARD OR HEAVY DUTY FILTER FABRIC FENCE SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS SHALL BE INSTALLED ON THE UP-HILL SIDE OF THE SLOPED AREA, WITH POSTS SPACED A MAXIMUM OF 6 FEET APART.
- 3) FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6 INCHES DOWNHILL OF POSTS ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE DOWNHILL SIDE OF THE FENCE.
- 4) THE PHYSICAL INTEGRITY OF ALL MATERIALS SHALL BE SUFFICIENT TO MEET THE REQUIREMENTS OF THEIR INTENDED USE AND WITHSTAND NORMAL WEAR AND TEAR.
- 5) WHERE PRACTICAL THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, 2"x2" POSTS SHALL BE INTERLOCKED WITH EACH OTHER AND BE ATTACHED SECURELY.
- 6) SEDIMENT FENCES SHALL BE INSPECTED BY APPLICANT/CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS OR ADDITIONS SHALL BE MADE IMMEDIATELY.
- 7) AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE GREATER THAN 1/3 THE HEIGHT OF THE SEDIMENT FENCE ABOVEGROUND. SEDIMENT SHOULD BE REMOVED OR REGRADED INTO SLOPES, AND THE SEDIMENT FENCES REPAIRED AND RE-ESTABLISHED AS NEEDED.



7 CLEAN WATER SERVICES DWG. 915
C5.3 N.T.S.



8 CLEAN WATER SERVICES DWG. 820
C5.3 N.T.S.

NO.	REVISIONS	REVISION DATE	DELTA	CLOSING DATE

PLANT MATERIALS LISTING FOR LOT 10:

BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	REMARKS
TREES				
Acer circinatatum Vine Maple		4-5'	B&B	Multi-Trunk
Acer truncatum x A. platanoides 'Keithsform' Norwegian Sunset Maple		1 1/2" Cal.	B&B	Deciduous
Chamaecyparis nootkatensis 'Green Arrow' Green Arrow Cypress		6-7'	B&B	Evergreen
Chamaecyparis obtusa 'Gracilis' Gracilis Hinoki Cypress		5'	B&B	Evergreen
Picea omorika 'Bruns' Serbian Spruce		7-8'	B&B	Evergreen
Quercus rubra Northern Red Oak		1 1/2" Cal.	B&B	Deciduous
Thuja plicata 'Virescens' Virescens Cedar		8-9'	B&B	Evergreen
SHRUBS				
Berberis thunbergii 'Admiration' Admiration Barberry		1 Gal.	Can	10-12"
Carex marrovilii 'Ice Dance' Ice Dance Carex		1 Gal.	Can	10-12"
Cornus stolonifera Redtwig Dogwood		5 Gal.	Can	30-36"
Cornus stolonifera 'Kelsey' Kelsey Dogwood Dogwood		1 Gal.	Can	10-12"
Deutzia gracilis 'Nikko' Nikko Deutzia		2 Gal.	Can	12-15"
Euonymus alatus 'Compact' Compact Winged Euonymus		5 Gal.	Can	18-24"
Euonymus japonicus 'Silver King' Silver King Euonymus		5 Gal.	Can	18-24"
Festuca ovina 'Etija' Blue Fescue		1 Gal.	Can	10-12"
Ilex meserveae 'Blue Princess' Blue Princess Holly		18-21"	B&B	
Mahonia aquifolium Oregon Grape		5 Gal.	Can	18-25"
Mahonia aquifolium 'Orange Flame' Repens Oregon Grape		2 Gal.	Can	12-15"
Nandina domestica 'Moon Bay' Moon Bay Nandina		5 Gal.	Can	15-18"
Pennisetum alopecuroides 'Little Bunny' Little Bunny Grass		1 Gal.	Can	10-12"
Polystichum munitum Sword Fern		1 Gal.	Can	10-12"
Symphoricarpos alba Snowberry		2 Gal.	Can	12-15"
Thuja occidentalis 'Smaragd' Arborvitae		2 Gal.	Can	12-15"
Viburnum davidi David Viburnum		2 Gal.	Can	12-15"
Viburnum plicatum tomentosum 'Watanabe' Doublefile Viburnum		5 Gal.	Can	15-18"
Viburnum tinus 'Spring Bouquet' Spring Bouquet Viburnum		5 Gal.	Can	15-18"
GROUND COVER & VINES				
Rubus pentalobus 'Emerald Carpet' Tolwan Creeping Berry		4"	Pots	Triangular Spaced
Vinca minor Vinca		4"	Pots	Triangular Spaced
Landscape Rocks Native Basalt		3-5 cu.ft.		

xxx TOTAL LINEAR FEET OF PERMALOCK 'CLEANLINE' METAL LANDSCAPE EDGING IS REQUIRED. (BLACK)

xx CU.YDS. OF WASHED CRUSHED ROCK AROUND BUILDING.

LIDA RAINGARDEN PLANT MATERIALS LISTING FOR LOT 10:

BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	REMARKS
HERBACEOUS PLANTS				
Carex obnupta Slough Sedge	xx	1/2 gal.	Can	
Scirpus microcarpus Small-fruited Bulrush	xx	1/2 gal.	Can	

*Coconut netting Required on installation of all Rain Gardens. Material available from ACF West Inc. C125BN-Double Net Coconut Blanket.

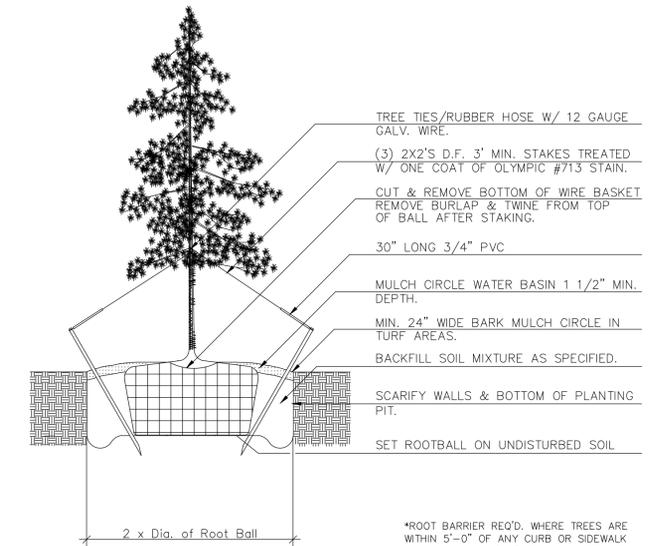
LANDSCAPE SPECIFICATIONS

- LANDSCAPE CONTRACTOR:** The Landscape Contractor must have an Oregon Landscape Contractor's license and be bonded in the State of Oregon.
- SCOPE:** Furnish labor, materials, equipment and supervision necessary to complete all work shown on the Drawings and in the Specifications. The graphic representation on the drawings takes precedent over quantities shown on the plant list.
- GUARANTEE AND REPLACEMENT:** Guarantee all new plant material after final acceptance for duration of one full growing season or one year, whichever is longer. Replace plant material not surviving or in poor condition; except only loss or damage due to freezing, vandalism or acts and neglects on the part of others.
- GRADES:** Final rough grade will be established by the General Contractor, fine finish grade by Landscape Contractor. Crown landscaped areas (+/- 4") to provide adequate drainage.
- TOPSOIL:** Landscape Contractor to provide & install 3 way blend soil mix. Imported soil mix is required: 12" minimum depth for planting areas. Planting areas: xxx cu.yds. (this includes 10% compaction). Special CWS soil mix is required for rain garden areas. 18" min. depth - xxx cu.yds. (this includes 10% compaction).
- FERTILIZERS:**
 - General: Approved brands meeting requirements of applicable state fertilizer laws. Uniform in composition, dry and free flowing.
 - Commercial Mix 'A' - Mycorrhizal Application - MycroApply - Endo/Ecto.
 - Commercial Mix 'B' - Wil-Gro 5-18-12.
- TEXTURAL SOIL AMENDMENTS:** Perma Matrix to be used at time of planting each tree, shrub and ground cover. (Sunmark Seeds 888-214-7333)
- TREE GUYING AND STAKING MATERIALS:** Refer to detail on Drawings.
- MULCH MATERIALS:** Free from noxious weed seed and all foreign material harmful to plant life. Hemlock or fir, medium grind, -1.5 + 3/4" size.
- EXECUTION:** Remove stones, mortar, concrete, rubbish, debris and any material harmful to plant life from all planting areas. Spray Weeds as required, (2) applications of Round-Up before starting work.
- SOIL PREPARATION AND PLANTING TREES, SHRUBS AND GROUND COVER:** Broadcast the following materials evenly over topsoil placed in each planting area. Rototill materials into topsoil- 4 to 6" deep.
 - Amount/1,000 square feet
 - 1.5 lbs. Commercial Mix 'A'
- PLANTING TREES AND SHRUBS:** Plant upright and face to give best appearance or relationship to plant and structures.
 - All planting holes shall be excavated twice the size of the tree, shrub or groundcover root ball or root system.
 - Prior to placement of each tree and shrub, place soil amendments around/under each plant as specified.
 - Loosen and remove twine binding and burlap from around top of each ball.
 - Cut off cleanly all broken or frayed roots.
 - Place and compact backfill soil mixture carefully to avoid injury to roots, fill all voids.
 - When planting hole is three-fourths filled, spread evenly around outer circumference of planting cavity (Textural Soil Amendment per plant)
 - Up to one-gallon containers: 1 handful of material
 - All two-gallon containers: 2 handfuls of material
 - All three to five gallon containers: 5 handfuls of material
 - All evergreen or deciduous trees: 10-15 handfuls of material
 - When hole is nearly filled, completely soak and allow water to soak away. Fill holes to finish grade and prepare for other work indicated. Initial watering-in of trees and shrubs by the irrigation system not permitted.
 - Spring: Apply commercial Mix 'B' around each tree, shrub and ground cover according to manufacturers recommendations. Notify Landscape Architect prior to completing this work task.
- PLANTING BED GRADES:** Grades and slopes in accordance with rough-finish grades established by others plus increase resulting from addition of bark mulch in all planting bed areas. Grade to 3 1/2 inches below bordering paving, curbs, walls, etc., before application of mulch.
- USE OF HERBICIDES:** Applications of herbicides to all planting areas should be done prior to mulching, according to manufacturer's recommendations, for weed control. Avoid groundcover and annual areas.
- MULCHING OF PLANTING BEDS:** Mulch shrub planting beds with 3 inch minimum layer of specified bark within 2 days after planting. Cover entire planting bed, apply evenly.
- MAINTENANCE:** Begin maintenance immediately after each shrub and tree are planted. Protect and maintain plantings for a period of 90 days after acceptance. Be responsible for the following work items during maintenance period. Weed, cultivate, maintain mulch depth as specified, reset plants to proper grade or upright position, and do any other necessary work items. Coordinate watering schedule with IMS 503-643-6605.

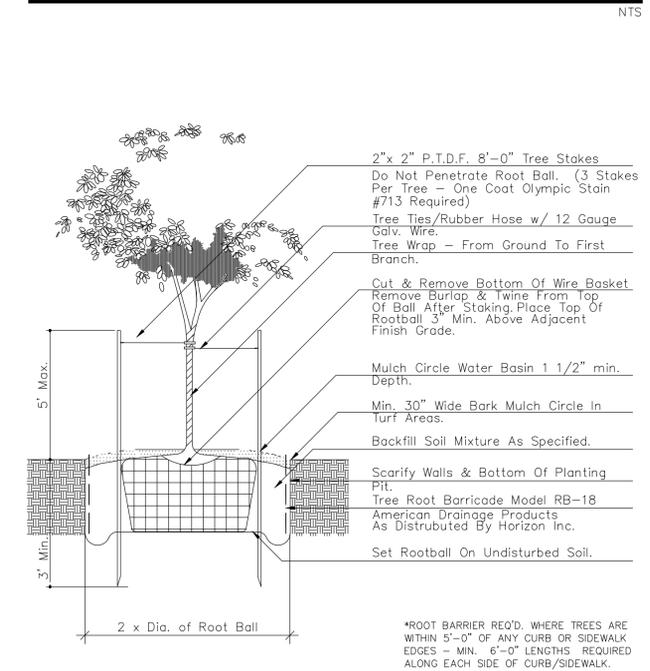
REQ. LANDSCAPE CALCULATIONS FOR ENTIRE SITE (ALL 3 BUILDINGS)

As Shown on C2.1:
 Number of parking stalls: 246
 Required parking landscape: 25 s.f./stall = 6,150 s.f.
 Parking landscape provided: 11,390 s.f.
 Trees req. for parking: 246/4 = 62 Trees
 Trees provided for parking: 64 Trees
 In addition, we have many large scale conifers to break up building walls and screen trucks.

PLANTING DETAILS



CONIFER PLANTING DETAIL



TREE PLANTING DETAIL - SHRUB PLANTING SIMILAR

NOTES

- B&B STOCK MAY BE SUBSTITUTED WITH CONTAINER STOCK OF EQUAL GRADE.
- CONTAINER STOCK MAY BE SUBSTITUTED WITH B&B STOCK OF EQUAL GRADE.
- PLANT MATERIAL SHALL CONFORM WITH AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 1986 EDITION.
- ALL TREES SHALL BE BRANCHED.
- MULCH ALL PLANTING BEDS WITH 3" MIN. LAYER OF SPECIFIED MULCH.
- IN THE EVENT OF A DISCREPANCY BETWEEN THIS MATERIAL LISTING AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN THE PLANT SPECIES AND QUANTITIES REQ.
- IN THE EVENT OF QUESTION OR LACK OF CLARITY ON DRAWINGS, LANDSCAPE CONTRACTOR IS TO CALL LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL / GREEN SIDE UP.
- ADJUST PLANT LAYOUT AS REQUIRED TO FIT IRRIGATION COVERAGE PATTERN.



BEIGHLEY & ASSOCIATES INC.
 LANDSCAPE ARCHITECTURE AND PLANNING

12840 N.W. CORNELL RD.
 PORTLAND, OR 97229
 PHONE: 503 643-4796
 FAX: 503 643-4798



KOCH CORPORATE CENTER
BUILDING 008
 TUALATIN, OREGON

Revisions

DRAWN: AMM
 CHECKED: HSB
 DATE: 01/18/16
 JOB NO.: 1602

LANDSCAPE DETAILS

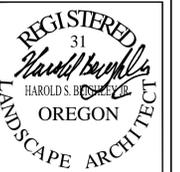
L-2



BEIGHLEY & ASSOCIATES INC.

LANDSCAPE ARCHITECTURE AND PLANNING

12840 N.W. CORNELL RD. PORTLAND, OR 97229
PHONE: 503 643-4796
FAX: 503 643-4798



KOCH CORPORATE CENTER
BUILDING 11
TUALATIN, OREGON

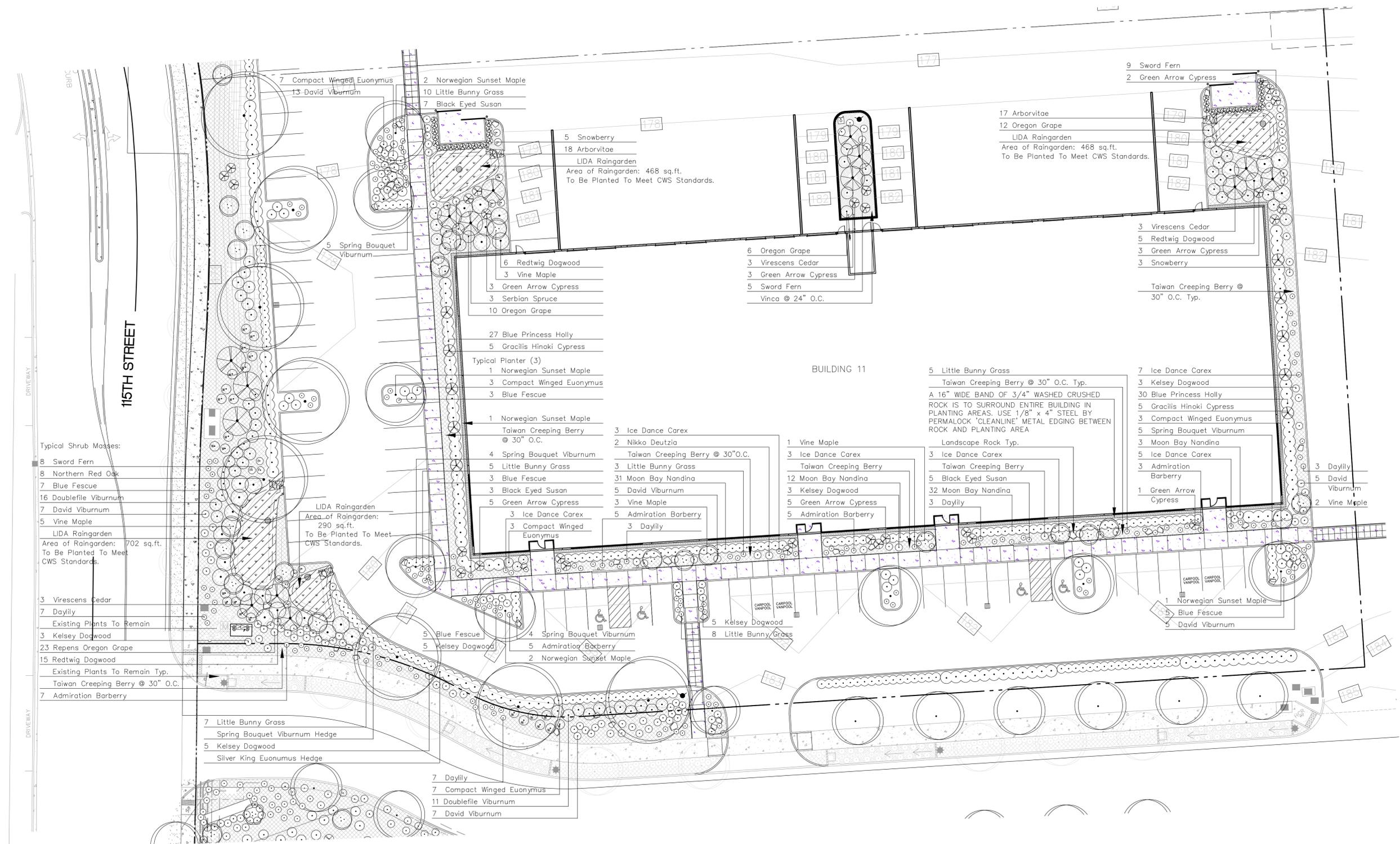
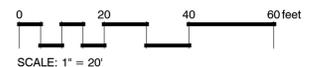
Revisions

DRAWN AMM
CHECKED HSB
DATE 01.18.16
JOB NO. 1603

L-3

OF 7

LANDSCAPE PLAN



115TH STREET

BUILDING 11

Typical Shrub Mosses:

- 8 Sword Fern
- 8 Northern Red Oak
- 7 Blue Fescue
- 16 Doublefile Viburnum
- 7 David Viburnum
- 5 Vine Maple

LIDA Raingarden
Area of Raingarden: 702 sq. ft.
To Be Planted To Meet CWS Standards.

- 3 Virescens Cedar
- 7 Daylily
- Existing Plants To Remain
- 3 Kelsey Dogwood
- 23 Repens Oregon Grape
- 15 Redtwig Dogwood
- Existing Plants To Remain Typ.
- Taiwan Creeping Berry @ 30" O.C.
- 7 Admiration Barberr

- 7 Little Bunny Grass
- Spring Bouquet Viburnum Hedge
- 5 Kelsey Dogwood
- Silver King Euonymus Hedge

- 7 Daylily
- 7 Compact Winged Euonymus
- 11 Doublefile Viburnum
- 7 David Viburnum

- 1 Norwegian Sunset Maple
- Taiwan Creeping Berry @ 30" O.C.
- 4 Spring Bouquet Viburnum
- 5 Little Bunny Grass
- 3 Blue Fescue
- 3 Black Eyed Susan
- 5 Green Arrow Cypress
- 3 Ice Dance Carex
- 3 Compact Winged Euonymus

- 3 Ice Dance Carex
- 2 Nikko Deutzia
- Taiwan Creeping Berry @ 30" O.C.
- 3 Little Bunny Grass
- 31 Moon Bay Nandina
- 5 David Viburnum
- 3 Vine Maple
- 5 Admiration Barberr
- 3 Daylily

- 5 Kelsey Dogwood
- 8 Little Bunny Grass

- 1 Vine Maple
- 3 Ice Dance Carex
- Taiwan Creeping Berry
- 12 Moon Bay Nandina
- 3 Kelsey Dogwood
- 5 Green Arrow Cypress
- 5 Admiration Barberr

- 5 Little Bunny Grass
- Taiwan Creeping Berry @ 30" O.C. Typ.
- A 16" WIDE BAND OF 3/4" WASHED CRUSHED ROCK IS TO SURROUND ENTIRE BUILDING IN PLANTING AREAS. USE 1/8" x 4" STEEL BY PERMALOCK 'CLEANLINE' METAL EDGING BETWEEN ROCK AND PLANTING AREA
- Landscape Rock Typ.
- 3 Ice Dance Carex
- Taiwan Creeping Berry
- 5 Black Eyed Susan
- 32 Moon Bay Nandina
- 3 Daylily

- 7 Ice Dance Carex
- 3 Kelsey Dogwood
- 30 Blue Princess Holly
- 5 Gracilis Hinoki Cypress
- 3 Compact Winged Euonymus
- 5 Spring Bouquet Viburnum
- 3 Moon Bay Nandina
- 5 Ice Dance Carex
- 3 Admiration Barberr
- 1 Green Arrow Cypress

- 3 Daylily
- 5 David Viburnum
- 2 Vine Maple

- 7 Compact Winged Euonymus
- 13 David Viburnum
- 2 Norwegian Sunset Maple
- 10 Little Bunny Grass
- 7 Black Eyed Susan

- 5 Snowberry
- 18 Arborvitae
- LIDA Raingarden
- Area of Raingarden: 468 sq. ft.
- To Be Planted To Meet CWS Standards.

- 6 Oregon Grape
- 3 Virescens Cedar
- 3 Green Arrow Cypress
- 5 Sword Fern
- Vinca @ 24" O.C.

- 17 Arborvitae
- 12 Oregon Grape
- LIDA Raingarden
- Area of Raingarden: 468 sq. ft.
- To Be Planted To Meet CWS Standards.

- 9 Sword Fern
- 2 Green Arrow Cypress

- 3 Virescens Cedar
- 5 Redtwig Dogwood
- 3 Green Arrow Cypress
- 3 Snowberry

- Taiwan Creeping Berry @ 30" O.C. Typ.

PLANT MATERIALS LISTING FOR LOT 11:

BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	REMARKS
TREES				
Acer circinatum Vine Maple		4-5'	B&B	Multi-Trunk
Acer truncatum x A. platanoides 'Keithsform' Norwegian Sunset Maple	1	1 1/2" Cal.	B&B	Deciduous
Chamaecyparis nootkatensis "Green Arrow" Green Arrow Cypress	6-7'	B&B	Evergreen	
Chamaecyparis obtusa "Gracilis" Gracilis Hinoki Cypress	4-5'	B&B	Evergreen	
Picea omorika 'Bruns' Serbian Spruce	7-8'	B&B	Evergreen	
Quercus rubra Northern Red Oak	1 1/2" Cal.	B&B	Deciduous	
Thuja plicata 'Virescens' Virescens Cedar	8-9'	B&B	Evergreen	
SHRUBS				
Berberis thunbergii 'Admiration' Bagatelle Barberry	1 Gal.	Can	10-12"	
Carex marrovil 'Ice Dance' Ice Dance Carex	1 Gal.	Can	10-12"	
Cornus stolonifera Redtwig Dogwood	5 Gal.	Can	30-36"	
Cornus stolonifera 'Kelsey' Kelsey Dogwood Dogwood	1 Gal.	Can	10-12"	
Deutzia gracilis 'Nikko' Nikko Deutzia	2 Gal.	Can	12-15"	
Euonymus alatus 'Compact' Compact Winged Euonymus	5 Gal.	Can	18-24"	
Euonymus japonicus 'Silver King' Silver King Euonymus	5 Gal.	Can	18-24"	
Festuca ovina 'Elija' Blue Fescue	1 Gal.	Can	10-12"	
Hemerocallis Stella d'Oro Daylily	1 Gal.	Can	10-12"	
Ilex meserriacae 'Blue Princess' Blue Princess Holly	18-21"	B&B		
Mahonia aquifolium Oregon Grape	2 Gal.	Can	12-15"	
Nandina domestica 'Moon Bay' Moon Bay Nandina	3 Gal.	Can	15-18"	
Pennisetum alopecuroides 'Little Bunny' Little Bunny Grass	1 Gal.	Can	10-12"	
Polystichum munitum Sword Fern	1 Gal.	Can	10-12"	
Symphoricarpos alba Snowberry	2 Gal.	Can	12-15"	
Thuja occidentalis 'Smaragd' Arborvitae		B&B	4"	
Viburnum davidi David Viburnum	2 Gal.	Can	12-15"	
Viburnum tinus 'Spring Bouquet' Spring Bouquet Viburnum	5 Gal.	Can	15-18"	
GROUND COVER & VINES				
Rubus pentalobus 'Emerald Carpet' Taiwan Creeping Berry	4"	Pots	Triangular Spaced	
Waldsteinia fragaroides Barren Strawberry	4"	Pots	Triangular Spaced	
Landscape Rocks Native Basalt	3-5 cu.ft.			

xxx TOTAL LINEAR FEET OF PERMALOCK 'CLEANLINE' METAL LANDSCAPE EDGING IS REQUIRED. (BLACK)

xx CU.YDS. WASHED CRUSHED ROCK AROUND BUILDING.

LIDA RAINGARDEN PLANT MATERIALS LISTING FOR LOT 11:

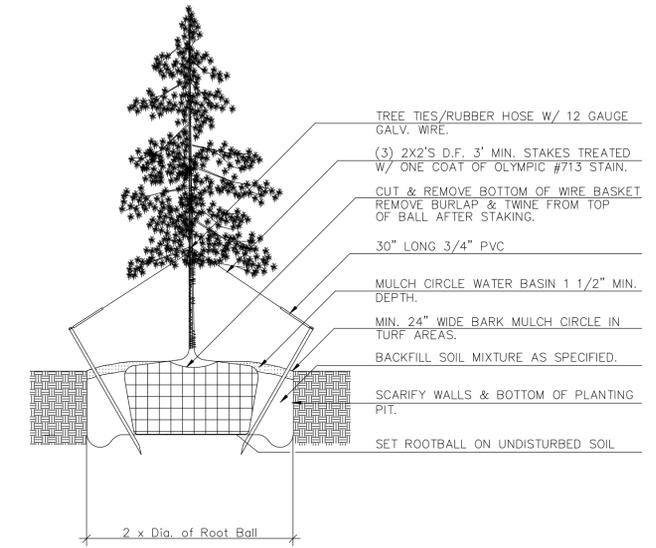
BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	REMARKS
HERBACEOUS PLANTS				
Carex obnupta Slough Sedge	1/2 gal.	Can		
Scirpus microcarpus Small-fruited Bulrush	1/2 gal.	Can		

*Coconut netting Required on installation of all Rain Gardens. Material available from ACF West Inc. C125BN-Double Net Coconut Blanket.

LANDSCAPE SPECIFICATIONS

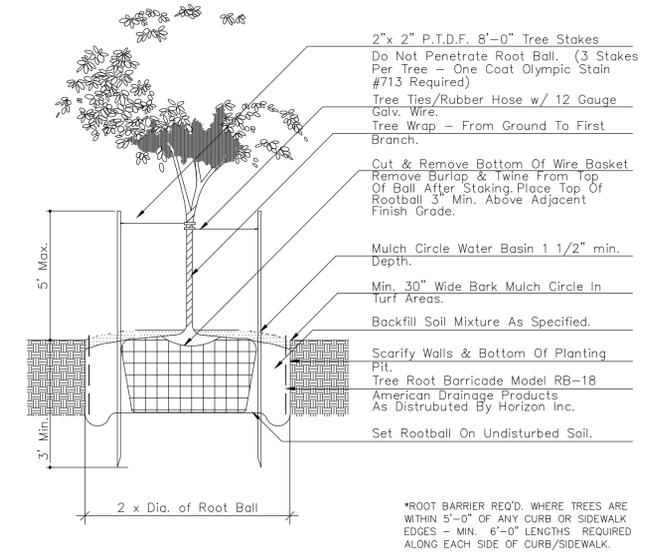
- LANDSCAPE CONTRACTOR:** The Landscape Contractor must have an Oregon Landscape Contractor's license and be bonded in the State of Oregon.
- SCOPE:** Furnish labor, materials, equipment and supervision necessary to complete all work shown on the Drawings and in the Specifications. The graphic representation on the drawings takes precedent over quantities shown on the plant list.
- GUARANTEE AND REPLACEMENT:** Guarantee all new plant material after final acceptance for duration of one full growing season or one year, whichever is longer. Replace plant material not surviving or in poor condition; except only loss or damage due to freezing, vandalism or acts and neglects on the part of others.
- GRADES:** Final rough grade will be established by the General Contractor, fine finish grade by Landscape Contractor. Crown landscaped areas (+/- 4") to provide adequate drainage.
- TOPSOIL:** Landscape Contractor to provide & install 3 way blend soil mix. Imported soil mix is required: 12" minimum depth for planting areas. Planting areas: xxx cu.yds. (this includes 10% compaction). Special CWS soil mix is required for rain garden areas. 18" min. depth - xx cu.yds. (this includes 10% compaction).
- FERTILIZERS:**
 - General: Approved brands meeting requirements of applicable state fertilizer laws. Uniform in composition, dry and free flowing.
 - Commercial Mix 'A' - Mycorrhizal Application - MycroApply - Endo/Ecto.
 - Commercial Mix 'B' - Wil-Gro 5-18-12.
- TEXTURAL SOIL AMENDMENTS:** Perma Matrix to be used at time of planting each tree, shrub and ground cover. (Sunmark Seeds 888-214-7333)
- TREE GUYING AND STAKING MATERIALS:** Refer to detail on Drawings.
- MULCH MATERIALS:** Free from noxious weed seed and all foreign material harmful to plant life. Hemlock or fir, medium grind, -1.5 + 3/4" size.
- EXECUTION:** Remove stones, mortar, concrete, rubbish, debris and any material harmful to plant life from all planting areas. Spray Weeds as required, (2) applications of Round-Up before starting work.
- SOIL PREPARATION AND PLANTING TREES, SHRUBS AND GROUND COVER:** Broadcast the following materials evenly over topsoil placed in each planting area. Rototill materials into topsoil - 4 to 6" deep.
 - Amount/1,000 square feet
 - 1.5 lbs. Commercial Mix 'A'
- PLANTING TREES AND SHRUBS:** Plant upright and face to give best appearance or relationship to plant and structures.
 - All planting holes shall be excavated twice the size of the tree, shrub or groundcover root ball or root system.
 - Prior to placement of each tree and shrub, place soil amendments around/under each plant as specified.
 - Loosen and remove twine binding and burlap from around top of each ball.
 - Cut off cleanly all broken or frayed roots.
 - Place and compact backfill soil mixture carefully to avoid injury to roots, fill all voids.
 - When planting hole is three-fourths filled, spread evenly around outer circumference of planting cavity (Textural Soil Amendment per plant)
 - Up to one-gallon containers: 1 handful of material
 - All two-gallon containers: 2 handfuls of material
 - All three to five gallon containers: 5 handfuls of material
 - All evergreen or deciduous trees: 10-15 handfuls of material
 - When hole is nearly filled, completely soak and allow water to soak away. Fill holes to finish grade and prepare for other work indicated. Initial watering-in of trees and shrubs by the irrigation system not permitted.
 - Spring: Apply commercial Mix 'B' around each tree, shrub and ground cover according to manufacturers recommendations. Notify Landscape Architect prior to completing this work task.
- PLANTING BED GRADES:** Grades and slopes in accordance with rough-finish grades established by others plus increase resulting from addition of bark mulch in all planting bed areas. Grade to 3 1/2 inches below bordering paving, curbs, walls, etc., before application of mulch.
- USE OF HERBICIDES:** Applications of herbicides to all planting areas should be done prior to mulching, according to manufacturer's recommendations, for weed control. Avoid groundcover and annual areas.
- MULCHING OF PLANTING BEDS:** Mulch shrub planting beds with 3 inch minimum layer of specified bark within 2 days after planting. Cover entire planting bed, apply evenly.
- MAINTENANCE:** Begin maintenance immediately after each shrub and tree are planted. Protect and maintain plantings for a period of 90 days after acceptance. Be responsible for the following work items during maintenance period. Weed, cultivate, maintain mulch depth as specified, reset plants to proper grade or upright position, and do any other necessary work items. Coordinate watering schedule with IMS 503-643-6605.

PLANTING DETAILS



CONIFER PLANTING DETAIL

NTS



TREE PLANTING DETAIL - SHRUB PLANTING SIMILAR

NOTES

- B&B STOCK MAY BE SUBSTITUTED WITH CONTAINER STOCK OF EQUAL GRADE.
- CONTAINER STOCK MAY BE SUBSTITUTED WITH B&B STOCK OF EQUAL GRADE.
- PLANT MATERIAL SHALL CONFORM WITH AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 1986 EDITION.
- ALL TREES SHALL BE BRANCHED.
- MULCH ALL PLANTING BEDS WITH 3" MIN. LAYER OF SPECIFIED MULCH.
- IN THE EVENT OF A DISCREPANCY BETWEEN THIS MATERIAL LISTING AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN THE PLANT SPECIES AND QUANTITIES REQ.
- IN THE EVENT OF QUESTION OR LACK OF CLARITY ON DRAWINGS, LANDSCAPE CONTRACTOR IS TO CALL LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL / GREEN SIDE UP.
- ADJUST PLANT LAYOUT AS REQUIRED TO FIT IRRIGATION COVERAGE PATTERN.



BEIGHLEY & ASSOCIATES INC.
LANDSCAPE ARCHITECTURE AND PLANNING

12840 N.W. CORNELL RD.
PORTLAND, OR 97229
PHONE: 503 643-4796
FAX: 503 643-4798



KOCH CORPORATE CENTER
BUILDING 11
TUALATIN, OREGON

Revisions

DRAWN AMM
CHECKED HSB
DATE 01/18/16
JOB NO. 1603

L-4

OF 7

LANDSCAPE DETAILS



BEIGHLEY &
ASSOCIATES INC.
LANDSCAPE
ARCHITECTURE
AND PLANNING

12840 N.W. CORNELL RD.
PORTLAND, OR 97229
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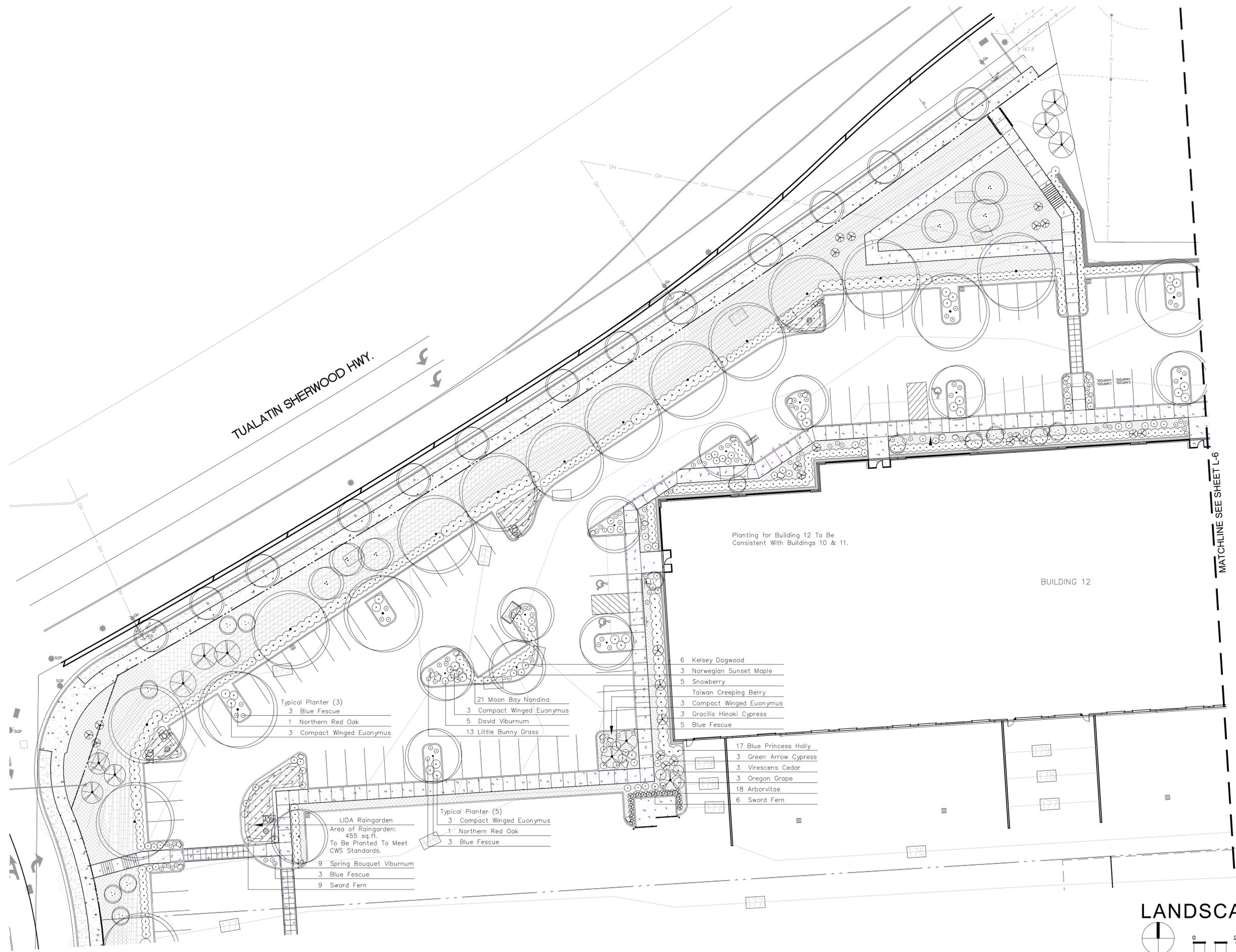
KOCH CORPORATE CENTER
BUILDING 12
TUALATIN, OREGON

Revisions

DRAWN AMM
CHECKED HSB
DATE 01.18.16
JOB NO. 1604

L-5

OF 7



TUALATIN SHERWOOD HWY.

Planting for Building 12 To Be
Consistent With Buildings 10 & 11.

BUILDING 12

MATCHLINE SEE SHEET L-6

- Typical Planter (3)
- 3 Blue Fescue
 - 1 Northern Red Oak
 - 3 Compact Winged Euonymus

- 21 Moon Bay Nandina
- 3 Compact Winged Euonymus
 - 5 David Viburnum
 - 13 Little Bunny Grass

LIDA Raingarden
Area of Raingarden:
455 sq.ft.
To Be Planted To Meet
CWS Standards.

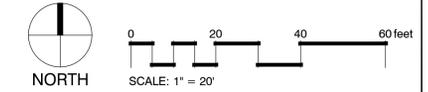
- 9 Spring Bouquet Viburnum
- 3 Blue Fescue
- 9 Sword Fern

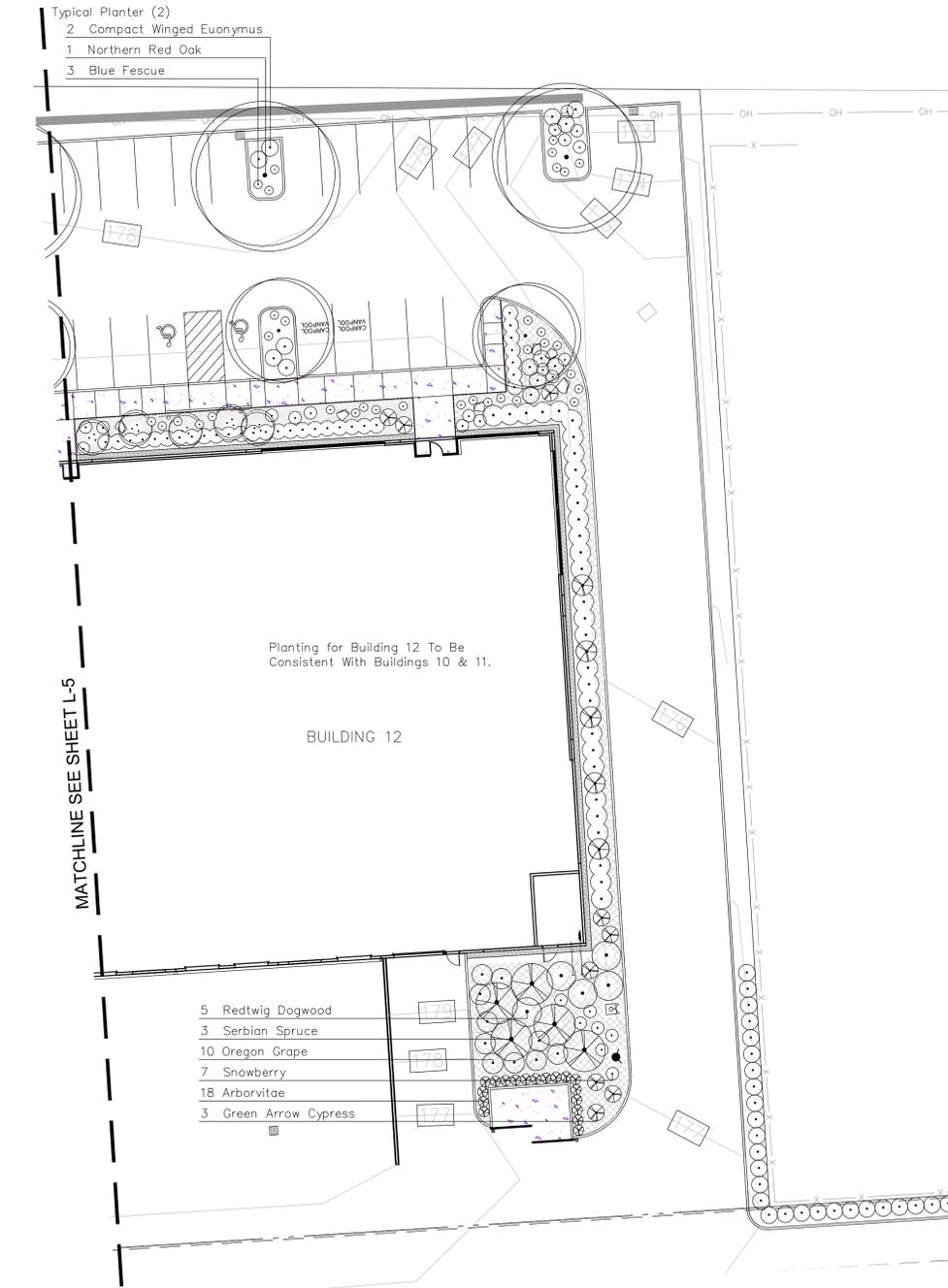
- Typical Planter (5)
- 3 Compact Winged Euonymus
 - 1 Northern Red Oak
 - 3 Blue Fescue

- 6 Kelsey Dogwood
- 3 Norwegian Sunset Maple
- 5 Snowberry
- Taiwan Creeping Berry
- 3 Compact Winged Euonymus
- 3 Gracilis Hinoki Cypress
- 5 Blue Fescue

- 17 Blue Princess Holly
- 3 Green Arrow Cypress
- 3 Virescens Cedar
- 3 Oregon Grape
- 18 Arborvitae
- 6 Sword Fern

LANDSCAPE PLAN





LANDSCAPE PLAN

NORTH

0 20 40 60 feet
 SCALE: 1" = 20'



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**KOCH CORPORATE CENTER
 BUILDING 12
 TUALATIN, OREGON**

Revisions	

DRAWN	AMM
CHECKED	HSB
DATE	01.18.16
JOB NO.	1604

L-6
 OF 7

PLANT MATERIALS LISTING FOR LOT 11:

BOTANICAL NAME COMMON NAME	QTY.	SIZE	CONDITION	REMARKS
TREES				
Acer circinatum Vine Maple		4-5'	B&B	Multi-Trunk
Acer truncatum x A. platanoides 'Keithsform' Norwegian Sunset Maple	1	1 1/2" Cal.	B&B	Deciduous
Chamaecyparis nootkatensis "Green Arrow" Green Arrow Cypress	6-7'		B&B	Evergreen
Chamaecyparis obtusa "Gracilis" Gracilis Hinoki Cypress	4-5'		B&B	Evergreen
Picea omorika "Bruns" Serbian Spruce	7-8'		B&B	Evergreen
Quercus rubra Northern Red Oak	1 1/2" Cal.		B&B	Deciduous
Thuja plicata "Virescens" Virescens Cedar	8-9'		B&B	Evergreen
SHRUBS				
Berberis thunbergii "Admiration" Bagatelle Barberry	1 Gal.	Can		10-12"
Carex marrovi "Ice Dance" Ice Dance Carex	1 Gal.	Can		10-12"
Cornus stolonifera Redtwig Dogwood	5 Gal.	Can		30-36"
Cornus stolonifera "Kelsey" Kelsey Dogwood Dogwood	1 Gal.	Can		10-12"
Deutzia gracilis "Nikko" Nikko Deutzia	2 Gal.	Can		12-15"
Euonymus alatus "Compact" Compact Winged Euonymus	5 Gal.	Can		18-24"
Euonymus japonicus "Silver King" Silver King Euonymus	5 Gal.	Can		18-24"
Festuca ovina "Elija" Blue Fescue	1 Gal.	Can		10-12"
Hemerocallis Stella d'Oro Daylily	1 Gal.	Can		10-12"
Ilex meserriana "Blue Princess" Blue Princess Holly	18-21"		B&B	
Mahonia aquifolium Oregon Grape	2 Gal.	Can		12-15"
Nandina domestica "Moon Bay" Moon Bay Nandina	3 Gal.	Can		15-18"
Pennisetum alopecuroides "Little Bunny" Little Bunny Grass	1 Gal.	Can		10-12"
Polystichum munitum Sword Fern	1 Gal.	Can		10-12"
Symphoricarpos alba Snowberry	2 Gal.	Can		12-15"
Thuja occidentalis "Smaragd" Arborvitae			B&B	4"
Viburnum davidi David Viburnum	2 Gal.	Can		12-15"
Viburnum tinus "Spring Bouquet" Spring Bouquet Viburnum	5 Gal.	Can		15-18"

GROUND COVER & VINES				
Rubus pentalobus "Emerald Carpet" Taiwan Creeping Berry	4"	Pots		Triangular Spaced
Waldsteinia fragaroides Barren Strawberry	4"	Pots		Triangular Spaced
Landscape Rocks Native Basalt	3-5 cu.ft.			

xxx TOTAL LINEAR FEET OF PERMALOCK 'CLEANLINE' METAL LANDSCAPE EDGING IS REQUIRED. (BLACK)

xx CU.YDS. WASHED CRUSHED ROCK AROUND BUILDING.

LIDA RAINGARDEN PLANT MATERIALS LISTING FOR LOT 11:

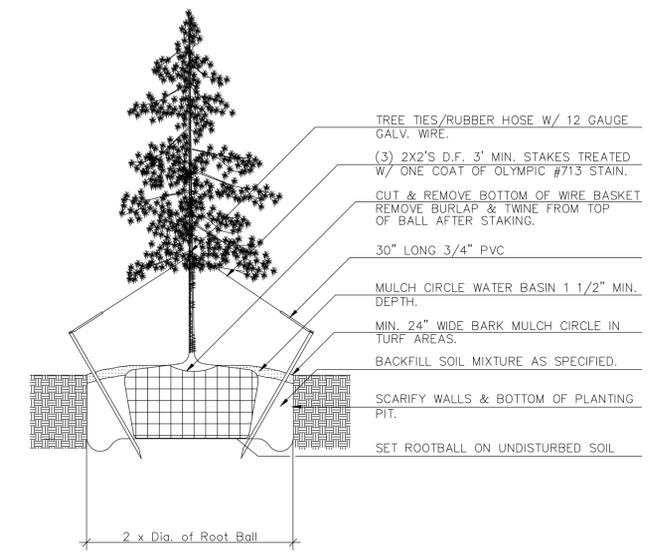
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LANDSCAPE SPECIFICATIONS

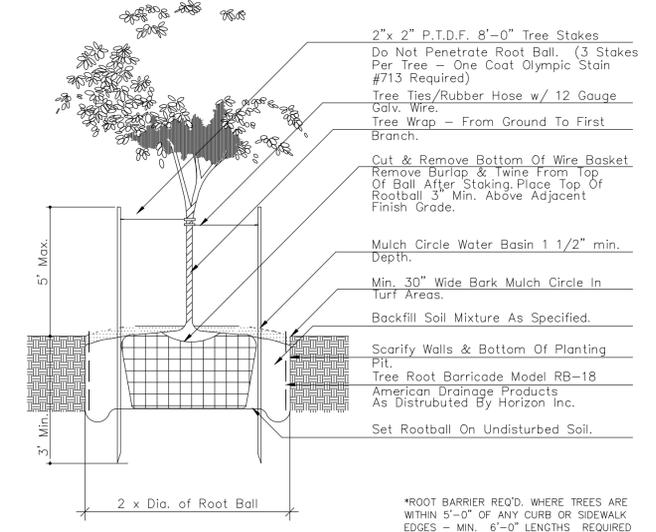
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PLANTING DETAILS



CONIFER PLANTING DETAIL

NTS



TREE PLANTING DETAIL - SHRUB PLANTING SIMILAR

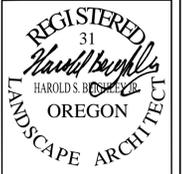
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KOCH CORPORATE CENTER
BUILDING 12
 TUALATIN, OREGON

Revisions	

DRAWN	AMM
CHECKED	HSB
DATE	01/18/16
JOB NO.	1604

L-7

OF 7

LANDSCAPE DETAILS



Architecture - Interiors
Planning - Engineering

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Vancouver, WA
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Project

KOCH CORPORATE CENTER

LOT 10, 11, 12

TYPE A:
DSX0 LED 40 C 1000K
T2M MVOLT
(2) 20 LED LIGHT ENGINES
TYPE T3M OPTIC, 4000K AT
1000 mA

TYPE B:
DSXW2 LED WITH 3 LIGHT
ENGINE, 30 LED'S 1000 mA
DRIVER, 4000K LED, TYPE
FORWARD THROW MEDIUM
OPTIC

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MACKENZIE AND ARE NOT TO BE USED
OR REPRODUCED IN ANY MANNER,
WITHOUT PRIOR WRITTEN PERMISSION

REVISIONS:

NO.	REVISIONS	REVISION DATE

SHEET TITLE:
SITE LIGHTING PLAN

DRAWN BY:

CHECKED BY:

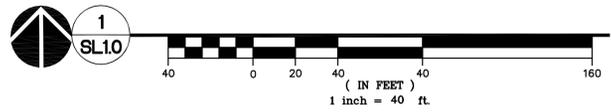
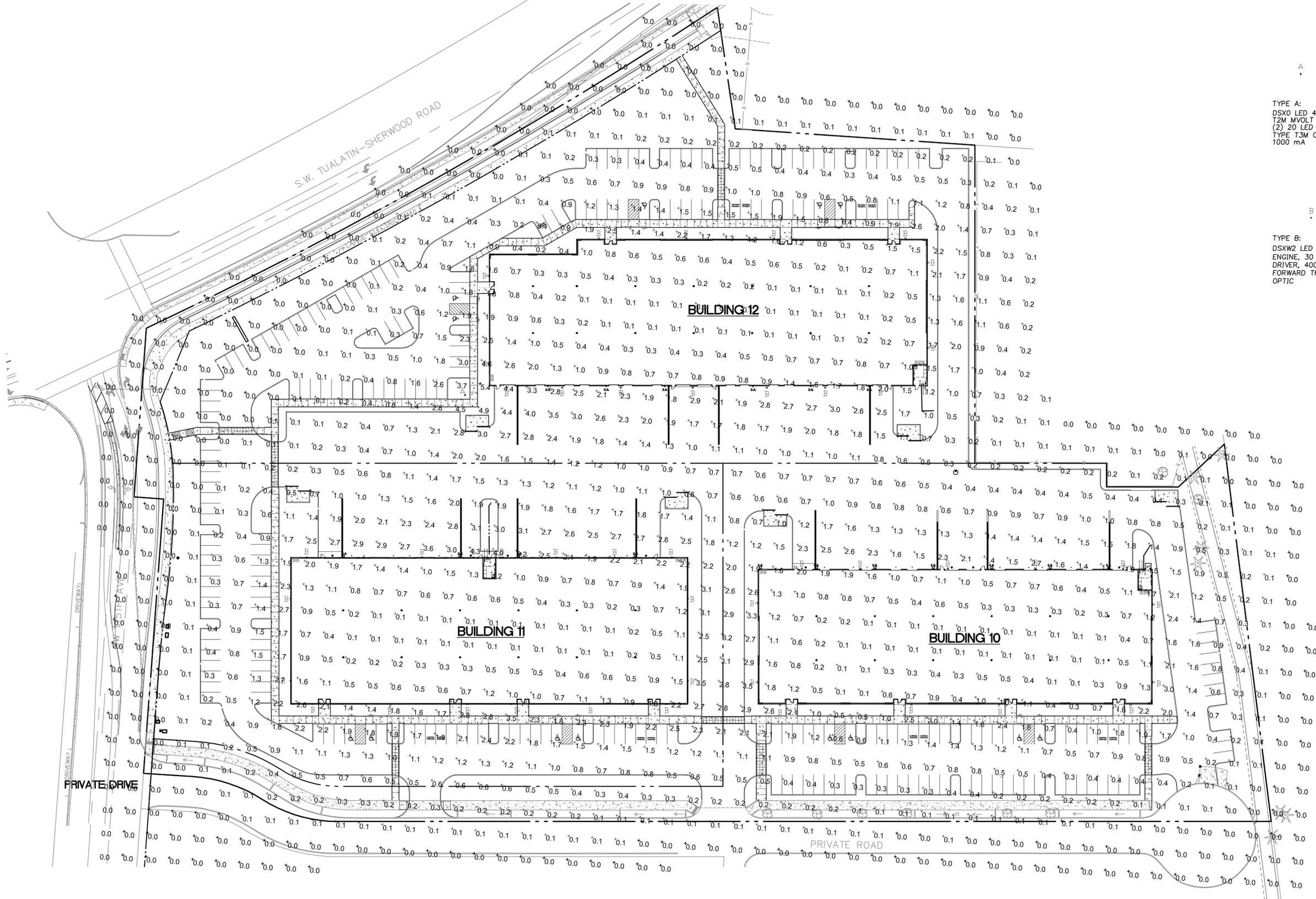
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SL1.0

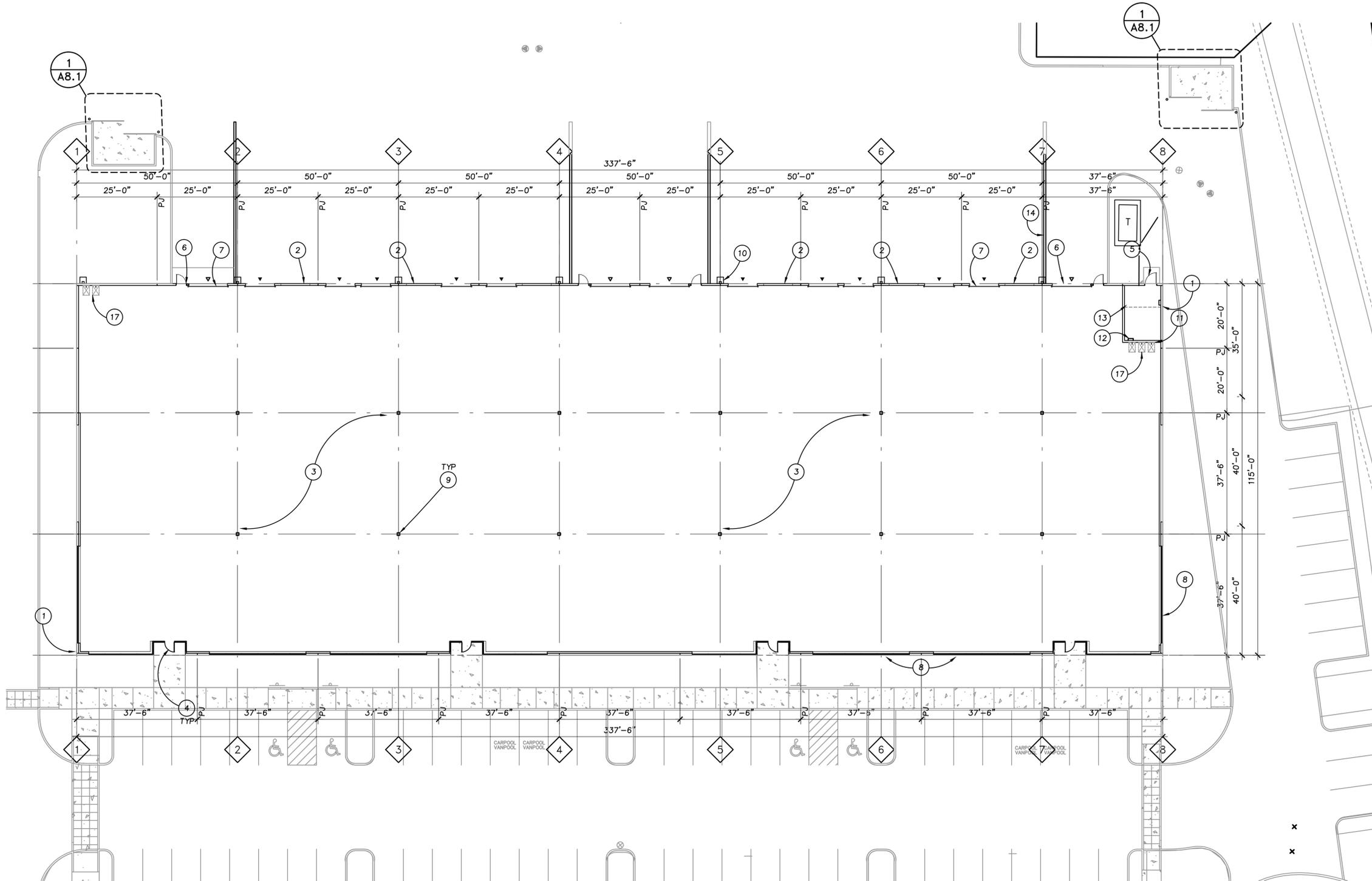
JOB NO. **2140559.07**

ARCHITECTURAL REVIEW SUBMITTAL: JANUARY 18, 2016

214055907\4_DRAWINGS\ARCHITECTURAL\REVISED SL1.0.DWG CCG 01/19/16 09:43 1:40



REVISION	REVISIONS DELTA THIS SHEET	REVISION DELTA CLOSING DATE



1
A2.1 FLOOR PLAN - BUILDING 10
1/16"=1'-0"

GENERAL NOTES

- A. PROVIDE MECHANICAL VENTILATION AS REQUIRED BY 2014 OREGON STRUCTURAL SPECIALTY CODE.
- B. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- C. SEE CIVIL FOR ADDITIONAL SITE INFORMATION.

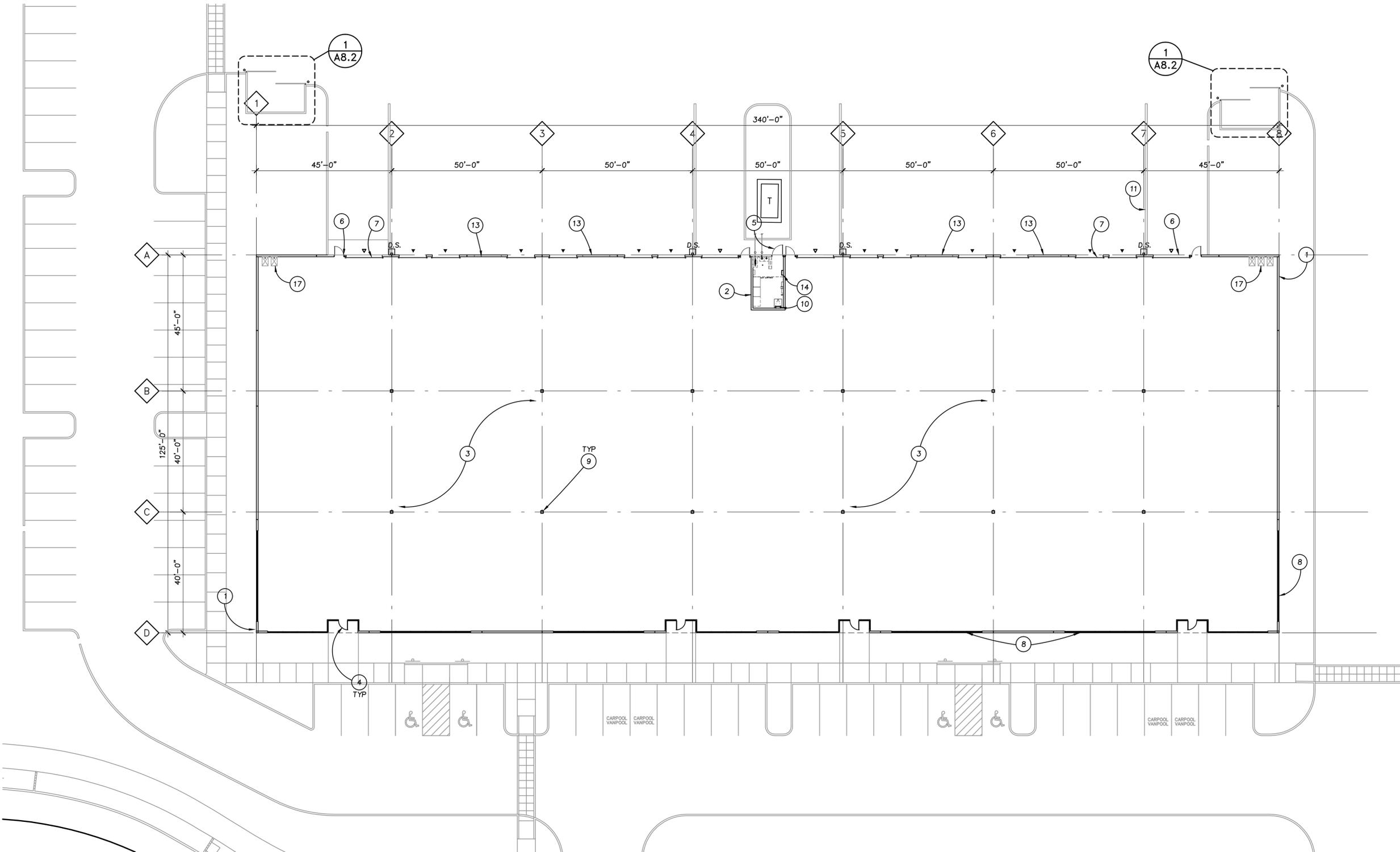
LEGEND

	CONCRETE TILT WALL
	FUTURE OPENING
	DOCK-HIGH O.H. DOOR
	DRIVE-IN O.H. DOOR
	DOWN SPOUT
	CONCRETE TILT PANEL NUMBER
	2'-0" X 6'-0" BIKE PARKING AREA
	RACOR PIW-1R WALL MOUNTED BIKE RACK

KEYNOTES

- 1. CONCRETE PANEL
- 2. FUTURE OPENING
- 3. CONCRETE SLAB
- 4. STOREFRONT ENTRY DOOR
- 5. HOLLOW METAL DOOR
- 6. ON GRADE DOOR
- 7. DOCK HIGH DOOR
- 8. STOREFRONT WINDOW SYSTEM
- 9. STEEL COLUMN
- 10. DOWNSPOUT
- 11. FULL HEIGHT METAL STUD WALL
- 12. ROOF ACCESS LADDER
- 13. MEZZANINE ACCESS LADDER
- 14. RETAINING WALL, SEE A8.4
- 15. GAS METER LOCATION
- 16. EXTERIOR BICYCLE PARKING AREA 2'X6' SEE DETAIL 2/A2.1.
- 17. INTERIOR BICYCLE PARKING 24'-0" CLEAR TO BOTTOM OF STRUCTURE

REVISION	DELTA	REVISIONS THIS SHEET	REVISION DATE	CLOSING DATE



1
A2.2 FLOOR PLAN - BUILDING 11
1/16"=1'-0"

LEGEND

—	CONCRETE TILT WALL
▼	DOCK-HIGH O.H. DOOR
▽	DRIVE-IN O.H. DOOR
##	CONCRETE TILT PANEL NUMBER
D.S.	DOWNSPOUT
⊠	2'-0" X 6'-0" BIKE PARKING AREA
⊠	RACOR PIW-1R WALL MOUNTED BIKE RACK

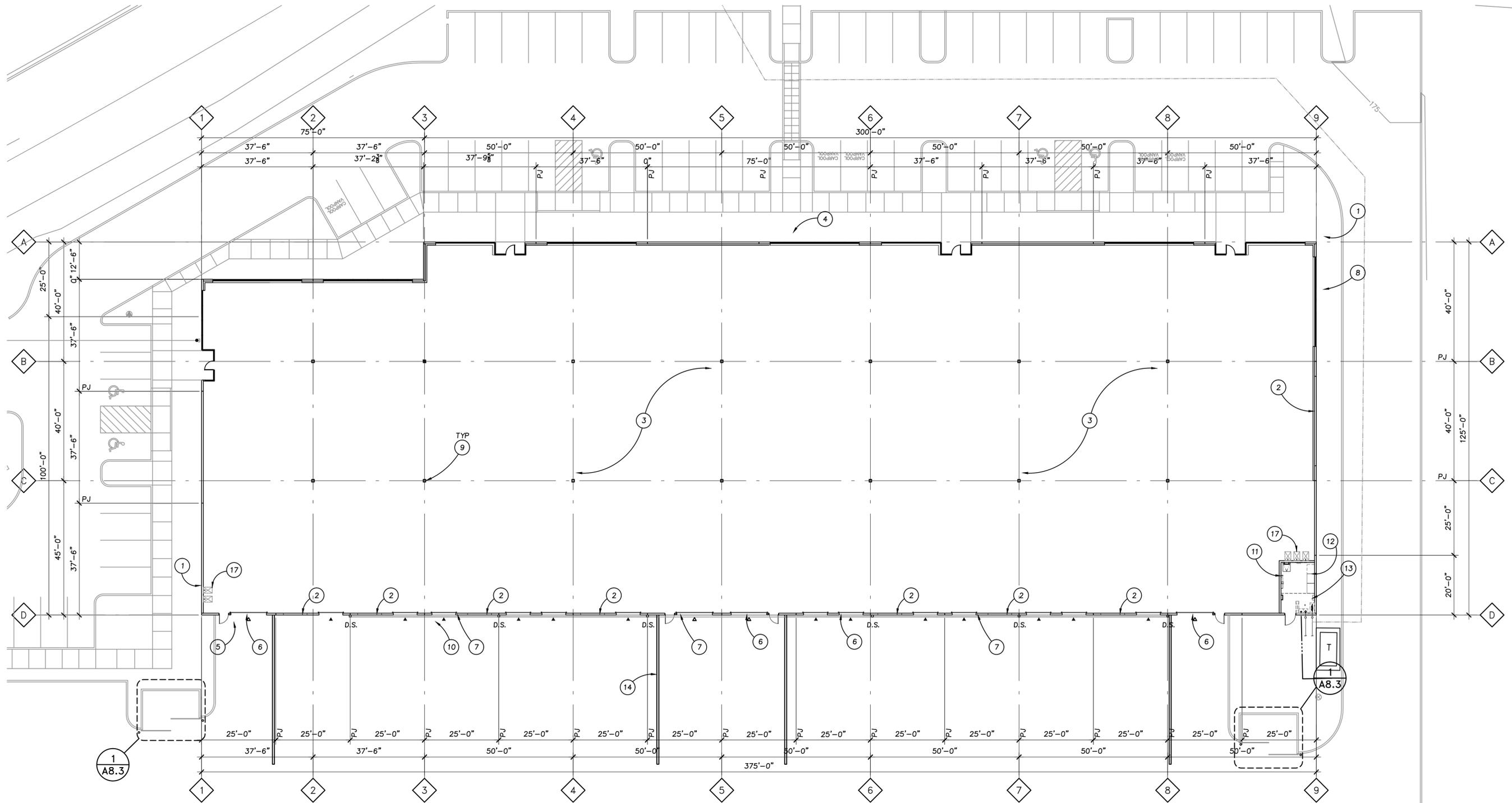
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- SEE CIVIL FOR ADDITIONAL SITE INFORMATION.

KEYNOTES

- | | |
|--------------------------------|---|
| 1. CONCRETE PANEL | 11. RETAINING WALL, SEE A8.4 |
| 2. FULL HEIGHT METAL STUD WALL | 12. EXTERIOR BICYCLE PARKING AREA 2'X6' SEE DETAIL 2/A2.1 |
| 3. CONCRETE SLAB | 13. FUTURE OPENING |
| 4. STOREFRONT ENTRY DOOR | 14. MEZZANINE ACCESS LADDER |
| 5. HOLLOW METAL DOOR | 15. CONCRETE SIDEWALK |
| 6. ON GRADE DOOR | 16. GAS METER LOCATION |
| 7. DOCK HIGH DOOR | 17. INTERIOR BICYCLE PARKING AREA. 20'-0" CLEAR TO ROOF. |
| 8. STOREFRONT WINDOW SYSTEM | |
| 9. STEEL COLUMN | |
| 10. ROOF ACCESS LADDER | |

REVISION	REVISIONS DELTA THIS SHEET	REVISION DELTA CLOSING DATE



1
A2.3 FLOOR PLAN - BUILDING 12
1/16"=1'-0"

GENERAL NOTES

- PROVIDE MECHANICAL VENTILATION AS REQUIRED BY 2014 OREGON STRUCTURAL SPECIALTY CODE.
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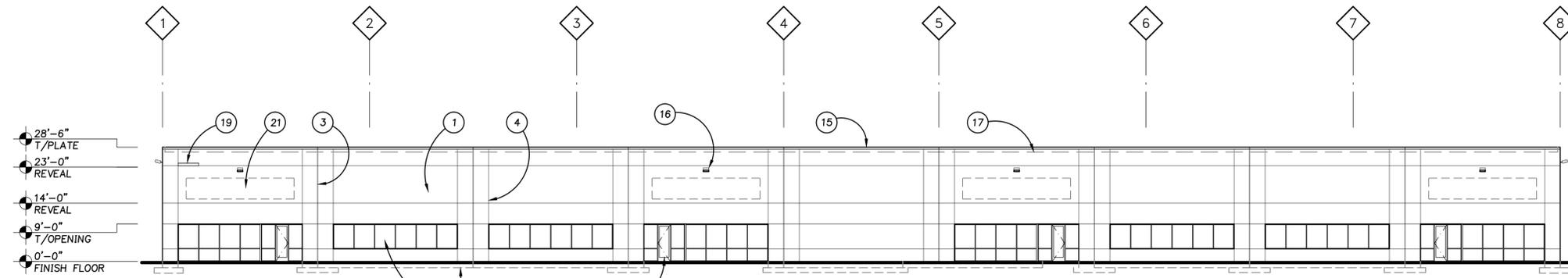
LEGEND

	CONCRETE TILT WALL
	FUTURE OPENING
	DOCK-HIGH O.H. DOOR
	DRIVE-IN O.H. DOOR
	DOWN SPOUT
	CONCRETE TILT PANEL NUMBER
	2'-0" X 6'-0" BIKE PARKING AREA
	RACOR PIW-1R WALL MOUNTED BIKE RACK

KEYNOTES

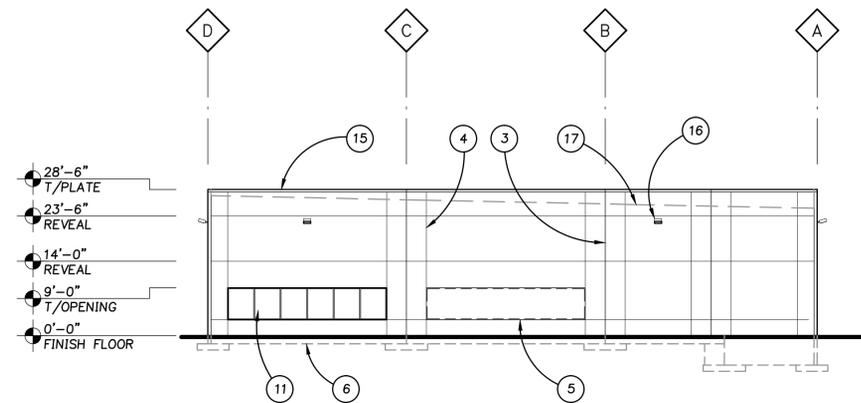
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- STEEL COLUMN
- DOWN SPOUT
- FULL HEIGHT METAL STUD WALL
- ROOF ACCESS LADDER
- MEZZANINE ACCESS LADDER
- RETAINING WALL, SEE A8.4
- GAS METER LOCATION
- EXTERIOR BICYCLE PARKING AREA 2'X6' SEE DETAIL 2/A2.1.
- INTERIOR BICYCLE PARKING 24'-0" CLEAR TO BOTTOM OF STRUCTURE

REVISION	REVISIONS DELTA THIS SHEET	REVISION DELTA CLOSING DATE



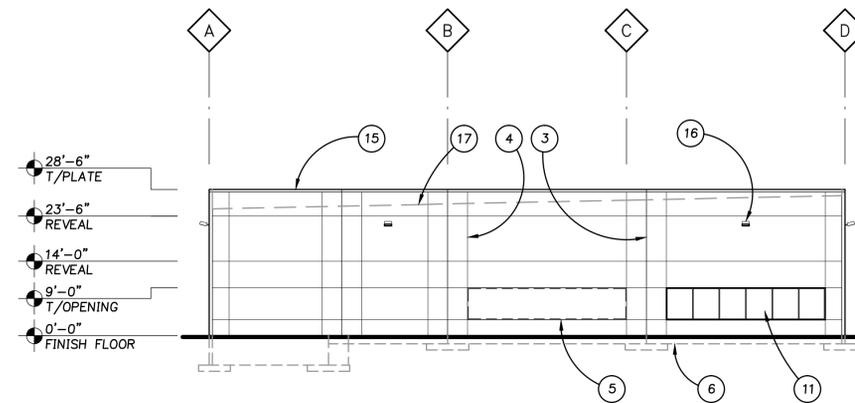
SOUTH ELEVATION - BUILDING 10

1/16"=1'-0"



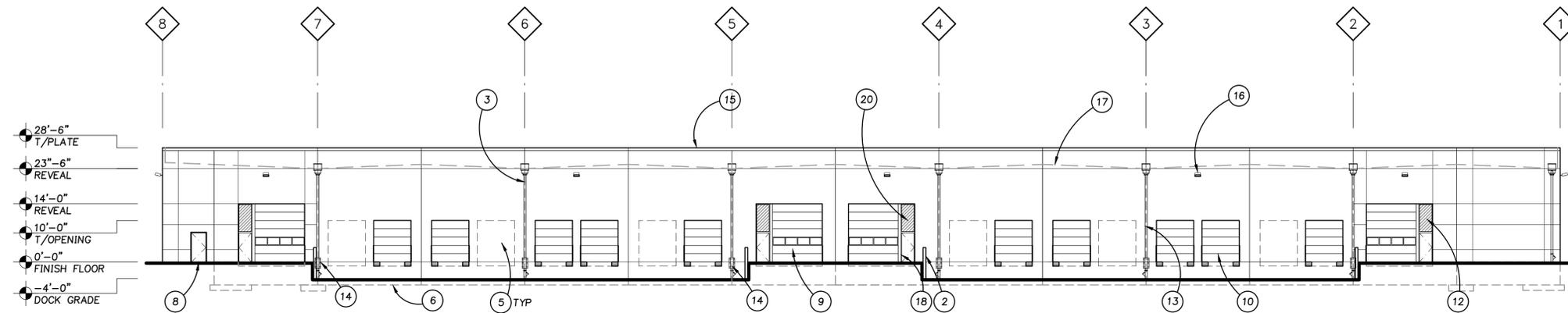
EAST ELEVATION - BUILDING 10

1/16"=1'-0"



WEST ELEVATION - BUILDING 10

1/16"=1'-0"



NORTH ELEVATION - BUILDING 10

1/16"=1'-0"

GENERAL NOTES

- A. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- B. SEE STRUCTURAL DRAWINGS FOR PANEL THICKNESS

KEYNOTES

- | | |
|---|---|
| <ol style="list-style-type: none"> 1. PAINTED CONCRETE TILT PANEL 2. 42" TALL CONCRETE TILT RETAINING WALL 3. CONCRETE TILT PANEL JOINT 4. CONCRETE TILT PANEL REVEAL 5. FUTURE OPENING 6. PANEL BELOW GRADE 7. STOREFRONT ENTRY DOOR 8. HOLLOW METAL DOOR 9. ON GRADE OVERHEAD DOOR 10. DOCK HIGH OVERHEAD DOOR 11. STOREFRONT WINDOW SYSTEM 12. TRANSOM WINDOW ABOVE DOOR 13. SCUPPER & DOWNSPOUT 14. DOWNSPOUT GUARD & CLEAN OUT | <ol style="list-style-type: none"> 15. CAP FLASHING 16. YARD LIGHT 17. ROOF BEYOND 18. HSS COLUMN AT OVERHEAD DOORS 19. BUILDING ADDRESS, 8.5" HIGH NUMBERS, CLEAR ANODIZED FINISH, 20950 SW 115TH AVE 20. PROVIDE RELIEF AIR LOUVER IN FUTURE TRANSOM WINDOW OPENING, SEE SPECIFICATIONS. PROVIDE TRANSOM WINDOW TO OWNER FOR FUTURE INSTALLATION. 21. APPROXIMATE TENANT SIGNAGE LOCATION. |
|---|---|



SOUTH ELEVATION
1/32" = 1'-0"



EAST ELEVATION
1/32" = 1'-0"



WEST ELEVATION
1/32" = 1'-0"



NORTH ELEVATION
1/32" = 1'-0"



COLOR 1
Miller Paint
"Goat x 2"



COLOR 2
Miller Paint
"Goat / Factory"

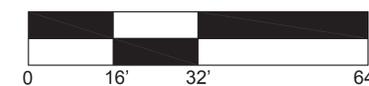


Glass
PPG Solarcool
Azuria



JOB #2140559.07
JANUARY 18TH, 2016

KOCH CORPORATE CENTER
BUILDING 10

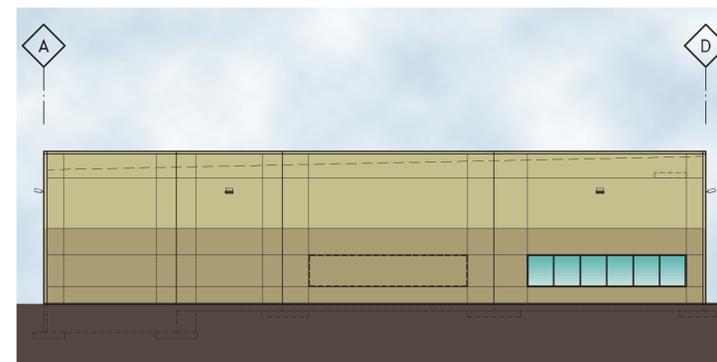




SOUTH ELEVATION
1/32" = 1'-0"



EAST ELEVATION
1/32" = 1'-0"



WEST ELEVATION
1/32" = 1'-0"

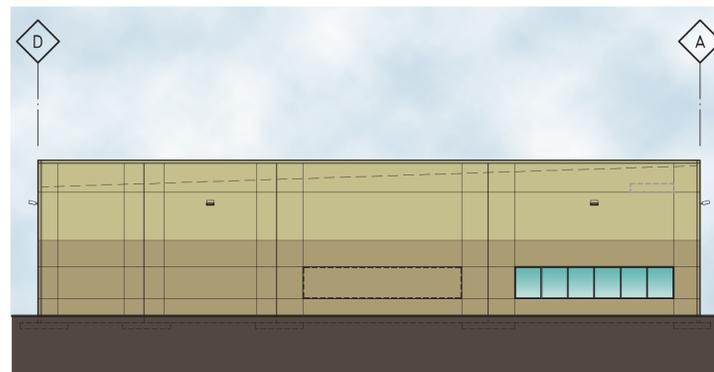


NORTH ELEVATION
1/32" = 1'-0"

- 
 COLOR 1
Miller Paint
"Goat x 2"
- 
 COLOR 2
Miller Paint
"Goat / Factory"
- 
 Glass
PPG Solarcool
Azuria



NORTH ELEVATION
 1/32" = 1'-0"



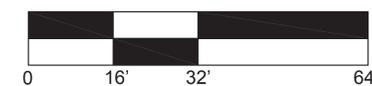
EAST ELEVATION
 1/32" = 1'-0"

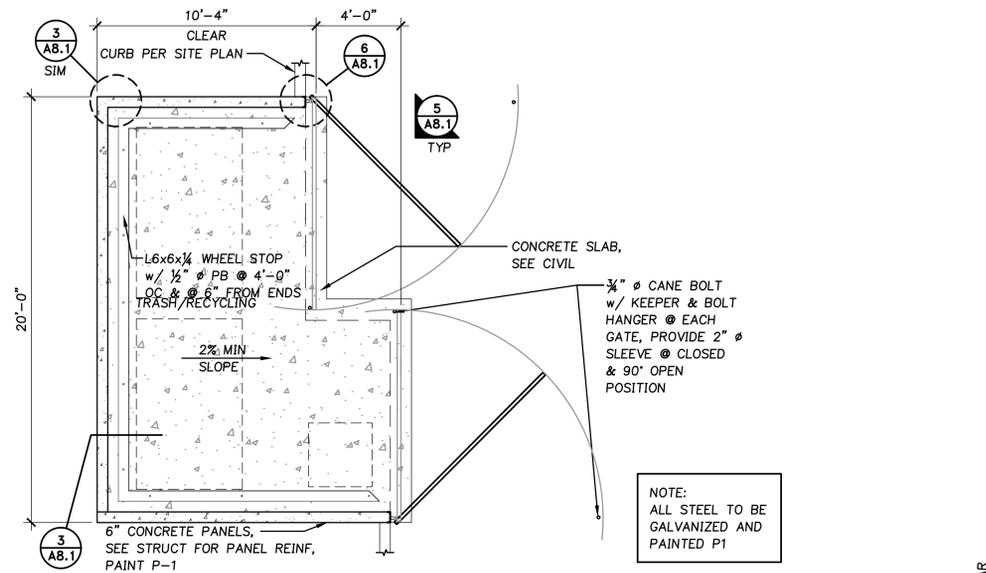


WEST ELEVATION
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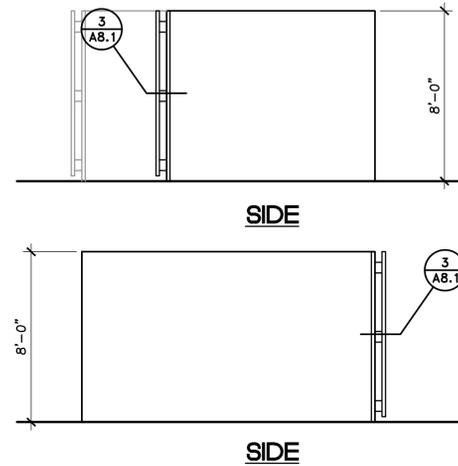
SOUTH ELEVATION
 1/32" = 1'-0"





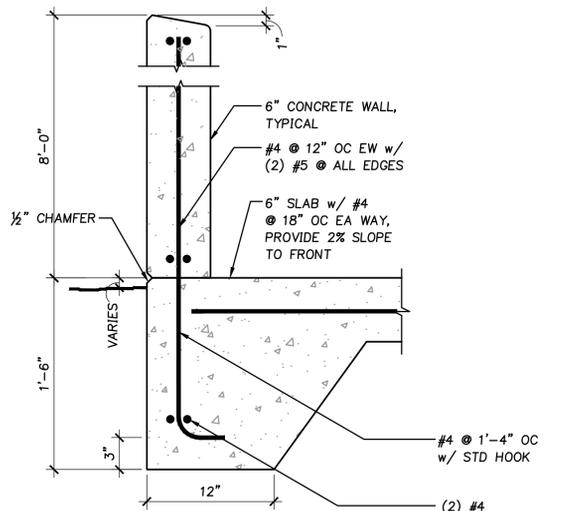
1 TRASH ENCLOSURE
A8.1

1/4"=1'-0"
TRASH1 AR



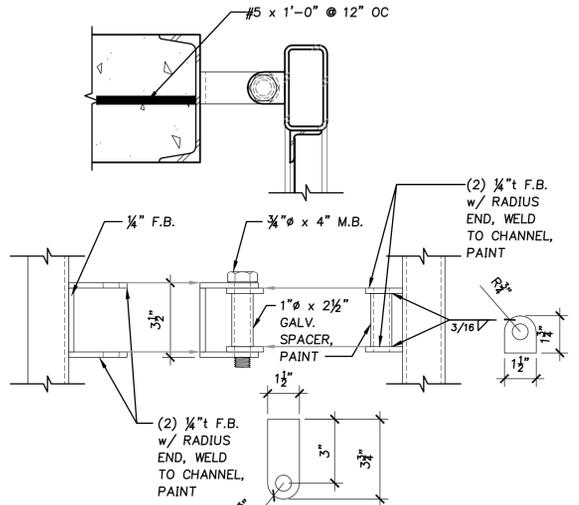
2 TRASH ENCLOSURE - ELEVATIONS
A8.1

1/4"=1'-0"
TRASH-ELEV AR



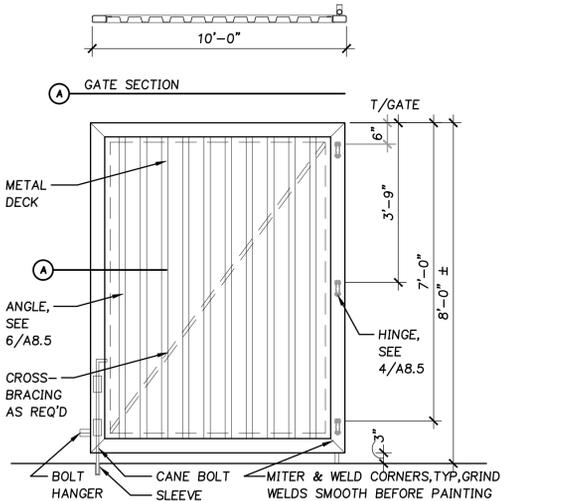
3 CONCRETE WALL
A8.1

1 1/2"=1'-0"
TRASH2



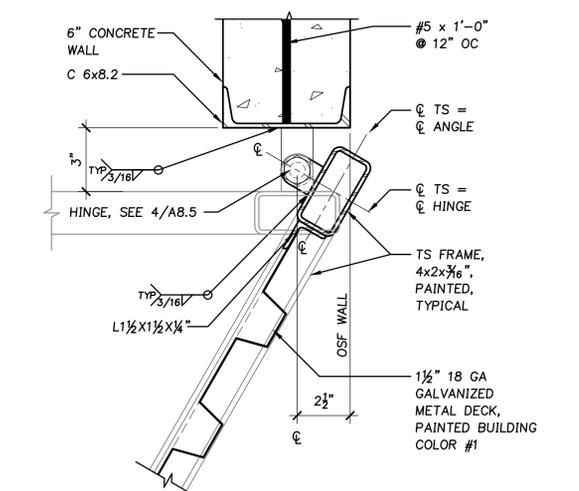
4 HINGE DETAIL
A8.1

3"=1'-0"
TRASH4



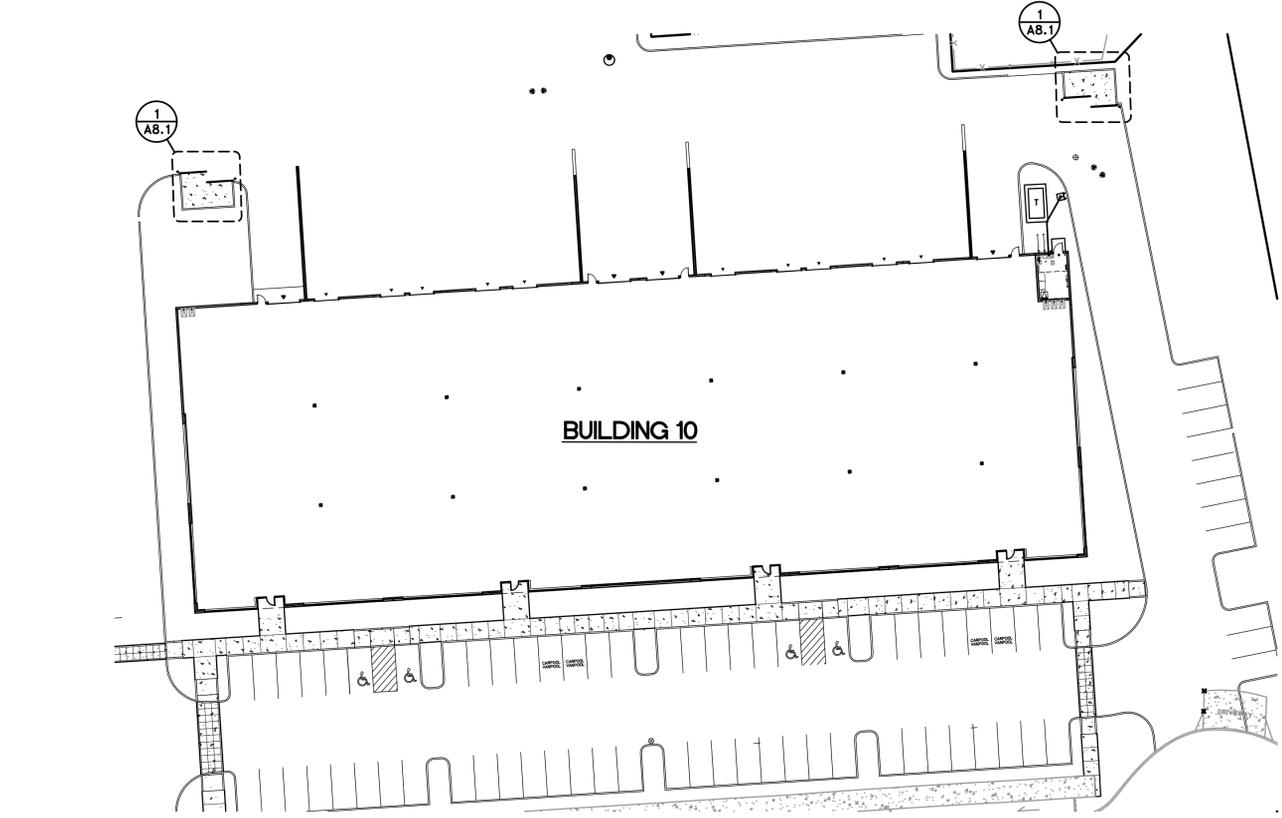
5 TYPICAL GATE ELEVATION
A8.1

1/2"=1'-0"
TRASH5



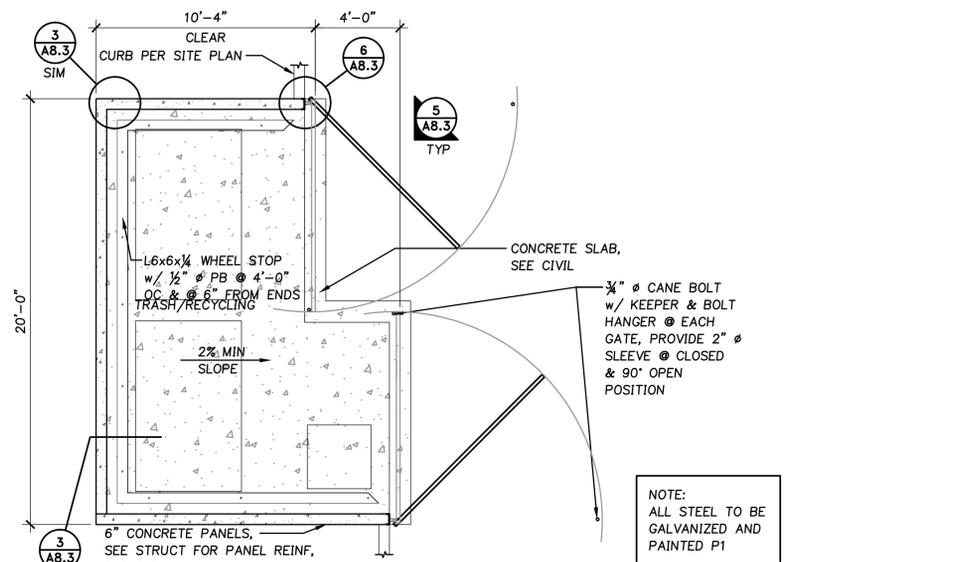
6 GATE DETAIL
A8.1

3"=1'-0"
TRASH3

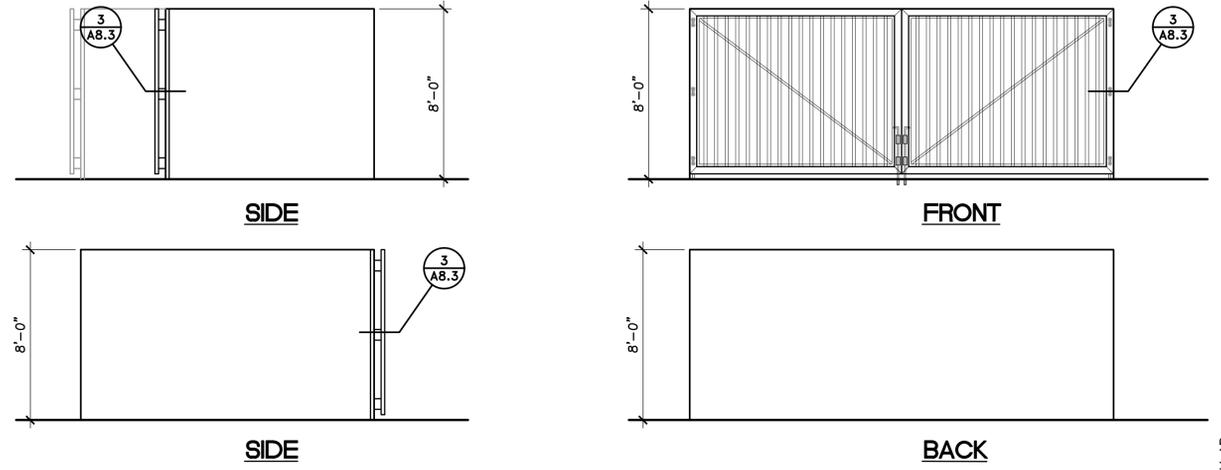


7 SITE PLAN
A8.1

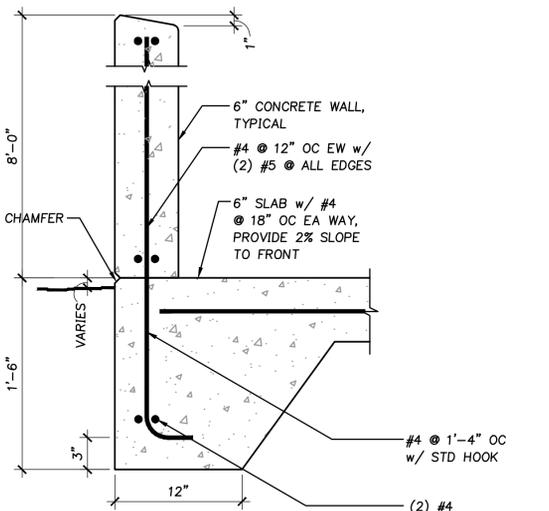
SEE CIVIL PLAN FOR MORE INFORMATION



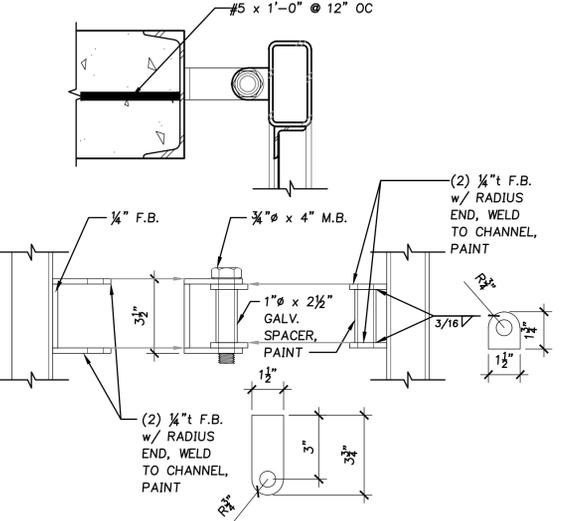
1 TRASH ENCLOSURE
A8.3



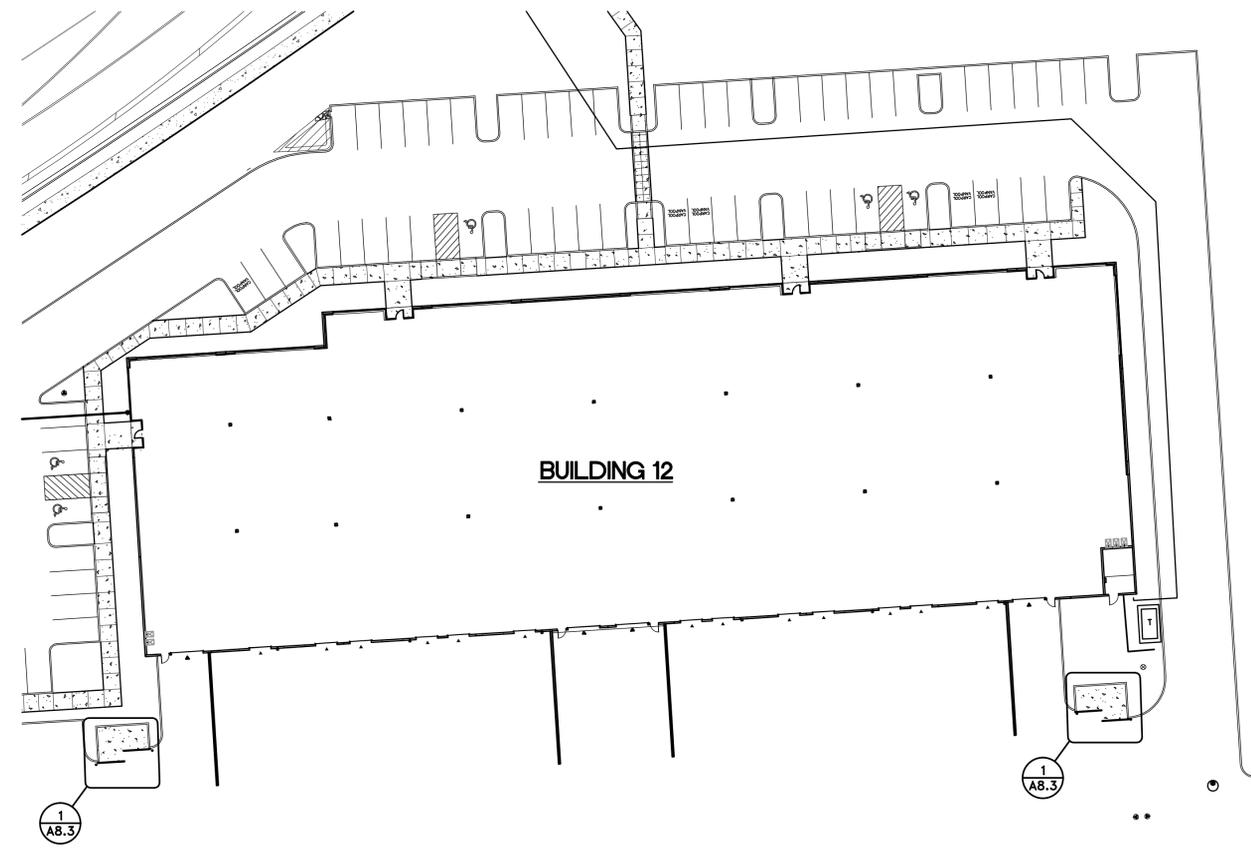
2 TRASH ENCLOSURE - ELEVATIONS
A8.3



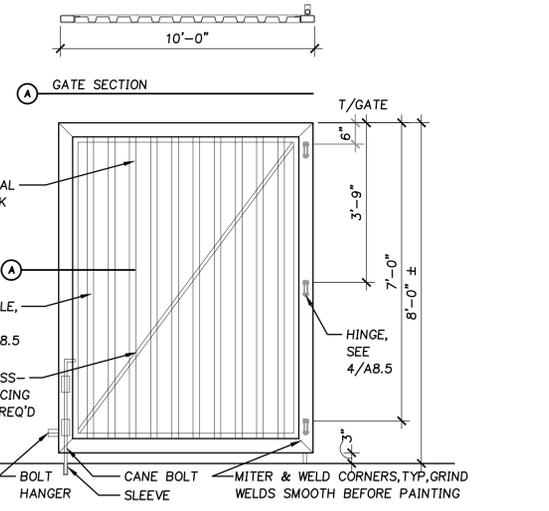
3 CONCRETE WALL
A8.3 AT TURNDOWN SLAB



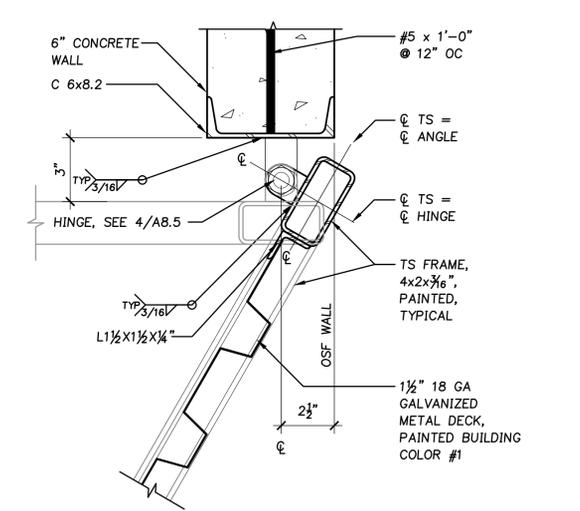
4 HINGE DETAIL
A8.3 (3) PER GATE, TYPICAL



7 SITE PLAN
A8.3 NTS



5 TYPICAL GATE ELEVATION
A8.3 AT TRASH ENCLOSURE



6 GATE DETAIL
A8.3 AT TRASH ENCLOSURE

SEE CIVIL PLAN FOR MORE INFORMATION