



City of Tualatin

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"NECESSARY PARTIES"
MARKED BELOW

NOTICE OF APPLICATION SUBMITTAL

- ☐ ANNEXATION
 ☐ CONDITIONAL USE PERMIT
 ☐ PLAN TEXT AMENDMENT
☒ ARCHITECTURAL REVIEW
 ☐ PLAN MAP AMENDMENT
 ☐ OTHER:

CASE/FILE: AR-15-25

(Community Development Dept.: Planning Division)

PROPOSAL	To construct a new restaurant at Nyberg Rivers, Cracker Barrel
-----------------	--

PROPERTY <input type="checkbox"/> n/a	Name of Application	CRACKER BARREL AT NYBERG RIVERS		
	Street Address	7665 SW Nyberg Street		
	Tax Map and Lot No(s).	2S1 24AD 3100		
	Planning District	Central Commercial (CC)	Overlays <input checked="" type="checkbox"/>	NRPO <input type="checkbox"/> Flood Plain <input type="checkbox"/>
	Previous Applications	MUP-13-01, CUP-13-04, AR-13-07	Additional Applications: AR-14-15 (next door)	
				CIO N/A

DATES	Receipt of application	10/6/15	Deemed Complete	1/15/2016	CONTACT	Name: Clare Fuchs
	Notice of application submittal			2/3/16		Title: Senior Planner
	Project Status / Development Review meeting			2/25/16		E-mail: cfuchs@ci.tualatin.or.us
	Comments due for staff report			2/18/16		Phone: 503-691-3027
	Public meeting: <input type="checkbox"/> ARB <input type="checkbox"/> TPC <input checked="" type="checkbox"/> n/a					Notes: Central Urban Renewal District Overlay, 73.040-056, 73.095, 73.100, 73.240-290, 73.340, 73.360-410, 53.020, 53.080-150
	City Council (CC) <input checked="" type="checkbox"/> n/a					

City Staff

- ☒ City Manager
☒ Building Official
☒ Chief of Police
☒ City Attorney
☒ City Engineer
☒ Community Dev. Director
☒ Community Services Director
☒ Economic Dev. liaison
☒ Engineering Associate*
☒ Finance Director
☒ GIS technician(s)
☒ IS Manager
☒ Operations Director*
☒ Parks and Recreation Coordinator
☒ Planning Manager
☒ Street/Sewer Supervisor
☒ Water Supervisor

Neighboring Cities

- ☒ Durham
☐ King City Planning Commission
☐ Lake Oswego
☐ Rivergrove PC
☐ Sherwood Planning Dept.
☐ Tigard Community Dev. Dept.
☐ Wilsonville Planning Div.

*Paper Copies

Counties

- ☐ Clackamas County Dept. of Transportation and Dev.
☒ Washington County Dept. of Land Use and Transportation (AR's)
☐ Washington County LRP (Annexations)

Regional Government

- ☒ Metro

School Districts

- ☐ Lake Oswego School Dist. 7J
☐ Sherwood SD 88J
☒ Tigard-Tualatin SD 23J (TTSD)
☐ West Linn-Wilsonville SD 3J

State Agencies

- ☐ Oregon Dept. of Aviation
☐ Oregon Dept. of Land Conservation and Development (DLCD) (via proprietary notice)
☐ Oregon Dept. of State Lands: Wetlands Program
☒ Oregon Dept. of Transportation (ODOT) Region 1
☐ ODOT Maintenance Dist. 2A

- ☐ ODOT Rail Div.

Utilities

- ☒ Republic Services
☒ Clean Water Services (CWS)
☒ Comcast [cable]*
☒ Frontier Communications [phone]
☒ Northwest Natural [gas]
☒ Portland General Electric (PGE)
☒ TriMet
☒ Tualatin Valley Fire & Rescue (TVF&R)
☒ United States Postal Service (USPS) (Washington; 18850 SW Teton Ave)
☐ USPS (Clackamas)
☒ Washington County Consolidated Communications Agency (WCCCA)

Additional Parties

- ☒ Tualatin Citizen Involvement Organization (CIO)
☒ 1.032: Burden of Proof

- ☒ 31.071 Architectural Review Procedure

- ☒ 31.074 Architectural Review Application Review Process
- ☐ 31.077 Quasi-Judicial Evidentiary Hearing Procedures
- ☐ Metro Code 3.09.045 Annexation Review Criteria
- ☐ 32.030 Criteria for Review of Conditional Uses
- ☐ 33.020 Conditions for Granting a Variance that is not a Sign or a Wireless Communication Facility
- ☐ 33.022 Criteria for Granting a Sign Variance
- ☐ 33.024 Criteria for Granting a Minor Variance
- ☐ 33.025 Criteria for Granting a Variance
- ☐ 34.200 Tree Cutting on Private Property without Architectural Review, Subdivision or Partition Approval, or Tree Removal Permit Prohibited
- ☒ 34.210 Application for Architectural Review, Subdivision or Partition Review, or Permit
- ☐ 34.230 Criteria (tree removal)
- ☐ 35.060 Conditions for Granting Reinstatement of Nonconforming Use
- ☐ 36.160 Subdivision Plan Approval
- ☐ 36.230 Review Process (partitioning)
- ☐ 36.330 Review Process (property line adjustment)
- ☐ 37.030 Criteria for Review (IMP)
- ☐ 40.030 Conditional Uses Permitted (RL)
- ☐ 40.060 Lot Size for Conditional Uses (RL)
- ☐ 40.080 Setback Requirements for Conditional Uses (RL)
- ☐ 41.030 Conditional Uses Permitted (RML)
- ☐ 41.050 Lot Size for Conditional Uses (RML)
- ☐ 41.070 Setback Requirements for Conditional Uses (RML)
- ☐ 42.030 Conditional Uses Permitted (RMH)
- ☐ 42.050 Lot Size for Conditional Uses (RMH)
- ☐ 42.070 Setback Requirements for Conditional Uses (RMH)
- ☐ 43.030 Conditional Uses Permitted (RH)
- ☐ 43.060 Lot Size for Conditional Uses (RH)
- ☐ 43.090 Setback Requirements for Conditional Uses (RH)
- ☐ 44.030 Conditional Uses Permitted (RH-HR)
- ☐ 44.050 Lot Size for Conditional Uses (RH-HR)
- ☐ 44.070 Setback Requirements for Conditional Uses (RH-HR)
- ☐ 49.030 Conditional Uses (IN)
- ☐ 49.040 Lot Size for Permitted and Conditional Uses (IN)
- ☐ 49.060 Setback Requirements for Conditional Uses (IN)
- ☐ 50.020 Permitted Uses (CO)
- ☐ 50.030 Central Urban Renewal Plan – Additional Permitted Uses and Conditional Uses (CO)
- ☐ 50.040 Conditional Uses (CO)
- ☐ 52.030 Conditional Uses (CR)
- ☐ 53.050 Conditional Uses (CC)
- ☐ 53.055 Central Urban Renewal Area – Conditional Uses (CC)
- ☐ 54.030 Conditional Uses (CG)
- ☐ 56.030 Conditional Uses (MC)
- ☐ 56.045 Lot Size for Conditional Uses (MC)
- ☐ 57.030 Conditional Uses (MUCOD)
- ☐ 60.040 Conditional Uses (ML)
- ☐ 60.041 Restrictions on Conditional Uses (ML)
- ☐ 61.030 Conditional Uses (MG)
- ☐ 61.031 Restrictions on Conditional Uses (MG)
- ☐ 62.030 Conditional Uses (MP)
- ☐ 62.031 Restrictions on Conditional Uses (MP)
- ☐ 64.030 Conditional Uses (MBP)
- ☐ 64.050 Lot Size for Permitted and Conditional Uses (MBP)
- ☐ 64.065 Setback Requirements for Conditional Uses (MBP)
- ☐ 68.030 Criteria for Designation of a Landmark
- ☐ 68.060 Demolition Criteria
- ☐ 68.070 Relocation Criteria
- ☐ 68.100 Alteration and New Construction Criteria
- ☐ 68.110 Alteration and New Construction Approval Process
- ☐ 73.130 Standards
- ☒ 73.160 Standards
- ☐ 73.190 Standards – Single-Family and Multi-Family Uses
- ☒ 73.220 Standards
- ☒ 73.227 Standards
- ☒ 73.230 Landscaping Standards
- ☐ 73.300 Landscape Standards – Multi-Family Uses
- ☒ 73.310 Landscape Standards – Commercial, Industrial, Public and Semi-Public Uses
- ☒ 73.320 Off-Street Parking Lot Landscaping Standards
- ☐ 73.470 Standards
- ☐ 73.500 Standards



CRACKER BARREL

**Nyberg Rivers
Tualatin, Oregon**

An Application For:

Architectural Review

Submitted: October 6, 2015

Resubmitted January 15, 2016

Applicant:

Cracker Barrel

Represented by LD Reeves Associates

1889 Manzanita Avenue

Punta Gorda, Florida 33950

(941) 575-3555

Contact: Loretta Reeves

Prepared by:

DOWL

720 SW Washington Street, Suite 750

Portland, Oregon 97205

Phone: (971) 280-8641

Contact: Read Stapleton





January 15, 2016

Clare Fuchs, AICP
City of Tualatin
Community Development, Planning Office
18880 SW Martinazzi Avenue
Tualatin, OR 97062

RE: Cracker Barrel at Nyberg Rivers Completeness Response for Architectural Review (AR-15-0025)

Dear Ms. Fuchs:

Please accept the attached materials in response to the incomplete letter dated November 4, 2015, for the Cracker Barrel at Nyberg Rivers Architectural Review. Completeness issues are listed below followed by responses identifying how the issues have been addressed and where new information can be found in the application package.

COMPLETENESS ISSUES

- 1. Please provide a letter from Cracker Barrel stating LD Reeves is allowed to sign for them as the applicant in this land use application.**

Response: A letter from Cracker Barrel authorizing Loretta Reeves and Steve Hale of L.D. Reeves and Associates, Inc. to act and sign on behalf of Cracker Barrel is provided in Exhibit A.

- 2. Please provide color elevations to scale with a material board or sheet that gives specifications for materials, colors, and textures per the checklist.**

Response: Color elevations are provided in the plan set on sheets 001, 002 and D-1 in Exhibit H. A physical materials board providing examples of materials, colors and textures is included with the resubmittal.

- 3. Please provide the 11 x 17 plans to scale per the checklist.**

Response: Scaled 11 x 17 inch plans are included in Exhibit H.

- 4. Please respond to Section 73.390 on the plans and in the narrative.**

Response: Tualatin Development Code Section 73.390 (Off-Street Loading Facilities) is addressed in the narrative on pages 40-43. The proposed loading berth is located on the north side of the building and is shown on Sheet C2.0 in Exhibit H.

- 5. Please provide an exhibit showing the CC and CO boundary as a layer on top of the proposed site plan. Staff is unsure whether all the proposed work is in the CC zoning district.**

Response: The proposed project is entirely within the central commercial (CC) planning district. Exhibit I shows the site in relation to CC and commercial office (CO) planning district boundaries.

APPROVABILITY ITEMS

6. The landscaping plan indicates some vegetation will be installed, relocated, or replaced, but are shown in a "faded out gray" line type that is reserved for existing plans on the rest of the plans. Please rectify.

Response: As shown on Sheet L1.0 in Exhibit H, the landscape plan uses a dark line type to indicate vegetation to be installed, relocated, or replaced. Existing plantings are shown in a gray line for contrast from vegetation to be installed, relocated, or replaced.

7. The landscaping plan says that vegetation on the ODOT area will be protected, but that does not match with what is shown in the same area on the tree preservation plans, please explain and/or rectify. One Condition S tree is shown bolded, but the other Condition S trees are not, please explain. (Condition S is from AR-13-07 from the Nyberg Rivers Shopping Center approval)

("S. All trees on the former Nyberg House site (tax lot 2502), adjacent to Building C (tax lot 1602) and in the vicinity of the proposed Building N-100 shall be preserved and retained as reasonably feasible. Where tree preservation is not reasonably feasible, 3" caliper or 10-12 foot replacement tree plantings of a similar character shall be planted in the vicinity of where trees were removed on tax lot 2502. (Goal 11)")

Response: Sheets C3.0, C3.1 and L1.0 in Exhibit H identify landscaping in the ODOT right-of-way for reference only. Plants in this area are not part of this project and are separated from the Cracker Barrel site by an existing 6' chain link fence. The fence and landscaping within the right-of-way will be protected by the construction contractor and will remain undisturbed through the duration of building construction.

Three replacement trees that will replace Condition 'S' trees are identified on L1.0 of Exhibit H. All replacement trees are the same line weight to address this previous concern.

With the changes noted above and included in the revised application package, we believe that the City has all materials and documentation necessary to complete its review of the application. If you have questions regarding the submittal materials or would like to discuss any items in further detail, please do not hesitate to contact me at 971-280-8641.

Sincerely,



Read Stapleton, AICP
Planning Group Manager




City of Tualatin

www.tualatinoregon.gov

APPLICATION FOR ARCHITECTURAL REVIEW

Direct Communication to:			
Name: Read Stapleton, AICP		Title: Planning Group Manager	
Company Name: DOWL			
Current address: 720 SW Washington Street, Suite 750			
City: Portland		State: Oregon	ZIP Code: 97205
Phone: 971-280-8641	Fax: 800-865-9847	Email: rstapleton@dowl.com	
Applicant			
Name: Loretta Reeves		Company Name: LD Reeves and Associates, Inc.	
Address: 1889 Manzana Avenue			
City: Punta Gorda		State: Florida	ZIP Code: 33950
Phone: 865-300-6877	Fax:	Email: lorettar@ldreeves.com	
Applicant's Signature: See attached letter of authorization.		Date:	
Property Owner			
Name: Tuala Northwest LLC			
Address: 5638 Dogwood Drive			
City: Lake Oswego		State: Oregon	ZIP Code: 97035
Phone:	Fax:	Email:	
Property Owner's Signature: See attached letter of authorization.		Date	
(Note: Letter of authorization is required if not signed by owner)			
Architect			
Name: Design and Engineering, Inc.			
Address: 1645 Westgate Circle			
City: Brentwood		State: Tennessee	ZIP Code: 97027
Phone: 615-370-1779	Fax: 615-419-2600	Email: dallegranti@dandinc.us	
Landscape Architect			
Name: DOWL			
Address: 720 SW Washington Street, Suite 750			
City: Portland		State: Oregon	ZIP Code: 97205
Phone: 971-280-8641	Fax: 800-865-9847	Email: pgaynor@dowl.com	
Engineer			
Name: DOWL			
Address: 720 SW Washington Street, Suite 750			
City: Portland		State: Oregon	ZIP Code: 97205
Phone: 971-280-8641	Fax: 800-865-9847	Email: rhalvorson@dowl.com	
Project			
Project Title: Cracker Barrel - Tualatin			
Address: 7665 SW Nyberg Street			
City: Tualatin		State: Oregon	ZIP Code: 97062
Brief Project Description: Restaurant pad within Nyberg Rivers development			
Proposed Use: Restaurant			

Value of Improvements:

<p>AS THE PERSON RESPONSIBLE FOR THIS APPLICATION, I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION ABOVE, ON THE FACT SHEET, AND THE SURROUNDING PERTY OWNER MAILING LIST IS CORRECT. I AGREE TO COMPLY WITH ALL APPLICABLE CITY AND COUNTY ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND LAND USE.</p>	
Applicant's Signature: 	Date: 9-29-15

Office Use		
Case No:	Date Received:	Received by:
Fee: Complete Review :	Receipt No:	
Application Complete as of:	ARB hearing date (if applicable):	
Posting Verification:	6 copies of drawings (folded)	
1 reproducible 8 1/2" X 11" vicinity map	1 reproducible 8 1/2" X 11" site, grading, LS, Public Facilities plan	
Neighborhood/Developer meeting materials		

July 22, 2015

Re: Acting as Agent Letter of Authorization

To Whom It May Concern:

CBOCS West, Inc., intends to build a Cracker Barrel Restaurant in the Nyberg Rivers Development located at 7665 SW Nyberg Street in Tualatin, Oregon.

As property owner, I hereby authorize L.D. Reeves & Associates, Inc. and CARDNO to apply for and obtain any agency permits required for the development of this restaurant.

Sincerely,


Julie A. Gravo
Senior Vice President

STATE OF California
COUNTY OF Los Angeles

On this 22 day of July, 2015, before me,

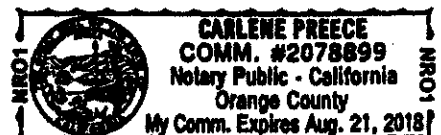
Carlene Preece, personally appeared, Julie A. Gravo,
(Notary)

personally known to me to be the person whose name is subscribed within the instrument and acknowledged to me that he/she executed the same in his/her authorized capacity, and that by his/her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.


(Notary Public Signature)

(SEAL)





January 11, 2016

Re: Architectural Review
Cracker Barrel
Nyberg Rives
Tualatin, OR

TO WHOM IT MAY CONCERN:

This letter is to confirm that Cracker Barrel Old Country Store, Inc. intends secure approvals to construct a Cracker Barrel restaurant in the Nyberg Rivers development. As such, we have hired L.D. Reeves and Associates, Inc., to perform development services and have hired DOWL, Inc. to perform the engineering components for this project.

This letter confirms that **Loretta Reeves and Steve Hale of L.D. Reeves and Associates, Inc., and Ben Williams and Ryan Halvorson of DOWL, Inc.** are authorized to act on our behalf and to sign as "applicant" on applications and required support documents, and to attend and represent Cracker Barrel at any and all required meetings necessary for permitting and approvals to complete this project.

Should you desire further confirmation of this authorization, please contact me at 615-235-4362.

Sincerely,

A handwritten signature in blue ink that reads "Danny Sanders". The signature is written in a cursive, flowing style.

Danny Sanders
Construction Manager

CRACKER BARREL

**Nyberg Rivers
Tualatin, Oregon**

An Application For:

Architectural Review

Submitted October 12, 2015

Resubmitted January 15, 2015

Applicant:

Cracker Barrel

Represented by LD Reeves Associates

1889 Manzana Avenue

Punta Gorda, Florida 33950

(941) 575-3555

Contact: Loretta Reeves

Prepared by:

DOWL

720 SW Washington Street

Suite 750

Portland, Oregon 97205

Phone: (971) 280-8641

Contact: Read Stapleton, AICP

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EXHIBITS

Exhibit A	AR Application with Authorization Letters
Exhibit B	Narrative
Exhibit C	Tax Map/Title Report
Exhibit D	Pre-Application/Neighborhood Meeting Materials
Exhibit E	Geotechnical Report
Exhibit F	CWS SPL
Exhibit G	Franchise Hauler Plan/Letter
Exhibit H	AR Plan Set (Reduced)
Exhibit I	Zoning Map

INTRODUCTION

GENERAL INFORMATION

Applicant: Cracker Barrel
Represented by LD Reeves Associates
1889 Manzanita Avenue
Punta Gorda, Florida 33950
(941) 575-3555
Contact: Loretta Reeves, Development Coordinator
lorettar@ldreeves.com

Property Owner: Tuala Northwest LLC
5638 Dogwood Drive
Lake Oswego, Oregon 97035

Applicant's Representative: DOWL
720 SW Washington Street
Suite 750
Portland, Oregon 97205
(971) 280-8641
Contact: Read Stapleton, AICP
rstapleton@dowl.com

Tax Lot Information: 2S124A003100

Location: 7665 SW Nyberg Street
Tualatin, Oregon 97062

Current Zoning: Central Commercial (CC)

PROJECT SUMMARY

Proposal

The Applicant requests architectural review approval of an approximately 10,112 square foot (SF) restaurant and porch within the recently constructed Nyberg Rivers retail center. The proposed restaurant building pad is located within tax lot 2S124A003100 and will utilize the existing infrastructure and tie into the existing site parking, landscaping, drive aisles and pedestrian connections. The physical address for the restaurant is 7665 SW Nyberg Street. As shown on the Site Plan, Sheet C2.0 in Exhibit H, the existing site square footage is 22.7 acres, while the development area associated with this application is .38 acres, or 16,700 SF. Proposed total site landscaping is 695 SF, or 4 percent of development area.

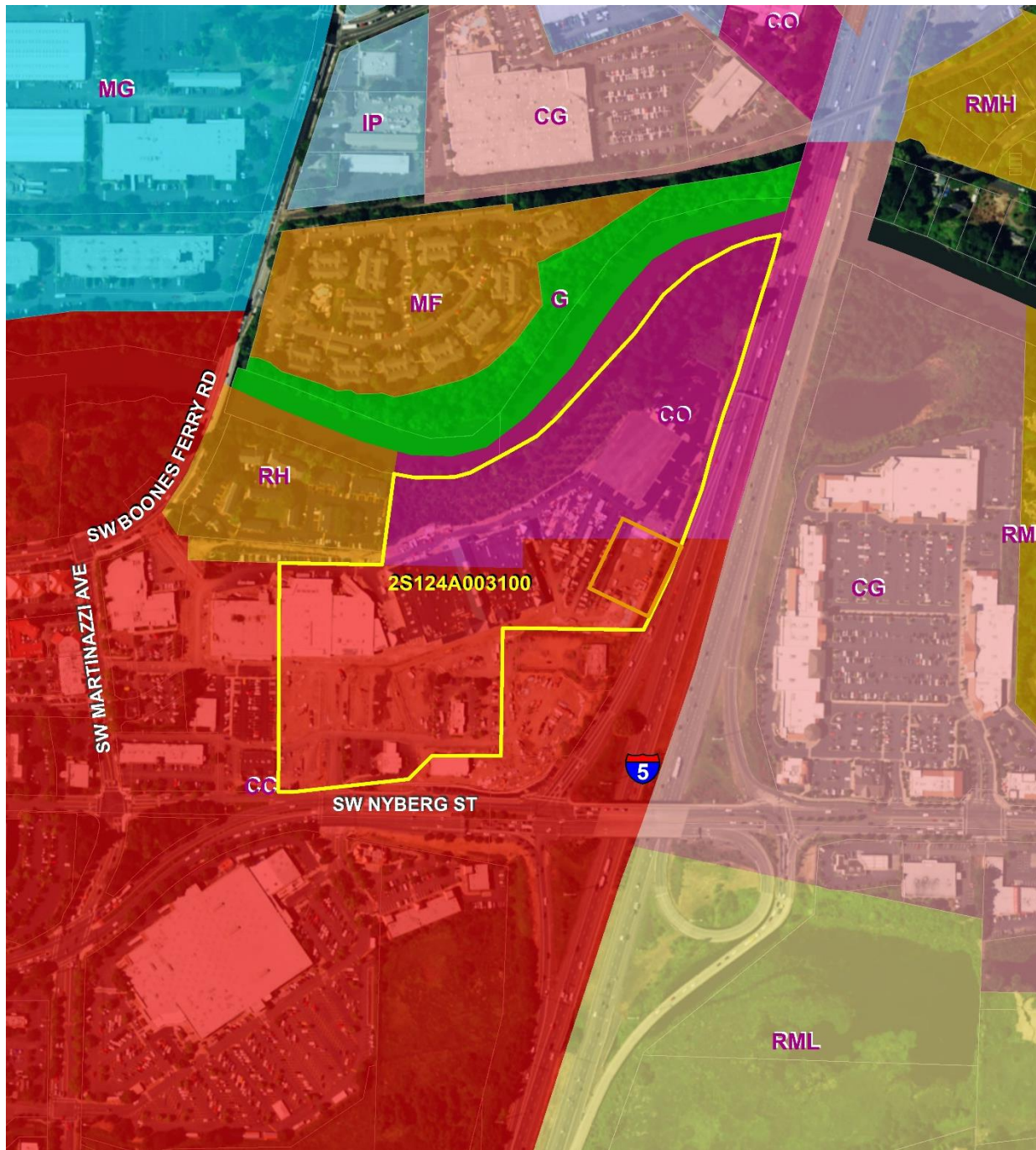
The building will be oriented with the front elevation facing south toward the small parking area and plaza area, which includes a fire pit. As shown on the building elevations provided under Exhibit H, the south elevation shows the primary entrance and porch feature along the entire south elevation. As shown on the Site Plan provided in Exhibit H, Sheet C2.0, sidewalks are shown along portions of all sides of the building and those sidewalks tie into the existing pathways and striped crosswalks located throughout Nyberg Rivers. There are a total of 47 existing parking stalls proposed for this development, comprised of 23 standard stalls, 20 compact stalls, and 4 ADA stalls located south of the building at the main entrance.

Proposed utility connections are shown in the Public Utility Facility Plan on Sheet C5.0 within Exhibit H. The plans include a 2-inch domestic water at the southeast corner of the building, along with a 6-inch fire water and FDC connection in the same location. Sanitary will connect to the building along the northeast corner, where there is a proposed grease interceptor and 4-inch line to serve the building. Aside from the overall Nyberg Rivers storm water system, there is one additional catch basin that will connect to the system. That catch basin is located in the northeast portion of the site, just south of the fire pit.

FIGURE 1: AERIAL WITH TAX LOTS



FIGURE 2: TUALATIN ZONING



TDC CHAPTER 31: GENERAL PROVISIONS

Section 31.020 Classification of Planning District.

In order to carry out the objectives of the Tualatin Community Plan, land within the City is divided into planning districts. The established planning districts shall be designated on the Plan Map, and the planning district designations shall be as follows:

Planning District	Abbreviated Designation
Central Commercial	CC

Response: As shown on the zoning map provided in Figure 2 above, the proposed restaurant is within the CC Planning District. Therefore, this narrative will address all applicable code regulations pertaining to the CC Planning District.

Section 31.063 Neighborhood/ Developer Meetings.

- (1) This section applies to the following types of Land Use applications: Annexations; Architectural Reviews, except Level I (Clear and Objective) Single-family Architectural Review; Conditional Uses; Historic Landmark actions, including designation, removal of designation, demolition, relocation, or alteration or new construction; Industrial Master Plans; Partitions; Plan Map Amendments for a specific property; Plan Text Amendments for a specific property; Subdivisions; Tree Removal Permit; Transitional Use Permit; and Variances, except for variances to existing single family residences.

Response: A neighborhood meeting for this proposal was held on June 25, 2015 from 5:30 to 6:30 p.m. at the Heritage Center located at 8700 SW Seek Drive in Tualatin. Notice to adjacent property owners and the Community Involvement Organizations (CIOs) was sent out on June 10, 2015 and a notice sign was posted on-site to meet the 14 calendar day notice requirements. All neighborhood meeting materials and affidavits of mailing and postings are provided in Exhibit D.

Section 31.064 Land Use Applications.

This section applies to the following types of Land Use applications: Annexations; Architectural Reviews, except Level I (Clear and Objective) Single-family Architectural Review; Conditional Uses; Historic Landmark actions, including designation, removal of designation, demolition, relocation, or alteration or new construction; Industrial Master Plans; Partitions; Plan Map Amendments for a specific property; Plan Text Amendments

for a specific property; Subdivisions; Tree Removal Permit; Transitional Use Permit; and Variances, except for variances to existing single family residences.

- (1) **Mail:** An applicant shall mail notice of a Neighborhood/Developer Meeting and the City shall mail notice of application submittal as follows:

Response: As this project involves an Architectural Review application, the requirements for mailing and sign posting for development applications apply. Notices to adjacent property owners and the CIOs were sent out on June 10, 2015 and a notice sign was posted on-site that same day to meet the 14 calendar day notice requirements. All neighborhood meeting material and affidavits of mailing and postings are provided in Exhibit D.

- (2) **Sign Posting:** The applicant shall as follows both provide and post on the subject property a sign that conforms to the standard design established by the City for signs notifying the public of land use actions:

- (a) **Minimum Design Requirements:** The sign shall be waterproof, and the face size shall be eighteen (18) by twenty-four (24) inches (18 x 24) with text being at least two (2) inches tall.
- (b) **On-site Placement:** Prior to land use application submittal, the applicant shall place a sign along the public street frontage of the subject property or, if there is no public street frontage, along the public right-of-way (ROW) of the street nearest the subject property. A subject property having more than one public street frontage shall have at least one posted sign per frontage with each frontage having one sign.

For a subject property that has a single frontage that is along a dead-end street, the applicant shall post an additional sign along the public ROW of the nearest through street. The applicant shall not place the sign within public ROW pursuant to TDC 38.100(1); however, for a subject property that has no public street frontage or that has a single frontage that is along a dead-end street, the applicant may place the sign within public ROW of the nearest street.

- (c) **Proof of Posting:** The applicant shall submit as part of the land use application submittal an affidavit of posting to the Community Development Director or when applicable the City Engineer.
- (d) **Removal:** If the sign disappears prior to the final decision date of the subject land use application, the applicant shall replace it within forty-eight (48) hours. The applicant shall remove the sign no later than fourteen (14) days after the City makes a final decision on the subject land use application.

Response: As this project involves an Architectural Review application, the requirements for mailing and sign posting for development applications apply. Notices to adjacent property owners and the CIOs were sent out on June 10, 2015 and a notice sign was posted on-site that same day to meet the 14 calendar day notice requirements. All neighborhood meeting material and affidavits of mailing and postings are provided in Exhibit D, including photos of the posted signs.

TDC CHAPTER 53: CENTRAL COMMERCIAL PLANNING DISTRICT

Section 53.020 Permitted Uses.

No building, structure or land shall be used except for the following uses when conducted wholly within a completely enclosed building, except for utility facilities and wireless communication facilities, and provided retail uses on land designated Employment Area, Corridor or Industrial Area on Map 9-4 shall not be greater than 60,000 square feet of gross floor area per building or business.

(41) Restaurant, without drive-in service

Response: According to TDC 53.020(41), Permitted Uses within the Central Commercial Planning District, a restaurant without drive-in service is permitted outright. Therefore, the proposed restaurant is a permitted use.

Section 53.060 Lot Size.

Except for lots for public utility facilities, natural gas pumping stations and wireless communication facilities which shall be established through the Subdivision, Partition or Lot Line Adjustment process, the following requirements shall apply:

- (1) The minimum lot size shall be 10,000 square feet.**
- (2) The minimum average lot width shall be 75 feet.**
- (3) The minimum lot width at the street shall be 40 feet.**
- (4) For flag lots, the minimum lot width at the street shall be sufficient to comply with at least the minimum access requirements contained in TDC 73.400(8) to (12).**
- (5) The minimum lot width at the street shall be 40 feet on a cul-de-sac street. [Ord. 866-92, §16, 4/27/92; Ord. 965-96, §54, 12/9/96]**

Response: As shown on the Site Plan (Sheet C2.0 in Exhibit H), the proposed building will be located on an existing legal lot identified as Tax Lot 2S124A003100.

This lot encompasses a large portion of Nyberg Rivers and is 22.7 acres. All of the dimensions for lot size meet the minimum lot size requirements listed above to achieve the lot size requirements, and were approved under AR-13-07 for the Nyberg Rivers Shopping Center.

Section 53.070 Central Urban Renewal Area - Lot Sizes.

Except for lots for public utility facilities, natural gas pumping stations and wireless communication facilities which shall be established through the Subdivision, Partition or Lot Line Adjustment process, and excepting any lot in the Core Area Parking District where TDC 53.070(1)-(5) apply, the minimum lot size in the Central Urban Renewal District shall conform to the lot sizes described on Map 9-3:

- (1) Except for mixed use developments, and common-wall dwellings on separate lots:
 - (a) The minimum lot area shall be 5,000 square feet.**
 - (b) The minimum average lot width shall be 40 feet.**
 - (c) The minimum lot width at the street shall be 40 feet.**
 - (d) For flag lots, the minimum lot width at the street shall be sufficient to comply with at least the minimum access requirements in TDC 73.400(8) - (12).**
 - (e) The minimum lot width at the street shall be 35 feet on a cul-de-sac street.****
- (3) The minimum lot width at the street shall be 40 feet.**
- (4) For flag lots, the minimum lot width at the street shall be sufficient to comply with at least the minimum access requirements contained in TDC 73.400(8) to (12).**
- (5) The minimum lot width at the street shall be 40 feet on a cul-de-sac street.**

Response: As shown on the Site Plan (Sheet C2.0 in Exhibit H), the proposed building will be located on an existing legal lot identified as Tax Lot 2S124A003100. This lot encompasses a large portion of Nyberg Rivers and is 22.7 acres. All of these dimensions meet the minimum lot size requirements listed above to achieve the Central Urban Renewal Area lot size requirements, and were approved under AR-13-07 for the Nyberg Rivers Shopping Center.

Section 53.080 Setback Requirements.

- (1) Front yard. Except as provided by TDC 53.090(2)(a), zero to 20 feet, as determined through the Architectural Review Process.**
- (2) Side yard. Except as provided by TDC 53.090(2)(a), zero to 20 feet, as determined through the Architectural Review process.**

- (3) Rear yard. Zero to 15 feet, as determined through the Architectural Review process.
- (5) Off-street parking and vehicular circulation areas shall be set back a minimum of five (5) feet from any public right-of-way or property line, except as approved through the Architectural Review process.
- (6) No fence shall be constructed within 5 feet of a public right-of-way, except that in residential and mixed use residential developments within the Central Design District the minimum fence setback shall be determined through Architectural Review, with no minimum requirement.

Response: As shown on the Site Plan in Exhibit H, the location of the restaurant building pad meets all setback requirements listed above. The front yard faces south to the fire pit and parking area and there is a landscape buffer between the porch area and parking area. The west elevation is the building side facing inward toward the Cabela's and central parking area. There is a 5-foot sidewalk and landscaped area along the base of the building to achieve an approximate 9-foot setback from the building to the drive aisle. The rear yard setback is defined as the north side of the building facing the LA Fitness. The existing off-street parking and vehicular circulation areas are setback at least 5-feet to meet the setback requirements.

Section 53.090 Structure Height.

- (1) Except for flagpoles displaying the flag of the United States of America, either alone or with the State of Oregon flag which shall not exceed 100 feet in height above grade, and except as provided in TDC 54.070(2), the maximum height of any structure is 45 feet.

Response: As shown on the building elevation included in Exhibit H, the proposed building height (including parapet) is 17'10 1/2" with side, rear, and sign parapets that reach a maximum height of 24'0". There is also a singular stone chimney that is 30' above the finished floor elevation.

Section 53.100 Access.

Except as provided below, no lot shall be created without provision for access to the public right-of-way in accordance with TDC 73.400 and TDC Chapter 75. Such access may be provided by lot frontage on a public street, or via permanent access easement over one or more adjoining properties, creating uninterrupted vehicle and pedestrian access between the subject lot and the public right-of-way. Lots and tracts created to preserve wetlands, greenways, Natural Areas and Stormwater Quality Control Facilities identified by TDC Chapters 71, 72, Figure 3-4 of the Parks and Recreation Master Plan and the Surface Water Management Ordinance, TMC Chapter 3-5, as amended, respectively, or for the purpose of preserving park lands in accordance with the Parks and Recreation Master Plan, may not be required to abut a public street.

Response: As shown on the Site Plan in Exhibit H and Figure 1 above, the site abuts the Interstate 5 highway right-of-way (ROW) to the east/northeast and the public access easement located at the west end of the lot. Access into the site is provided from the primary drive aisle with access from SW Nyberg Street, with secondary access from SW Barngrover Way, located at the far northwest end of Nyberg Rivers.

TDC CHAPTER 73: COMMUNITY DESIGN STANDARDS

ARCHITECTURAL REVIEW APPROVAL

- (1) Except for an addition or alteration to an existing single-family dwelling when it results in less than a 35% expansion of the structure's existing footprint or less than a 35% alteration of an existing wall plane or only affects the wall plane of the side of the dwelling located in a side yard where the side yard of the dwelling abuts the side yard of an adjacent dwelling, as permitted by these standards, no new building, condominium, townhouse, single family dwelling, addition or alteration to an existing single-family dwelling when it results in a 35% or more expansion of the structure's existing footprint or a new second or higher story or a 35% or more alteration of an existing wall plane (except for the wall plane of a side of the dwelling located in a side yard where the side yard of the dwelling abuts the side yard of an adjacent dwelling), manufactured dwelling park, small-lot subdivision, landscape improvement (excluding greenways, parks and other Parks and Recreation Department road side improvements), parking lot improvement or expansion, above ground public utility facility (sewer or water pump stations, pressure reading stations and water reservoir), electrical substation, above ground natural gas pumping station, installation of decorative lighting (e.g. neon), exterior painting, awnings, murals, wireless communication facility, attached wireless communication facility or exterior major remodeling shall occur until the architectural review plan required under TDC 31.071 has been reviewed and approved by the Community Development Director and City Engineer or their designees, or by the Architectural Review Board or City Council for conformity with applicable standards or criteria.

Response: This request is for a new restaurant within the Nyberg Rivers commercial center. Therefore, the community design standards and architectural review approval criteria apply to the project. This narrative and the supporting plans and studies are submitted as evidence for Architectural Review approval.

Section 73.050 Criteria and Standards

- (1) In exercising or performing his or her powers, duties, or functions, the Community Development Director shall determine whether there is compliance with the following:

- (a) **The proposed site development, including the site plan, architecture, landscaping, parking and graphic design, is in conformance with the standards of this and other applicable City ordinances insofar as the location, height, and appearance of the proposed development are involved;**

Response: The proposed site development is in conformance with the standards defined within the Community Design Standards in Chapter 73, as well as all other development code regulations. This narrative is provided as supporting evidence to show that the proposed development meets the location, height, and appearance standards of the development code.

- (b) **The proposed design of the development is compatible with the design of other developments in the general vicinity; and**

Response: The proposed restaurant design and architectural features of the building are consistent with the context of the site within the overall Nyberg Rivers commercial center and the varying aesthetic provided within the center. The primary 'Cracker Barrel Brown' batten siding and secondary metal coping and stone veneer base and chimney complement materials are used through the remainder of the center. Also, it should be noted that all on-site landscaping was considered and selected to ensure consistency with the overall development.

- (c) **The location, design, size, color and materials of the exterior of all structures are compatible with the proposed development and appropriate to the design character of other developments in the vicinity.**

Response: The proposed restaurant materials and architectural features of the building are consistent with the context of the site within the overall Nyberg Rivers commercial center. The primary brown batten siding and metal coping and cultured stone veneer materials complement the design character of other buildings on-site, such as the New Seasons, Cabela's, Home Goods, LA Fitness, and other outlying buildings. These existing buildings also apply similar architectural features, such as parapets, window awnings, stone finishes, columns, porch areas and plaza spaces.

- (2) **In making his or her determination of compliance with the above requirements, the Community Development Director shall be guided by the objectives and standards set forth in this chapter. If the architectural review plan includes utility facilities or public utility facilities, then the City Engineer shall determine whether those aspects of the proposed plan comply with applicable standards.**

Response: The request complies with the City's development standards. Responses and findings are provided under each applicable standard in the following sections of this land use narrative. This project is subject to input received from the Community Development Director and the City Engineer.

COMMERCIAL DESIGN STANDARDS

Section 73.150 Objectives.

All commercial, industrial, public and semi-public projects should strive to meet the following objectives to the maximum extent practicable. Architects and developers should consider these elements in designing new projects. In the Central Design District, the Design Guidelines of TDC 73.610 shall be considered. In the case of conflicts between objectives, the proposal shall provide a desirable balance between the objectives. Site elements shall be placed and designed, to the maximum extent practicable, to:

- (1) Provide convenient walkways and crosswalks which separate pedestrians from vehicles and link primary building entries to parking areas, other on-site buildings and the public right-of-way.**

Response: The existing access includes sidewalks along the west and south side of the building, with a pedestrian crossing to link up with the internal sidewalks network to the north. The walkways are separated from vehicle use areas through the use of raised curbs and site landscaping. Walkways are provided from parking areas to the primary restaurant entrance located on the south side of the building, as well as a secondary entrance at the southwest corner of the building. The on-site walkways connect to the commercial center walkways, with striped pedestrian crossings provided across vehicle circulation areas.

- (2) Avoid barriers to disabled individuals.**

Response: Walkways are provided to connect the project's ADA parking stalls to the primary entrance to the restaurant, and also provide a route to the sidewalk network that serves the Nyberg Rivers center.

- (3) Locate and design drive-through facilities in a manner which does not conflict with pedestrian routes or other vehicular circulation and minimizes adverse impacts on adjacent properties.**

Response: No drive-through facility is proposed as part of this request.

- (4) Break up parking areas with landscaping (trees, shrubs and walkways) and buildings to lessen the overall impact of large paved areas.**

Response: There are no proposed impacts or changes to the existing parking areas. As shown on the Site Plan and Landscape Plan provided in Exhibit H, all existing parking areas are broken up with landscaping and walkways to lessen the overall impact of large paved areas. Parking lot landscape islands are installed at the end of each parking area and the parking stalls do not exceed more than 7 consecutive stalls before a landscape island is provided.

(5) Utilize landscaping in parking areas to direct and control vehicular movement patterns, screen headlights from adjacent properties and streets, and lessen the visual dominance of pavement coverage.

Response: As shown on the Site Plan and Landscape Plan provided in Exhibit H, all parking areas are broken up with landscaping and walkways to direct and control vehicular movement patterns, screen headlights from adjacent properties and the restaurant, and to lessen the visual dominance of large paved areas.

(6) Provide vehicular connections to adjoining sites.

Response: Because this restaurant pad is part of the larger Nyberg Rivers commercial center, vehicular access is designed to connect with adjoining buildings within the overall center. The building is oriented into the central portion of the site, where there is a large parking area with drive aisles to link adjoining buildings and access to the public street system.

(7) Emphasize entry drives into commercial complexes and industrial park developments with special design features, such as landscaped medians, water features and sculptures.

Response: While a primary entry drive is not associated with this scope of work, the Nyberg Rivers central entry drive from SW Nyberg Street features a landscaped median with signage and a primary pedestrian walkway. This central entry then connects to the interior drive aisles that link to the east and to the proposed restaurant site.

(8) Locate, within parking lots, pedestrian amenities and/or landscaping in areas which are not used for vehicle maneuvering and parking.

Response: Aside from parking stalls and vehicle maneuvering areas, the parking lot is comprised of pedestrian walkways and landscaping.

(9) Encourage outdoor seating areas which provide shade during summer and sun during winter, trash receptacles and other features for pedestrian use. Plantings with a variety of textures and color are encouraged.

Response: There is an enclosed porch area located on the south side of the building, which faces out towards the parking area and fire pit. The porch area will accommodate both a dining area in a fully enclosed area, as well as a patron waiting area further east of the dining area, nearest the primary entrance. Both areas are covered by a permanent canopy that will match the material and color of the building. It should also be noted that the fire pit area to the south of the site features outdoor seating that will encircle a fire pit. Also, there are multiple opportunities for outdoor seating within the Nyberg Rivers commercial center. A variety of landscape plantings are proposed to mesh with the existing plantings throughout the commercial center.

(10) Create opportunities for, or areas of, visual and aesthetic interest for occupants and visitors to the site.

Response: The proposed building design and material types will create visual and aesthetic interest for visitors to the restaurant. The porch area and the plaza area, which includes a fire pit and seating area, provide an interesting place for visitors and patrons to convene. Landscape plantings will screen portions of the site and also break up the building massing to create visual interest for both the building and overall site. This project will also tie into the existing pedestrian network to create other viewpoints into the site.

(11) Conserve, protect and restore fish and wildlife habitat areas, and maintain or create visual and physical corridors to adjacent fish and wildlife habitat areas.

Response: The proposed restaurant has no effect on fish and wildlife habitat areas. On-site stormwater treatment will limit surface water runoff which will improve fish habitat areas.

(12) Provide safe pathways for pedestrians to move from parking areas to building entrances.

Response: The primary restaurant entrance provides safe pedestrian pathways from the main parking areas to the entrance. There is also a secondary entrance located on the southwest side of the building with pedestrian access to the ADA compliant parking stalls.

(13) Design the location of buildings and the orientation of building entrances for commercial, public and semi-public uses such as churches, schools and hospitals to provide adequate pedestrian circulation between buildings and to provide preferential access for pedestrians to existing or planned transit stops and transit stations.

Response: As this site is part of the larger Nyberg Rivers commercial center, the proposed restaurant provides pedestrian connectivity to the overall pedestrian network which connects pedestrians to buildings, adjacent roadways, and the proposed regional Tualatin greenway trail.

- (14) Provide accessways between commercial, public and semi-public development and publicly-owned land intended for general public use; arterial and collector streets where a transit stop and/or a bike lane is provided or designated; and abutting residential, commercial and semi-public property.**

Response: As this site is part of the larger Nyberg Rivers commercial center, the proposed restaurant provides pedestrian connectivity to the overall pedestrian network which connects pedestrians to buildings, adjacent roadways, and the proposed regional Tualatin greenway trail.

- (15) Provide accessways between industrial development and abutting greenways where a bikeway or pedestrian path is provided or designated.**

Response: The proposed restaurant is a commercial use; this criterion is not applicable to the project.

- (16) Accessways should be designed and located in a manner which does not restrict or inhibit opportunities for developers of adjacent properties to connect with an accessway, and provide continuity from property to property for pedestrians and bicyclists to use the accessway.**

Response: As this site is part of the larger Nyberg Rivers commercial center, the accessways proposed with the restaurant provides pedestrian connectivity to the overall pedestrian network. The pedestrian paths connect pedestrians to adjacent buildings, roadways to the south and west, and the proposed Tualatin greenway trail.

- (17) Provide preferential parking for carpool and vanpools to encourage employees to participate in carpools and vanpools.**

Response: As this project does not impact existing parking areas, the current configuration of carpool and vanpool stalls will remain as-is.

- (18) Screen elements such as mechanical and electrical equipment, above ground sewer or water pump stations, pressure reading stations and water reservoirs from view.**

Response: The proposed mechanical equipment will be located on the restaurant rooftop and will be screened by a parapet on all elevations. As indicated in the elevations in Exhibit H, none of the mechanical equipment is visible from any portion in the proposed development.

- (19) Parking structure exteriors and underground parking should be designed to be harmonious with surrounding buildings and architecturally compatible with the treatment of buildings they serve.**

Response: There is no parking structure or underground parking proposed with this request. Therefore, this provision is not applicable to this request.

- (20) When a fish and wildlife habitat area abuts or is on the subject property the applicant and decision authority for a development application should consider locating buildings farther away from the fish and wildlife habitat area.**

Response: No portion of the redevelopment site abuts or is located on a fish or wildlife habitat area. Therefore, this provision does not apply.

Section 73.160 Standards.

The following standards are minimum requirements for commercial, industrial, public and semi-public development, and it is expected that development proposals shall meet or exceed these minimum requirements.

- (1) Pedestrian and Bicycle Circulation.**

- (a) For commercial, public and semi-public uses:**

- (i) a walkway shall be provided between the main entrance to the building and any abutting public right-of-way of an arterial or collector street where a transit stop is designated or provided. The walkway shall be a minimum of 6 feet wide and shall be constructed of concrete, asphalt, or a pervious surface such as pavers or grasscrete, but not gravel or woody material, and be ADA compliant, if applicable;**
- (ii) walkways shall be provided between the main building entrances and other on-site buildings and accessways. The walkways shall be a minimum of 6 feet wide and shall be constructed of concrete, asphalt, or a pervious surface such as pavers or grasscrete, but not gravel or woody material, and be ADA compliant, if applicable;**
- (iii) walkways through parking areas, drive aisles, and loading areas shall be visibly raised and of a different appearance than the adjacent paved vehicular areas;**
- (iv) accessways shall be provided as a connection from the development's internal bikeways and walkways to all of the**

following locations that apply: abutting arterial or collector streets upon which transit stops or bike lanes are provided or designated; abutting undeveloped residential or commercial areas; adjacent undeveloped sites where an agreement to provide an accessway connection exists; and to abutting publicly-owned land intended for general public use, including schools;

- (v) fences or gates which prevent pedestrian and bike access shall not be allowed at the entrance to or exit from any accessway.**

Response: As this site is part of the larger Nyberg Rivers commercial center, the proposed restaurant ties into the overall pedestrian and bicycle circulation network. The on-site walkways connect to the existing circulation network to provide access between the main building entrance and the abutting Nyberg Road ROW. All proposed walkways are a minimum of 6-feet wide and constructed of concrete. Walkways through parking areas are striped to differentiate these areas from the adjacent paved vehicular areas.

- (vi) bikeways shall be provided which link building entrances and bike facilities on the site with the adjoining public right-of-way and accessways.**

Response: As this site is part of the larger Nyberg Rivers commercial center, the proposed restaurant ties into the overall pedestrian and bicycle circulation network. The on-site bikeways connect to the existing circulation network to provide access between the main building entrance and the abutting Nyberg Road ROW. All proposed bikeways are a minimum of 6-feet wide and constructed of concrete.

- (vii) Outdoor Recreation Access Routes shall be provided between the development's walkway and bikeway circulation system and parks, bikeways and greenways where a bike or pedestrian path is designated.**

Response: The proposed restaurant connects to the overall Nyberg Rivers commercial center pedestrian and bicycle network. The network connects to the proposed Tualatin River greenway trail located to the north of Nyberg Rivers.

- (c) Curb ramps shall be provided wherever a walkway or accessway crosses a curb.**

Response: As shown on the Site Plan provided in Exhibit H, curb ramps are provided wherever a walkway or accessway crosses a curb.

- (d) Accessways shall be a minimum of 8 feet wide and constructed in accordance with the Public Works Construction Code if they are public**

accessways, and if they are private access-ways they shall be constructed of asphalt, concrete or a pervious surface such as pervious asphalt or concrete, pavers or grasscrete, but not gravel or woody material, and be ADA compliant, if applicable.

Response: All proposed walkways and pedestrian paths located on-site are 6-feet in width to meet the minimum sidewalk standard. Accessways are not provided for this project. There are accessways provided within Nyberg Rivers that do meet the minimum width and surface treatment requirements. The proposed 6-foot walkways and paths will connect to the existing pedestrian network featuring both sidewalks and accessways.

- (e) Accessways to undeveloped parcels or undeveloped transit facilities need not be constructed at the time the subject property is developed. In such cases the applicant for development of a parcel adjacent to an undeveloped parcel shall enter into a written agreement with the City guaranteeing future performance by the applicant and any successors in interest of the property being developed to construct an accessway when the adjacent undeveloped parcel is developed. The agreement shall be subject to the City's re-view and approval.**

Response: Accessways are not provided for this site.

- (g) Accessways shall be constructed, owned and maintained by the property owner.**

Response: Accessways are not provided for this site.

(3) Safety and Security.

- (a) Locate windows and provide lighting in a manner which enables tenants, employees and police to watch over pedestrian, parking and loading areas.**

Response: As shown on the building elevations provided in Exhibit H, all windows are located to provide natural lighting which enables employees and patrons to watch over pedestrian and parking areas.

- (b) In commercial, public and semi-public development and where possible in industrial development, locate windows and provide lighting in a manner which enables surveillance of interior activity from the public right-of-way.**

Response: As shown on the building elevations provided in Exhibit H, all windows and lighting are located to enable surveillance of interior activity from the adjacent drive aisles and parking areas.

- (c) **Locate, orient and select on-site lighting to facilitate surveillance of on-site activities from the public right-of-way without shining into public rights-of-way or fish and wildlife habitat areas.**

Response: As shown on the Site Plan provided in Exhibit H, all on-site lighting allows for surveillance of on-site activities from adjacent drive aisles and parking areas without shining lights into the adjacent SW Nyberg Street ROW.

- (d) **Provide an identification system which clearly locates buildings and their entries for patrons and emergency services.**

Response: Signage will be provided to clearly mark the primary building access for both patrons and emergency services.

- (e) **Shrubs in parking areas must not exceed 30 inches in height. Tree canopies must not extend below 8 feet measured from grade.**

Response: As shown on the Landscape Plan provided in Exhibit H, existing shrubs in parking areas do not exceed 30-inches in height and tree canopies do not extend below 8-feet measured from grade.

(4) Service, Delivery and Screening.

- (a) **On and above grade electrical and mechanical equipment such as transformers, heat pumps and air conditioners shall be screened with sight obscuring fences, walls or landscaping.**

Response: As shown on the updated Landscape Plan provided under Exhibit H, Sheets L1.0 and L1.1, transformer screening is shown on the north and east side of the transformer, mostly in the form of retained or replanted Oregon grape. The west and south sides of the transformer are not proposed for landscaping in order to meet maintenance access requirements.

Section 73.210 Objectives.

All commercial, industrial, public and semi-public projects should strive to meet the following objectives to the maximum extent practicable. Architects and developers should consider these elements in designing new projects. In the Central Design District, the Design Guidelines of TDC 73.610 shall be considered. In case of conflicts between objectives, the proposal shall provide a desirable balance between the objectives. Buildings shall be designed, to the maximum extent practicable, to:

- (1) **Minimize disruption of natural site features such as topography, trees and water features.**

Response: As this site is part of the Nyberg Rivers commercial center, previous site work, grading, and utility stubs were provided for a building pad. This proposal will not cause additional impacts to natural site features such as the topography, trees and water features.

- (2) **Provide a composition of building elements which is cohesive and responds to use needs, site context, land form, a sense of place and identity, safety, accessibility and climatic factors.**

Utilize functional building elements such as arcades, awnings, entries, windows, doors, lighting, reveals, accent features and roof forms, whenever possible, to accomplish these objectives.

Response: As shown on the Site Plan and building elevations provided in Exhibit H, the proposed building materials and glazing, when combined with the proposed landscape materials, create an attractive and vibrant site that ties into the overall varied aesthetic promoted by Centercal and Nyberg Rivers. The building entrances and connections from the parking areas provide safe and accessible pathways into the site, while also connecting to the adjacent pathways and sidewalks within the overall Nyberg Rivers commercial center. As shown on the elevations in Exhibit H, the primary entrance features a canopy entry and porch to give the building depth and to draw attention to the entrance.

- (3) **Where possible, locate loading and service areas so that impacts upon surrounding areas are minimized. In industrial development loading docks should be oriented inward to face other buildings or other loading docks. In commercial areas loading docks should face outward towards the public right-of-way or perimeter of the site or both.**

Response: Deliveries to the restaurant will be coordinated during off-peak, non-business hours and loading will occur along the north side of the building within a designated delivery and loading area. The loading area is shown on the Site Plan provided under Exhibit H. The delivery trucks will be primarily WB-55, with one retail and one food delivery made each week. Retail delivery will be in the early afternoon and food delivery in the early morning, each with an approximate duration of 3 hours. The loading area is further screened from the I-5 public right-of-way through additional landscaping, as indicated in the Landscape Plan in Exhibit H.

- (4) **Enhance energy efficiency in commercial and industrial development through the use of landscape and architectural elements such as arcades, sunscreens, lattice, trellises, roof overhangs and window orientation.**

Response: Site landscaping around the base of the building will screen areas around the building from the sun. There are also plant trellises located on the north, west and east sides of the building that will work to screen and shade those portions of the building. Also, as shown on the perspective drawing and building elevations in Exhibit H, there is a canopied porch area that will screen the southern elevation and provide some level of shading and screening. All of these measures will work to enhance energy efficiency.

(5) Locate and design entries and loading/service areas in consideration of climatic conditions such as prevailing winds, sun and driving rains.

Response: The primary building entrance is located on the south side of the building and the primary entrance is under the porch canopy to protect from wind, sun and driving rain.

(6) Give consideration to organization, design and placement of windows as viewed on each elevation having windows. Surveillance over parking areas from the inside, as well as visual surveillance from the outside in, should be considered in window placement.

Response: As shown on the building elevations in Exhibit H, the south elevation shows windows across the entire frontage where the porch area is located. The east elevation along the I-5 frontage features four sections of large windows to break up the building massing and provide views into and out of the front portion of the restaurant. The west elevation will face into the interior of the Nyberg Rivers center, with windows provided within the dining area for patrons to look out the shopping center and for passers-by to view the dining room. When combined with site lighting, the site provides a safe, secure, and efficient layout.

(7) Select building materials which contribute to the project's identity, form and function, as well as to the surrounding environment.

Response: The proposed building materials, with the exception of specific areas of red accents, are primarily earth tone colors and of texture that would blend in well with the landscape and the surrounding buildings found in Nyberg Rivers. The primary materials are sandblasted paint to give the impression of a stone or stucco treatment, with both a warm stone and tan color. Secondary materials include brick and aluminum frames that create a clean and orderly style. All of these elements work to create a defined style to separate the restaurant from other similar franchises.

(8) Select colors in consideration of lighting conditions and the context under which the structure is viewed, the ability of the material to absorb, reflect or transmit light and the color's functional role (e.g., to identify and attract business, aesthetic reasons, image-building).

Response: The building materials were selected for an earth tone color palette, as well as features that would blend in well with the landscape and the natural vernacular surrounding buildings found in Nyberg Rivers. The color schemes are not too bright or dark and will limit sun reflection to the window glazing and aluminum framing.

- (9) Where possible, locate windows and provide lighting in a manner which enables tenants, employees and police to watch over pedestrian, parking and loading areas.**

Response: As shown on the building elevations in Exhibit H, there are multiple windows provided on the front and sides of the building, including areas where the building abuts parking areas and pedestrian paths. These windows are located to provide visual lines of sight from both the outside into the building, as well as visual lines for patrons looking out over the parking areas, pedestrian paths and plaza area. When combined with site lighting, the site provides a safe, secure, and efficient layout.

- (10) Where practicable locate windows and provide lighting in a manner which enables surveillance of interior activity from the public right-of-way or other public areas. [Ord. 904-93, §51, 9/13/93; Ord. 1097-02, 2/11/02]**

Response: As shown on the building elevations in Exhibit H, there are several windows provided on the front and sides of the building, where the building abuts parking areas and pedestrian paths. These windows are located to provide visual surveillance from both the outside in and from patrons looking out over the parking areas and pedestrian paths. When combined with site lighting, the site provides a safe, secure, and efficient layout.

Section 73.220 Standards.

The following standards are minimum requirements for commercial, industrial, public and semi-public development and it is expected that development proposals shall meet or exceed these minimum requirements.

(1) Safety and Security.

- (a) Locate, orient and select on-site lighting to facilitate surveillance of on-site activities from the public right-of-way or other public areas without shining into public rights-of-way or fish and wildlife habitat areas.**
- (b) Provide an identification system which clearly identifies and locates buildings and their entries.**

- (c) Shrubs in parking areas shall not exceed 30 inches in height, and tree canopies must not extend below 8 feet measured from grade, except for parking structures and underground parking where this provision shall not apply. [Ord. 904-93, §52, 9/13/93; Ord. 20-94, §18, 4/11/94; Ord. 1224-06 §24, 11/13/06]

Response: The existing on-site lighting at Nyberg Rivers and the proposed lighting for this restaurant will combine to provide adequate candling for safe and visible access by both vehicles and pedestrians. The lighting will be focused internally to the site, limiting off-site impacts to the frontages along Interstate 5 and Nyberg Street. The proposed signage and lighting will provide an identification system for the primary entrance, while shrubs will be installed to not exceed 30-inches in height and trees will not extend below 8-feet measured from grade.

Section 73.225 Mixed Solid Waste and Source Separated Recyclables Storage Areas for New or Expanded Multi-Unit Residential, Including Townhouses, Commercial, Industrial, Public and Semi-Public Development.

Section 73.226 Objectives.

All new or expanded multi-family, including townhouses, commercial, industrial, public and semi-public projects should strive to meet the following objectives to the maximum extent practicable. Architects and developers should consider these elements in designing new projects. In the Central Design District, the Design Guidelines of TDC 73.610 shall be considered. In the case of conflicts between objectives, the proposal shall provide a desirable balance between the objectives. Townhouses may necessitate a different balancing than multi-family developments such as apartments. Mixed solid waste and source separated recyclable storage areas shall be designed to the maximum extent practicable, to:

- (1) Screen elements such as garbage and recycling containers from view.
- (2) Ensure storage areas are centrally located and easy to use.
- (3) Meet dimensional and access requirements for haulers.
- (4) Designed to mitigate the visual impacts of storage areas.
- (5) Provide adequate storage for mixed solid waste and source separated recyclables.
- (6) Improve the efficiency of collection of mixed solid waste and source separated recyclables. [Ord. 898-93, §7, 6/14/93. Ord. 1025-99, §40, 7/26/99; Ord. 1097-02, 2/11/02]

Response: As shown on the Site Plan (Exhibit H, Sheet C2.0) and Trash Enclosure Details (Exhibit H, Sheets D-1 and D-2), the proposed trash enclosure area will be designed to accommodate mixed solid waste and source separated recyclable storage areas. The trash enclosure was submitted to Republic Services and a letter of authorization dated July 2, 2015 is provided in Exhibit G to verify that the enclosure meets the dimensional and access requirements for the hauler.

Section 73.227 Standards.

The following standards are minimum requirements for mixed solid waste and source separated recyclables storage areas. To provide for flexibility in designing functional storage areas, this section provides four different methods to meet the objectives of providing adequate storage for mixed solid waste and source separated recyclables and improving the efficiency of collection.

An applicant shall choose and implement one of the following four methods to demonstrate compliance: 1) minimum standards; 2) waste assessment; 3) comprehensive recycling plan; or 4) franchised hauler review, as more fully described in subsections (2), (3), (4) and (5) of this section.

- (1) The mixed solid waste and source separated recyclables storage standards shall apply to all new or expanded multi-family residential developments containing five or more units and to new or expanded commercial, industrial, public and semi-public development.**
- (2) Minimum Standards Method. This method specifies a minimum storage area requirement based on the size and general use category of the new or expanded development. This method is most appropriate when specific use of a new or expanded development is not known. It provides specific dimensional standards for the minimum size of storage areas by general use category.**
 - (a) The size and location of the storage area(s) shall be indicated on the site plan. Compliance with the requirements set forth below are reviewed through the Architectural Review process.**
 - (i) The storage area requirement is based on the area encompassed by predominant use(s) of the building (e.g., residential, office, retail, wholesale/warehouse/manufacturing, educational/institutional or other) as well as the area encompassed by other distinct uses.**
 - (iii) The specific requirements are based on an assumed storage area height of 4 feet for mixed solid waste and source separated recyclables. Vertical storage higher than 4 feet, but no higher than 7 feet may be used to accommodate the same volume of storage in a reduced floor space (potential reduction of 43 percent of specific requirements). Where vertical or stacked storage is proposed,**

submitted plans shall include drawings to illustrate the layout of the storage area and dimensions for containers.

- (v) **Commercial, industrial, public and semi-public developments shall provide a minimum storage area of 10 square feet plus: Office - 4 square feet/1000 square feet gross leasable area (GLA); Retail - 10 square feet/1000 square feet GLA; Wholesale/ Warehouse/ Manufacturing - 6 square feet/1000 square feet GLA; Educational and institutional - 4 square feet/1000 square feet GLA; and other - 4 square feet/1000 square feet GLA.**

Response: Based on the retail commercial requirements for storage areas, the minimum requirement is 112 square feet of storage area. As shown on the Site Plan (Exhibit H, Sheet C2.0) and Trash Enclosure Details (Exhibit H, Sheets D-1 and D-2), the proposed trash enclosure area will be designed to accommodate mixed solid waste and source separated recyclable storage areas. The proposed area is 288 square feet. The trash enclosure plans was submitted to Republic Services and a letter of authorization dated July 2, 2015 is provided in Exhibit G to verify that the enclosure meets the dimensional and access requirements for the hauler.

(6) Location, Design and Access Standards for Storage Areas. The following location, design and access standards are applicable for storage areas:

(a) Location Standards

- (i) **To encourage its use, the storage area for source separated recyclables may be co-located with the storage area for mixed solid waste.**
- (ii) **Indoor and outdoor storage areas shall comply with Building and Fire Code requirements.**
- (iii) **Storage area space requirements can be satisfied with a single location or multiple locations, and can combine both interior and exterior locations.**
- (iv) **Exterior storage areas shall not be located within a required front yard setback or in a yard adjacent to a public or private street.**
- (v) **Exterior storage areas shall be located in central and visible locations on the site to enhance security for users.**

- (vi) Exterior storage areas can be located in a parking area, if the proposed use provides parking spaces required through the Architectural Review process. Storage areas shall be appropriately screened according to TDC 73.227(6)(b)(iii).
- (vii) Storage areas shall be accessible for collection vehicles and located so that the storage area will not obstruct pedestrian or vehicle traffic movement on site or on public streets adjacent to the site.

Response: The trash enclosure is located to the north of the building in an area separated from the adjacent parking stalls, and outside any required setback or yard. The storage area is appropriately screened according to TDC 73.227(6)(b)(iii) and two sets of approximately 5 x 8 foot access doors are provided on the west side of the enclosure. In addition, the enclosure area will be covered with a metal roof that will also serve to cover hanging bike racks at the rear of the enclosure. The base of the enclosure is designed with a stone fascia to improve overall aesthetic quality of the structure.

(b) Design Standards

- (i) The dimensions of the storage area shall accommodate containers consistent with current methods of local collection at the time of Architectural Review approval.
- (ii) Storage containers shall meet Fire Code standards and be made and covered with water proof materials or situated in a covered area.
- (iii) Exterior storage areas shall be enclosed by a sight obscuring fence or wall at least 6 feet in height. In multi-family, commercial, public and semi-public developments evergreen plants shall be placed around the enclosure walls, excluding the gate or entrance openings. Gate openings for haulers shall be a minimum of 10 feet wide and shall be capable of being secured in a closed and open position. A separate pedestrian access shall also be provided in multi-family, commercial, public and semi-public developments.
- (iv) Exterior storage areas shall have either a concrete or asphalt floor surface.
- (v) Storage areas and containers shall be clearly labeled to indicate the type of material accepted.

Response: As shown on the Site Plan and building elevations in Exhibit H, the proposed trash enclosure area is dimensioned at approximately 24-feet wide by 12-feet deep, with walls 10-feet tall and double doors 8-feet tall. The enclosure is constructed with 8" split-face CMU walls and the doors are provided with locking mechanisms in the form of drop rods. The base of the enclosure is designed with a stone fascia to improve overall aesthetic quality of the structure. The structure is also covered with a roof with wood trim. Access to the enclosure is provided by a separate access door and an adjacent pedestrian walkway. The trash enclosure plan was submitted to Republic Services and a letter of authorization is provided in Exhibit G to verify that the enclosure meets the dimensional and access requirements for the hauler, including signature on the proposed plan for the trash enclosure.

(c) Access Standards

- (i) Access to storage areas can be limited for security reasons. However, the storage areas shall be accessible to users at convenient times of the day, and to hauler personnel on the day and approximate time they are scheduled to provide hauler service.**
- (ii) Storage areas shall be designed to be easily accessible to hauler trucks and equipment, considering paving, grade, gate clearance and vehicle access. A minimum of 10 feet horizontal clearance and 8 feet vertical clearance is required if the storage area is covered.**
- (iii) Storage areas shall be accessible to collection vehicles without requiring backing out of a driveway onto a public street. If only a single access point is available to the storage area, adequate turning radius shall be provided to allow vehicles to safely exit the site in a forward motion. [Ord. 898-93, §8, 6/4/93]**

Response: Access to the enclosure is provided by an existing parking lot, as well as and adjacent pedestrian walkway connecting the enclosure with the restaurant. The front of the trash enclosure is 12'6" high, while the rear is 10 feet high. The front is accessed with two sets of doors, each set at approximately 12 feet wide. The interior of the enclosure is lighted. The trash enclosure plan was submitted to Republic Services and a letter of authorization is provided in Exhibit G to verify that the enclosure meets the dimensional and access requirements for the hauler, including signature on the proposed plan for the trash enclosure.

LANDSCAPING

Section 73.240 Landscaping General Provisions.

- (1) The following standards are minimum requirements.
- (3) The minimum area requirement for landscaping for uses in CO, CR, CC, CG, ML and MG Planning Districts shall be fifteen (15) percent of the total land area to be developed, except within the Core Area Parking District, where the minimum area requirement for landscaping shall be 10 percent. When a dedication is granted in accordance with the planning district provisions on the subject property for a fish and wildlife habitat area, the minimum area requirement for landscaping may be reduced by 2.5 percent from the minimum area requirement as determined through the AR process.

Response: As shown on the Landscape Planting Plan (Sheet L1.0, Exhibit H), the overall landscape percentage provided for the proposed developed area is 4 percent. However, under AR-13-07, the Nyberg Rivers Master Plan was approved to include the minimum landscape area for the subject site. Under the Nyberg Rivers Master Plan and AR-13-07, and similar to the minimum parking standards, the minimum landscape areas for the subject site have already been reviewed and approved.

- (9) Yards adjacent to public streets, except as described in the Hedges Creek Wetlands Mitigation Agreement, TDC 73.240(7), shall be planted to lawn or live groundcover and trees and shrubs and be perpetually maintained in a manner providing a park-like character to the property as approved through the Architectural Review process.

Response: The yard adjacent to the Interstate 5 right-of-way (ROW) is planted to be lawn and live groundcover and trees and shrubs to create a park-like character. This area will also be planted with additional landscaping to provide additional screening between the trash enclosure area and areas to the east of the site.

- (11) Any required landscaped area shall be designed, constructed, installed, and maintained so that within three years the ground shall be covered by living grass or other plant materials. (The foliage crown of trees shall not be used to meet this requirement.) A maximum of 10% of the landscaped area may be covered with un-vegetated areas of bark chips, rock or stone. Disturbed soils are encouraged to be amended to an original or higher level of porosity to regain infiltration and stormwater storage capacity.

Response: All proposed landscape areas are designed and will be constructed and installed so that all ground will be covered by living grass and/or plant material within three years of installation. No bark chips, rock or stone are proposed as groundcover.

Section 73.250 Tree Preservation.

- (1) **Trees and other plant materials to be retained shall be identified on the landscape plan and grading plan.**

Response: There are twenty trees within the ODOT right-of-way that are identified and marked for preservation on the tree preservation plan.

Section 73.260 Tree and Plant Specifications.

- (1) **The following specifications are minimum standards for trees and plants:**
- (a) **Deciduous Trees:** Deciduous shade and ornamental trees shall be a minimum one and one-half inch (1 1/2") caliper measured six inches (6") above ground, balled and burlapped. Bare root trees will be acceptable to plant during their dormant season. Trees shall be characteristically shaped specimens.
 - (b) **Coniferous Trees.** Coniferous trees shall be a minimum five feet (5') in height above ground, balled and burlapped. Bare root trees will be acceptable to plant during their dormant season. Trees shall be well branched and characteristically shaped specimens.
 - (c) **Evergreen and Deciduous Shrubs.** Evergreen and deciduous shrubs shall be at least one (1) to five (5) gallon size. Shrubs shall be characteristically branched. Side of shrub with best foliage shall be oriented to public view.
 - (d) **Groundcovers.** Groundcovers shall be fully rooted and shall be well branched or leafed. English ivy (*Hedera helix*) is considered a high maintenance material which is detrimental to other landscape materials and buildings and is therefore prohibited.
 - (e) **Lawns.** Lawns shall consist of grasses, including sod, or seeds of acceptable mix within the local landscape industry. Lawns shall be 100 percent coverage and weed free.

Response: The Landscape Plan provided in Exhibit H, Sheet L1.0 includes a legend that specifies the species size and caliper of all the proposed new plant material.

- (3) **The following guidelines are suggested to ensure the longevity and continued vigor of plant materials:**
- (a) **Select and site permanent landscape materials in such a manner as to produce a hardy and drought-resistant landscaped area.**

- (b) **Consider soil type and depth, spacing, exposure to sun and wind, slope and contours of the site, building walls and overhangs, and compatibility with existing native vegetation preserved on the site or in the vicinity.**

Response: The proposed Landscape Plan has been prepared, reviewed and signed by a registered landscape architect. The design and plant species have been chosen to reflect the site characteristics.

Section 73.280 Irrigation System Required.

Except for townhouse lots, landscaped areas shall be irrigated with an automatic underground or drip irrigation system.

Response: All landscape areas shown on the Landscape Plan in Exhibit H, Sheet L1.0 will be irrigated with an automatic drip irrigation system.

Section 73.310 Landscape Standards - Commercial, Industrial, Public and Semi-Public Uses.

- (1) **A minimum 5-foot-wide landscaped area must be located along all building perimeters which are viewable by the general public from parking lots or the public right-of-way, excluding loading areas, bicycle parking areas and pedestrian egress/ingress locations. Pedestrian amenities such as landscaped plazas and arcades may be substituted for this requirement. This requirement shall not apply where the distance along a wall between two vehicle or pedestrian access openings (such as entry doors, garage doors, carports and pedestrian corridors) is less than 8 feet.**

Response: As shown on the Site Plan and Landscape Plan, there is a 5-foot wide landscaped area located along the north, west, and east portions of the building which are viewable from the ODOT ROW or the interior parking lot(s) at Nyberg Rivers. The south side of the building features a porch area and 10-foot wide landscape area, which substitutes for the landscape area abutting the building. In order to further meet the intent of the standard, the applicant is providing seating in the porch area.

- (2) **Areas exclusively for pedestrian use that are developed with pavers, bricks, etc., and contain pedestrian amenities, such as benches, tables with umbrellas, children's play areas, shade trees, canopies, etc., may be included as part of the site landscape area requirement.**

Response: Although some pedestrian amenities are provided on-site, none of these areas are included in the site landscape area requirement.

- (3) **All areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas or undisturbed natural areas shall be landscaped.**

Response: All areas within the limit of work that are not occupied by buildings, parking spaces, drive aisles, pedestrian area or undisturbed natural areas are planned to be landscaped with new plantings. The landscape plan includes both deciduous and coniferous trees, shrubs and groundcover to occupy all remaining areas not summarized above.

OFF-STREET PARKING LOT LANDSCAPING

Section 73.320 Off-Street Parking Lot Landscaping Standards.

- (1) General Provisions.** In addition to the goals stated in TDC 73.110 and 73.140, the goals of the off-street parking lot standards are to create shaded areas in parking lots, to reduce glare and heat buildup, provide visual relief within paved parking areas, emphasize circulation patterns, reduce the total number of spaces, reduce the impervious surface area and stormwater runoff and enhance the visual environment. The design of the off-street parking area shall be the responsibility of the developer and should consider visibility of signage, traffic circulation, comfortable pedestrian access, and aesthetics. Trees shall not be cited as a reason for applying for or granting a variance on placement of signs.
- (2) Application.** Off-street parking lot landscaping standards shall apply to any surface vehicle parking or circulation area.

Response: As shown on the Existing Conditions Plan, Site Plan and Landscape Plan in Exhibit B, no new parking is proposed for this project. All parking and associated landscape areas are already constructed and are intended to provide landscaped parking areas for the site, as approved through AR-13-07.

Section 73.370 Off-Street Parking and Loading.

- (1) General Provisions.**
 - (a)** At the time of establishment of a new structure or use, or change in use, or change in use of an existing structure, within any planning district of the City, off-street parking spaces, off-street vanpool and carpool parking spaces for commercial, institutional and industrial uses, off-street bicycle parking, and off-street loading berths shall be as provided in this and following sections, unless greater requirements are otherwise established by the conditional use permit or the Architectural Review process, based upon clear findings that a greater number of spaces are necessary at that location for protection of public health, safety and welfare or that a lesser number of vehicle parking spaces will be sufficient to carry out the objectives of this section. In the Central Design District, the Design Guidelines of TDC 73.610 shall be considered. In case of conflicts between guidelines or objectives in TDC Chapter 73, the proposal shall provide a balance.
 - (b)** At the time of enlargement of an existing multi-family residential, commercial, institutional or industrial structure or use, TDC 73.370 shall apply to the existing and enlarged structure or use.

- (c) Except where otherwise specified, the floor area measured shall be the gross floor area of the building primary to the function of the particular use of the property other than space devoted to off-street parking or loading.
- (d) Where employees are specified, the term shall apply to all persons, including proprietors, working on the premises during the peak shift.
- (e) Calculations to determine the number of required parking spaces and loading berths shall be rounded to the nearest whole number.
- (f) If the use of a property changes, thereby increasing off-street parking or loading requirements, the increased parking/loading area shall be provided prior to commencement of the new use.
- (g) Parking and loading requirements for structures not specifically listed herein shall be determined by the Community Development Director, based upon requirements of comparable uses listed.
- (h) When several uses occupy a single structure, the total requirements for off-street parking may be the sum of the requirements of the several uses computed separately or be computed in accordance with TDC 73.370(1)(m), Joint Use Parking.
- (i) Off-street parking spaces for dwellings shall be located on the same lot with the dwelling. Other required parking spaces may be located on a separate parcel, provided the parcel is not greater than five hundred (500) feet from the entrance to the building to be served, measured along the shortest pedestrian route to the building. The applicant must prove that the parking located on another parcel is functionally located and that there is safe vehicular and pedestrian access to and from the site. The parcel upon which parking facilities are located shall be in the same ownership as the structure.
- (j) Required parking spaces shall be available for the parking of operable passenger automobiles of residents, customers, patrons and employees and shall not be used for storage of vehicles or materials or for the parking of trucks used in conducting the business.
- (k) Institution of on-street parking, where none is previously provided, shall not be done solely for the purpose of relieving crowded parking lots in commercial or industrial planning districts.
- (n) Bicycle parking facilities shall include long-term parking that consists of covered, secure stationary racks, lockable enclosures, or rooms (indoor or outdoor) in which the bicycle is stored and short-term parking provided by secure stationary racks (covered or not covered), which accommodate a bicyclist's lock securing the frame and both wheels. The Community Development Director, their designee, or the Architectural Review Board may approve a form of bicycle parking not specified in these provisions but that meets the needs of long-term and/or short-term parking pursuant to Section 73.370.

Response: The proposed restaurant development meets the threshold requirements defined under 73.370(1)(a), triggering the off-street parking, loading, and bicycle parking requirements. However, all of these standards were reviewed and approved under AR-13-07. The parking requirements are calculated based on the square footage of a Shopping Center use and calculations are rounded to the nearest whole number. All required parking for vehicles is already existing and is located off-street within the Nyberg Rivers site. Additional bicycle parking is provided within this development and is located on the back side of trash enclosure area as covered parking.

(2) Off-Street Parking Provisions.

- (a) The following are the minimum and maximum requirements for off-street motor vehicle parking in the City, except for minimum parking requirements for the uses in TDC 73.370(2)(a) (Residential Uses: iii, iv, v, vi, vii; Places of Public Assembly: I, ii, iv; Commercial Amusements: I, ii; and Commercial: I, ii, xi, xii, xiv) within the Core Area Parking District (CAPD). Minimum standards for off-street motor vehicle parking for the uses in 73.370(2) (a) Residential Uses: iii, iv, v, vi, vii; Places of Public Assembly: I, ii, iv; Commercial Amusements: I, ii; and Commercial: I, ii, xi, xii, xiv in the CAPD are in TDC 73.370(2)(b).**

The maximum requirements are divided into Zone A and Zone B, as shown on the Tualatin Parking Zone Map, Figure 73-3. The following are exempt from calculation of maximum parking requirements: parking structures; fleet parking; parking for vehicles for sale, lease or rent; car/vanpool parking; dedicated valet parking; and user-paid parking.

USE	MINIMUM MOTOR VEHICLE PARKING REQUIREMENT	MAXIMUM MOTOR VEHICLE PARKING REQUIREMENT	BICYCLE PARKING REQUIREMENT	PERCENTAGE OF BICYCLE PARKING TO BE COVERED
iii) Shopping center (over 100,000 sq. ft. of gross floor area)	4.1 spaces per 1,000 sq. ft. of gross floor area	Zone A: 5.1 spaces per 1,000 sq. ft. gross floor area Zone B: 6.2 spaces per 1,000 sq. ft. gross floor area	0.50 space per 1,000 sq. ft. of gross floor area	50

Response: The overall Nyberg Rivers commercial center parking requirements were determined based on a shopping center use under AR-13-07. All required parking for the proposed use has already been reviewed, approved and constructed. In addition, 12 new covered bicycle racks are provided at the rear of the trash enclosure.

Section 73.380 Off-Street Parking Lots.

A parking lot, whether an accessory or principal use, intended for the parking of automobiles or trucks, shall comply with the following:

- (1) Off-street parking lot design shall comply with the dimensional standards set forth in Figure 73-1 of this section, except for parking structures and underground parking where stall length and width requirements for a standard size stall shall be reduced by .5 feet and vehicular access at the entrance if gated shall be a minimum of 18 feet in width.**

Response: All existing standard parking stalls associated with this development are dimensioned at 9' wide by 19' long to meet the dimensional standards set forth in Figure 73-1.

- (2) Parking stalls for sub-compact vehicles shall not exceed 35 percent of the total parking stalls required by TDC 73.370(2). Stalls in excess of the number required by TDC 73.370(2) can be sub-compact stalls.**

Response: All existing compact parking stalls associated with this development are dimensioned at 7.7' wide by 16' long to meet the compact parking dimensional standards.

- (3) Off-street parking stalls shall not exceed eight continuous spaces in a row without a landscape separation, except for parking structures and underground parking. For parking lots within the Central Design District that are designed to frame views of the central water feature or identified architectural focal elements as provided in TDC 73.350(3), this requirement shall not apply and the location of parking lot landscape islands shall be determined through the Architectural Review process.**

Response: As shown on the Site Plan in Exhibit H, no section of parking stalls exceed eight continuous stalls in a row without a landscape separation. The stalls located to the south of the building show seven continuous stalls before a landscape island is provided.

- (4) **Parking lot drive aisles shall be constructed of asphalt or concrete, including pervious concrete. Parking stalls shall be constructed of asphalt or concrete, or a pervious surface such as pavers or grasscrete, but not gravel or woody material. Drive aisles and parking stalls shall be maintained adequately for all-weather use and drained to avoid water flow across sidewalks. Pervious surfaces such as pervious concrete, pavers and grasscrete, but not gravel or woody material, are encouraged for parking stalls in or abutting the Natural Resource Protection Overlay District, Other Natural Areas identified in Figure 3-4 of the Parks and Recreation Master Plan, or in a Clean Water Services Vegetated Corridor. Parking lot landscaping shall be provided pursuant to the requirements of TDC 73.350 and TDC 73.360. Walkways in parking lots shall be provided pursuant to TDC 73.160.**

Response: All parking lot drive aisles are constructed of asphalt.

- (6) **Artificial lighting, which may be provided, shall be deflected to not shine or create glare in a residential planning district, an adjacent dwelling, street right-of-way in such a manner as to impair the use of such way or a Natural Resource Protection Overlay District, Other Natural Areas identified in Figure 3-4 of the Parks and Recreation Master Plan, or a Clean Water Services Vegetated Corridor.**

Response: All existing and proposed lighting will deflect to the interior of the site to limit shine or glare into adjacent properties and street ROWs.

- (8) **Service drives to off-street parking areas shall be designed and constructed to facilitate the flow of traffic, provide maximum safety of traffic access and egress, and maximum safety of pedestrians and vehicular traffic on the site.**

Response: All parking areas associated with this development will be served by an existing drive aisle located on the west side of the building and parking areas. This drive aisle was constructed as a part of the Nyberg Rivers commercial center.

- (9) **Parking bumpers or wheel stops or curbing shall be provided to prevent cars from encroaching on the street right-of-way, adjacent landscaped areas, or adjacent pedestrian walkways.**

Response: All parking adjacent to landscaped areas and pedestrian walkways feature curbs to prevent cars from encroaching into the landscaping and pedestrian pathways.

- (10) **Disability parking spaces and accessibility shall be provided in accordance with applicable federal and state requirements.**

Response: ADA compliant parking spaces are provided at the north side of the building. There are four (4) ADA compliant parking spaces shown on the Site Plan provided in Exhibit B.

- (11) On-site drive aisles without parking spaces, which provide access to parking areas with regular spaces or with a mix of regular and sub-compact spaces, shall have a minimum width of 22 feet for two-way traffic and 12 feet for one-way traffic. On-site drive aisles without parking spaces, which provide access to parking areas with only sub-compact spaces, shall have a minimum width of 20 feet for two-way traffic and 12 feet for one-way traffic.

Response: The on-site drive aisle located west of the building and parking area does not have associated parking spaces and is 30-feet wide to meet the minimum requirement.

Section 73.390 Off-Street Loading Facilities

- (1) The minimum number of off-street loading berths for commercial, industrial, public and semi-public uses is as follows:

Square Feet of Floor Area	Number of Berths
Less than 5,000	0
5,000 - 25,000	1
25,000 - 60,000	2
60,000 and over	3

Response: The proposed floor area of the commercial building is 10,112 SF. Therefore, one (1) loading berth is required. The loading berth is located on the north side of the building as shown on Sheet C2.0 in Exhibit H.

- (2) Loading berths shall conform to the following minimum size specifications.

- (a) Commercial, public and semi-public uses of 5,000 to 25,000 square feet shall be 12' x 25' and uses greater than 25,000 shall be 12' x 35'

Response: The dimensions of the loading berth are 16-feet wide by 75-feet long, thereby meeting the minimum size specification of 12-feet by 25-feet for commercial uses.

- (b) Industrial uses - 12' x 60'

Response: The use is commercial, not industrial. Therefore, this standard is not applicable.

- (c) Berths shall have an unobstructed height of 14'

Response: The loading berth is at grade and is not covered. Therefore, the berth has an unobstructed height exceeding the 14-foot minimum.

- (d) Loading berths shall not use the public right-of-way as part of the required off-street loading area.

Response: No public right-of-way is used for off-street loading. The loading area is contained on site as shown on Sheet C2.0 in Exhibit H.

- (3) Required loading areas shall be screened from public view from public streets and adjacent properties by means of sight-obscuring landscaping, walls or other means, as approved through the Architectural Review process.**

Response: The loading area is screened from public view by sight-obscuring landscaping as shown on Sheet L1.0 in Exhibit H. Landscape trees along the northeast corner of the site screen the loading area from views from the I-5 public right-of-way. The development area is part of tax lot 3100, and the loading berth is not visible from properties adjacent to tax lot 3100.

- (4) Required loading facilities shall be installed prior to final building inspection and shall be permanently maintained as a condition of use.**

Response: The loading facility will be installed prior to final building inspection and be permanently maintained.

- (5) A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading children shall be located on the site of a school or child day care center having a capacity greater than 25 students.**

Response: The proposed project does not include a school or daycare that would be subject to this provision.

- (6) The off-street loading facilities shall in all cases be on the same lot or parcel as the structure they are intended to serve. In no case shall the required off-street loading spaces be part of the area used to satisfy the off-street parking requirements.**

Response: The loading area is located on the same lot as the structure it is intended to serve. The loading space is not part of the area used to satisfy the off-street parking requirements.

- (7) Subject to Architectural Review approval, the Community Development Director may allow the standards in this Section to be relaxed within the Central Design District, where a dense mix of uses is desirable in close proximity, pedestrian circulation is strongly emphasized, and the orientation of structures around a central water feature virtually eliminates the possibility of reserving any side of a building solely for truck access. Adjustments may include, but are not limited to, reduction in the number of loading berths required, adjustment of loading berth size specifications and right-of-way restrictions, shared loading berths and maneuvering areas for use by more than one building, alteration or elimination of screening requirements, and requirements for maintenance of berths in a clean and visually appealing condition. The Community Development Director, their designee, or the Architectural Review Board may allow a loading area adjacent to**

or within a street right-of-way in the Central Design District where the loading and unloading operations meet all of the following criteria:

- (a) short in duration (i.e., less than one hour);
- (b) infrequent (fewer than three operations daily);
- (c) does not obstruct traffic during peak traffic hours;
- (d) does not interfere with emergency response services;
- (e) is acceptable to the applicable roadway authority; and
- (f) the design standards for the abutting road allow on-street parking. [Ord. 882-92, §23, 12/14/92; Ord. 956-96, §39, 1/8/96; Ord. 1354-13 §15, 02/25/13]

Response: Per Figure 73-4 in the TDC, the proposed project is not located in the Central Design District. Therefore, this standard is not applicable.

Section 73.400 Access.

- (1) The provision and maintenance of vehicular and pedestrian ingress and egress from private property to the public streets as stipulated in this Code are continuing requirements for the use of any structure or parcel of real property in the City of Tualatin. Access management and spacing standards are provided in this section of the TDC and TDC Chapter 75. No building or other permit shall be issued until scale plans are presented that show how the ingress and egress requirement is to be fulfilled. If the owner or occupant of a lot or building changes the use to which the lot or building is put, thereby increasing ingress and egress requirements, it shall be unlawful and a violation of this code to begin or maintain such altered use until the required increase in ingress and egress is provided.

Response: Ingress and egress from private property to the public streets were addressed and designed as a part of the Nyberg Rivers commercial center. This proposed development connects to the existing internal drive aisles that then connect to the ingress/egress at SW Nyberg Street, a public street.

(11) Minimum Access Requirements for Commercial, Public and Semi-Public Uses.
In the Central Design District, when driveway access is on local streets, not collectors or arterials and the building(s) on the property is(are) less than 5,000 square feet in gross floor area, or parking is the only use on the property, ingress and egress shall not be less than 24 feet. In all other cases, ingress and egress for commercial uses shall not be less than the following:

Required Parking	Minimum Number	Minimum Pavement	Minimum Pavement
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Spaces	Required	Width	Walkways, Etc.
Over 250	As required by City Engineer	As required by City Engineer	As required by City Engineer

Response: Ingress and egress from private property to the public streets has been designed and approved as a part of the Nyberg Rivers commercial center under AR-13-07. This proposed development connects to the existing internal drive aisles that then connect to the ingress/egress at SW Nyberg Street, a public street. The internal drive aisles are 30-feet to meet the ingress/egress width requirement. Truck turning analysis has been conducted to ensure that site circulation can meet the requirements of a WB-55 vehicle, the delivery truck size anticipated on the site. Retail deliveries are expected in the early afternoon and food deliveries are expected to occur in the early morning, each with an approximate duration of 3 hours.

CONCLUSION

The request for an Architectural Review approval for the proposed restaurant building meets all applicable code provisions as addressed in this project narrative and in the attached application submittal materials. Therefore, the applicant respectfully requests approval of the proposed restaurant building and associated site development.



Chicago Title Company

10135 SE Sunnyside Road, Suite 200
Clackamas, Oregon 97015
Phone: 503.786.3940 Fax: 503.653.7833
E-mail: trios@ctt.com

METROSCAN PROPERTY PROFILE

Washington (OR)

OWNERSHIP INFORMATION

Owner	: Tuala Northwest LLC	Parcel Number	: R0533293
CoOwner	:	Ref Parcel #	: 2S124A0 03100
Site Address	: 7405 SW Nyberg St Tualatin 97062	T: 02S R: 01W S: 24 Q: NE QQ:	
Mail Address	: 5638 Dogwood Dr Lake Oswego Or 97035	Bldg # 1 Of 3	
Telephone	:		

SALES INFORMATION

Transfer Date	:	Document #	:
Sale Price	:	Deed Type	:
% Owned	:	Vesting Type	:
Prior Transfer Date	:	Prior Document #	:
Prior Sales Price	:		

PROPERTY DESCRIPTION

Map Page Grid :
Census Tract : 320.05 Block: 4
Neighborhood : ZFWY
School District : Tigard
Subdivision/Plat :
Class Code : Banks & Financial Institutions
Land Use : 2210 Com, Commercial Improved
Legal : ACRES 22.74, SEE ASSOCIATED
ACCOUNT(S)
:

ASSESSMENT AND TAX INFORMATION

Mkt Land	: \$11,657,030
Mkt Structure	: \$5,429,790
Mkt Total	: \$17,086,820
%Improved	: 32
M50 Total	: \$10,307,300
Levy Code	: 02376
14-15 Taxes	: \$167,215.33
Millage Rate	: 16.2230

PROPERTY CHARACTERISTICS

Bedrooms	:	Lot Acres	: 22.74	Year Built	:
Bathrooms	:	Lot SqFt	: 990,554	EffYearBlt	:
HeatMethod:	:	BsmFin SF	:	Floor Cover	:
Pool	:	BsmUnfinSF:	:	Foundation	:
Appliances	:	Bldg SqFt	: 3,252	Roof Shape	:
Dishwasher	:	1stFlrSF	: 3,252	Roof Matl	:
Hood Fan	:	UpperFISF	:	InteriorMat	:
Deck	:	Porch SqFt	:	Paving Matl	:
GarageType:	:	Attic SqFt	:	Ext Finish	:
Garage SF	:	Deck SqFt	:	Const Type	:

This title information has been furnished, without charge, in conformance with the guidelines approved by the State of Oregon Insurance Commissioner. The Insurance Division cautions intermediaries that this service is designed to benefit the ultimate insureds. Indiscriminate use only benefiting intermediaries will not be permitted. Said services may be discontinued. No liability is assumed for any errors in this report. Information is deemed reliable but not guaranteed



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METROSCAN PROPERTY PROFILE

Washington (OR)

OWNERSHIP INFORMATION

Owner	: Tuala Northwest LLC	Parcel Number	: R0533293
CoOwner	:	Ref Parcel #	: 2S124A0 03100
Site Address	: 7405 SW Nyberg St Tualatin 97062	T: 02S R: 01W S: 24 Q: NE QQ:	
Mail Address	: 5638 Dogwood Dr Lake Oswego Or 97035	Bldg # 2 Of 3	
Telephone	:		

SALES INFORMATION

Transfer Date	:	Document #	:
Sale Price	:	Deed Type	:
% Owned	:	Vesting Type	:
Prior Transfer Date	:	Prior Document #	:
Prior Sales Price	:		

PROPERTY DESCRIPTION

Map Page Grid :
Census Tract : 320.05 Block: 4
Neighborhood : ZFWY
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ACCOUNT(S)

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PROPERTY CHARACTERISTICS

Bedrooms	:	Lot Acres	: 22.74	Year Built	:
Bathrooms	:	Lot SqFt	: 990,554	EffYearBlt	:
HeatMethod	:	BsmFin SF	:	Floor Cover	:
Pool	:	BsmUnfinSF	:	Foundation	:
Appliances	:	Bldg SqFt	:	Roof Shape	:
Dishwasher	:	1stFlrSF	:	Roof Matl	:
Hood Fan	:	UpperFISF	:	InteriorMat	:
Deck	:	Porch SqFt	:	Paving Matl	:
GarageType	:	Attic SqFt	:	Ext Finish	:
Garage SF	:	Deck SqFt	:	Const Type	:

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METROSCAN PROPERTY PROFILE

Washington (OR)

OWNERSHIP INFORMATION

Owner	: Tuala Northwest LLC	Parcel Number	: R0533293
CoOwner	:	Ref Parcel #	: 2S124A0 03100
Site Address	: 7405 SW Nyberg St Tualatin 97062	T: 02S R: 01W S: 24 Q: NE QQ:	
Mail Address	: 5638 Dogwood Dr Lake Oswego Or 97035	Bldg # 3 Of 3	
Telephone	:		

SALES INFORMATION

Transfer Date	:	Document #	:
Sale Price	:	Deed Type	:
% Owned	:	Vesting Type	:
Prior Transfer Date	:	Prior Document #	:
Prior Sales Price	:		

PROPERTY DESCRIPTION

Map Page Grid :
Census Tract : 320.05 Block: 4
Neighborhood : ZFWY
School District : Tigard
Subdivision/Plat :
Class Code : Banks & Financial Institutions
Land Use : 2210 Com, Commercial Improved
Legal : ACRES 22.74, SEE ASSOCIATED
ACCOUNT(S)

ASSESSMENT AND TAX INFORMATION

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PROPERTY CHARACTERISTICS

Bedrooms	:	Lot Acres	: 22.74	Year Built	:
Bathrooms	:	Lot SqFt	: 990,554	EffYearBlt	:
HeatMethod	:	BsmFin SF	:	Floor Cover	:
Pool	:	BsmUnfinSF	:	Foundation	:
Appliances	:	Bldg SqFt	: 58,566	Roof Shape	:
Dishwasher	:	1stFlrSF	: 45,000	Roof Matl	:
Hood Fan	:	UpperFISF	: 13,566	InteriorMat	:
Deck	:	Porch SqFt	:	Paving Matl	:
GarageType	:	Attic SqFt	:	Ext Finish	:
Garage SF	:	Deck SqFt	:	Const Type	:

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After Recording Return to:
Stark Ackerman
Black Helterline LLP
805 S.W. Broadway, Suite 1900
Portland, OR 97205

Until Further Notice, Send Tax Statements to:
Tuala Northwest, LLC
5638 Dogwood Drive
Lake Oswego, OR 97035-8018

Washington County, Oregon
09/03/2013 01:21:43 PM
D-DBS Cnt=1 Stn=21 RECORDS1
\$30.00 \$5.00 \$11.00 \$15.00 - Total = \$61.00

2013-080368



01875186201300803680060063

I, Richard Hobernicht, Director of Assessment and
Taxation and Ex-Officio County Clerk for Washington
County, Oregon, do hereby certify that the within
instrument of writing was received and recorded in the
book of records of said county.
Richard Hobernicht, Director of Assessment and
Taxation, Ex-Officio County Clerk



**BARGAIN & SALE DEED
For Lot Consolidation**

TUALA NORTHWEST, LLC an Oregon limited liability company, Grantor, conveys to **TUALA NORTHWEST, LLC, an Oregon limited liability company**, Grantee, all of Grantor's right, title and interest in the real property in the County of Washington and State of Oregon and legally described as:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN.

The true and actual consideration paid for this conveyance is: \$0. The purpose of this deed is to create a single tax lot by combining and consolidating the following adjoining properties:

Tax Lot **2S124A 2700**, previously described as Parcel I in Bargain and Sale Deed recorded July 31, 2012, as Instrument No. 2012-062598 deed records of Washington County, and

Tax Lot **2S124A 2507**, previously described as Parcel II in Bargain and Sale Deed recorded July 31, 2012, as Instrument No. 2012-062598 deed records of Washington County; and

Tax Lot **2S124B 2100**, previously described as Parcel III in Bargain and Sale Deed recorded July 31, 2012, as Instrument No. 2012-062598 deed records of Washington County; and

Tax Lot **2S124A 2506**, previously described as Parcel IV in Bargain and Sale Deed recorded July 31, 2012, as Instrument No. 2012-062598 deed records of Washington County.

The above referenced tax lots are consolidated into **Tax Lot 2S124B 2100** as described in **EXHIBIT "A"**, and as depicted on the lot consolidation map attached hereto as **EXHIBIT "B."**

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

EXECUTED this 3 day of September, 2013.

GRANTOR:

TUALA NORTHWEST, LLC an Oregon limited liability company

By: 

Arne C. Nyberg, Manager

GRANTEE:

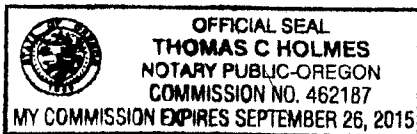
TUALA NORTHWEST, LLC an Oregon limited liability company

By: 

Arne C. Nyberg, Manager

STATE OF OREGON/ County of MULTNOMAH ss.

This instrument was acknowledged before me, a notary public in and for said County and State, this 3RD day of SEPTEMBER, 2013, by the within named Arne Nyberg, Manager of Tuala Northwest, LLC, an Oregon Limited Liability Company.




NOTARY PUBLIC FOR OREGON

Exhibit "A"

LEGAL DESCRIPTION

Nyberg II 21198310

Lot Consolidation

July 23, 2013

Page 1 OF 4

A TRACT OF LAND LOCATED IN THE NORTHEAST AND NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF PARCEL 1, PARTITION PLAT NO. 1993-123, WASHINGTON COUNTY SURVEY RECORDS, SAID POINT BEING 120.00 FEET WESTERLY OF THE CENTERLINE OF THE SOUTHBOUND LANE OF INTERSTATE HIGHWAY NO. 5, WHEN MEASURED PERPENDICULAR THERETO;

THENCE ALONG THE WESTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 5 (VARIABLE WIDTH) SOUTH 15°49'17" WEST, 169.04 FEET TO A POINT BEING 120.00 FEET WESTERLY OF THE CENTERLINE OF THE SOUTHBOUND LANE OF INTERSTATE HIGHWAY NO. 5, WHEN MEASURED PERPENDICULAR THERETO;

THENCE SOUTH 12°33'01" WEST, 350.57 FEET TO A POINT BEING 100.00 FEET WESTERLY OF THE CENTERLINE OF THE SOUTHBOUND LANE OF INTERSTATE HIGHWAY NO. 5, WHEN MEASURED PERPENDICULAR THERETO;

THENCE PARALLEL WITH SAID CENTERLINE SOUTH 15°49'17" WEST, 170.29 FEET TO A POINT BEING 100.00 FEET WESTERLY OF THE CENTERLINE OF THE SOUTHBOUND LANE OF INTERSTATE HIGHWAY NO. 5, WHEN MEASURED PERPENDICULAR THERETO;

THENCE SOUTH 21°33'44" WEST, 542.28 FEET TO A POINT BEING 154.33 FEET WESTERLY OF THE CENTERLINE OF THE SOUTHBOUND LANE OF INTERSTATE HIGHWAY NO. 5, WHEN MEASURED PERPENDICULAR THERETO, SAID POINT ALSO BEING THE NORTHEAST CORNER OF DEED DOCUMENT NO. 2004-135929, WASHINGTON COUNTY DEED RECORDS;

THENCE ALONG THE NORTHERLY LINE OF SAID DEED DOCUMENT NO. 2004-135929 SOUTH 89°46'15" WEST, 374.82 FEET TO THE NORTHWEST CORNER THEREOF;

THENCE ALONG THE WESTERLY LINE OF SAID DEED DOCUMENT NO. 2004-135929 SOUTH 00°13'45" EAST, 361.43 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF SW NYBERG ROAD (COUNTY ROAD NO. 2545)(VARIABLE WIDTH);

THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE SOUTH 89°46'15" WEST, 203.68 FEET;

THENCE SOUTH 44°46'46" WEST, 110.68 FEET;

THENCE SOUTH 82°09'15" WEST, 343.77 FEET;

THENCE SOUTH 89°46'15" WEST, 46.25 FEET;

THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 00°13'45" WEST, 683.87 FEET TO THE SOUTHERLY LINE OF PARCEL 7 OF DEED DOCUMENT NO. 2012-062598, WASHINGTON COUNTY DEED RECORDS;

W:\21198310\Survey\Legal Descriptions\19831-SUR-LEGAL-LOT CONSOLIDATION-NYBERG.doc

LEGAL DESCRIPTION
Nyberg II 21198310
Lot Consolidation
July 23, 2013
Page 2 OF 4

THENCE ALONG SAID SOUTHERLY LINE NORTH 89°46'15" EAST, 307.55 FEET TO THE SOUTHWEST CORNER OF PARCEL 1, PARTITION PLAT NO. 1993-123, WASHINGTON COUNTY SURVEY RECORDS;

THENCE ALONG THE WESTERLY LINE OF SAID PARCEL 1, NORTH 05°34'18" EAST, 276.21 FEET TO THE SOUTHERLY BANK OF THE TUALATIN RIVER;

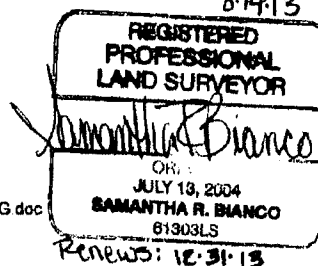
THENCE ALONG THE SOUTHERLY AND EASTERLY BANK OF THE TUALATIN RIVER THE FOLLOWING COURSES AND DISTANCES:

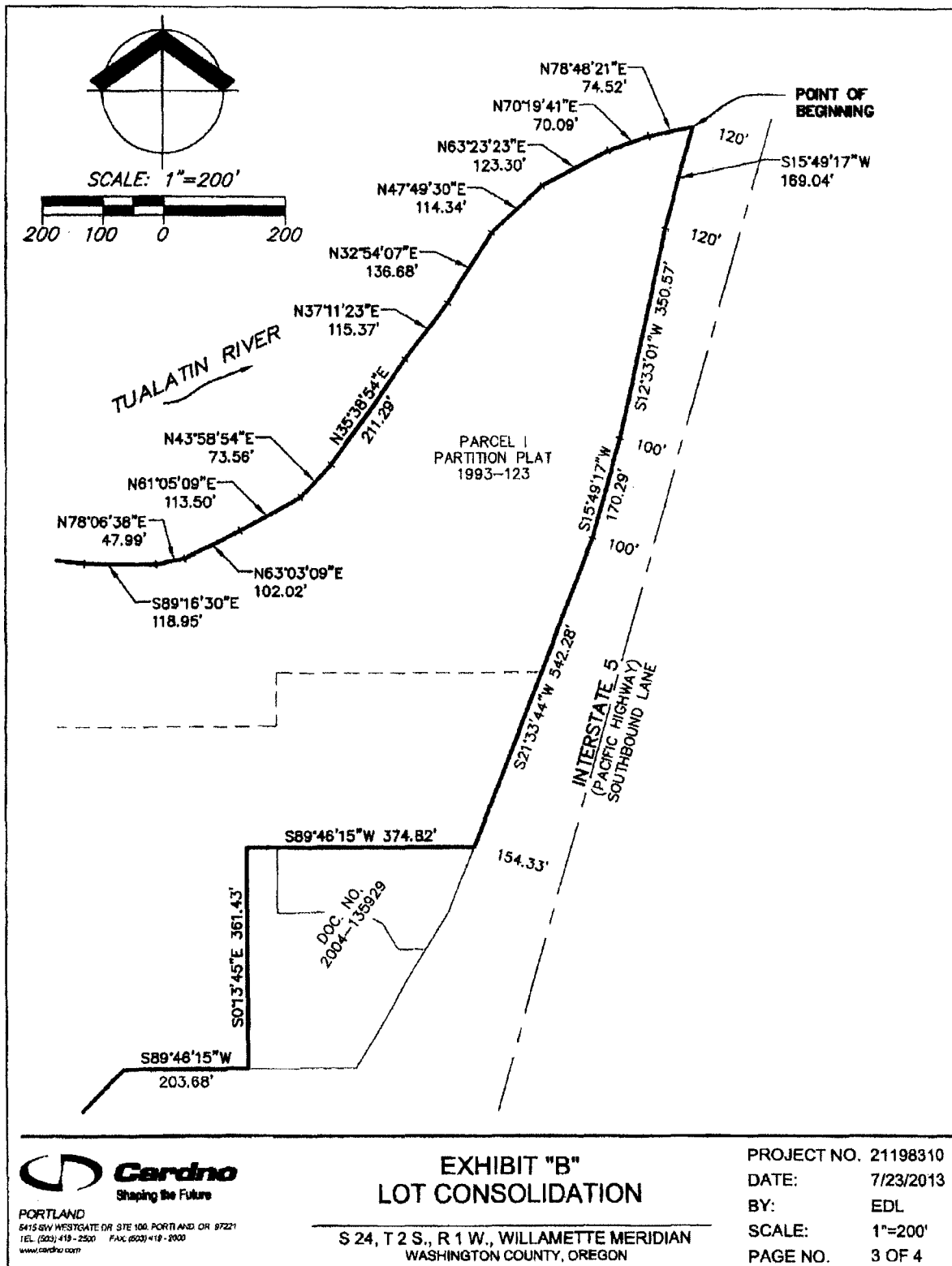
THENCE SOUTH 83°06'05" EAST, 70.20 FEET;
THENCE SOUTH 89°16'30" EAST, 118.95 FEET;
THENCE NORTH 78°06'38" EAST, 47.99 FEET;
THENCE NORTH 63°03'09" EAST, 102.02 FEET;
THENCE NORTH 61°05'09" EAST, 113.50 FEET;
THENCE NORTH 43°58'54" EAST, 73.56 FEET;
THENCE NORTH 35°38'54" EAST, 211.29 FEET;
THENCE NORTH 37°11'23" EAST, 115.37 FEET;
THENCE NORTH 32°54'07" EAST, 136.68 FEET;
THENCE NORTH 47°49'30" EAST, 114.34 FEET;
THENCE NORTH 63°23'23" EAST, 123.30 FEET;
THENCE NORTH 70°19'41" EAST, 70.09 FEET;
THENCE 78°48'21" EAST, 74.52 FEET TO THE POINT OF BEGINNING.

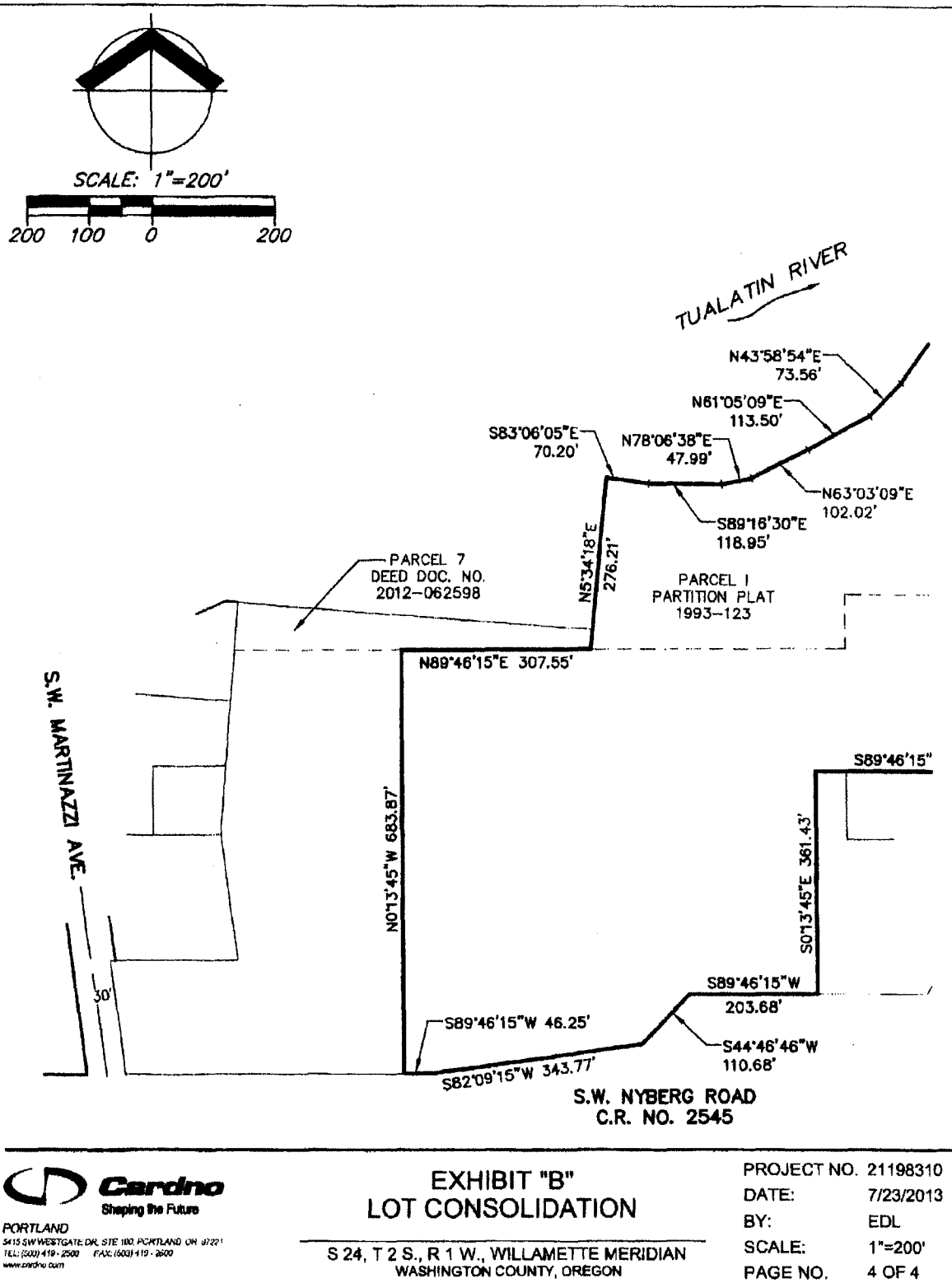
CONTAINS 990,893 SQUARE FEET OR 22.743 ACRES, MORE OR LESS.

THE ATTACHED EXHIBIT "B" ENTITLED "LOT CONSOLIDATION" IS MADE A PART HEREOF.

W:\21198310\Survey\Legal Descriptions\9831-SUR-LEGAL-LOT CONSOLIDATION-NYBERG.doc







Page 6 - BARGAIN AND SALE DEED-Lot Consolidation

2S 1 24A

C L A C K A M A S
C O U N T Y

SEE MAP
2S 1 24AA

SEE MAP
2S 1 24AB

SEE MAP
IS 1 24 A

23-76

SEE MAP
2S | 24DB

SEE MAP
2S 1 24DA

TUALATIN
2S 1 24A



CHICAGO TITLE
10135 S.E. SUNNYSIDE ROAD SUITE 200
CLACKAMAS, OREGON 97015

MEMORANDUM

To: Clare Fuchs, Senior Planner
City of Tualatin

From: Thatch Moyle, Senior Planner
Cardno

Date: February 19, 2015
Re: Pre-Application Conference Request

5415 SW Westgate Drive
Suite 100
Portland, Oregon 97221
USA

Phone (503) 419-2500
Fax (503) 419-2600

www.cardno.com

This memo is provided as a general overview of the proposed Cracker Barrel to be located at the Nyberg Rivers commercial center. The proposed restaurant will be located just north of the proposed Red Robin and south of the L.A. Fitness currently in construction. Please accept this memo and the attached pre-application meeting request application, existing conditions plan, preliminary site plan, and preliminary building elevations as items for your review and comment at the time of the pre-application conference.

Based on preliminary design, the proposed Cracker Barrel is 8,717 SF, with associated site improvements to include pedestrian sidewalks, landscaping, off-street parking spaces, and a trash enclosure located at the northeast corner of the site adjacent to the building. The primary building entrance is located to the south of the building, while there are secondary accesses on the north and west side of the building.

The site is within the Community Commercial (CC) planning district. The applicant is well aware of the development standards defined under City of Tualatin Development Code, but would request any feedback on the proposed site layout and building elevations at the pre-application meeting.

Specific questions to be discussed with the City include but are not limited to:

1. Please confirm the Architectural Review approvals and submittal requirements including fees.
2. Please confirm the attached preliminary site plan meets the requirements as established by the City development code, Nyberg Rivers Master Plan, and Nyberg Rivers ARB. Or provide comments on what would be required to reach staff support.
3. Please confirm the attached elevations meet the requirements as established by the City development code, Nyberg Rivers Master Plan and Nyberg Rivers ARB. Or provide comments on what would be required to reach staff support.
4. For an AR application would the City require a lighting plan or photometric plan? Based on the approved lighting plan for Nyberg Rivers, the applicant may need to shift the location of one light pole that is in the northwest corner of the site within a parking lot landscape island.
5. Please verify known utility constraints that could affect the project.
6. Please confirm what will be required for any traffic related documentation for the AR Submittal.
7. Please confirm any required SDC Fees for the proposed project.
8. Please confirm all permits and requirements required for construction of this project.

Thank you Clare for this opportunity to discuss the proposed development. We look forward to working with you and the City on this project.

**Cardno®**

Shaping the Future

Followup to Pre-App.

SHEET NO. _____ OF _____

JOB NO. _____

Meet w/ Clark (C. S. Walston)

SUBJECT Cruiser BarrelBY KB DATE 8/3/15

- 1) Replicate sign. on site plan (Frank)
- 2) Screen for loading area
- 3) Landscape in rear
- 4) Root top (code) sign (extra area, height)
- 5) Transformers screened (cover at time of planting)
- 6) Bike plng. signs (center cat signs - match)
- 7) Walston L.A. com (meeting notes)
- 8) ^{Affidavit} A. mailing B. Affidavit for case # (after submitted)
- 9) ~~Owner authorization~~ (center cat signature)
- 10) GIS buffer map vis-a-vis mailing list
- 11) Arch. elevations / landscaping (need to be to scale)
- 12) Light plan - legible, legend, symbols, right locations
- 13) 3 copies - 3 binders, 3 full size plan sets
- 14) Bike plng. (elevations)



June 11, 2015

5415 SW Westgate Drive
Suite 100
Portland, Oregon 97221
USA

Phone (503) 419-2500
Fax (503) 419-2600

Re: Architectural Review Application for proposed Cracker Barrel at Nyberg Rivers

www.cardno.com

Dear Property Owner/Neighborhood Representative:

You are cordially invited to attend a meeting on June 25, 2015 from 5:30 p.m. to 6:30 p.m. at the Heritage Center located at 8700 SW Seek Drive in Tualatin. This meeting shall be held to discuss an architectural review application for a proposed Cracker Barrel restaurant located at Nyberg Rivers within the southeast portion of the site along the Nyberg Road frontage (Tax Lot ID 2S124A003100) in Tualatin.

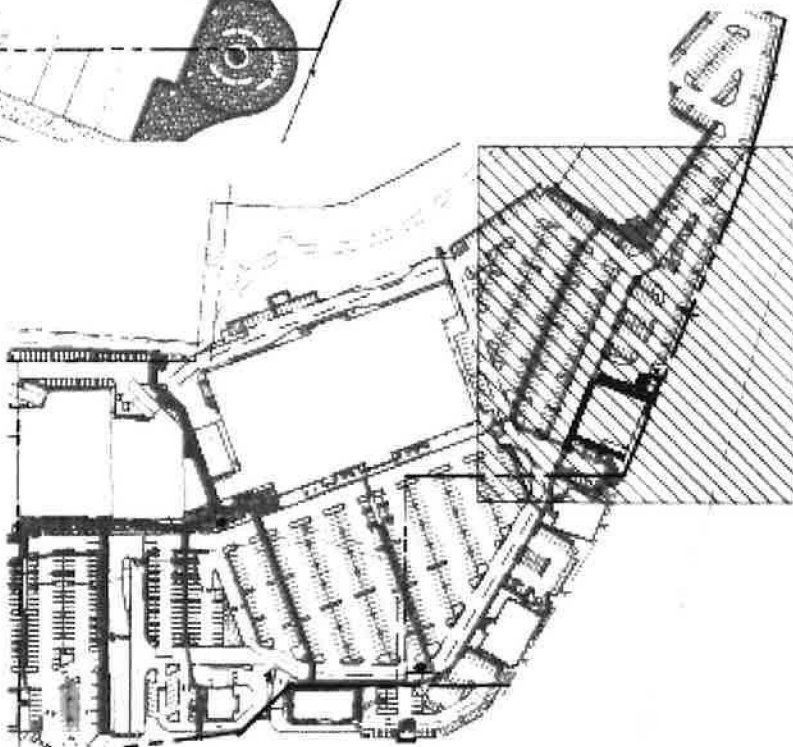
Please note that this will be an informational meeting on preliminary plans with the developer and representatives only and is not intended to take the place of a public hearing before the Planning Commission. You will have an opportunity to present testimony to these bodies when an application is submitted to the City for review.

We look forward to meeting you at the June meeting and hearing your thoughts on the proposed project!

Sincerely,

Thatch Moyle, AICP
Senior Planner, Cardno

Enclosure: Site Plan



SCALE 4TS

Kevin Brady

From: Lynette Sanford <LSanford@ci.tualatin.or.us>
Sent: Tuesday, August 04, 2015 1:41 PM
To: Kevin Brady
Subject: FW: Nyberg Rivers Cracker Barrel-- neighborhood meeting this Thursday from 5:30 to 6:30 at Heritage Center
Attachments: NybergRivers_CrackerBarrel-MailingNotice-2015-06-10.pdf; NYBERG OR SOUTH-WEST 06-09-15.pdf

I believe I found it! Is this it?

Lynette

From: Thatch Moyle (Portland) [mailto:Thatch.Moyle@cardno.com]
Sent: Tuesday, June 23, 2015 3:16 PM
To: Lynette Sanford; Clare Fuchs
Cc: 'cphill9@comcast.net'; rmheide@comcast.net; 'cjben5915@hotmail.com'; 'sander5389@comcast.net'; sander5389@comcast.net; doug_ulmer@comcast.net; alex.simshaw@gmail.com; stefan@feuerherdtlaw.com; tmpgarden@comcast.net; jrpride@frontier.com; roy@rueckco.com; lloop@klcorp.com; rachelcarpenterrealty@gmail.com; robertekellogg@yahoo.com; erik@johannesfamily.com; rfco@earthlink.com; jmakarowsky@comcast.net; edkcnw@comcast.net; willie.fisher@gmail.com; s.caporale@comcast.net; willie.fisher@gmail.com; mwestenhaver@hotmail.com; kzlateff@comcast.net; tualatincommercialcio@gmail.com; Gannett@oregonrn.org; scottm@capacitycommercial.com; famtunstall1@frontier.com; famtunstall1@frontier.com; tualatinindustrialcio@gmail.com; scottm@capacitycommercial.com
Subject: Nyberg Rivers Cracker Barrel-- neighborhood meeting this Thursday from 5:30 to 6:30 at Heritage Center

Hello! We are hosting a neighborhood meeting for the proposed Cracker Barrel at Nyberg Rivers this Thursday, June 25th from 5:30 to 6:30 PM at the Heritage Center. See attached mailer as well as updated elevations that will be presented at the meeting. Please do not hesitate to call or email with any questions or concerns.

Thank you and hope you can make it on Thursday.

Thatch Moyle

SENIOR PLANNER
ENGINEERING & ENVIRONMENTAL SERVICES DIVISION
CARDNO



Direct (+1) 503-419-2520
Address 5415 SW Westgate Drive, Ste 100, Portland, OR 97221
Email thatch.moyle@cardno.com Web www.cardno.com

CONNECT WITH CARDNO    

70 YEARS of shaping the future 1945-2015

This email and its attachments may contain confidential and/or privileged information for the sole use of the intended recipient(s). All electronically supplied data must be checked against an applicable hardcopy version which shall be the only document which Cardno warrants accuracy. If you are not the intended recipient, any use, distribution or copying of the information contained in this email and its attachments is strictly prohibited. If you have received this email in error, please email the sender by replying to this message and immediately delete and destroy any copies of this email and any attachments. The views or opinions expressed are the author's own and may not reflect the views or opinions of Cardno.


NEIGHBORHOOD/APPLICANT MEETING ATTENDEE SIGN-IN SHEET

Project: Cracker Barrel at Nyberg Rivers

Meeting Date: June 25, 2015
5:30 -6:30 p.m.

Facilitator: Cardno—Thatch Moyle

Place/Room: Heritage Center
8700 SW Seek Dr

Name	Address (optional)	Phone (optional)	E-Mail (optional)
Delee Haudbine			
LINDY HUGHES			
Steve & Teri Heino			
Christine Nyberg Tunstall			
LESLIE McCARTAN			
PAT McCARTAN			
Clare Fuchs			
Roy Loop (CIO & V.PRES)			
Mary Lyn Westenhaver			

il.
com
com
ail
MAIL
tin.
US
COM
mail/co

Cracker Barrel at Nyberg Rivers Neighborhood Meeting Minutes

Date: June 25, 2015
5:30 p.m. to 6:30 p.m.

Location: Heritage Center
8700 SW Seek Drive Tualatin, OR 97062

Prepared by: Thatch Moyle
Senior Planner, Cardno

This neighborhood meeting for Cracker Barrel at Nyberg Rivers was attended by several neighbors and a Senior City Planner for the City of Tualatin, Clare Fuchs. Representing the applicant was Thatch Moyle, Senior Planner with Cardno. Some of the attendees were concerned with existing traffic/parking issues at Nyberg Rivers. Clare Fuchs addressed the concerns about on-site parking issues, including steps the City is taking to resolve parking concerns.

Nearly all attendees approved of the building elevations and the porch location relative to the fire pit. Several attendees were 'big fans' of Cracker Barrel and have been waiting for the arrival of Cracker Barrel to the Portland metro area.

There were a few specific comments and questions from the attendees, as indicated on the attached Comment Forms and summarized below:

- 1) Christine Tunstall expressed a desire to include native plants in the planting plan, and that the paint color appeared to be too dark.
- 2) Mary Lyn Westenhaver indicated that parking was already an issue and that additional retail/restaurants would increase the demand. She indicated that she already had trouble finding parking on weekends.
- 3) Lindy Hughes expressed her appreciation for the color (brown), but that it should be lightened.
- 4) Steve Heino expressed his appreciation for the Cracker Barrel restaurant brand and also the proposed appearance of the exterior.

COMMENT FORM

Name*: Steve Helio

Address*: _____

Comment: We and many of our friends
LOVE the fact that cracker
barrel is coming to Tualatin.
The appearance looks great too.

Thanks

**Name & Address Optional*

COMMENT FORM

Name*: LINDY HUGHES

Address*: 17690 SW CHEYENNE WY, TUALATIN

Comment: CB building color seems very dark. Brown
is great but a little lighter would be better.

**Name & Address Optional*

COMMENT FORM

Name*: Mary Lyn Westenhaver

Address*: 9845 SW Iowa Dr.
Tu

Comment: Parking is already an issue for
some areas of this lot. I am concerned
that 2 more restaurants are being added,
bringing many more cars. On more than
one occasion I have gone to New Seasons &
then unable to find a parking space.

**Name & Address Optional*

COMMENT FORM

Name*: Christine N. Tunstall

Address*: 17400 SW Cheyenne Way
Tualatin, OR

Comment: Please plant native plants!
Paint color appears a bit dark.

**Name & Address Optional*




Cracker Barrel at Nyberg Rivers

Tax Lots within 1000ft



Tualatin, Oregon

STATE OF OREGON)
) SS
COUNTY OF WASHINGTON)


Signature

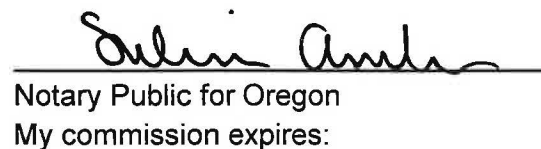
OFFICIAL SEAL
SALINA ANDRES
 NOTARY PUBLIC-OREGON
 COMMISSION NO. 477916
 MY COMMISSION EXPIRES APRIL 30, 2017

RE: _____

STATE OF OREGON)
) SS
COUNTY OF WASHINGTON)

That on the 11th day of June, 2015, I served upon the persons shown on Exhibit "A," attached hereto and by this reference incorporated herein, a copy of the Notice of Neighborhood/Developer meeting marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail with postage fully prepared thereon.

SUBSCRIBED AND SWORN to before me this 11th day of June, 2014.



RE: _____



NOTICE

**NEIGHBORHOOD /
DEVELOPER MEETING**

6/25/2015 5:30 p.m.
8700 SW Seek Drive
503-419-2500.



LA FITNESS

Chadwick
HomeCare
Landscape
Maintenance

WEATHER-PROOF
YOUR INVESTMENT





NOTICE

**NEIGHBORHOOD /
DEVELOPER MEETING**

6/25/2015 5:30 p.m.
8700 SW Seek Drive
503-419-2500

Sensitive Area Pre-Screening Site Assessment

1. Jurisdiction: Washington County

2. Property Information (example 1S234AB01400)

Tax lot ID(s): 2S124A003100

Site Address: 7665 SW Nyberg Street

City, State, Zip: Tualatin, OR 97062

Nearest Cross Street: SW Nyberg Street

3. Owner Information

Name: Banner Bank Attn: Corporate Accounting

Company: Banner Bank

Address: P.O. Box 907

City, State, Zip: Walla Walla, WA 99362-0265

Phone/Fax: _____

E-Mail: _____

4. Development Activity (check all that apply)

- ☐ Addition to Single Family Residence (rooms, deck, garage)
- ☐ Lot Line Adjustment ☐ Minor Land Partition
- ☐ Residential Condominium ☐ Commercial Condominium
- ☐ Residential Subdivision ☐ Commercial Subdivision
- ☒ Single Lot Commercial ☐ Multi Lot Commercial
- Other _____

5. Applicant Information

Name: Thatch Moyle

Company: Cardno

Address: 5415 SW Westgate Dr, Suite 100

City, State, Zip: Portland, OR 97221

Phone/Fax: (503) 419-2500

E-Mail: thatch.moyle@cardno.com

6. Will the project involve any off-site work? ☐ Yes ☒ No ☐ Unknown

Location and description of off-site work _____

7. Additional comments or information that may be needed to understand your project _____

This project is a building pad addition at the Nyberg Rivers commercial development

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name Thatch Moyle Print/Type Title Senior Planner

ONLINE SUBMITTAL

Date 3/6/2015

FOR DISTRICT USE ONLY

☐ Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

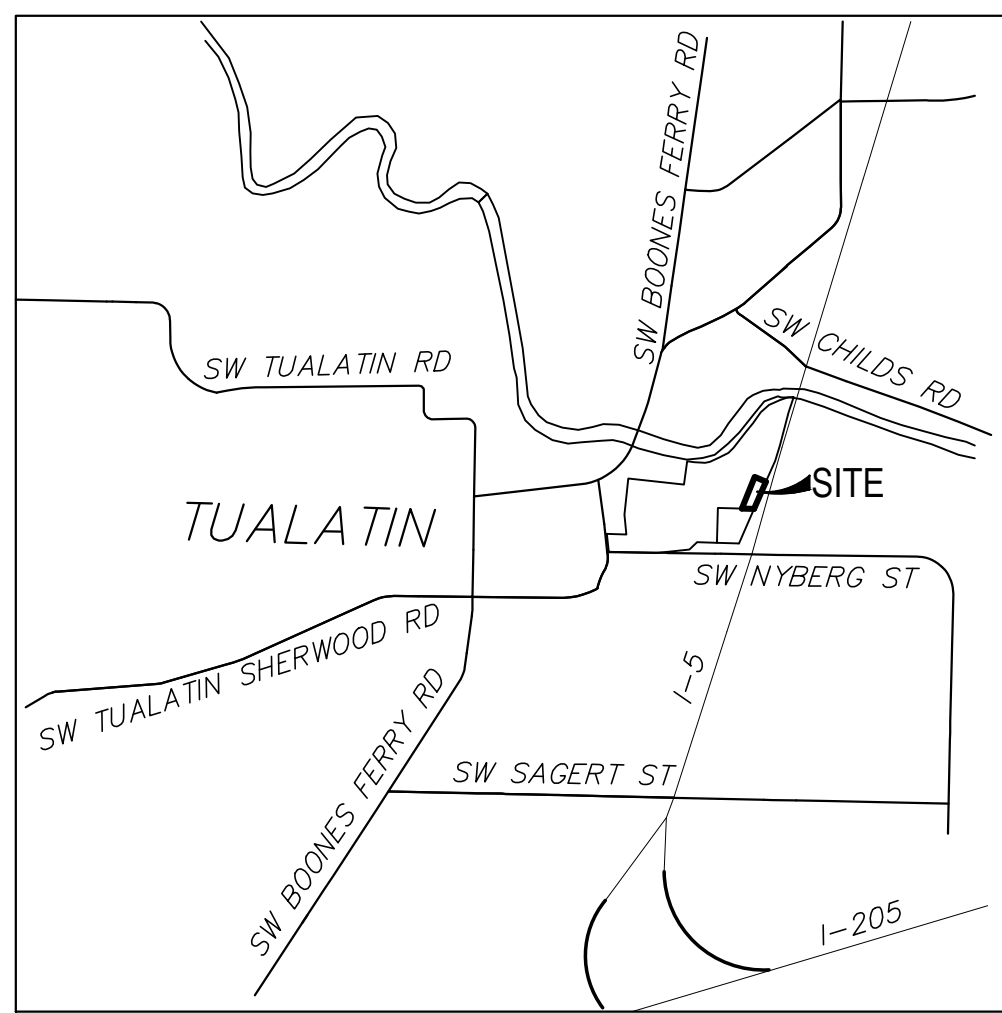
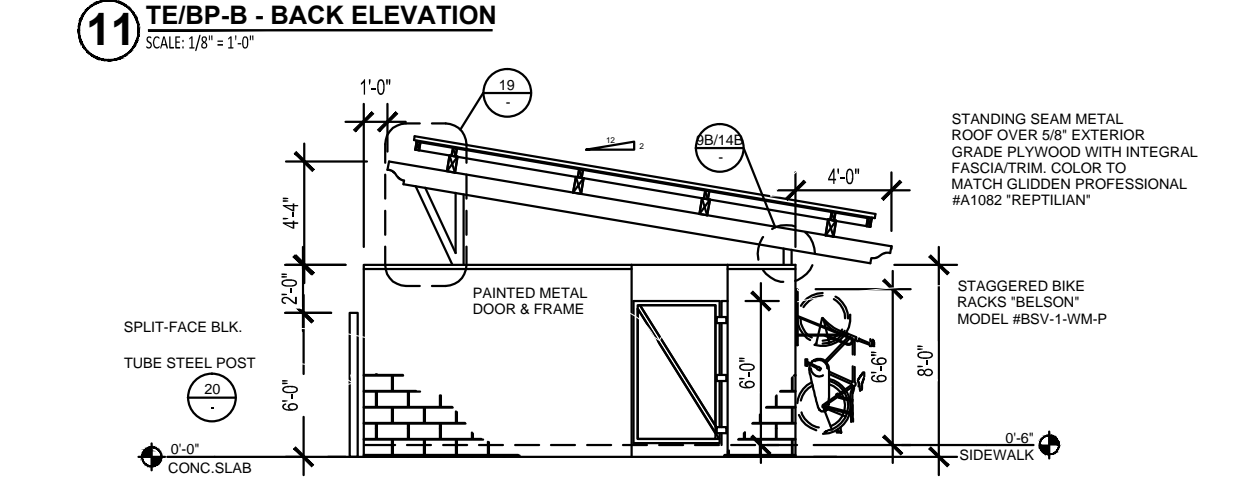
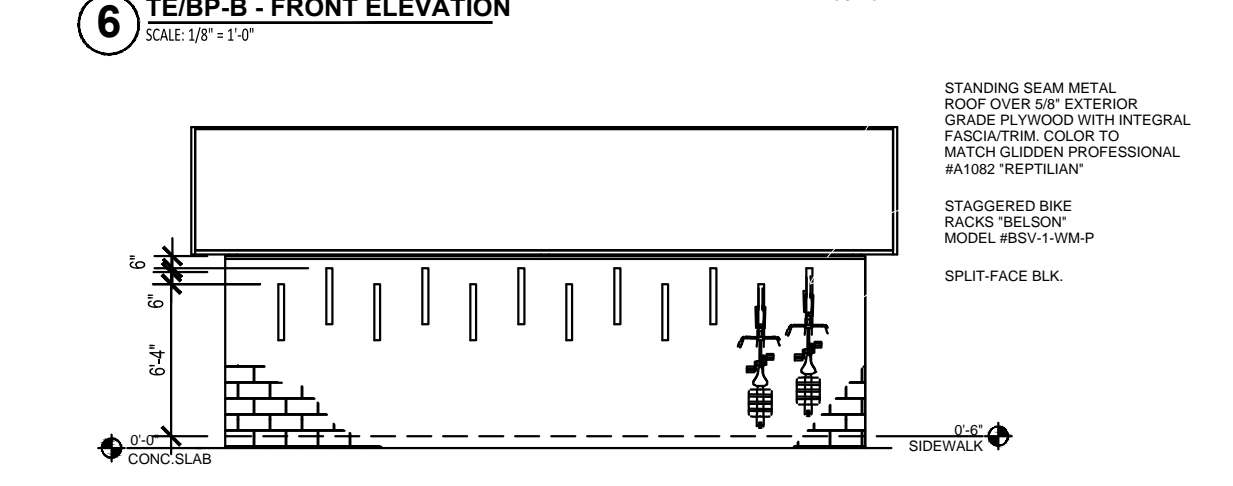
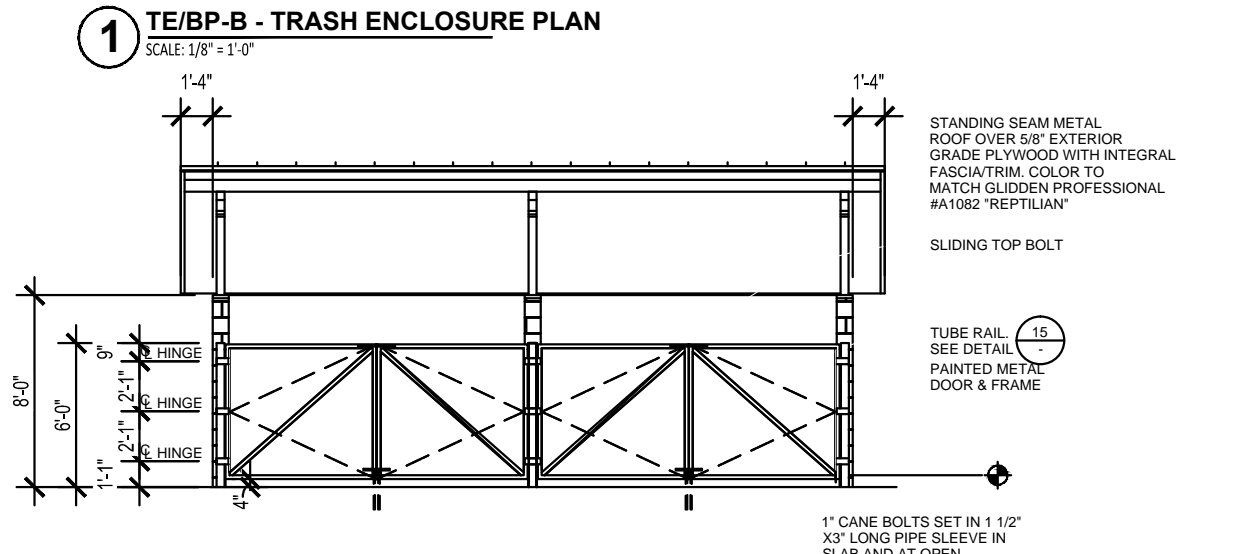
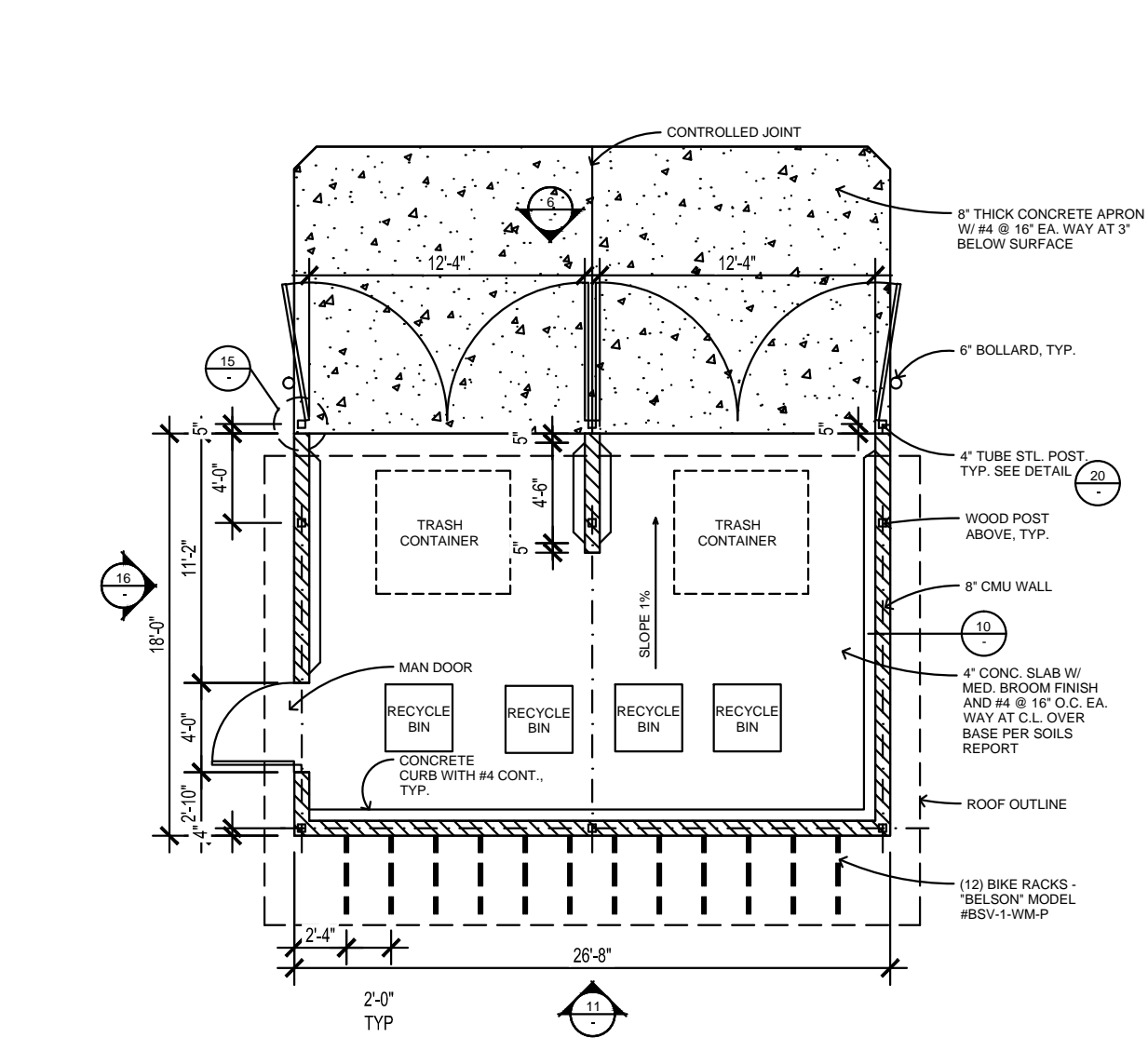
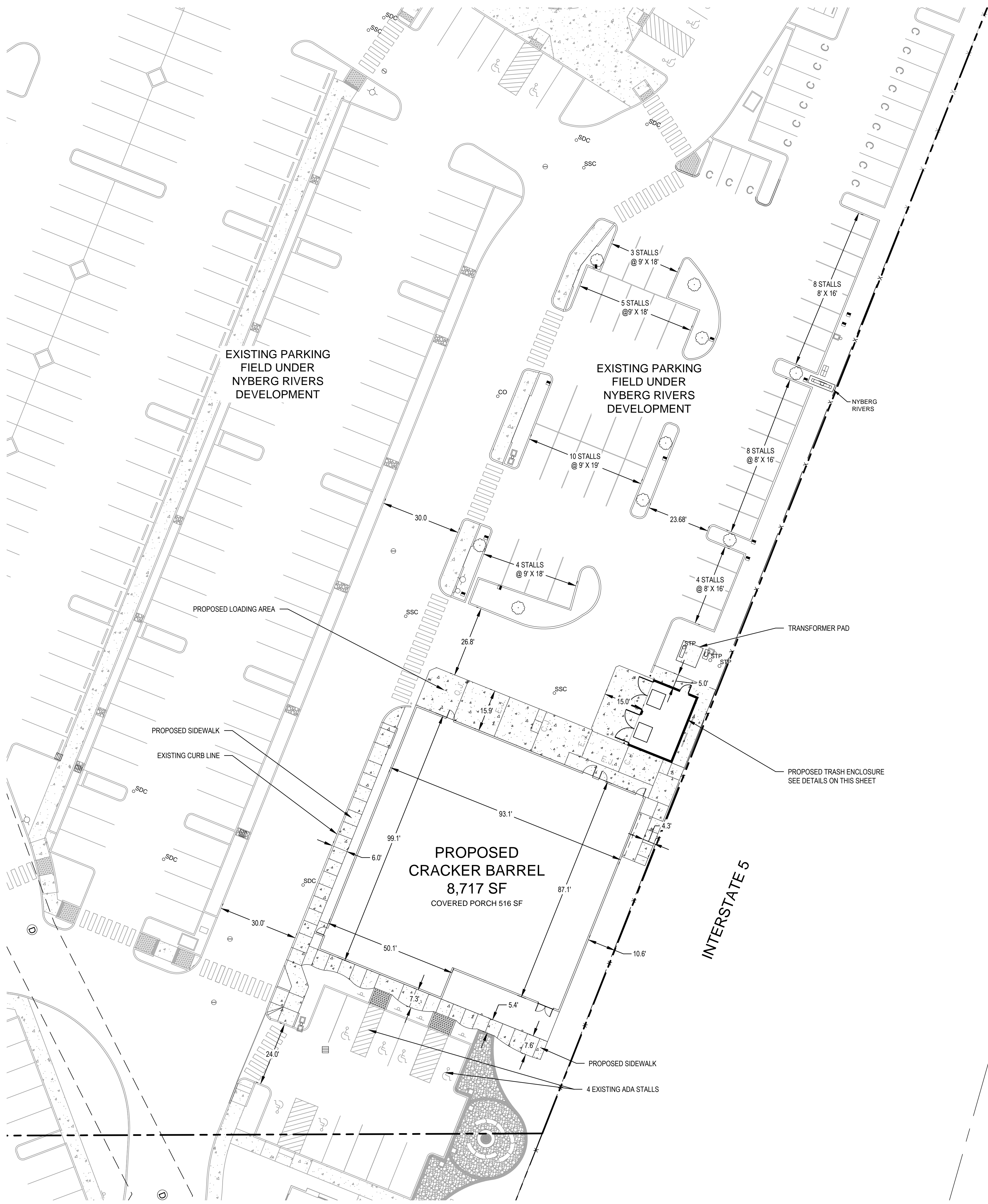
☐ Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.

☒ Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.

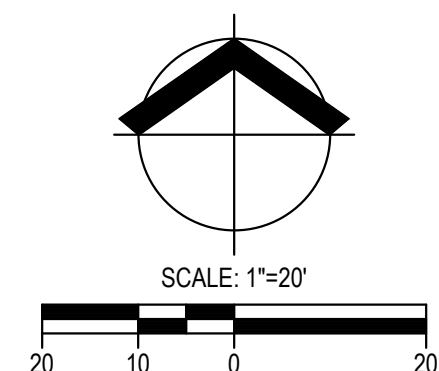
☐ This Service Provider Letter is not valid unless _____ CWS approved site plan(s) are attached.

☐ The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Reviewed by Chuck Mitchell Date 5/4/15



LEGEND	
[Symbol]	EXISTING BOUNDARY LINE
[Symbol]	EXISTING RIGHT-OF-WAY LINE
[Symbol]	FENCE LINE, TYPE AS NOTED
[Symbol]	STORM DRAINAGE LINE
[Symbol]	SANITARY SEWER LINE
[Symbol]	UNDERGROUND WATER LINE
[Symbol]	UNDERGROUND ELECTRICAL LINE
[Symbol]	INDICATES DATA FROM AS BUILT INFORMATION
[Symbol]	EXISTING CURB LINE
[Symbol]	PROPOSED CONCRETE LINE
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED TRASH ENCLOSURE WALL
[Symbol]	EXISTING CONCRETE SURFACE
[Symbol]	PROPOSED CONCRETE SURFACE
[Symbol]	PROPOSED TACTILE WARNING DOMES
[Symbol]	CATCH BASIN - TRAPPED TYPE
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	WATER VALVE
[Symbol]	IRRIGATION CONTROL BOX
[Symbol]	SHOEBOX LIGHT (SINGLE)
[Symbol]	ELECTRIC JUNCTION BOX
[Symbol]	UNKNOWN CLEANOUT
[Symbol]	STAND PIPE
[Symbol]	UNKNOWN UTILITY VAULT
[Symbol]	SIGN POST
[Symbol]	DECIDUOUS TREE



Cardno
Shaping the Future

PORTLAND
5415 SW WESTGATE DR. STE 100, PORTLAND, OR 97221
TEL: (503) 419-2500 FAX: (503) 419-2800
www.cardno.com

Old Country Store

SITE PLAN

CRACKER BARREL - NYBERG RIVERS

CRACKER BARREL

TUALATIN, OREGON

PROJECT NO.:	2150937000
DATE:	02/17/15
DESIGNED BY:	RHH
DRAWN BY:	RHH
CHECKED BY:	BFW



10295 SW Ridder Road, Wilsonville, OR 97070
O: 503.570.0626 F: 503.982.9307 republicservices.com

July 2, 2015

Ryan Halvorson, PE
Civil Project Engineer
Cardno
5415 SW Westgate Drive
Suite 100
Portland OR 97221

Re: Cracker Barrel
Waste & Recycling Enclosure

Dear Ryan;

Thank you, for sending us the site plans for this restaurant in Tualatin.

My Company: Republic Services of Clackamas & Washington Counties has the franchise agreement to service this area with the City of Tualatin. We will provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

My drivers should be able to safely service the enclosure as designed. The dimensions work well for our containers. Truck access also looks good. As we discussed please have the gates able to be secured in the open position about 180 degrees.

Thanks Ryan for your help and concerns for our services prior to this project being developed.

Sincerely,

Frank J. Loneragan
Operations Manager
Republic Services Inc.

CRACKER BARREL - TUALATIN

PREPARED FOR:
LD. REEVES AND ASSOCIATES, INC.
CITY OF TUALATIN, OREGON
SW NYBERG STREET, TUALATIN, OREGON 97062
DEVELOPMENT REVIEW

PROJECT TEAM

DEVELOPER

LD. REEVES AND ASSOCIATES, INC.
ATTN: LORRETA REEVES
1889 MANZANA AVENUE
PUNTA GORDA, FL 33950
PHONE: (865) 300-6877

CIVIL ENGINEER

DOWL
ATTN: BEN WILLIAMS, PE
RYAN HALVORSON, PE
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OR 97205
PHONE: (971) 280-8641
FAX: (800) 865-9847

PLANNER

DOWL
ATTN: READ STAPLETON, AICP
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OR 97205
PHONE: (971) 280-8641
FAX: (800) 865-9847

LANDSCAPE ARCHITECT

DOWL
ATTN: PAT GAYNOR, RLA
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OR 97205
PHONE: (971) 280-8641
FAX: (800) 865-9847

SURVEYOR

CARDNO
ATTN: ERIC LYNCH, PLS
5415 SW WESTGATE DRIVE, SUITE 100
PORTLAND, OR 97221
PHONE: (503) 419-2500
FAX: (503) 419-2529

ARCHITECT

DESIGN AND ENGINEERING, INC.
ATTN: COLLEEN ATWOOD
1645 WESTGATE CIRCLE
BRENTONWOOD, TN 37027
PHONE: (615) 370-1779
FAX: (615) 370-9108

DATUM:

WASHINGTON COUNTY BENCHMARK NO. 922
A 3" BRASS DISK SET IN CONCRETE CURB AT THE
SOUTHEAST CORNER OF THE INTERSECTION OF SW
BOONES FERRY ROAD AND SW TUALATIN ROAD.
ELEVATION = 122.154'

BASIS OF BEARINGS:

BASIS OF BEARINGS S 00°01'11" W ALONG THE EAST LINE OF
SUBJECT PROPERTY WAS DERIVED PER PARTITION PLAT NO.
1998-133. ALSO RECORDED AS DOCUMENT #98118946

UNDERGROUND ACCURACY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED
FROM FIELD SURVEY INFORMATION AND EXISTING
DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT
THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH
UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT
LOCATION INDICATED, ALTHOUGH WE CERTIFY THAT THEY
ARE LOCATED AS ACCURATELY AS POSSIBLE FROM
INFORMATION AVAILABLE. DUE TO THE HAZARDOUS NATURE
AND APPLICABLE OSHA REQUIREMENTS REGARDING
CONFINED SPACES, IT IS CARDNO POLICY TO NOT SEND
FIELD STAFF INTO UTILITY MANHOLES TO RETRIEVE DEPTH
AND SIZE INFORMATION. INFORMATION SHOWN HEREON IS
SUBJECT TO AN UNCERTAINTY IN ACCURACY DEPENDING ON
DEPTH, SIZE, FLOW, AND CONSTRUCTION OF MANHOLES.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE
UNDERGROUND UTILITY LINES.

SITE INFORMATION:

LOCATED WEST OF I-5 AND NORTH OF NYBERG STREET.
LOCATED IN NE QUARTER OF SECTION 24, TOWNSHIP 2
SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF
TUALATIN, WASHINGTON COUNTY, OREGON.

SHEET INDEX

CIVIL ENGINEERING PLANS

- C0.0 COVER SHEET
- C0.1 GENERAL NOTES
- C0.2 OVERALL PROJECT PLAN
- C1.0 EXISTING CONDITIONS PLAN
- C2.0 SITE PLAN
- C3.0 TREE PRESERVATION PLAN
- C3.1 TREE TABLE
- C4.0 GRADING PLAN
- C4.1 GRADING ENLARGEMENTS
- C5.0 UTILITY PLAN
- C6.0 DETAILS
- C6.1 DETAILS
- C6.2 DETAILS
- C6.3 DETAILS

LANDSCAPE PLANS

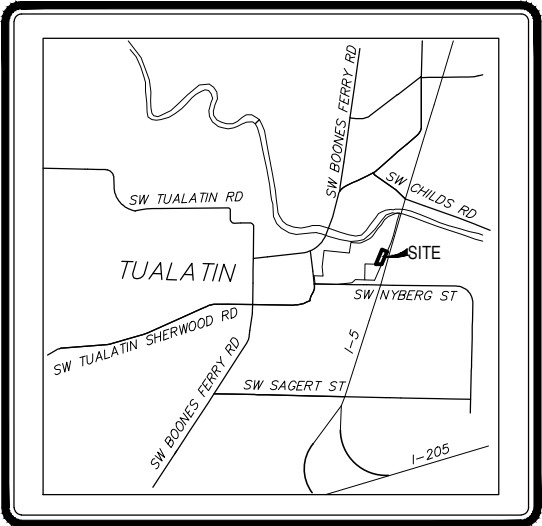
- LT.0 LANDSCAPE PLAN

ARCHITECTURAL PLANS

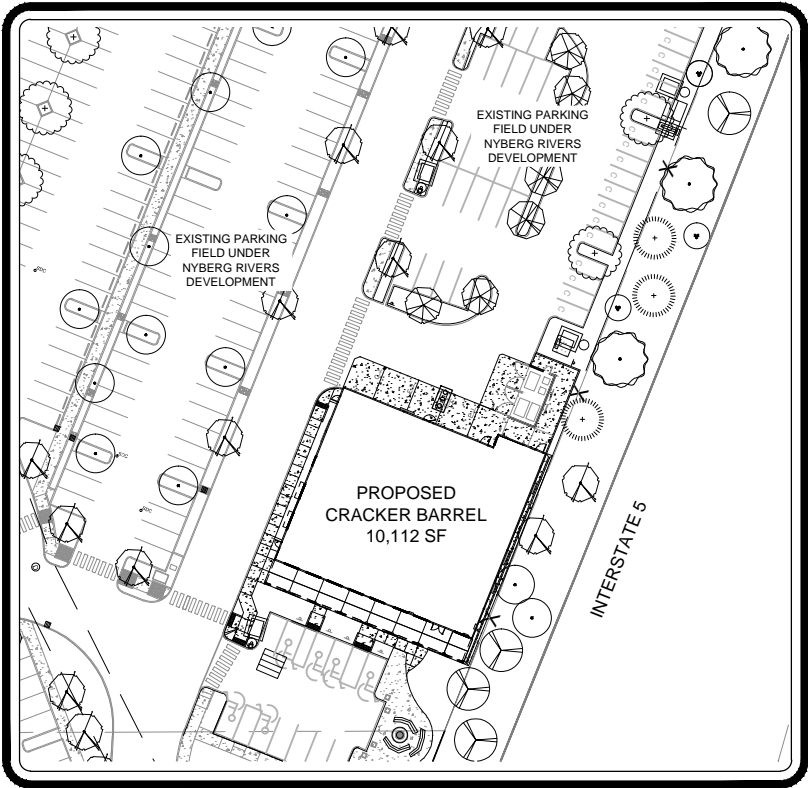
- 001 SOUTH-WEST ELEVATION (FULL COLOR)
- 002 NORTH-EAST ELEVATION (FULL COLOR)
- 003 SOUTH-NORTH ELEVATION
- 004 WEST-EAST ELEVATION
- D-1 DUMPSTER ENCLOSURE
- D-1 DUMPSTER ENCLOSURE (FULL COLOR)
- D-2 DUMPSTER ENCLOSURE

LIGHTING PLANS

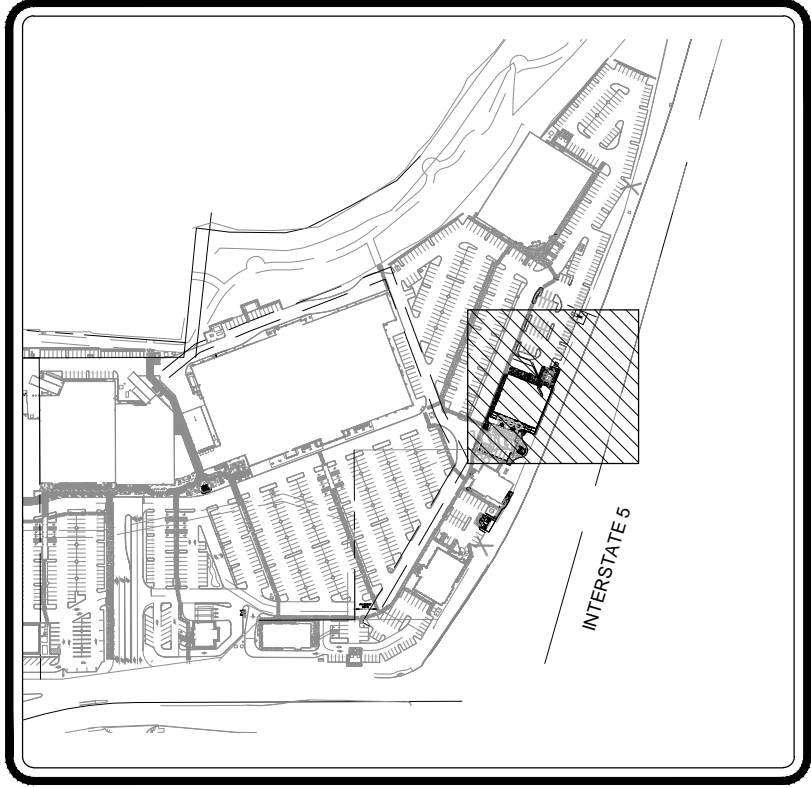
- ES1 PHOTOMETRIC PLAN
- ES2 LIGHTING CUT SHEETS
- ES3 LIGHTING CUT SHEETS



VICINITY MAP
SCALE: NTS



SITE
SCALE: NTS



KEY MAP
SCALE: NTS

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU
TO FOLLOW RULES ADOPTED BY THE
OREGON UTILITY NOTIFICATION CENTER.
THOSE RULES ARE SET FORTH IN OAR
952-001-0010 THROUGH OAR
952-001-0090. YOU MAY OBTAIN
COPIES OF THE RULES BY CALLING THE
CENTER.
(NOTE: THE TELEPHONE NUMBER FOR
THE OREGON UTILITY NOTIFICATION
CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.

Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS
M-F 7am-6pm 503-226-4211 Ext.4313
AFTER HOURS 503-226-4211
PGE 503-464-7777
QWEST 1-800-573-1311
CITY BUREAU OF MAINTENANCE 503-823-1700
CITY WATER 503-823-4874
VERIZON 1-800-483-1000

REV	DATE	DESCRIPTION	BY



DOWL
WWW.DOWL.COM
720 SW Washington St, Suite 750
Portland, Oregon 97205
(971) 280-8641



CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
COVER SHEET

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT	21503970
DATE	01/11/2016

© DOWL 2015
SHEET

C0.0

o:\22\transition\21503170\Civil\DD\0937-DD-GENERAL NOTES.dwg PLOT DATE 2016-11-14 12:38 SAVED DATE 2016-01-08 17:51 USER: rtholcson DOWHDM FILE NO: XXX-XX

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A CITY BUSINESS LICENSE IS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE LOCATIONS, DEPTH, AND DESCRIPTION OF EXISTING UTILITIES SHOWN WERE COMPILED FROM AVAILABLE RECORDS AND/OR SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA. OREGON LAW REQUIRES THAT THE RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER BE FOLLOWED. THOSE RULES ARE SET FORTH IN OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER OR ACCESSING VIA INTERNET AT WWW.STATE.OR.US/GOVERNME.HTM CALL BEFORE YOU DIG - PORTLAND METRO AREA 503-246-6699.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED UTILITIES USING MATERIALS AND METHODS APPROVED BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.
- ALL WATERLINE CROSSINGS SHALL BE IN CONFORMANCE WITH OAR CHAPTER 333. THE CITY MAY REQUIRE MORE STRINGENT STANDARDS. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND CITY OF TUALATIN ENGINEERING STAFF 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION AND 24 HOURS BEFORE RESUMING WORK AFTER SHUTDOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING A SATURDAY, SUNDAY, OR HOLIDAY.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL, AND OTHER MATERIAL IN THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT "REDLINE DRAWINGS" TO
- PROJECT ENGINEER FOR PREPARATION OF RECORD DRAWINGS. "REDLINE DRAWINGS" DOCUMENT ALL DEVIATIONS AND REVISIONS TO THE APPROVED PLANS; THEY ALSO RECORD A DESCRIPTION OF CONSTRUCTION MATERIALS ACTUALLY USED (PIPE MATERIAL, ETC.). FROM THE INFORMATION CONTAINED FROM THESE REDLINE DRAWINGS, AS WELL AS ANY NOTES RECORDED BY THE PROJECT ENGINEER, THE PROJECT ENGINEER SHALL PREPARE AND SUBMIT RECORD DRAWINGS (ON 4 MIL MYLAR). RECORD DRAWINGS ARE REQUIRED FOR ANY PUBLIC IMPROVEMENTS, AS WELL AS FOR ANY (PUBLIC OR PRIVATE) STORM WATER QUANTITY OR QUALITY CONTROL FACILITY. CITY ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS ARE TIED TO THE SUBMITTAL OF THESE RECORD DRAWINGS. CAD GENERATED PLANS SHALL ALSO HAVE ELECTRONIC RECORD DRAWINGS SUBMITTED TO THE CITY IN COMPLIANCE WITH THE DIGITAL MAPPING REQUIREMENTS. CONTRACTOR SHALL ERECT AND MAINTAIN TRAFFIC CONTROL PER THE "MANUAL ON UNIFORM TRAFFIC
- CONTROL DEVICES", PART VI, CONSTRUCTION AND MAINTENANCE, AS ADOPTED AND MODIFIED BY ODOT. SHOULD WORK BE IN AN EXISTING PUBLIC RIGHT OF WAY THAT ARE OPEN TO TRAFFIC, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE CITY, COUNTY, STATE, AND PORT PERSONNEL FOR APPROVAL. APPROVALS SHALL BE OBTAINED PRIOR TO START OF WORK. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE
- WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, APPLICABLE AGENCY REQUIREMENTS AND OTHER WORK AS NECESSARY TO PROVIDE A COMPLETE PROJECT.
- THERE SHALL BE NO ALTERATION OR VARIANCE FROM THE APPROVED PLANS. THE MINIMUM SUBMITTAL REQUIREMENTS FOR PLAN REVISIONS ARE AS FOLLOWS; PLAN REVISIONS SHALL BE SUBMITTED ON AN 8 1/2" X 11" SHEET (MINIMUM), PLAN REVISION SHALL BE WET STAMPED AND SIGNED BY PROJECT ENGINEER, ANY REQUIRED ENGINEERING CALCULATIONS, OR OTHER AGENCY APPROVALS, SHALL BE INCLUDED WITH THE SUBMITTAL REVISION. UPON APPROVAL OF THE SUBMITTED REVISIONS, THE CITY ENGINEER SHALL AFFIX AN APPROVED STAMP TO THE REVISED PLAN SKETCH AND THE PLAN SHALL BE RETURNED TO THE PROJECT ENGINEER. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO DISTRIBUTE THE APPROVED PLAN REVISION TO ALL PARTIES TO WHOM THE ORIGINAL APPROVED PLANS WERE ISSUED. ALL APPROVED REVISION SHALL BE AFFIXED TO THE CONSTRUCTION FIELD PRINTS (ALSO KNOWN AS THE CONTRACTOR'S "REDLINE DRAWINGS").
- CONTRACTOR SHALL PROVIDE EFFECTIVE EROSION PROTECTION TO INCLUDE, BUT NOT LIMIT TO, GRADING, DITCHING, HAY BALES, SILT FENCING, AND SEDIMENT BARRIERS TO MINIMIZE EROSION AND IMPACT TO ADJACENT PROPERTY. SEE EROSION AND SEDIMENT CONTROL NOTES AND PLAN.
- OPEN TRENCHES SHALL BE STRICTLY LIMITED TO A MAXIMUM OF 100 LINEAR FEET WITHIN STREET RIGHT-OF-WAY UNLESS LIMITED TO A LESSER AMOUNT BY PERMIT. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS TO ALL AFFECTED PROPERTIES.
- ANY PAVEMENT DISTORTION CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE TEMPORARILY REPAIRED SAME DAY OF OCCURRENCE (OR IN A TIME PERIOD AGREED TO WITH THE CITY INSPECTOR), USING COLD OR HOT AC MIX. OWNER/CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REPAIRED AREAS UNTIL CITY FINAL ACCEPTANCE IS GRANTED.
- IF GROUND WATER SPRINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE PROJECT ENGINEER. THE PROJECT ENGINEER SHALL DIRECT THE CONTRACTOR TO TAKE MEASURES TO ENSURE THAT WATER IS NOT CONVEYED THROUGH THE UTILITY TRENCHES AND THE NATURAL FLOW PATH OF THE SPRING IS ALTERED AS LITTLE AS PRACTICABLE. THE PROJECT ENGINEER SHALL SUBMIT A REPORT SUMMARIZING THE FINDING TO THE CITY. IMPACTS AND MITIGATION SHALL BE ADDRESSED FOR THE CITY APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE
- THE START OF WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE PLANS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTED TO THE PROJECT ENGINEER FOR CLARIFICATION OR CORRECTION. ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY, PORT OF PORTLAND, OR PROJECT
- ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS AND PROJECT CONTRACT DOCUMENTS.
- PROJECT PLANS SHALL ALWAYS HAVE AN ENGINEER OF RECORD PERFORMING THE FUNCTION OF PROJECT ENGINEER. IF THE PROJECT ENGINEER IS CHANGED DURING THE COURSE OF THE WORK, THE CITY SHALL BE NOTIFIED IN WRITING AND THE WORK SHALL BE STOPPED UNTIL REPLACEMENT ENGINEER HAS AGREED TO ACCEPT THE RESPONSIBILITY OF THE PROJECT ENGINEER. THE NEW PROJECT ENGINEER SHALL PROVIDE WRITTEN NOTICE OF ACCEPTING PROJECT RESPONSIBILITY TO THE CITY WITHIN 72 HOURS OF ACCEPTING THE POSITION AS PROJECT ENGINEER. 21. THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION. EXCAVATORS MUST COMPLY WITH THE PROVISIONS OF ORA 757.541 THRU 757.571.

GRADING AND EROSION CONTROL CONSTRUCTION NOTES

- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

WATER CONSTRUCTION NOTES

- ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF TUALATIN STANDARD CONSTRUCTION SPECIFICATIONS & DRAWINGS AND THE UNIFORM PLUMBING CODE.
- MECHANICAL JOINT FITTINGS SHALL CONFORM TO AWWA C110 AND SHALL BE OF A CLASS AT LEAST EQUAL TO THAT OF THE ADJACENT PIPE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY PRESSURE AND LEAKAGE TESTS ON ALL WATER LINES PER CITY OF TUALATIN STANDARDS.
- ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED PER CITY OF TUALATIN STANDARDS.
- PRIOR TO BEING PLACED IN SERVICE, THE WATER LINES AND SERVICES SHALL BE FLUSHED, STERILIZED, AND TESTED, ALL IN ACCORDANCE WITH CITY OF TUALATIN STANDARDS AND THE UNIFORM PLUMBING CODE BY THE CONTRACTOR.
- TUALATIN VALLEY WATER DISTRICT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WATER LINE CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30" COVER OVER THE WATER LINE.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- WATERLINE SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE FROM SEWER LINE AT ALL TIMES.

PRIVATE UTILITY CONSTRUCTION NOTES

- CUSTOMER IS RESPONSIBLE FOR ALL TRENCH, CONDUIT, VAULTS, PADS, AND ROAD CROSSINGS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 36" COVER OVER CONDUITS.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITIES PRIOR TO CONSTRUCTION OR EXCAVATION.
- ALL CONDUIT MUST BE INSPECTED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO BACKFILL.
- ALL CONDUIT SHALL BE PVC SCHEDULE 40.
- ALL CONDUIT SWEEPS SHALL BE A MIN OF 48" RADIUS.
- 3' OF HORIZONTAL CLEARANCE IS REQUIRED FROM ALL WATER, SEWER, GAS, AND IRRIGATION LINES.
- A 1/4" PULL ROPE RATED FOR 500 LBS. SHALL BE INSTALLED IN EACH CONDUIT BY CONTRACTOR.
- ALL RUNS EXCEEDING 150' IN LENGTH REQUIRE FIBER SWEEPS.

STORM DRAINAGE CONSTRUCTION NOTES

- ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE REQUIREMENTS OF THE UNIFORM PLUMBING CODE, AND THE APPLICABLE REQUIREMENTS OF THE CITY OF TUALATIN.
- NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. (EXCEPT IN AREAS WHERE DIP IS SPECIFIED). THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
- RIM ELEVATIONS OF MANHOLES AND CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
- ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.
- CHANGES IN DIRECTION OF DRAINAGE PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
- INLET AND OUTLET CONNECTIONS SHALL BE MADE BY THE USE OF A FLEXIBLE COMPRESSION JOINT NOT NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINT SHALL BE EMBEDDED IN THE MANHOLE BASE. MANHOLES SHALL HAVE A SMOOTH, UNIFORM WATERWAY WITH CHANGES OF DIRECTION MADE WITH THE APPROPRIATE SWEEP OFFSET AS PER THE OREGON PLUMBING SPECIALTY CODE. OPEN-GRATE LIDS WILL NOT BE ALLOWED ON ANY MANHOLE.

SANITARY SEWER CONSTRUCTION NOTES

- SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF TUALATIN, PORT OF PORTLAND, ODOT AND THE UNIFORM PLUMBING CODE. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC PIPE, CONFORMING TO ASTM SPECIFICATION D3034 (SDR-35), UNLESS NOTED OTHERWISE.
- NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS AND DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES. LATERALS SHALL BE INSTALLED AT A MIN. 2% SLOPE UNLESS NOTED ON THE PLANS
- HYDROSTATIC AND AIR TESTING OF SANITARY LINES AND MANHOLES SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- FINISHED RIM ELEVATIONS OF CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
- PIPE BEDDING AND BACKFILL SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS.
- SANITARY SEWER CLEANOUT CONSTRUCTION SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS.
- A MINIMUM OF TWO FEET (2) HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERLINES AND SANITARY AND STORM MANHOLES. ALL CONSTRUCTION MUST MEET DEQ AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
- ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.

GENERAL DEMOLITION NOTES

- NOTIFY ENGINEER FIVE (5) BUSINESS DAYS BEFORE COMMENCEMENT OF WORK.
- LOCATION OF EXISTING UTILITIES ARE BASED UPON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF GRADING (1-800-332-2344).
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF OSHA.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY ALL APPROPRIATE CODES, LAWS AND REGULATIONS THAT GOVERN CONSTRUCTION WITHIN THE CITY OF TUALATIN.
- THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO CONSTRUCTION DOCUMENTS AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION. CONCEALED CONSTRUCTION WITHOUT THE REQUIRED EXPOSURE SHALL BE SUBJECT TO INSPECTION AT THE CONTRACTOR'S EXPENSE.
- SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND WHAT IS REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON GRADED SLOPES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.
- DEMOLISH/REMOVAL NOT SPECIFICALLY LISTED, BUT REQUIRED TO COMPLETE SITE/UTILITY AND GRADING PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE AND RECYCLED/DISPOSED OF ACCORDING TO LOCAL REGULATIONS.

CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
GENERAL NOTES

PROJECT 21503970
DATE 01/11/2016

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REVISIONS
REV DATE DESCRIPTION

BY

FOR REVIEW ONLY
APPROVED FOR PROFESSIONAL SEAL
DATE 01/11/2016
EXPRES: 06/30/2017

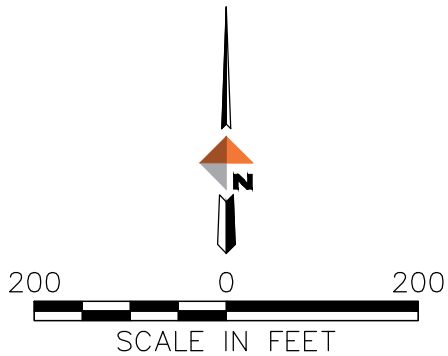
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Cracker Barrel
Old Country Store

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

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CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
OVERALL PROJECT PLAN

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

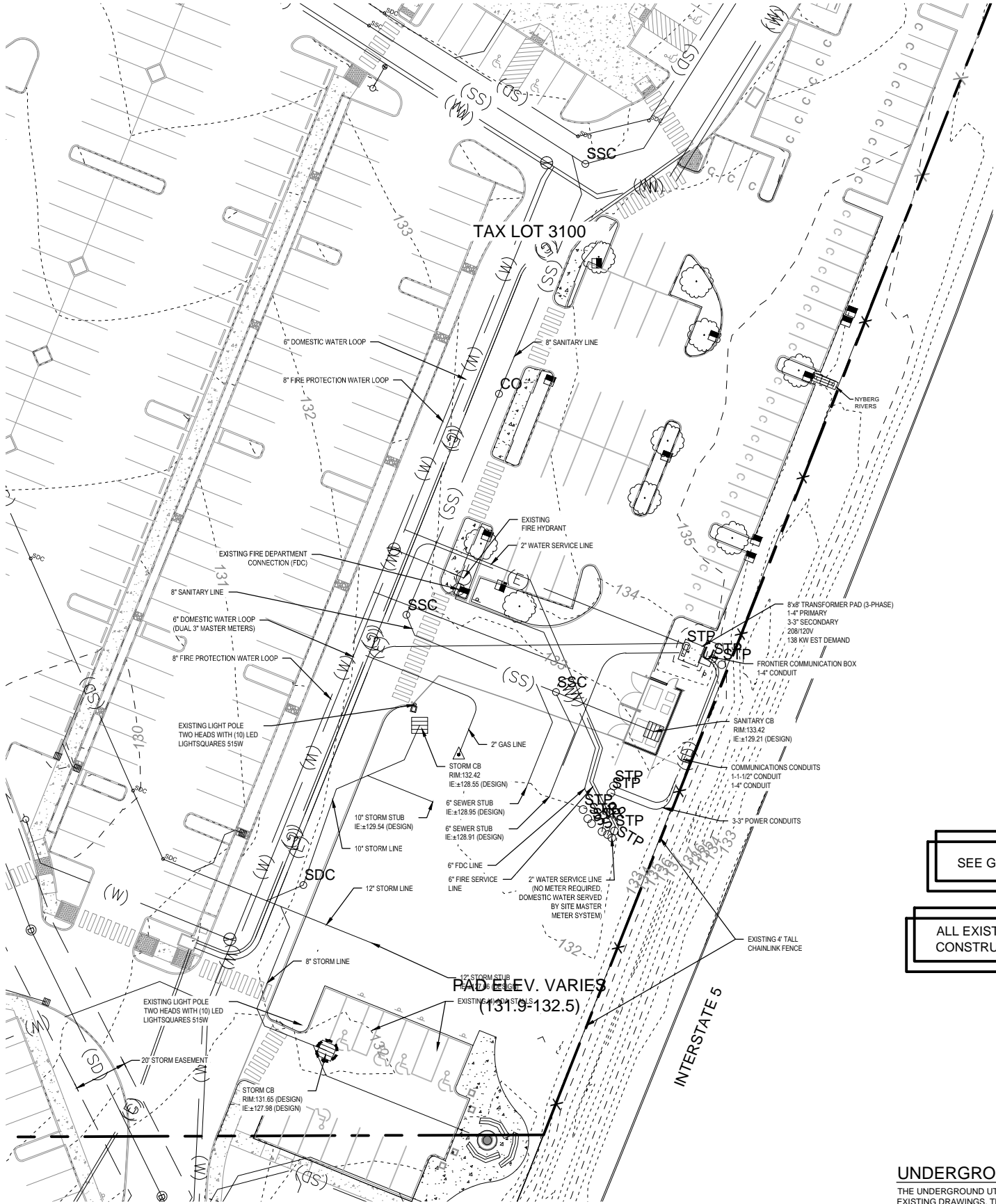


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EXISTING TREE PROTECTION

1. PROVIDE TEMPORARY FENCING, BARRICADES, AND GUARDS AS NECESSARY OR REQUIRED TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT.
 - A. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH YELLOW FLAGGING TAPE AND PROTECTED BY BARRIER FENCING PLACED NO LESS THAN 10 HORIZONTAL FEET FROM THE OUTSIDE EDGE OF THE TRUNK IN ALL DIRECTIONS OR BENEATH THE TREE DRIPLINE, WHICHEVER IS GREATER. CLUSTERS OF TREES MAY BE PROTECTED BY CONTINUOUS FENCING FOLLOWING THE SAME GUIDELINES.
 - B. REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN-LINK OR RED VINYL MESH, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
 - C. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
2. PROTECT ROOT SYSTEMS OF TREES TO REMAIN FROM FLOODING, EROSION, OR EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND COMPACTION. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIP LINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL OR LIQUIDS, AND CONTINUAL PUDDLING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
3. MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCESS. AFFECT ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
4. DO NOT CHANGE THE EXISTING GRADE BENEATH DRIPLINE OF TREES TO REMAIN.
5. ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIPLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
6. ENCROACHMENT UPON ANY IDENTIFIED PRESERVED TREES MUST OCCUR UNDER THE DIRECTION OF A QUALIFIED ARBORIST TO ASSURE THE HEALTH NEEDS OF THE TREES WITHIN THE PRESERVED AREA CAN BE MET.

LANDSCAPE

CONTRACTOR TO PROTECT ALL EXISTING PLANTINGS WITHIN THE ODOT RIGHT-OF-WAY. ANY PLANTS AFFECTED BY THE PROPOSED GRADING WILL BE HAND DUG, STOCKPILED, AND REPLANTED IN THEIR ORIGINAL LOCATIONS ONCE GRADING IS COMPLETE.

EXISTING TREES & GRADING

NO GRADING ACTIVITIES WILL ALLOW PRESERVED TREE ROOTS TO REMAIN EXPOSED PER TDC 73.250(2)(f).

SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

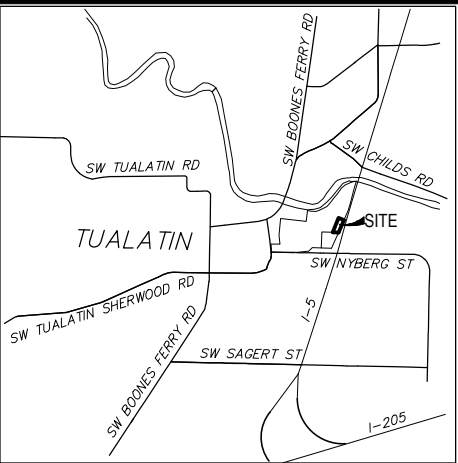
ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

UNDERGROUND ACCURACY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH WE CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. DUE TO THE HAZARDOUS NATURE AND APPLICABLE OSHA REQUIREMENTS REGARDING CONFINED SPACES, IT IS CARDNO POLICY TO NOT SEND FIELD STAFF INTO UTILITY MANHOLES TO RETRIEVE DEPTH AND SIZE INFORMATION. INFORMATION SHOWN HEREON IS SUBJECT TO AN UNCERTAINTY IN ACCURACY DEPENDING ON DEPTH, SIZE, FLOW, AND CONSTRUCTION OF MANHOLES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITY LINES.

DATUM:

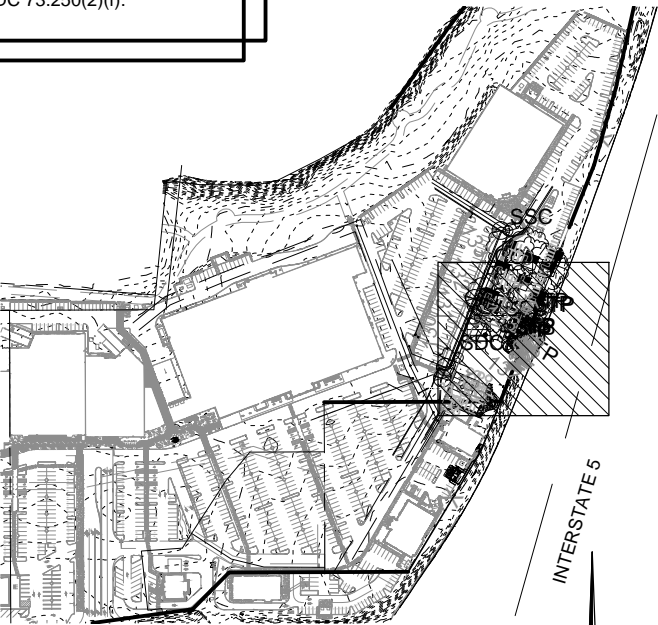
WASHINGTON COUNTY BENCHMARK NO. 922
A 3" BRASS DISK SET IN CONCRETE CURB AT THE
SOUTHEAST CORNER OF THE INTERSECTION OF SW
BOONES FERRY ROAD AND SW TUALATIN ROAD.
ELEVATION = 122.154'



VICINITY MAP
SCALE: NTS

LEGEND

- - - - - EXISTING BOUNDARY LINE
- - - - - EXISTING RIGHT-OF-WAY LINE
- - - - - FENCE LINE, TYPE AS NOTED
- - - - - STORM DRAINAGE LINE
- - - - - SANITARY SEWER LINE
- - - - - UNDERGROUND WATER LINE
- - - - - UNDERGROUND ELECTRICAL LINE
- - - - - INDICATES DATA FROM AS BUILT INFORMATION
- - - - - EXISTING CURB LINE
- - - - - EXISTING CONCRETE SURFACE
- - - - - CATCH BASIN - TRAPPED TYPE
- - - - - FIRE HYDRANT
- - - - - FIRE DEPARTMENT CONNECTION
- - - - - WATER VALVE
- - - - - IRRIGATION CONTROL BOX
- - - - - SHOEBOX LIGHT (SINGLE)
- - - - - ELECTRIC JUNCTION BOX
- - - - - UNKNOWN CLEANOUT
- - - - - STAND PIPE
- - - - - UNKNOWN UTILITY VAULT
- - - - - SIGN POST
- - - - - DECIDUOUS TREE
- - - - - PROPOSED INLET PROTECTION



KEY MAP
SCALE: NTS



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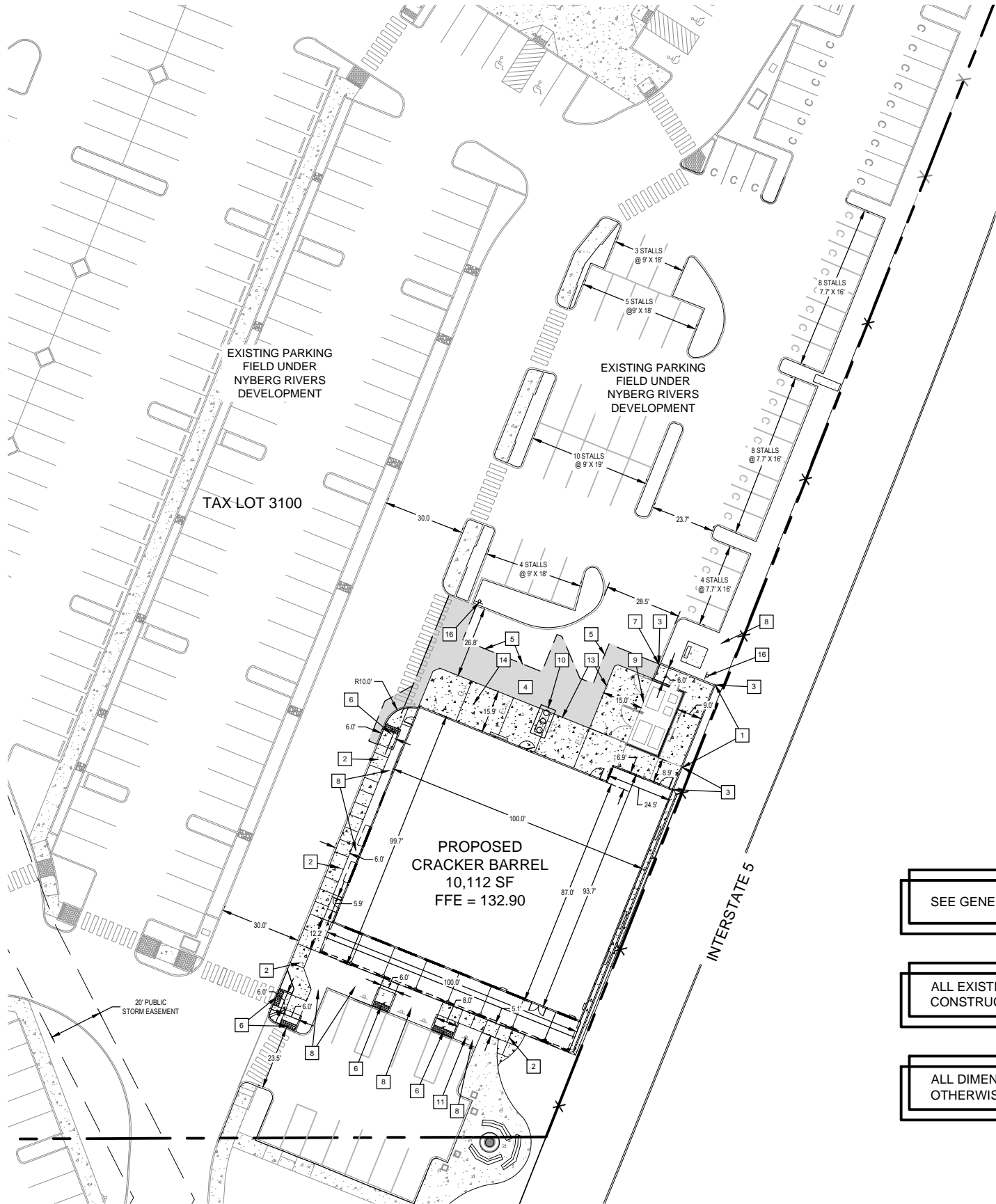


CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
EXISTING CONDITIONS PLAN

PROJECT 2150370
DATE 01/11/2016

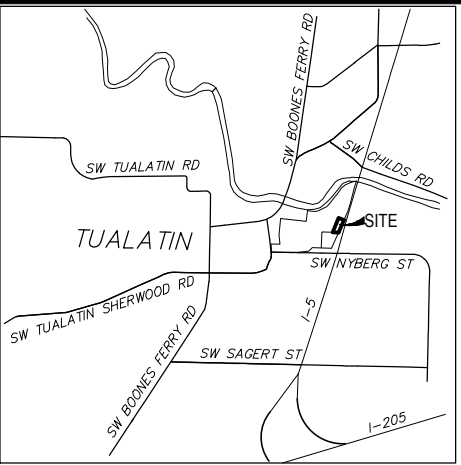
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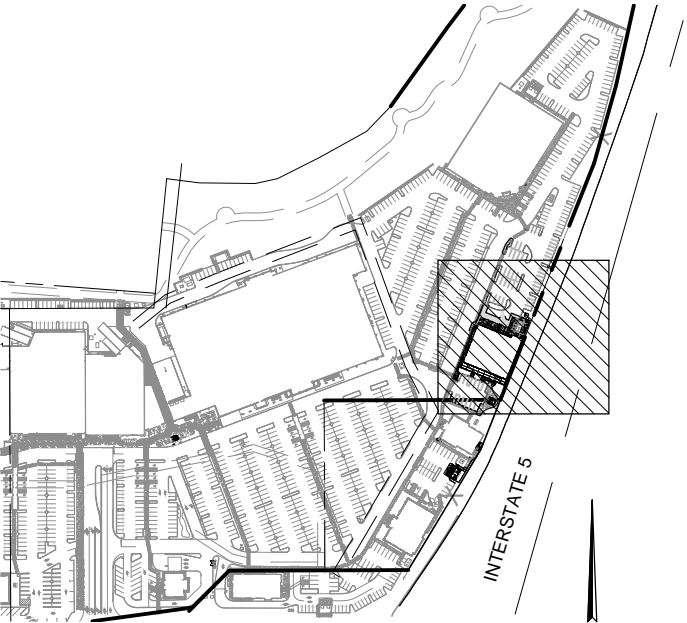
SITE CONSTRUCTION NOTES

- 1 PROPOSED STANDARD 6" EXPOSURE CONCRETE CURB. REFER TO CURB DETAIL ON SHEET C6.0.
- 2 PROPOSED STANDARD CONCRETE SIDEWALK. REFER TO SIDEWALK DETAIL ON SHEET C6.0.
- 3 PROPOSED TALL CONCRETE CURB. TRANSITION CURB TO 6" EXPOSURE. SEE GRADING PLAN FOR ELEVATIONS. SEE TALL CURB DETAIL ON SHEET C6.0.
- 4 PROPOSED HEAVY TRAFFIC ASPHALT CONCRETE PAVEMENT SECTION. MATCH EXISTING ASPHALT PAVEMENT. SAND SEAL PAVEMENT JOINT. REFER TO ASPHALT PAVEMENT SECTION DETAIL ON SHEET C6.0.
- 5 SAWCUT EXISTING PAVEMENT FOR CLEAN EDGE.
- 6 PROPOSED ADA RAMP. CURB RAMP SHALL MEET ADA STANDARDS. REFER TO ACCESSIBLE SIDEWALK RAMP DETAIL ON SHEET C6.1.
- 7 MATCH EXISTING CURB.
- 8 PROPOSED LANDSCAPING. REFER TO LANDSCAPE PLAN.
- 9 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ENCLOSURE.
- 10 GREASE INTERCEPTOR LOCATION. COORDINATE WITH MEP PLANS
- 11 INSTALL ADA WHEELCHAIR USER SIGN, COMPLETE WITH ADA SIGN, VAN ACCESSIBLE SIGN, AND WHEELCAHIR USER SIGN. REFER TO SIGN DETAIL ON SHEET C6.1.
- 12 PROPOSED ADA USER SIGN. SEE DETAILS ON SHEET C6.1.
- 13 PROPOSED CONCRETE IMPACT SLAB. REFER TO DETAIL ON SHEET C6.0.
- 14 PROPOSED CONCRETE LOADING AREA. SEE CONCRETE SECTION ON SHEET C6.0.
- 15 REPAIR EXISTING THERMOPLASTIC CROSSWALK STRIPING. SEE DETAIL ON SHEET C6.1.
- 16 PROPOSED BICYCLE PARKING RIGHT SIGN. SEE DETAIL ON SHEET C6.1



LEGEND

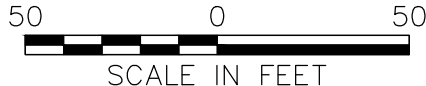
- EXISTING BOUNDARY LINE
- EXISTING RIGHT-OF-WAY LINE
- FENCE LINE, TYPE AS NOTED
- STORM DRAINAGE LINE
- SANITARY SEWER LINE
- UNDERGROUND WATER LINE
- UNDERGROUND ELECTRICAL LINE
- INDICATES DATA FROM AS BUILT INFORMATION
- EXISTING CURB LINE
- PROPOSED CONCRETE LINE
- PROPOSED BUILDING LINE
- PROPOSED TRASH ENCLOSURE WALL
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE
- PROPOSED TACTILE WARNING DOMES
- CATCH BASIN - TRAPPED TYPE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER VALVE
- IRRIGATION CONTROL BOX
- SHOEBOX LIGHT (SINGLE)
- ELECTRIC JUNCTION BOX
- UNKNOWN CLEANOUT
- STAND PIPE
- UNKNOWN UTILITY VAULT
- SIGN POST
- DECIDUOUS TREE



SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.



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CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
SITE PLAN

PROJECT 21503970
DATE 01/11/2016

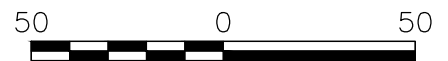
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KEY MAP

SCALE: NTS



SCALE IN FEET

132	- EXISTING MINOR CONTOUR
130	- EXISTING MAJOR CONTOUR
131	- PROPOSED MINOR CONTOUR
130	- PROPOSED MAJOR CONTOUR
	- PROPERTY LINE
	- LOT LINE
	- EXISTING STORM LINE
	- PROPOSED STORM PRIVATE LINE
	- EXISTING STORM MANHOLE
	- EXISTING STORM CATCH BASIN
	- PROPOSED STORM MANHOLE
	- PROPOSED STORM CATCH BASIN
	- PROPOSED STORM CLEAN OUT
	- EXISTING EASEMENT
	- EXISTING SANITARY LINE
	- PROPOSED SANITARY PRIVATE LINE
	- EXISTING SANITARY MANHOLE
	- PROPOSED SANITARY CATCH BASIN
	- PROPOSED SANITARY CLEAN OUT
	- PROPOSED GREASE INTERCEPTOR
W	- EXISTING FIRE WATER LINE
DW	- EXISTING DOMESTIC WATER LINE
	- EXISTING FIRE HYDRANT
	- EXISTING WATER METER
	- EXISTING WATER VAULT
	- EXISTING WATER VALVE
	- EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.

[illegible]

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CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
TREE PRESERVATION PLAN

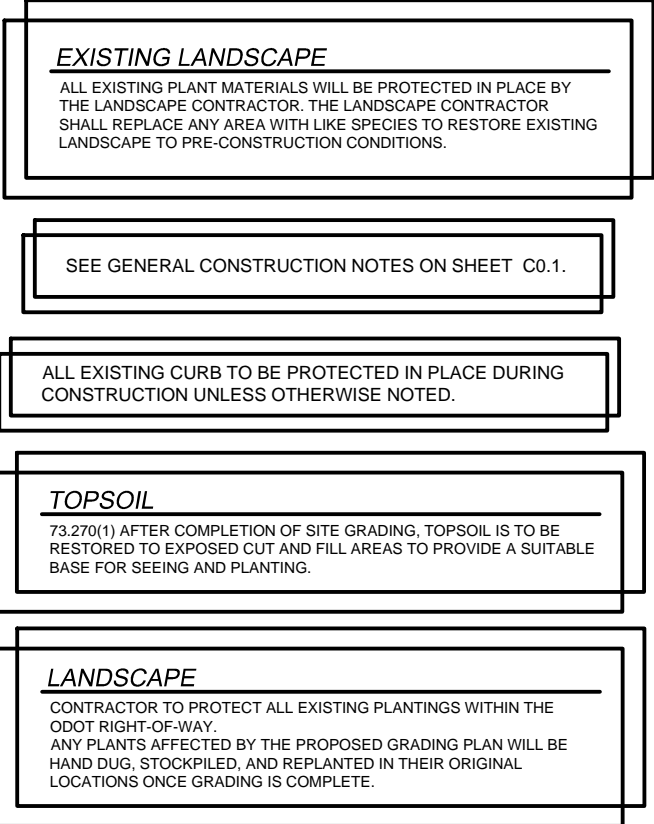
SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT	21503970
DATE	01/11/2016

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SHEET

C3.0

DBH1 is tree diameter measured at 4.5-feet above the ground level, in inches.
Exempt2 identifies trees measuring less than eight inches in diameter.
Criteria3 provides justification for the proposed tree removal (per TDC 34.230):
D1: Diseased and the disease threatens the structural integrity of the tree;
D2: Diseased and the disease permanently and severely diminishes the aesthetic value of the tree; or
D3: Diseased and the continued retention of the tree could result in other trees being infected with a disease that threatens either their structural integrity or aesthetic value.
H: Hazardous.
C: Construction necessitates tree removal.



1. PROVIDE TEMPORARY FENCING, BARRICADES, AND GUARDS AS NECESSARY OR REQUIRED TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT.
- A. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH YELLOW FLAGGING TAPE AND PROTECTED BY BARRIER FENCING PLACED NO LESS THAN 10 HORIZONTAL FEET FROM THE OUTSIDE EDGE OF THE TRUNK IN ALL DIRECTIONS OR BENEATH THE TREE DRIPLINE, WHICHEVER IS GREATER. CLUSTERS OF TREES MAY BE PROTECTED BY CONTINUOUS FENCING FOLLOWING THE SAME GUIDELINES.
- B. REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN LINK OR WED VINYL MESH, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
- C. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
2. PROTECT ROOT SYSTEMS OF TREES TO REMAIN FROM FLOODING, EROSION, OR EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND COMPACTION. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIP LINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL OR LIQUIDS, AND CONTINUAL PUDDLING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
3. MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCESS. AFFECT ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
4. DO NOT CHANGE THE EXISTING GRADE BENEATH DRIPLINE OF TREES TO REMAIN.
5. ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIPLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
6. ENCROACHMENT UPON ANY IDENTIFIED PRESERVED TREES MUST OCCUR UNDER THE DIRECTION OF A QUALIFIED ARBORIST TO ASSURE THE HEALTH NEEDS OF THE TREES WITHIN THE PRESERVED AREA CAN BE MET.

POSITIVE DRAINAGE TO BE MAINTAINED AWAY FROM BUILDINGS AT ALL TIMES.

ALL PROPOSED GRADES TO MATCH INTO EXISTING GRADES ON SURROUNDING STREETS, PROPERTIES, AND SENSITIVE AREAS.

INSTALL INLET SEDIMENT PROTECTION ON ALL EXISTING AND NEW INLETS WHEN INSTALLED. INLET SEDIMENT PROTECTION TO BE MAINTAINED FOR THE DURATION OF ALL CONSTRUCTION ACTIVITIES.

SEDIMENT FENCE TO BE PLACED AND MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE SITE.

ALL ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ALL FACILITIES TO BE UPGRADES AS NEEDED FOR STORM EVENTS.

ALL EROSION AND SEDIMENT CONTROL FACILITIES WILL BE CONSTRUCTED PRIOR TO ANY CLEARING AND GRADING ACTIVITIES.

EXISTING TREES TO BE PROTECTED OR RETAINED SHALL BE FENCED AROUND THE DRIP LINE WITH CHAIN LINK OR OTHER STURDY FENCING DURING CONSTRUCTION.

ALL EXISTING PLANT MATERIALS WILL BE PROTECTED IN PLACE BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL REPLACE ANY AREA WITH LIKE SPECIES TO RESTORE EXISTING LANDSCAPE TO PRE-CONSTRUCTION CONDITIONS.

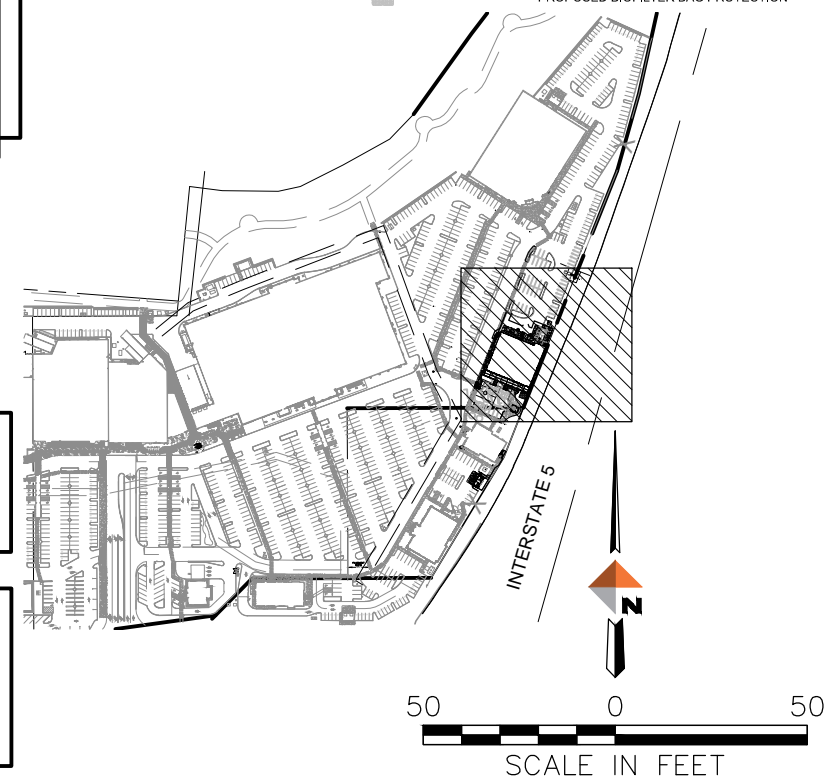
SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

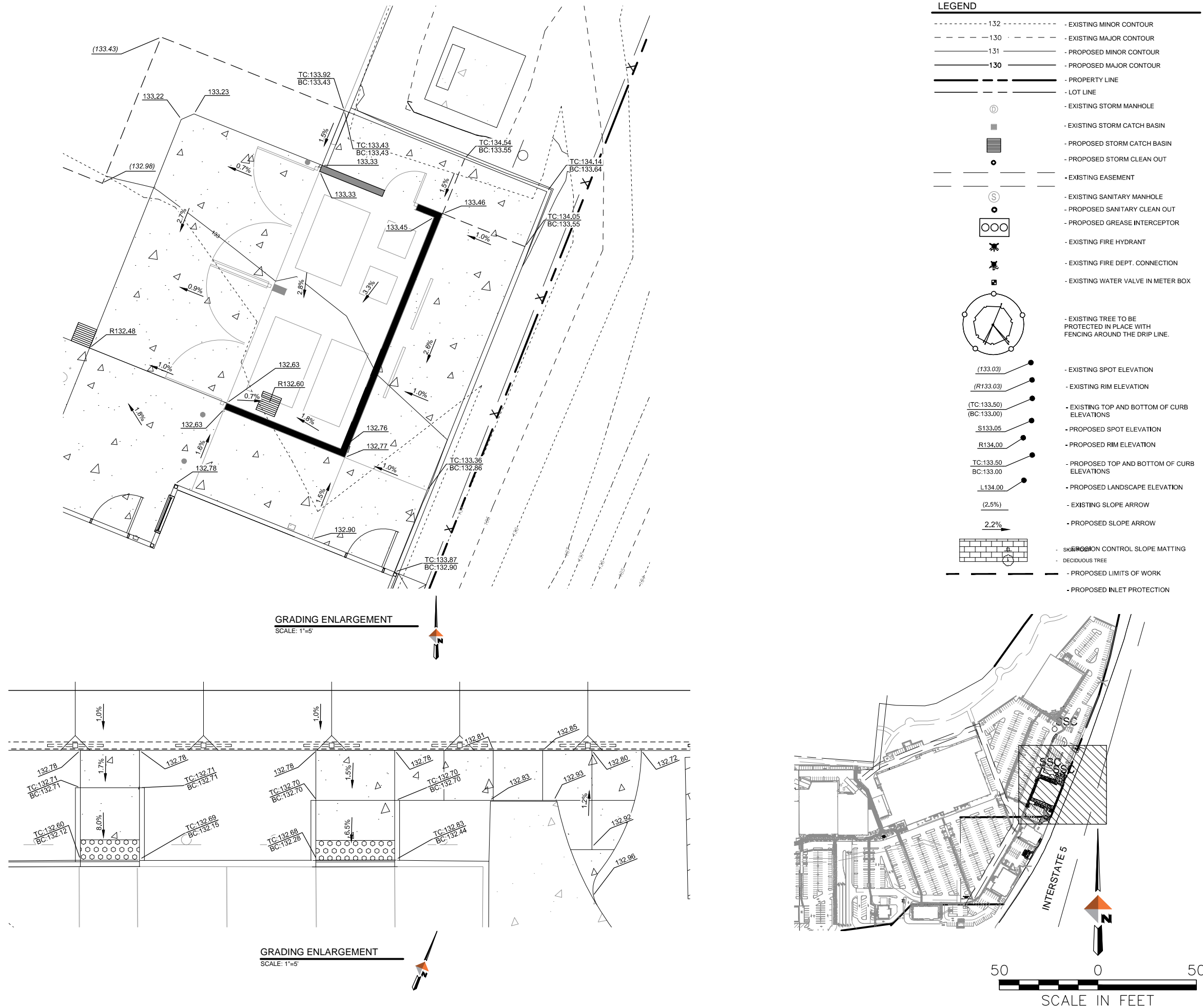
ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING
CONSTRUCTION UNLESS OTHERWISE NOTED.

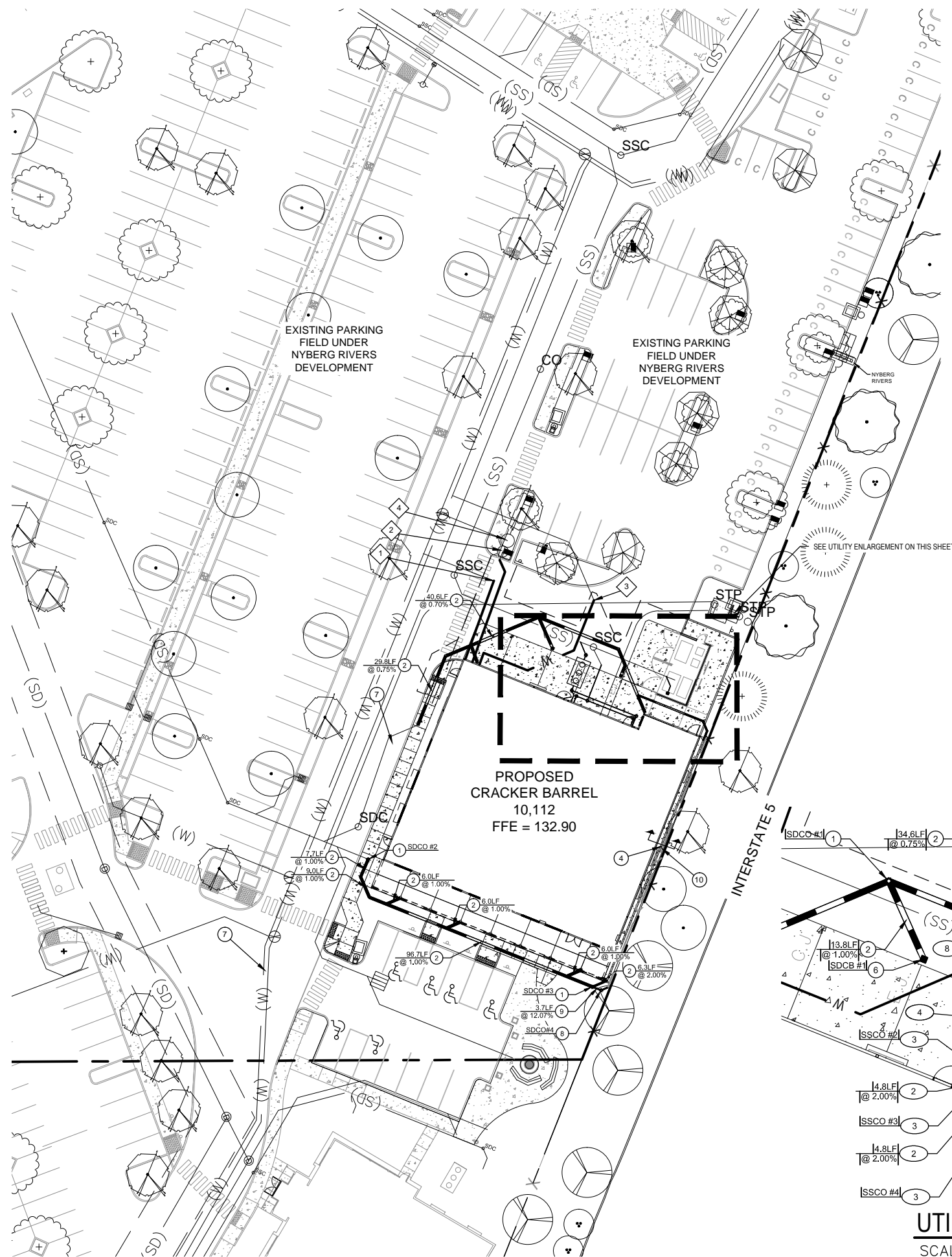
73.270(1) AFTER COMPLETION OF SITE GRADING, TOPSOIL IS TO BE RESTORED TO EXPOSED CUT AND FILL AREAS TO PROVIDE A SUITABLE BASE FOR SEEING AND PLANTING.

CONTRACTOR TO PROTECT ALL EXISTING PLANTINGS WITHIN THE
ODOT RIGHT-OF-WAY.
ANY PLANTS AFFECTED BY THE PROPOSED GRADING PLAN WILL BE
HAND DUG, STOCKPILED, AND REPLANTED IN THEIR ORIGINAL
LOCATIONS ONCE GRADING IS COMPLETE.

	- EXISTING MINOR CONTOUR
	- EXISTING MAJOR CONTOUR
	- PROPOSED MINOR CONTOUR
	- PROPOSED MAJOR CONTOUR
	- PROPERTY LINE
	- LOT LINE
	- EXISTING STORM MANHOLE
	- EXISTING STORM CATCH BASIN
	- PROPOSED STORM CATCH BASIN
	- PROPOSED STORM CLEAN OUT
	- EXISTING EASEMENT
	- EXISTING SANITARY MANHOLE
	- PROPOSED SANITARY CLEAN OUT
	- PROPOSED GREASE INTERCEPTOR
	- EXISTING FIRE HYDRANT
	- EXISTING FIRE DEPT. CONNECTION
	- EXISTING WATER VALVE IN METER BOX
	- EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.
	- EXISTING SPOT ELEVATION
	- EXISTING RIM ELEVATION
	- EXISTING TOP AND BOTTOM OF CURB ELEVATIONS
	- PROPOSED SPOT ELEVATION
	- PROPOSED RIM ELEVATION
	- PROPOSED TOP AND BOTTOM OF CURB ELEVATIONS
	- PROPOSED LANDSCAPE ELEVATION
	- EXISTING SLOPE ARROW
	- PROPOSED SLOPE ARROW
	- EROSION CONTROL SLOPE MATTING
	- PROPOSED LIMITS OF WORK
	- PROPOSED INLET PROTECTION
	- PROPOSED BIOFILTER BAG PROTECTION

[illegible]

[illegible]

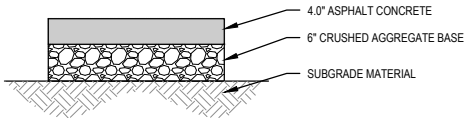


= 129.00' RIM = 132.82' RIM = 132.80' RIM = 132.80'
 IE (4") = 129.04' IE (4") = 129.60' IE (4") = 129.60'

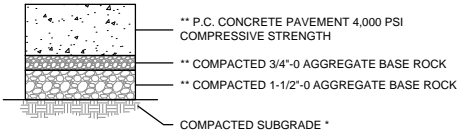
SSCO #3 SSCO #6
 RIM = 132.84' RIM = 132.83' RIM = 132.83'
 IE (4") = 129.16' IE (4") = 129.46' IE (4") = 129.46'

INTERSTATE 5

C5.0



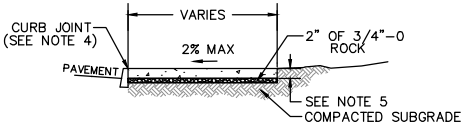
HEAVY ASPHALT PAVEMENT SECTION
*REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS



** SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER

LOADING DOCK HEAVY CONCRETE PAVEMENT SECTION

* SEE GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE BASE, COMPACTION, ETC. REQUIREMENTS.

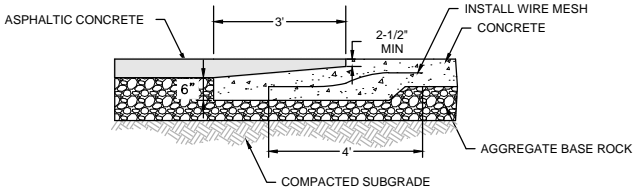


NOTES:

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS, SLUMP RANGE OF 1-1/2" TO 3".
2. PANELS TO BE 5 FEET LONG.
3. EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
4. FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MIN. 1/2 INCH RADIUS.
5. SIDEWALK SHALL HAVE A MIN. THICKNESS OF 6 INCHES IF IT IS INTENDED AS A PORTION OF A DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MIN. THICKNESS OF 4 INCHES.
6. DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PLASTIC PIPE AT 2 % SLOPE. CONTRACTION JOINT TO BE PLACED OVER PIPE.
7. FINISH WITH BROOM AND EDGE ALL JOINTS.

STANDARD SIDEWALK DETAIL

NOT TO SCALE

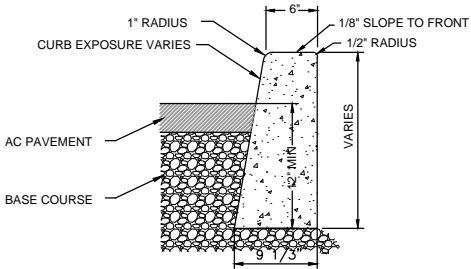


NOTES:

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS

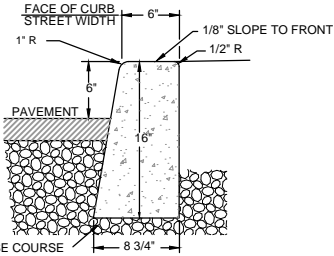
IMPACT SLAB DETAIL

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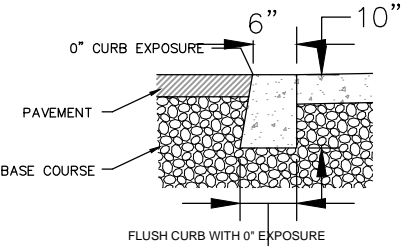
STANDARD TALL CONCRETE CURB DETAIL

NOT TO SCALE



STANDARD 6" EXPOSURE CURB

NOT TO SCALE



FLUSH (0" EXPOSURE) CURB

NOT TO SCALE

NOTES:

1. FOR DESIGN SPEEDS GREATER THAN 40 MPH THE EMERGENCY MOUNTABLE CURB SHALL BE USED.
2. CONCRETE TO HAVE A BREAKING STRENGTH OF 3,000 PSI AFTER 28 DAYS.
3. EXPANSION JOINTS.
 - 3.1. TO BE PROVIDED:
 - 3.1.1. AT EACH POINT OF TANGENCY OF THE CURB.
 - 3.1.2. AT EACH COLD JOINT.
 - 3.1.3. AT EACH SIDE OF INLET STRUCTURES.
 - 3.1.4. AT EACH END OF DRIVEWAYS.
 - 3.1.5. AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
 - 3.2. MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
4. CONTRACTION JOINTS.
 - 4.A. SPACING TO BE NOT MORE THAN 15 FEET.
 - 4.B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES.
5. BASE ROCK TO BE 2'-0" OR 3/4'-0" COMPACTED TO 95% OF ASTM 1557 AND SHALL BE TO SUBGRADE OR 4" IN DEPTH, WHICHEVER IS GREATER.

NOTES:

1. CONCRETE TO HAVE A BREAKING STRENGTH OF 4000 PSI AFTER 28 DAYS.
2. EXPANSION JOINTS.
 - A. TO BE PROVIDED:
 - 1) AT EACH POINT OF TANGENCY OF THE CURB.
 - 2) AT EACH COLD JOINT. 3) AT EACH SIDE OF INLET STRUCTURES.
 - 3) AT EACH END OF DRIVEWAYS.
 - 4) AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
 - B. MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
3. CONTRACTION JOINTS.
 - A. SPACING TO BE NOT MORE THAN 15 FEET.
 - B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES
4. BASE ROCK TO BE 3/4'-0" COMPACTED TO GEOTECHNICAL REPORT RECOMMENDATION AND SHALL BE TO SUBGRADE, STREET STRUCTURE, OR 4' IN DEPTH, WHICHEVER IS GREATER.

REVISIONS		DESCRIPTION	REV	DATE	BY



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REGISTERED PROFESSIONAL ENGINEER

STATE OF OREGON

7895

EXPIRES: 06/30/2017

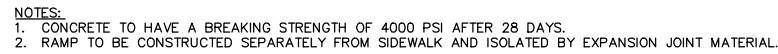
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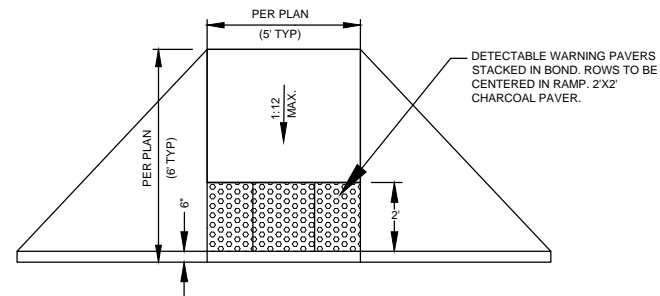
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

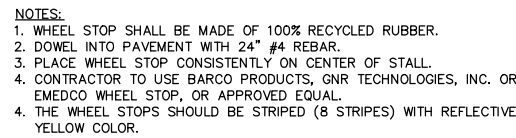
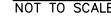
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NOT TO SCALE



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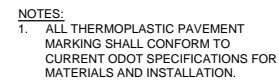


NOT TO SCALE



1. BIKE PARKING SIGNAGE TO MATCH EXISTING NYBERG RIVERS DEVELOPMENT BIKE PARKING SIGNAGE.
2. SIGN POST SHALL BE POWDER COATED BLACK.
3. SIGN POSTS SHALL BE BREAKAWAY.

NOT TO SCALE



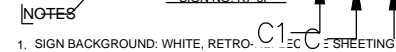
NOT TO SCALE



1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
3. THE DISABLED PERSON PARKING SIGN IS USED TO DESIGNATE A PARKING AREA RESERVED FOR VEHICLES WITH DMV PERMIT AS STATED.

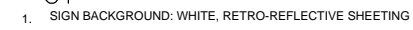
NOTE:
1. SIGN BACKS SHALL BE PAINTED BLACK

NOT TO SCALE



1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
3. THE VAN-ACCESSIBLE SIGN SHALL ONLY BE USED WITH SIGN R7-8 TO DESIGNATE THE PARKING SPACES THAT HAVE AN ACCESS AISLE 8 FT OR WIDER.

NOTE:
1. SIGN BACKS SHALL BE PAINTED BLACK
VAN ACCESSIBLE SIGN
NOT TO SCALE



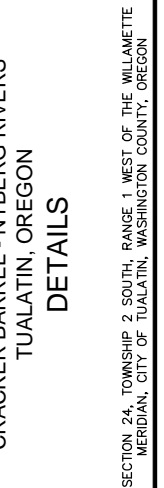
2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
3. THE "WHEELCHAIR USER ONLY" SIGN SHALL ONLY BE USED WITH THE DISABLED PERSON PARKING SIGN (R7-8) AND THE VAN ACCESSIBLE SIGN (R7-8P) TO DESIGNATE THE WHEELCHAIR USER ONLY SPACES AS DEFINED IN ORS 447.233.

NOTE:
1. SIGN BACKS SHALL BE PAINTED BLACK

SCALE: NOT TO SCALE

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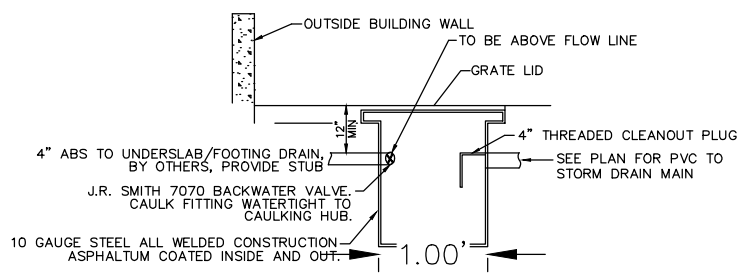
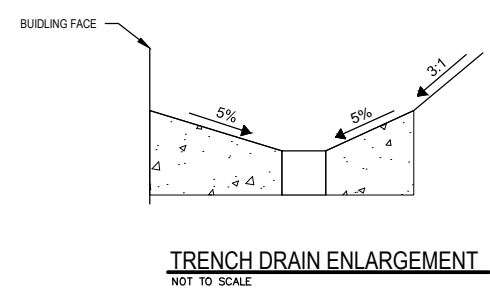
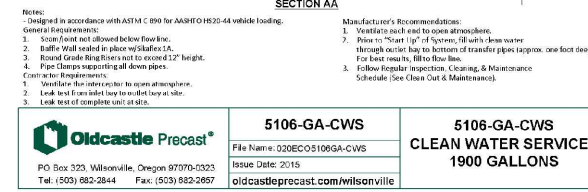
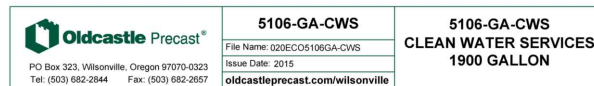


DETAILS

PROJECT	21503970
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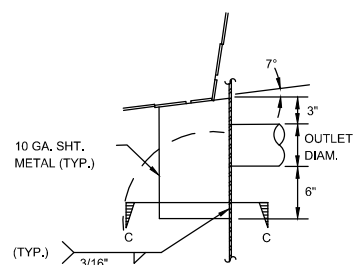
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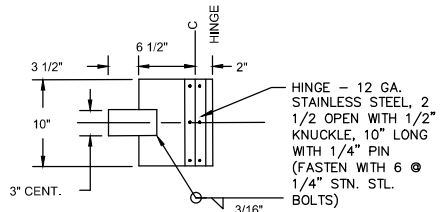


BACKWATER VALVE FOOTING DRAIN RECEPTOR
NOT TO SCALE

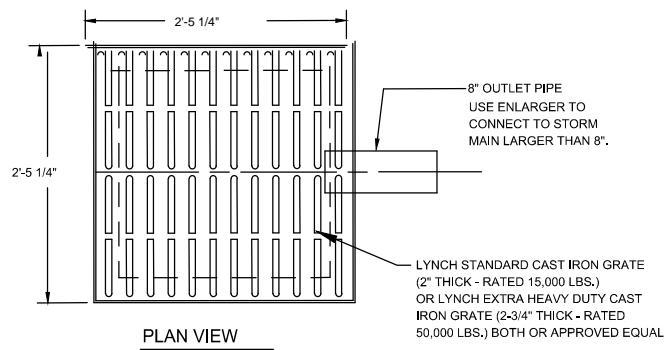
NOTE: FOOTING DRAIN RECEPTOR MAY BE SUBSTITUTED WITH "CLEAN CHECK" ABS BACK WATER VALVE IF APPROVED BY THE CITY OF TUALATIN. SEE WWW.CLEANCHECK.COM FOR ADDITIONAL INFO, INCLUDING UPC APPROVAL.



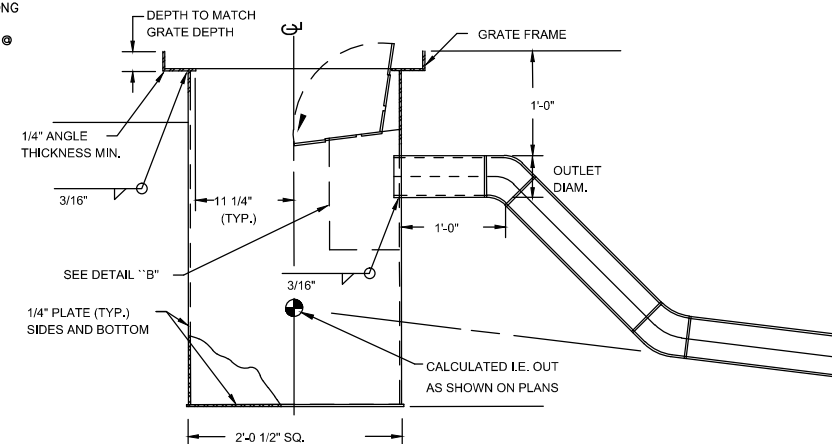
DETAIL "B" CLEANOUT



SECTION C-C



PLAN VIEW



ELEVATION VIEW

STANDARD "TRAPPED" STYLE CATCH BASIN

NOT TO SCALE

[illegible]

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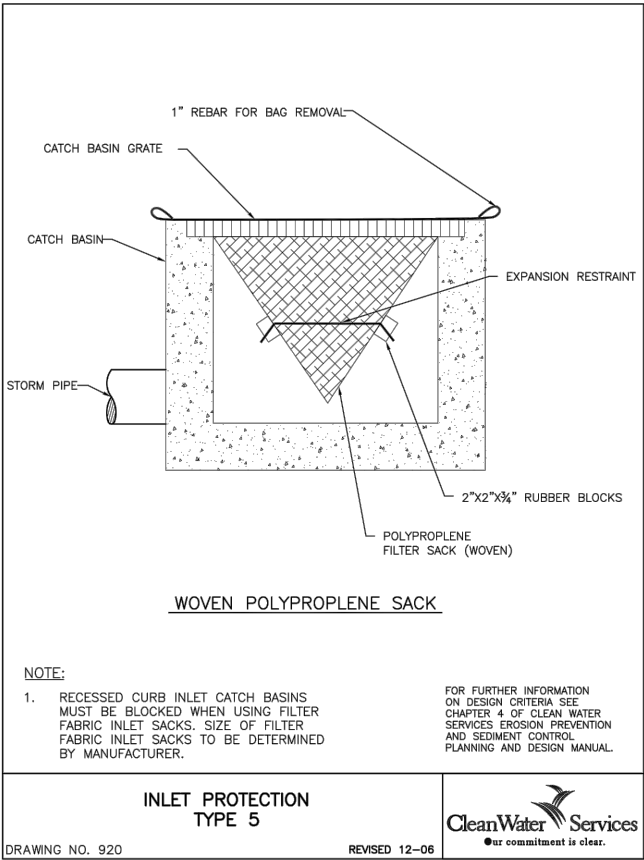
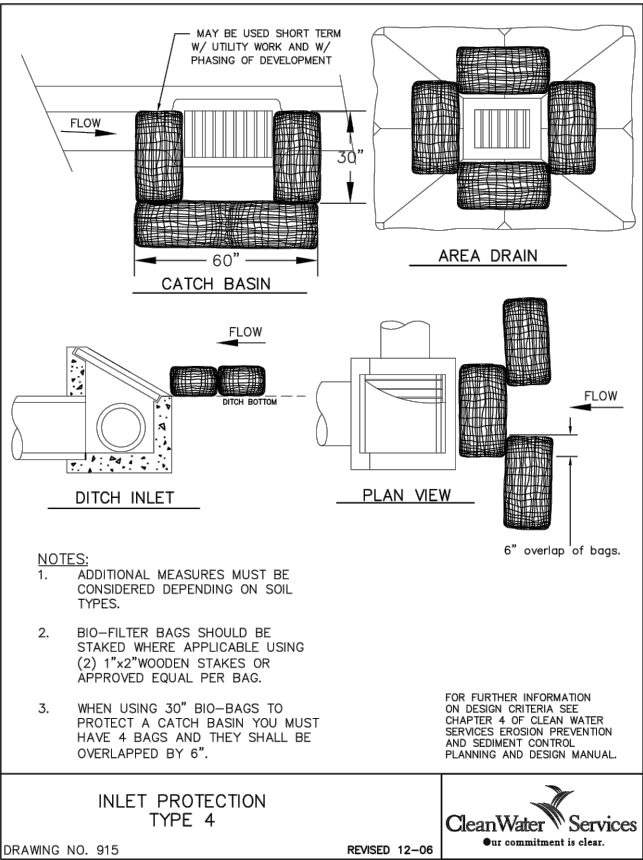
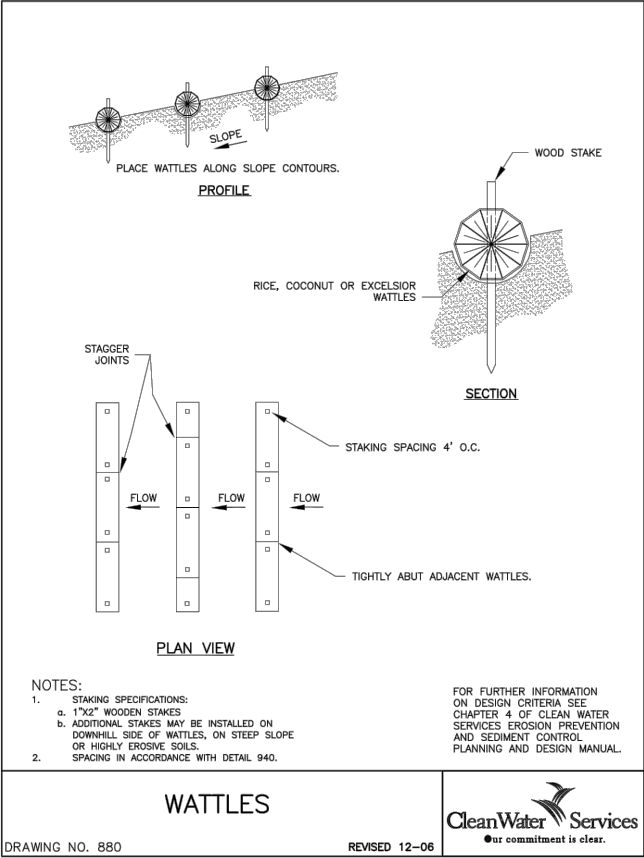
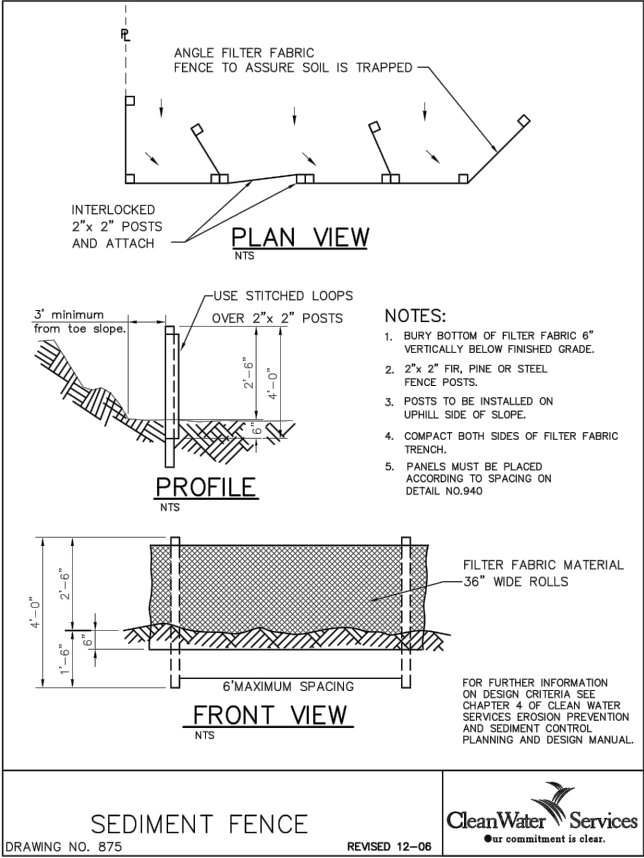
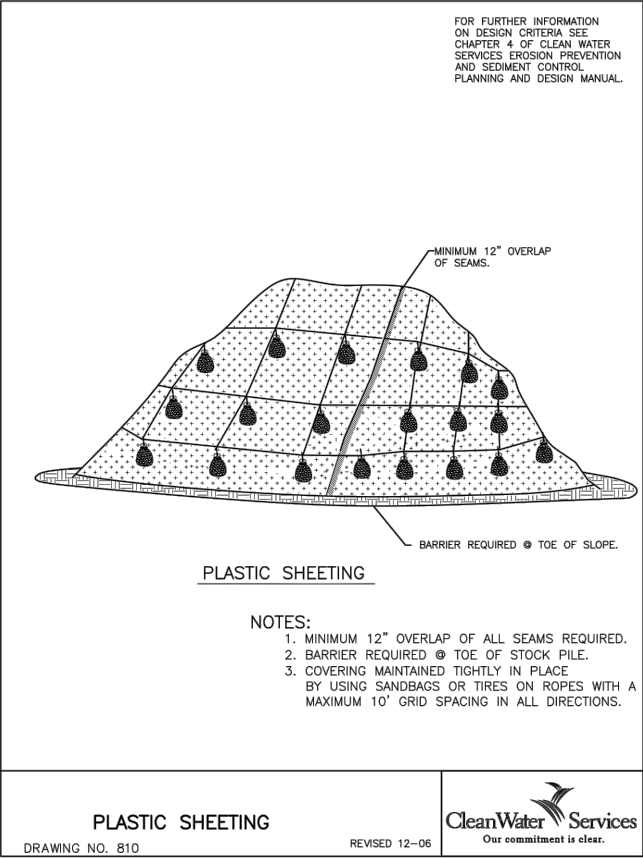
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN. CITY OF TUALATIN. WASHINGTON COUNTY, OREGON

PROJECT	21503970
DATE	01/11/2016

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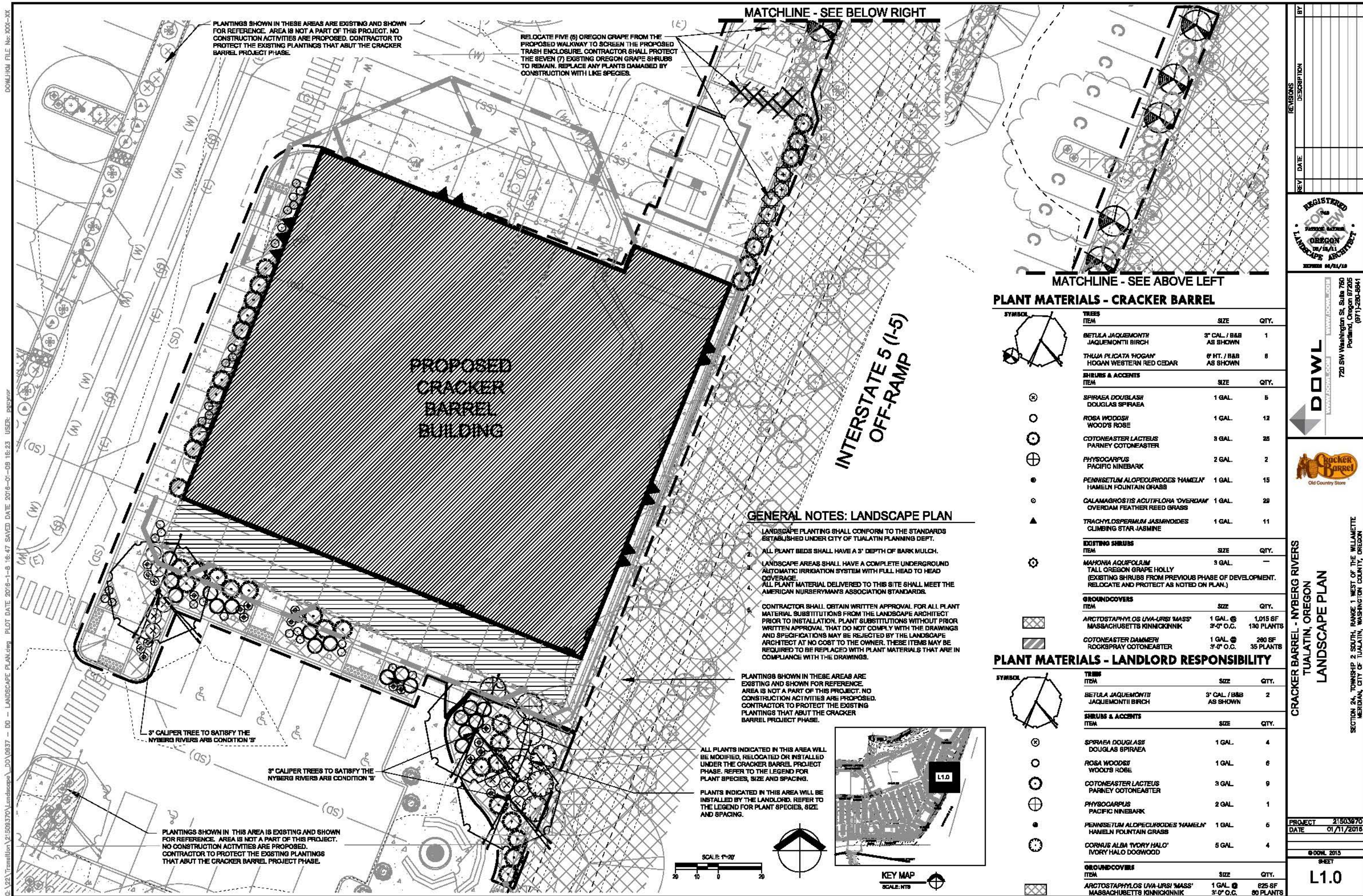


CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS

PROJECT	21503970
DATE	01/11/2016

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GENERAL NOTES: LANDSCAPE PLAN

- LANDSCAPE PLANTING SHALL CONFORM TO THE STANDARDS ESTABLISHED UNDER CITY OF TUALATIN PLANNING DEPT.
- ALL PLANT BEDS SHALL HAVE A 3" DEPTH OF BARK MULCH.
- LANDSCAPE AREAS SHALL HAVE A COMPLETE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH FULL HEAD TO HEAD COVERAGE.
- ALL PLANT MATERIAL DELIVERED TO THIS SITE SHALL MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.

PLANT MATERIALS - CRACKER BARREL

SYMBOL	TREES ITEM	SIZE	QTY.
	BETULA JACQUEMONTII JACQUEMONTII BIRCH	3" CAL. / B&B AS SHOWN	1
	THUJA PLICATA 'HOGAN' HOGAN WESTERN RED CEDAR	6" HT. / B&B AS SHOWN	8
SHRUBS & ACCENTS ITEM		SIZE	QTY.
	SPIRAEA DOUGLASH DOUGLAS SPIRAEA	1 GAL.	5
	ROSA WOODSH WOODS ROSE	1 GAL.	12
	COTONEASTER LACTEUS PARNEY COTONEASTER	3 GAL.	25
	PHYSCARPUS PACIFIC NINEBARK	2 GAL.	2
	PENNYSETUM ALOPECUROIDES 'HAEMEL' HAEMEL FOUNTAIN GRASS	1 GAL.	15
	CALAMAGROSTIS ACUTIFLORA 'OVERDAM' OVERDAM FEATHER REED GRASS	1 GAL.	20
	TRACHYLOSPERMUM JASMINODES CLIMBING STAR JASMINE	1 GAL.	11
EXISTING SHRUBS ITEM		SIZE	QTY.
	MAHONIA AQUIFOLIUM TALL OREGON GRAPE HOLLY (EXISTING SHRUBS FROM PREVIOUS PHASE OF DEVELOPMENT. RELOCATE AND PROTECT AS NOTED ON PLAN.)	3 GAL.	1
GROUNDCOVERS ITEM		SIZE	QTY.
	ARCTOSTAPHYLOS UVA-URSI 'MASS' MASSACHUSETTS KINNICKINNICK	1 GAL. @ 3'-0" O.C.	1,015 SF 130 PLANTS
	COTONEASTER DAMMER ROCKSPRAY COTONEASTER	1 GAL. @ 3'-0" O.C.	260 SF 35 PLANTS

PLANT MATERIALS - LANDLORD RESPONSIBILITY

SYMBOL	TREES ITEM	SIZE	QTY.
	BETULA JACQUEMONTII JACQUEMONTII BIRCH	3" CAL. / B&B AS SHOWN	2
SHRUBS & ACCENTS ITEM		SIZE	QTY.
	SPIRAEA DOUGLASH DOUGLAS SPIRAEA	1 GAL.	4
	ROSA WOODSH WOODS ROSE	1 GAL.	6
	COTONEASTER LACTEUS PARNEY COTONEASTER	3 GAL.	9
	PHYSCARPUS PACIFIC NINEBARK	2 GAL.	1
	PENNYSETUM ALOPECUROIDES 'HAEMEL' HAEMEL FOUNTAIN GRASS	1 GAL.	6
	CORNUS ALBA 'IVORY HALO' IVORY HALO DOGWOOD	5 GAL.	4
GROUNDCOVERS ITEM		SIZE	QTY.
	ARCTOSTAPHYLOS UVA-URSI 'MASS' MASSACHUSETTS KINNICKINNICK	1 GAL. @ 3'-0" O.C.	625 SF 80 PLANTS

REVISIONS

REV	DATE	DESCRIPTION	BY

REGISTERED
LANDSCAPE ARCHITECT
OREGON
10/18/11
DOWL
10/18/11

720 SW Washington St, Suite 750
Portland, Oregon 97205
(503) 280-8641

CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
LANDSCAPE PLAN

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503370
DATE 01/11/2016

©DOWL 2013
SHEET

L1.0



SOUTH ELEVATION



WEST ELEVATION

DIMENSIONAL INFORMATION

BUILDING SIZE:

-LENGTH/WIDTH OF BUILDING:
103'-4"L x 100'-0"W

-LENGTH/WIDTH OF PORCH:
12'-2"L x 100'-6"W

-SQUARE FOOTAGE OF BUILDING:
9,121 sf

-SQUARE FOOTAGE OF PORCH:
1,223 sf

-TOTAL FOOTPRINT:
10,344 sf

BUILDING HEIGHTS:

-HEIGHT OF FRONT WALL PARAPET:
19'-0" H

-HEIGHT OF SIDE & REAR PARAPETS:
16'-10 1/2" H

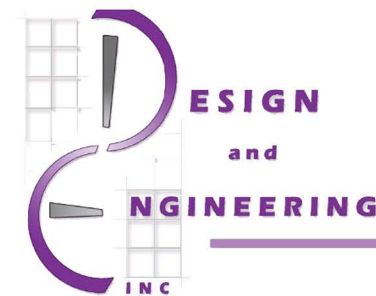
-TOP OF SIGN PARAPETS:
FRONT: 23'-0" H,
RIGHT: 20'-10 1/2" H

-HEIGHT OF CHIMNEY ABOVE FINISH
FLOOR: 30'-0" +/-

-ROOF SLOPES FRONT TO REAR:
-MAX. HEIGHT ABOVE FINISH FLOOR
INSIDE FRONT PARAPET WALL: 13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR
INSIDE REAR PARAPET WALL: 11'-0" H

WALL SIGNAGE:

-HEIGHT/WIDTH OF ALL SIGNS:
SOUTH & WEST: 7' H x 13' W (91 sf)



TUALATIN, OREGON
NYBERG RIVERS SHOPPING CENTER - PROTOTYPE 177-16 F NB

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR RENDITION OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR AND TEXTURE SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ACTUAL DIMENSIONS.

EXTERIOR MATERIALS LEGEND

- A CERTAINTED SIDING & MIRATEC BATTENS, PAINTED "CRACKER BARREL BROWN"
- B BERRIDGE STANDING-SEAM ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D CULTURED STONE VENEER, "CHARDONNAY" BLEND



07.07.15
1 of 2

UPDATED 1.11.16
SCALE: 3/32" = 1'-0"



EAST ELEVATION



NORTH ELEVATION

DIMENSIONAL INFORMATION

BUILDING SIZE:

-LENGTH/WIDTH OF BUILDING:
103'-4" L x 100'-0" W

-LENGTH/WIDTH OF PORCH:
12'-2" L x 100'-6" W

-SQUARE FOOTAGE OF BUILDING:
9,121 sf

-SQUARE FOOTAGE OF PORCH:
1,223 sf

-TOTAL FOOTPRINT:
10,344 sf

BUILDING HEIGHTS:

-HEIGHT OF FRONT WALL PARAPET:
19'-0" H

-HEIGHT OF SIDE & REAR PARAPETS:
16'-10 1/2" H

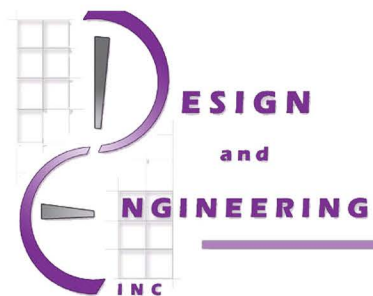
-TOP OF SIGN PARAPETS:
FRONT: 23'-0" H,
RIGHT: 20'-10 1/2" H

-HEIGHT OF CHIMNEY ABOVE FINISH
FLOOR: 30'-0" +/-

-ROOF SLOPES FRONT TO REAR:
-MAX. HEIGHT ABOVE FINISH FLOOR
INSIDE FRONT PARAPET WALL: 13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR
INSIDE REAR PARAPET WALL: 11'-0" H

WALL SIGNAGE:

-HEIGHT/WIDTH OF ALL SIGNS:
EAST & NORTH: 7' H x 13' W (91 sf)



TUALATIN, OREGON

NYBERG RIVERS SHOPPING CENTER - PROTOTYPE 177-16 F NB

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR RENDITION OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR AND TEXTURE SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ACTUAL DIMENSIONS.

EXTERIOR MATERIALS LEGEND

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- B BERRIDGE STANDING-SEAM ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D CULTURED STONE VENEER, "CHARDONNAY" BLEND

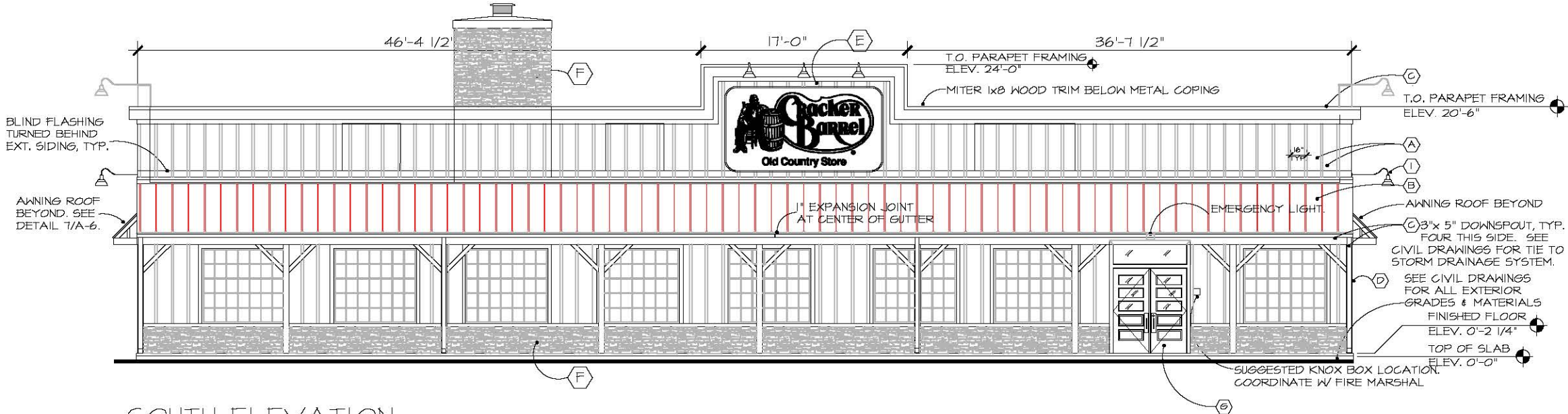


07.07.15
2 of 2

UPDATED 1.11.16
SCALE: 3/32" = 1'-0"

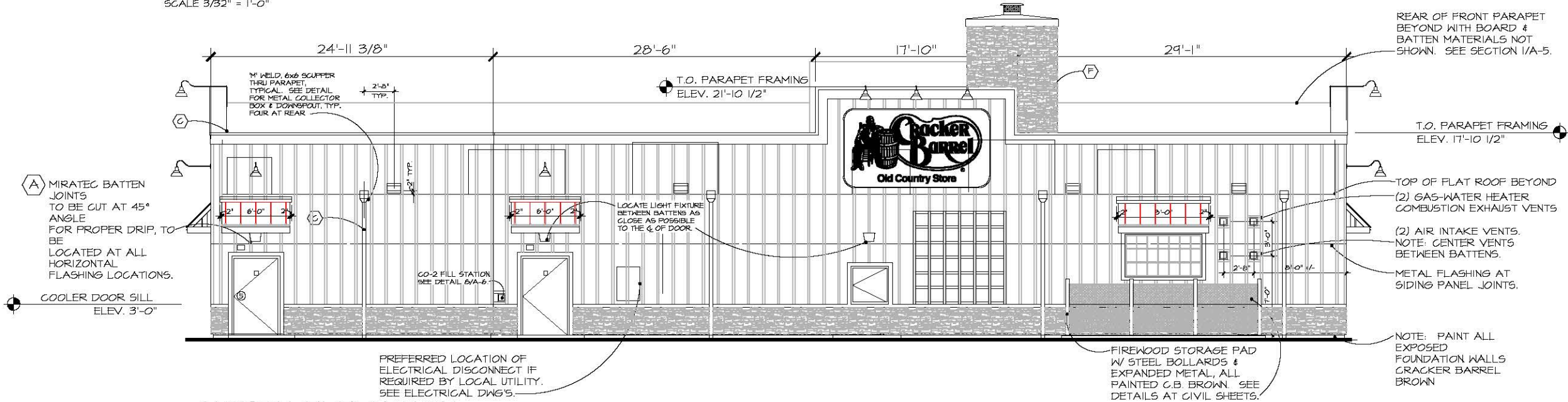
EXTERIOR MATERIALS LEGEND A

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIRATEC BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SOUTHERN LEDGESTONE CULTURED STONE VENEER	"CHARDONNAY" BLEND, #2054
G	WOOD ENTRY DOORS	MINWAX OIL STAIN 'GOLDEN OAK'
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK



SOUTH ELEVATION

SCALE 3/32" = 1'-0"



NORTH ELEVATION

SCALE 3/32" = 1'-0"

CRACKER BARREL PROJECT NUMBER: CB 172 16F NB
**CRACKER BARREL
OLD COUNTRY STORE**
7855 SW NYBERG STREET
TUALATIN, OR 97062
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Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

PRELIMINARY NOT
FOR CONSTRUCTION

**DESIGN AND ENGINEERING
ARCHITECTS AND ENGINEERS**
1445 West 41st Circle
Brentwood, TN 37027
615-370-1779
Fax: 615-370-1188
www.dendelinc.com

EXTERIOR
ELEVATIONS

INITIAL DATE: 12-01-15
RE-DATE: 12-01-15
REVISIONS
1-12-16, TMT FORMAT
2-1-17

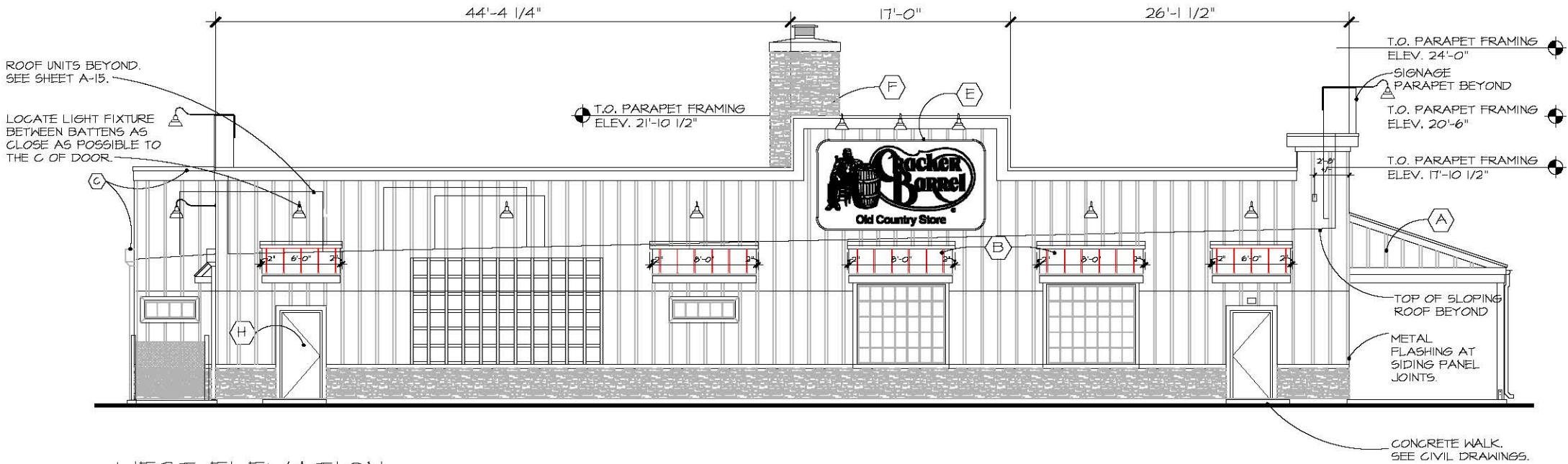


SHEET 1 OF 2

CB 172 16F NB

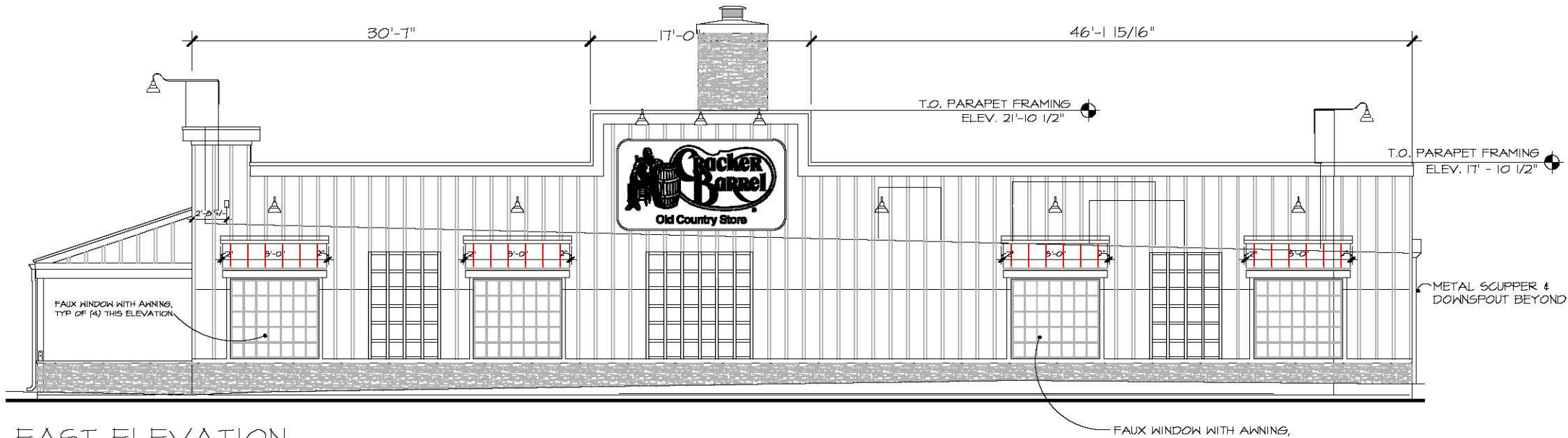
EXTERIOR MATERIALS LEGEND (A)

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIRATEC BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SOUTHERN LEDGESTONE CULTURED STONE VENEER	"CHARDONNAY" BLEND, #2054
G	WOOD ENTRY DOORS	MINWAX OIL STAIN 'GOLDEN OAK'
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK



WEST ELEVATION

SCALE 3/32" = 1'-0"



EAST ELEVATION

SCALE 3/32" = 1'-0"

CRACKER BARREL
OLD COUNTRY STORE
7866 SW NYBERG STREET
TUALATIN, OR 97062

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

PRELIMINARY NOT
FOR CONSTRUCTION

DESIGN AND ENGINEERING
ARCHITECTS AND ENGINEERS
1643 Westgate Circle
Irvine, CA 92614
Tel: 949-451-1111
Fax: 949-451-1112
www.dandee.com

EXTERIOR
ELEVATIONS

INITIAL DATE: 12-01-15
RE-DATE: 12-01-15
REVISIONS:
1. 12-01-15, INT. PORCH
11-15-15

CRACKER BARREL
OLD COUNTRY STORE

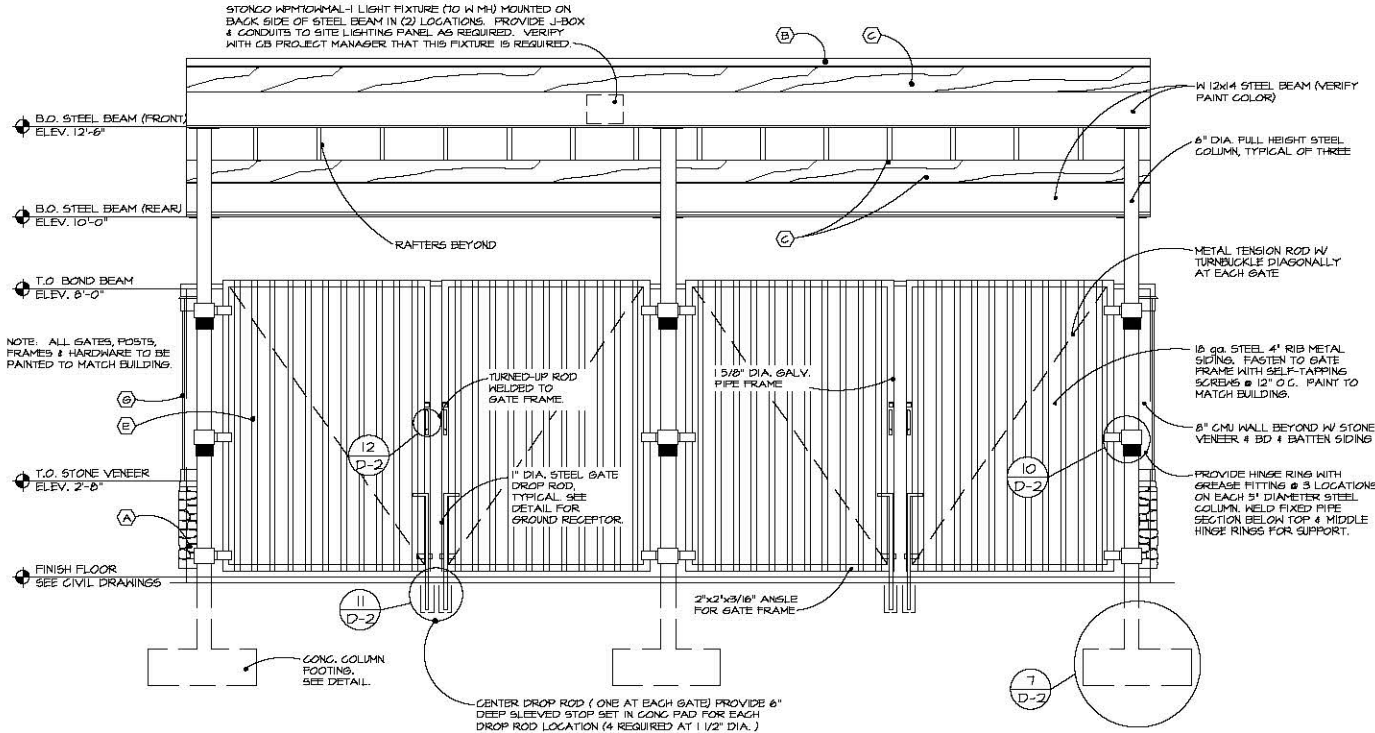
SHEET 2 OF 2

CB 172 18F NB

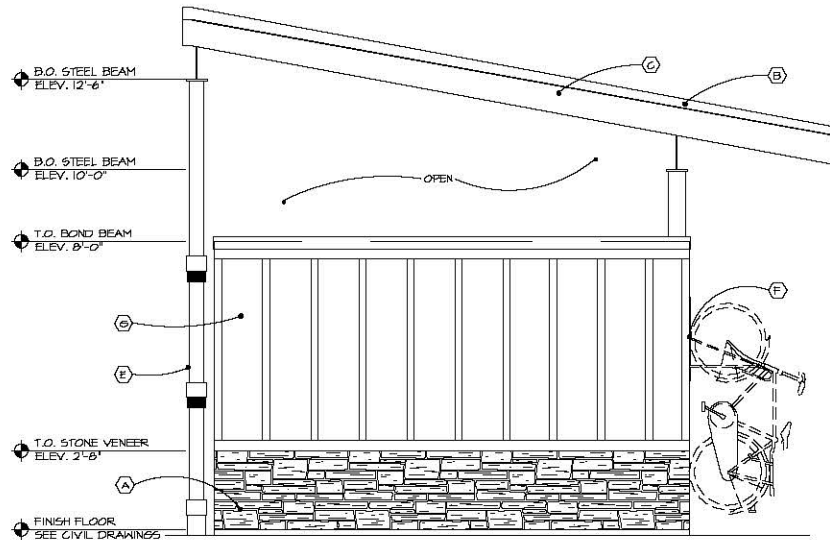
NOTE: ALL DUMPSTER ENCLOSURE STRUCTURAL STEEL (BOLLARDS, GATES, DROP RODS, COLUMNS, BEAMS, ETC.) IS INCLUDED IN THE OWNER-FURNISHED STEEL PACKAGE AND ARE INSTALLED BY THE CONTRACTOR.

- KEY NOTES
1. ALL HARDWARE SHALL BE HEAVY DUTY CORROSION RESISTANT.
 2. ALL WELDS SHALL BE GRIND SMOOTH.
 3. THE TOP OF ALL ENCLOSURE WALLS AND GATES SHALL BE LEVEL.
 4. IF REQUIRED, PROVIDE FLARED SIDES OF APRON SLAB TO MEET ADJACENT FINISH SURFACE - SLOPE 1/4" PER FOOT MAX.
 5. ALL GATES (INCLUDING SUPPORTS) SHALL BE PAINTED.
 6. CONC. BLK. SHALL BE SEALED AND PAINTED.
 7. ALL EXPOSED STEEL PAINTED - CRACKER BARREL BROWN.

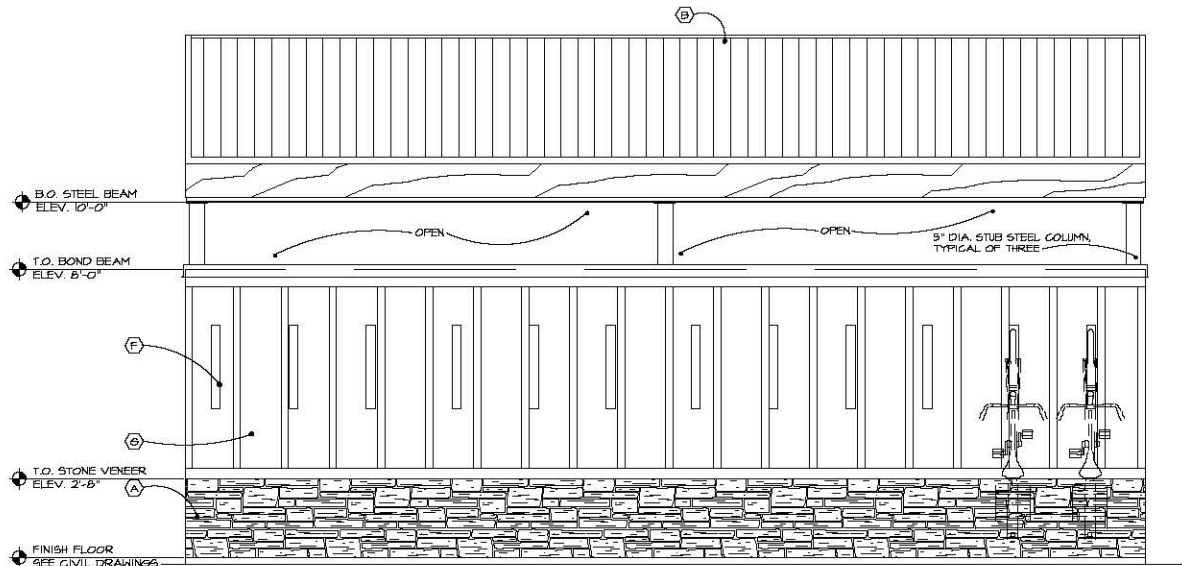
EXTERIOR MATERIALS LEGEND		A
MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	STONE VENEER OVER 6" SMOOTH FACE CMU	CHARDONNAY SOUTHERN LEDGESTONE CSV-2054
B	STANDING SEAM METAL ROOF / DRIP EDGE	PRE-FINISHED GALVALUME
C	WOOD TRIM AND RAFTERS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
D	METAL MAN DOOR AND FRAME	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	METAL DUMPSTER ENCLOSURE, ALL MISCELLANEOUS STEEL, AND GATE PANELS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
F	BIKE RACKS	BELSON MODEL B&V-1-WM-P
G	ALLURA SIDING W/ 1X8 MIRATEC BATTENS @ 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'



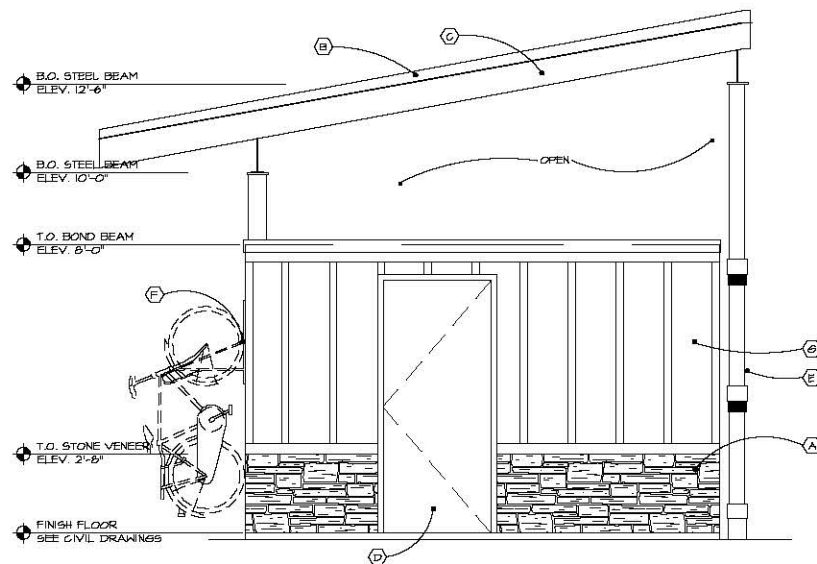
1 DUMPSTER ENCLOSURE FRONT ELEVATION
D-1 SCALE: 3/16"=1'-0"



3 DUMPSTER ENCLOSURE RIGHT SIDE ELEVATION
D-1 SCALE: 3/16"=1'-0"



2 DUMPSTER ENCLOSURE REAR ELEVATION
D-1 SCALE: 3/16"=1'-0"



4 DUMPSTER ENCLOSURE LEFT SIDE ELEVATION
D-1 SCALE: 3/16"=1'-0"

CRACKER BARREL
OLD COUNTRY STORE, #787
7665 SW MYERS ST
TUALATIN, OREGON 97062

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P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

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1445 Westgate Circle
Brentwood, TN 37027
415-378-1779
fax: 378-9188
www.dandinc.us

DESIGN
...
ENGINEERING
INC.

STRUCTURAL AND CIVIL ENGINEERS

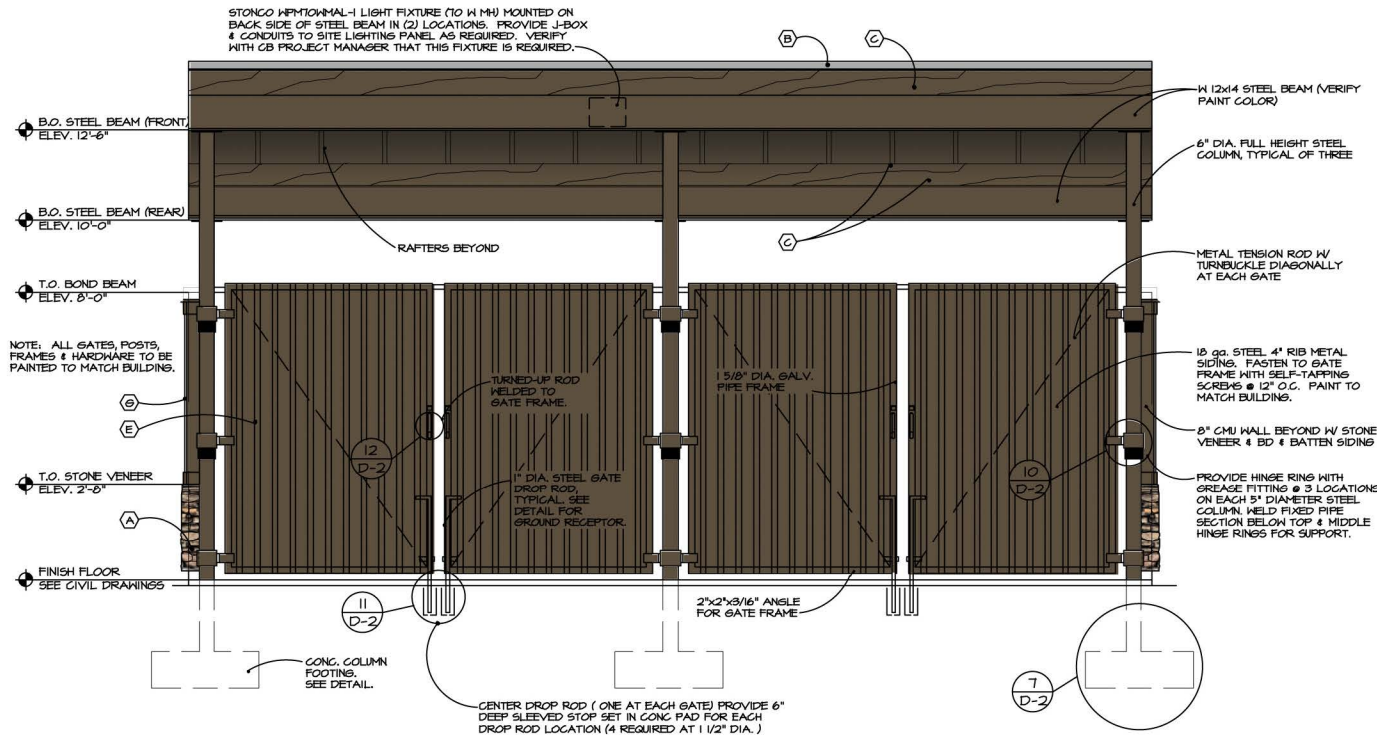
DATE: 10-28-15
PROJECT NO: 11-15114

REVISIONS
1. INTI FORMAT
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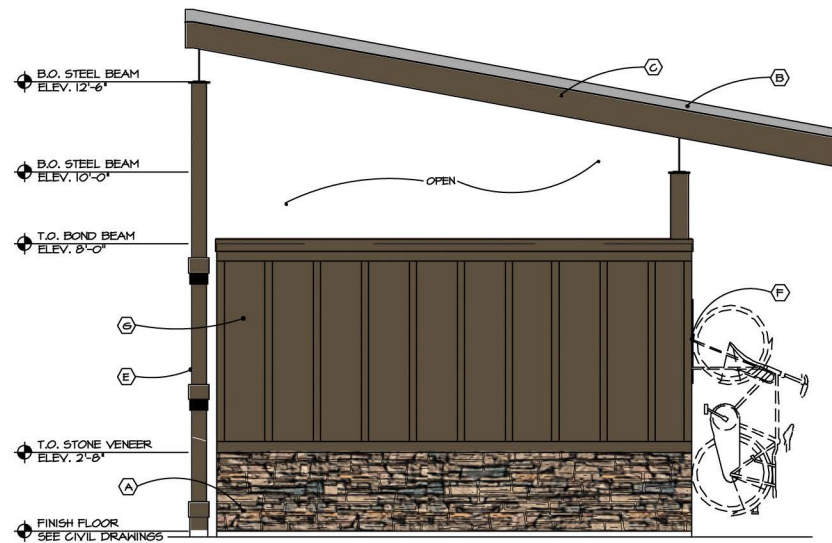
NOTE: ALL DUMPSTER ENCLOSURE STRUCTURAL STEEL (BOLLARDS, GATES, DROP RODS, COLUMNS, BEAMS, ETC.) IS INCLUDED IN THE OWNER-FURNISHED STEEL PACKAGE AND ARE INSTALLED BY THE CONTRACTOR.

- KEY NOTES
1. ALL HARDWARE SHALL BE HEAVY DUTY CORROSION RESISTANT.
 2. ALL WELDS SHALL BE GRIND SMOOTH.
 3. THE TOP OF ALL ENCLOSURE WALLS AND GATES SHALL BE LEVEL.
 4. IF REQUIRED, PROVIDE FLARED SIDES OF APRON SLAB TO MEET ADJACENT FINISH SURFACE - SLOPE 1/4" PER FOOT MAX.
 5. ALL GATES (INCLUDING SUPPORTS) SHALL BE PAINTED.
 6. CONC. BLK. SHALL BE SEALED AND PAINTED.
 7. ALL EXPOSED STEEL PAINTED - CRACKER BARREL BROWN

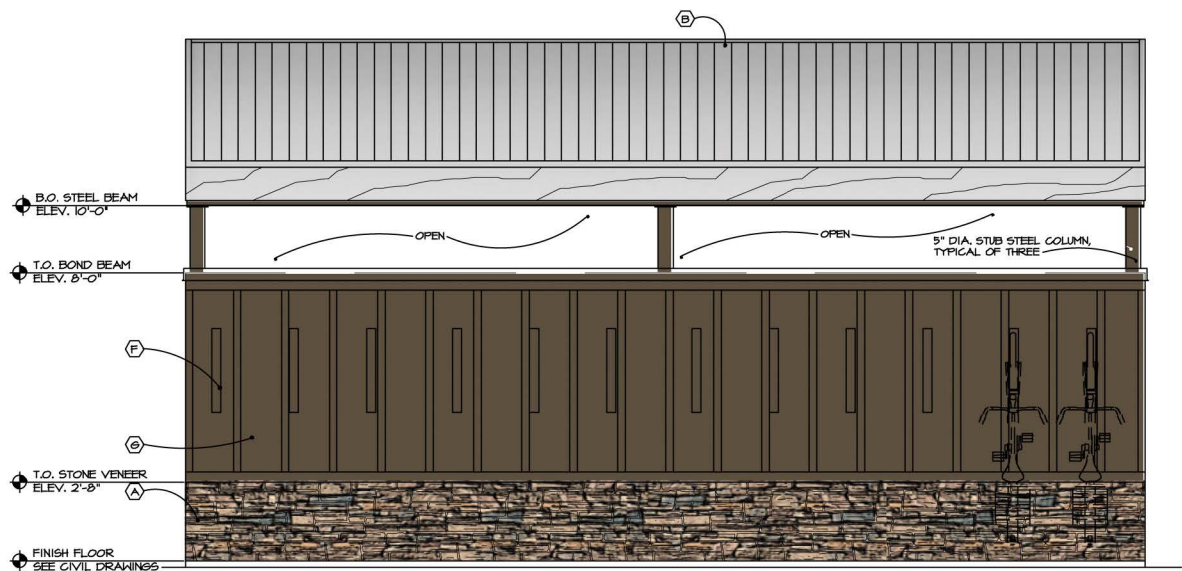
EXTERIOR MATERIALS LEGEND		A
MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	STONE VENEER OVER 8" SMOOTH FACE CMU	CHARDONNAY SOUTHERN LEDGESTONE CSV-2054
B	STANDING SEAM METAL ROOF / DRIP EDGE	PRE-FINISHED GALVALUME
C	HOOD TRIM AND RAFTERS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
D	METAL MAN DOOR AND FRAME	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	METAL DUMPSTER ENCLOSURE, ALL MISCELLANEOUS STEEL, AND GATE PANELS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
F	BIKE RACKS	BELSON MODEL BSV-1-W4-P
G	ALLURA SIDING W/ 1x3 MIRATEC BATTENS @ 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'



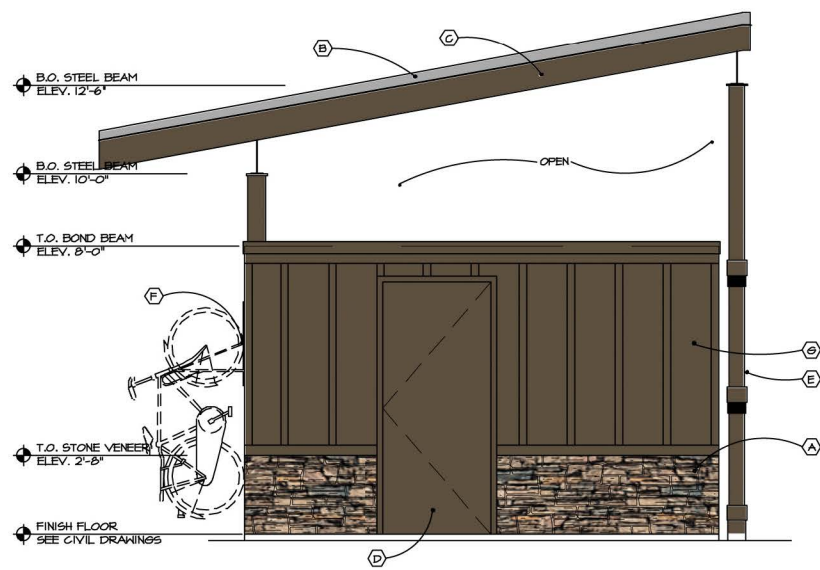
1 DUMPSTER ENCLOSURE FRONT ELEVATION
D-1 SCALE : 3/16"=1'-0"



3 DUMPSTER ENCLOSURE RIGHT SIDE ELEVATION
D-1 SCALE : 3/16"=1'-0"



2 DUMPSTER ENCLOSURE REAR ELEVATION
D-1 SCALE : 3/16"=1'-0"



4 DUMPSTER ENCLOSURE LEFT SIDE ELEVATION
D-1 SCALE : 3/16"=1'-0"

CRACKER BARREL
OLD COUNTRY STORE. #787
7855 SW HYBERG ST
TUALATIN, OREGON 97062

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

PRELIMINARY
NOT FOR
CONSTRUCTION

1645 Westgate Circle
Brentwood, TN 37027
615-378-1779
fax: 378-9188
www.dandinc.us

DESIGN
and
ENGINEERING
INC.
STRUCTURAL AND CIVIL ENGINEERS

DATE: 10-28-15
PROJECT NO: 11-0714

REVISIONS
LIMIT FORMAT
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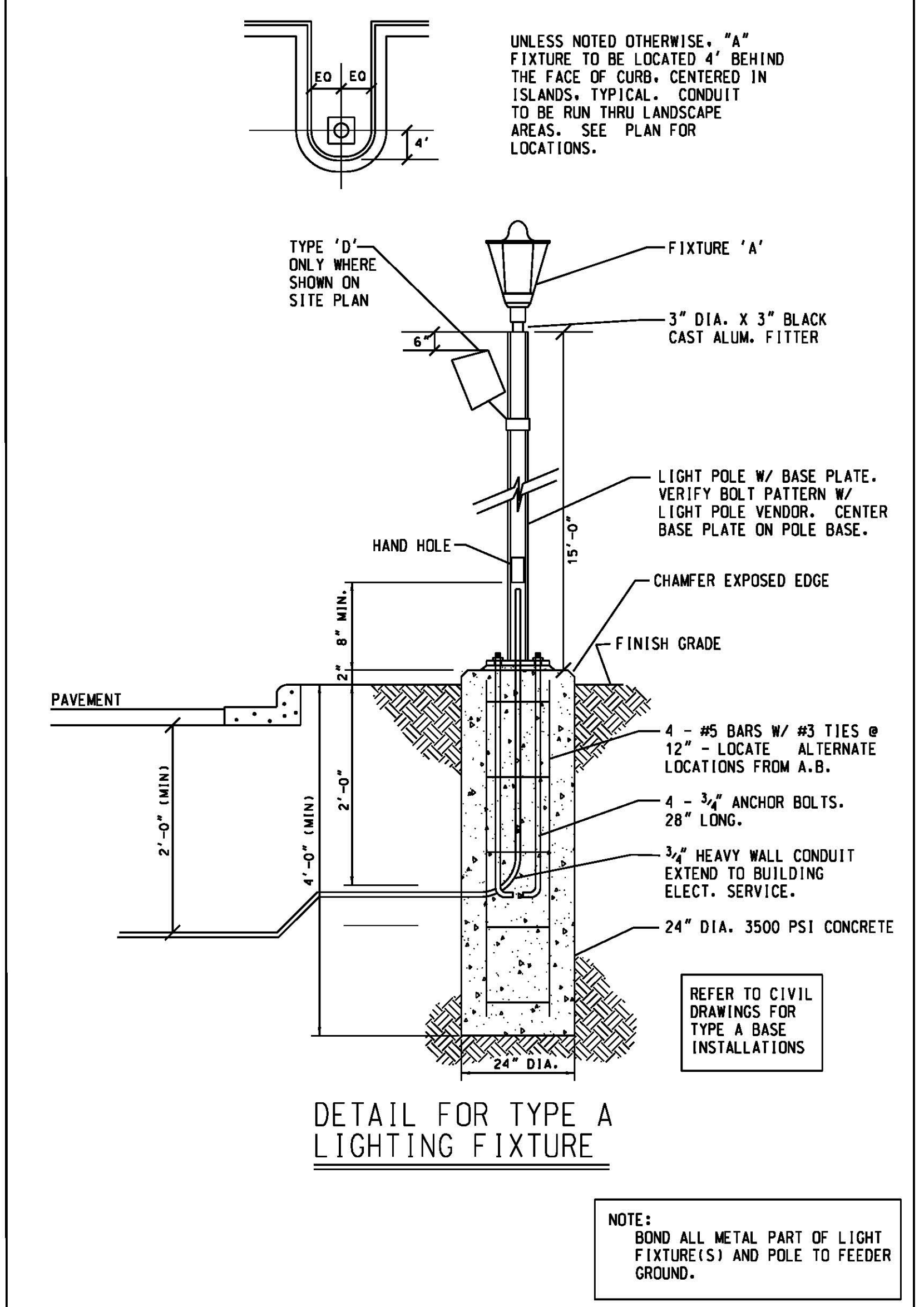
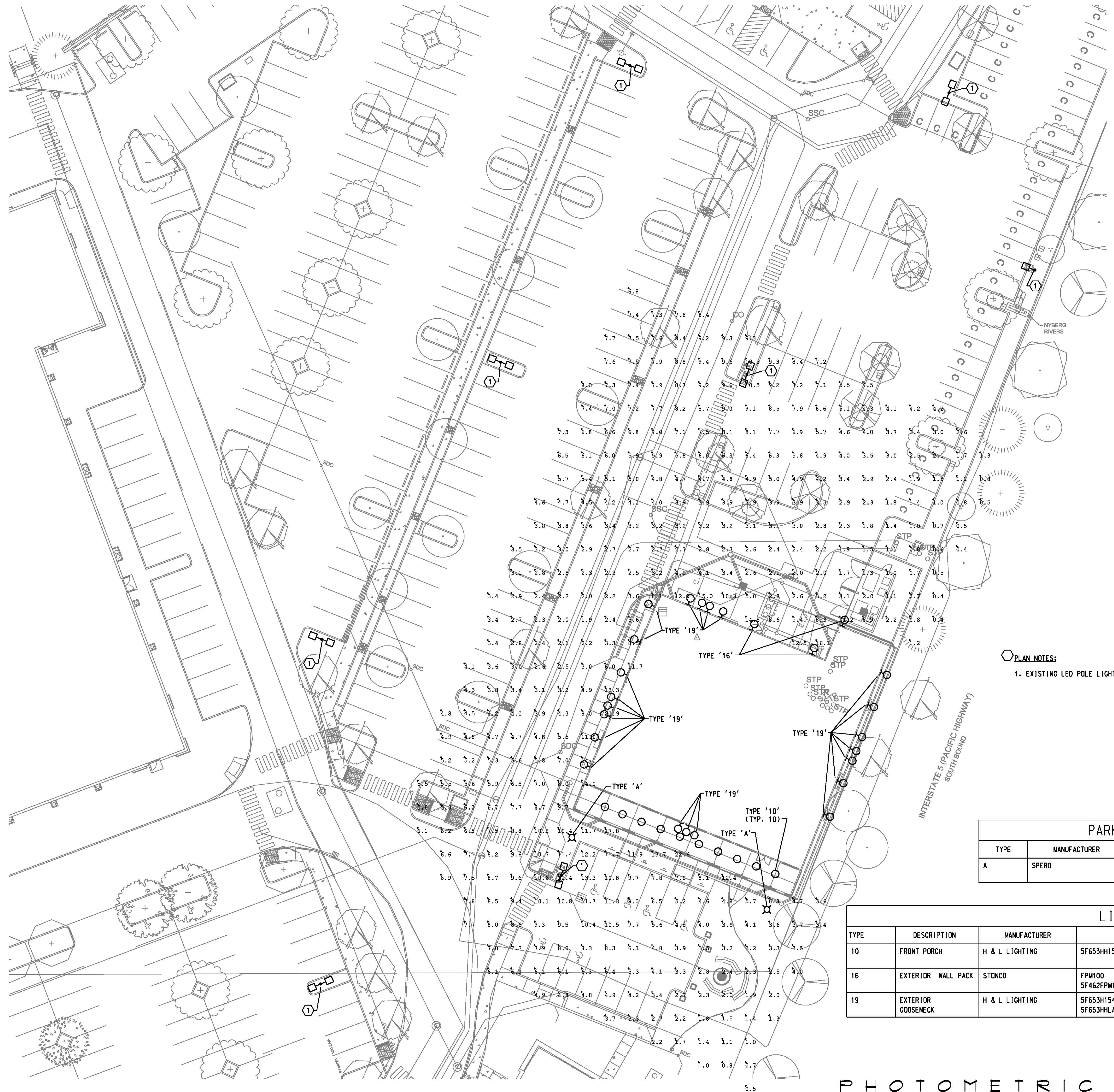


DUMPSTER
ENCLOSURE

D-1

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200' = 1" / 4"



PLAN NOTES:
1. EXISTING LED POLE LIGHT TO REMAIN.

PARKING & LANDSCAPE LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS		REMARKS	
			VOLT	QTY		
A	SPERO	SF734CB250BLK	208	1	250 HPS	POLE-SEE BASE DETAIL ON E8 SITE LIGHT (USE UF UL APPROVED CABLE INSIDE OF POLE)

LIGHTING FIXTURE SCHEDULE								
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LAMPS		REMARKS	FIXTURE
					QTY	TYPE		
10	FRONT PORCH	H & L LIGHTING	SF653HH154-91	120	1	75PAR30F	PENDENT MOUNTED-PROVIDE GROUND WIRE TO BASE (SEE DETAIL ON SHEET E7)	75
16	EXTERIOR WALL PACK	STONCO	FPM100 SF462FPM100MA	120	-	INCL.	WALL MOUNTED @ 9'-0" AFG	100
19	EXTERIOR GOOSENECK	H & L LIGHTING	SF653H154-91 SF653HHLA3691/SF653DCM9134	120	1	MXR50CUM	SIDE SECURITY LIGHT ON GOOSENECK BRACKET	50

CRACKER BARREL, PROJECT NUMBER:
**CRACKER BARREL
OLD COUNTRY STORE**
TUALATIN, OR

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

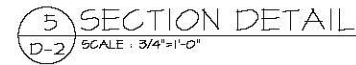
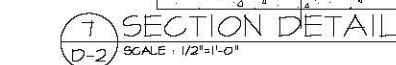
**ENTECH
ENGINEERING INC.**
2000 W. 10TH AVE.
DENVER, CO 80202
(303) 733-3400
www.enteche.com

PHOTOMETRIC
SITE PLAN


INITIAL DATE:	RE-ISSUE DATE:
REVISIONS	



ES1



Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087



**DESIGN
and
ENGINEERING**
/ INC.

1645 Westgate Circle
Brentwood, TN 37027
615-370-1779
fax: 370-3108
www.dendinc.net

STRUCTURAL AND CIVIL ENGINEERS

DATE: 10-28-15	
PROJECT NO: 11-519	
REVISIONS	
1. ICD7 FORMAT	



Cocker Barrel
Old Country Store

**DUMPSTER
ENCLOSURE**

D-2

CATALOG NO. 5F462FPM100MA
TYPE NO. 016
JOB NAME Cracker Barrel

FloodPak Series FPM

ORDERING INFORMATION

Catalog Number: Example: FPM175PMAL-8

FPM **100** **PMA** **L** **8**

SERIES
FPM FloodPak Medium

WATTAGE
57-57W
70-70W
150-150W
175-175W

LAMP SOURCE
LX-High Pressure Sodium (HX-HPF)
PMA-Pulse Start Metal Halide (HX-HPF)

LAMP
L-Lamp furnished

OPTIONS
AMC-Automatic standby auxiliary light. Lamp included.*

VOLTAGE
1-120V
5-480V
8-120V, 208V, 240V, 277V

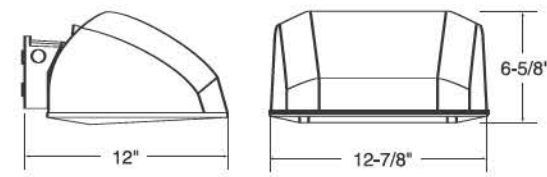
HID units supplied with clear medium base lamp.
*AMC not available on 175W fixtures.

ACCESSORIES

FPSKNUCKLE - 1/2" Adjustable Knuckle.
FPSARM - Shoebox Arm. Converts FloodPak to pole-mount (minimum 4" square pole).
FP2 - Single hole round cover for use with standard 4" round surface boxes.
FP4A - Single hole FS style cover for use on standard single gang FS boxes.

FP4B - Three hole FS style cover cover for use on standard single gang FS boxes.
FPMSHIELD - Vandal Shield. Helps protect lens and lamp from breakage. Clear polycarbonate shield snaps in place over glass lens.
FPSRPA - Round pole adapter.
FPM552 - Replacement Lens.

TECHNICAL INFORMATION



PRODUCT SPECIFICATIONS

- The FloodPak is a perfect blend of architectural design and performance.
- The FloodPak can be surface mounted in various positions. Use it as a cut-off wallpack or tip it up 22.5° for forward throw with semi-cut-off. Tip it up 45° for floodlighting, or turn it over and use it for indirect/ambient lighting.
- The FloodPak can also be pole mounted or ground mounted using mounting accessories.
- Precision die cast aluminum construction. All exposed hardware is stainless steel.
- Duraplex II dark bronze polyester powder finish is standard but the FloodPak is available in a variety of designer colors.
- Hinged door frame with clear tempered glass lens.
- Multi-faceted reflection system provides uniform distribution.
- Injection molded triple finger silicone gasket.
- UL wet location listed for above or below horizontal aiming.
- Complete with a UL approved mounting box rated for 90°C supply wire with integral bubble level.
- Integral heat sink ensures cool operation.
- Meets IESNA cut-off requirements.
- Contractor Friendly design with integral cable permitting easy, hands free wiring.

3640 Trousdale Dr. • Nashville, TN 37204 • Phone (615) 843-3370 • Toll Free (800) 264-3383 • Fax (615) 843-3351
Visit us at www.hermitagelighting.com

INT20

PREPARED BY: _____
TYPE: _____
JOB NAME: _____
DATE: January 14, 2011
CERTIFICATION: UL LISTED WET LOCATION

FINISH-Five stage pretreatment process, coated with a lead free TGI C polyester powder coat finish. Custom colors and Marine are available upon request.

LAMP HOLDERS- Accommodates **High Intensity Discharge (H.I.D.)** medium base, 4KV pulse start socket, rated 660W/600V.

MOUNTING- Pole mount. Fixtures are pre-wired with leads.

REFLECTOR- Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .050 to .125.

MODEL#	FINISH	LIGHT SOURCE	MOUNTING	REFRACTOR	
INT20	41-black 42-dr. green 43-red 44-white 45-med. blue 46-yellow 48-polish alum. 49-galvanized 50-navy blue 51-arch. Bronze 52-patina	53-rust 54-stucco 55-sage 58-satin alum. clear coat 59-coppertone 60-canal green 61-anod. charcoal 62-anod. bronze 63-iron rust	250PSMH- 250 watt metal halide	Pole mount	TYTP

UL LISTED wet location

PHONE: 877-999-1990
FAX: 877-999-1955
12260 EAST END AVE. CHINO, CA 91710

HI-LITE MFG. CO., INC.
13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Fax: (909) 465-0807

Job Name: _____
Type: **TYPE 10**
Quantity: _____

Item Number	Height (A)	Width (B)	Item Number	Height (A)	Width (B)
H-15008	7"	8"	H-15116	9 1/2"	16"
H-15010	8"	10"	H-15117	10"	17"
H-15111	8"	11"	H-15118	11"	18"
H-15112	8"	12"	H-15120	11"	20"
H-15113	8"	13"	H-15124	16"	24"
H-15114	9"	14"	H-15127	18"	27"
H-15115	9"	15"			

Warehouse Shade Collection

Fixture No.	Fixture Color	Mounting	Mounting Color	Optional Accessories	Accessory Color	Wattage/Lamp options	Ballast	Voltage																						
H-15008(1) H-15010(1) H-15111(1) H-15112 H-15113(1) H-15114 H-15115(1) H-15116 H-15117 H-15118 H-15119 H-15120 H-15124 H-15127	Standard (2) 91 (Black) 93 (White) 95 (Dk. Gm) 96 (Gdk.) BR47 (Rust) BK01, GR02, H-15114 Upgraded (2) Finishes 29, 66, 82, 99, 92, 96, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 129, 130, 132, 134, 135, 136, 11, 88, 191, 192, 120, 91, 22, 123, 121, 122, 123, 124, 125, 126, 91, 22, 25, 33, 77, 89, 24, 44, 46, 48, 15, 16, 55.	Standard 91 (Black) 93 (White) 95 (Dk. Gm) 96 (Gdk.) BR47 (Rust) BK01, GR02, H-15114 Upgraded (2) Finishes 29, 66, 82, 99, 92, 96, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 129, 130, 132, 134, 135, 136, 11, 88, 191, 192, 120, 91, 22, 123, 121, 122, 123, 124, 125, 126, 91, 22, 25, 33, 77, 89, 24, 44, 46, 48, 15, 16, 55.	Standard 91 (Black) 93 (White) 95 (Dk. Gm) 96 (Gdk.) 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Scale
80' = 1" = 80'

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The

house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during

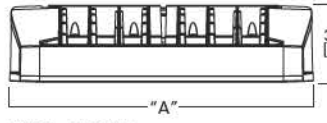
assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

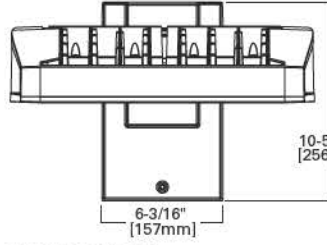
Warranty
Five-year warranty.

DIMENSIONS

POLE MOUNT



WALL MOUNT



DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	10" (254mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	10" (254mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Standard arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 2. EPA calculated with optional arm length.



*www.designlights.org

McGraw-Edison

Catalog #		Type	
Project		Date	
Comments			
Prepared by			



GLEON
GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE



CERTIFICATION DATA
ULUSL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
≥0.9 Power Factor
≤20% Total Harmonic Distortion
120V/277V 60/50Hz
347V & 480V 60Hz
-40°C Min. Temperature
60°C Max. Temperature
90°C Max. Temperature (HA Option)

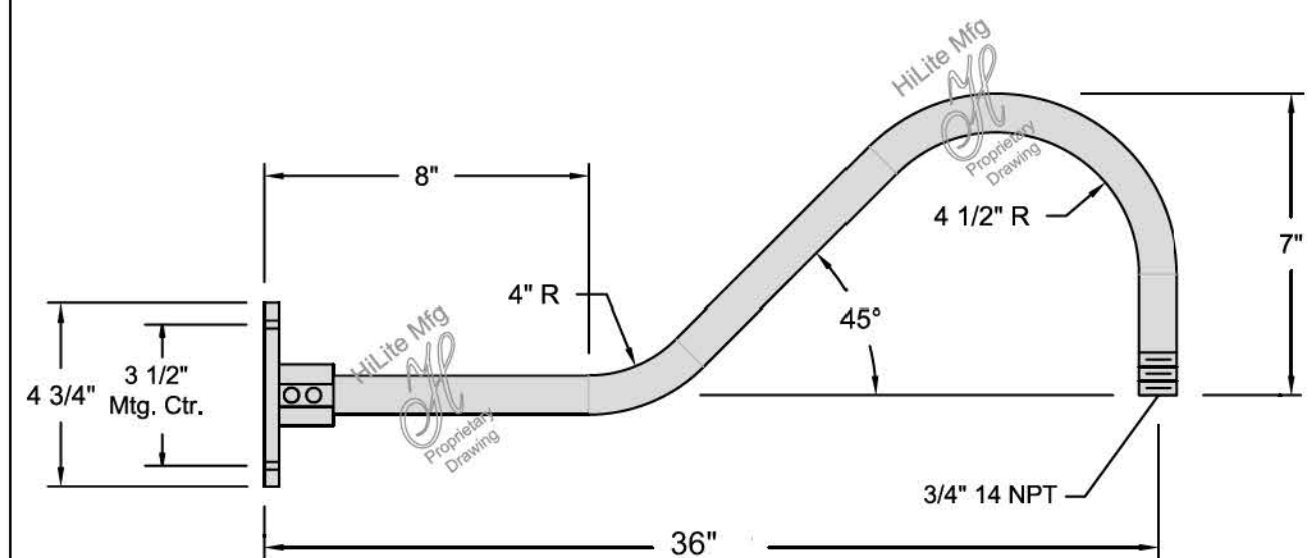


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**HI-LITE MFG.
CO., INC**
13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1969
Toll Free: (800) 465-0211
Fax: (909) 465-0907
www.hilitemfg.com

Job Name:
Type: 019
Quantity:

HL-A



Stem (Conduit)

Item No.	Conduit size and thread	Note.
ST2 (Specify length)	1/2" 14-NPT	Not available in steel, brass, copper or specialty finishes.
ST3 (Specify length)	3/4" 14-NPT	Not available in steel, brass or specialty finishes.

SMC (Stem Mount Canopy)

HD-SMC-1/2" (Heavy Duty Stem Mount Canopy - 1/2")

HD-SMC-3/4" (Heavy Duty Stem Mount Canopy - 3/4")

HSC-1/2" (Hang Straight Canopy - 1/2" - 38 degree Swivel)

HSC-3/4" (Hang Straight Canopy - 3/4" - 35 degree Swivel)

CC (Cord Canopy)

FX (Flexible Tubing) 7/8"

D (Chain Canopy)

BP-1/2" (Back Plate - 1/2")

BP-3/4" (Back Plate - 3/4")

SL (Swivel for IPS Stem only, 1/8" and 1/4")

Stem (Pipe Tubing, 1/8" and 1/4")

Item No.	Conduit size and thread	Note.
ST3/8 (Specify length)	1/8" IPS	Not available in copper or aluminum finishes.
ST1/4 (Specify length)	1/4" IPS	Not available in copper or aluminum finishes.

STC-1 (Stem Canopy for 1/8 or 1/4 IPS Stem)

STC-2 (Stem Canopy for 1/8 or 1/4 IPS Stem)

CRACKER BARREL, PRODUCT NUMBER
**CRACKER BARREL
OLD COUNTRY STORE**
TUALATIN, OR
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Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

**ENTECH
ENGINEERING INC.**
15110 SULLY ROAD
SULLY, VA 22190
TEL: 703.277.2400
FAX: 703.277.2400
www.enteche.com

REVISION DATE	REVISION DATE



ES3

CRACKER BARREL - TUALATIN

PREPARED FOR:
LD. REEVES AND ASSOCIATES, INC.
CITY OF TUALATIN, OREGON
SW NYBERG STREET, TUALATIN, OREGON 97062
DEVELOPMENT REVIEW

PROJECT TEAM

DEVELOPER

L.D. REEVES AND ASSOCIATES, INC.
ATTN: LORRETA REEVES
1889 MANZANA AVENUE
PUNTA GORDA, FL 33950
PHONE: (865) 300-6877

CIVIL ENGINEER

DOWL
ATTN: BEN WILLIAMS, PE
RYAN HALVORSON, PE
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OR 97205
PHONE: (971) 280-8641
FAX: (800) 865-9847

PLANNER

DOWL
ATTN: READ STAPLETON, AICP
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OR 97205
PHONE: (971) 280-8641
FAX: (800) 865-9847

LANDSCAPE ARCHITECT

DOWL
ATTN: PAT GAYNOR, RLA
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OR 97205
PHONE: (971) 280-8641
FAX: (800) 865-9847

SURVEYOR

CARDNO
ATTN: ERIC LYNCH, PLS
5415 SW WESTGATE DRIVE, SUITE 100
PORTLAND, OR 97221
PHONE: (503) 419-2500
FAX: (503) 419-2529

ARCHITECT

DESIGN AND ENGINEERING, INC.
ATTN: COLLEEN ATWOOD
1645 WESTGATE CIRCLE
BRENTONWOOD, TN 37027
PHONE: (615) 370-1779
FAX: (615) 370-9108

DATUM:

WASHINGTON COUNTY BENCHMARK NO. 922
A 3" BRASS DISK SET IN CONCRETE CURB AT THE
SOUTHEAST CORNER OF THE INTERSECTION OF SW
BOONES FERRY ROAD AND SW TUALATIN ROAD.
ELEVATION = 122.154'

BASIS OF BEARINGS:

BASIS OF BEARING S 00°01'11" W ALONG THE EAST LINE OF
SUBJECT PROPERTY WAS DERIVED PER PARTITION PLAT NO.
1998-133. ALSO RECORDED AS DOCUMENT #98118946

UNDERGROUND ACCURACY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED
FROM FIELD SURVEY INFORMATION AND EXISTING
DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT
THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH
UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT
LOCATION INDICATED, ALTHOUGH WE CERTIFY THAT THEY
ARE LOCATED AS ACCURATELY AS POSSIBLE FROM
INFORMATION AVAILABLE. DUE TO THE HAZARDOUS NATURE
AND APPLICABLE OSHA REQUIREMENTS REGARDING
CONFINED SPACES, IT IS CARDNO POLICY TO NOT SEND
FIELD STAFF INTO UTILITY MANHOLES TO RETRIEVE DEPTH
AND SIZE INFORMATION. INFORMATION SHOWN HEREON IS
SUBJECT TO AN UNCERTAINTY IN ACCURACY DEPENDING ON
DEPTH, SIZE, FLOW, AND CONSTRUCTION OF MANHOLES.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE
UNDERGROUND UTILITY LINES.

SITE INFORMATION:

LOCATED WEST OF I-5 AND NORTH OF NYBERG STREET.
LOCATED IN NE QUARTER OF SECTION 24, TOWNSHIP 2
SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF
TUALATIN, WASHINGTON COUNTY, OREGON.

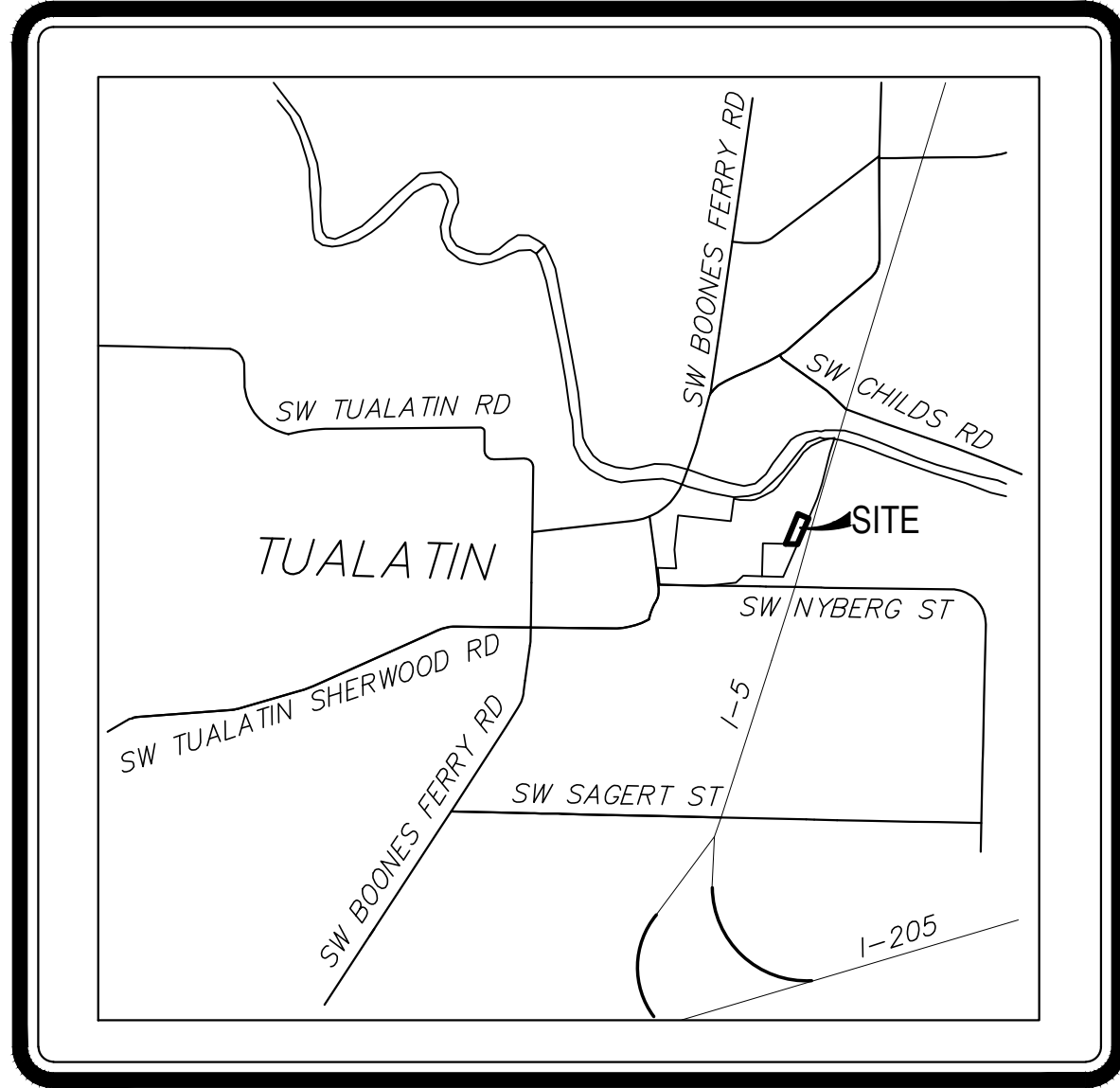
SHEET INDEX

CIVIL ENGINEERING PLANS
C0.0 COVER SHEET
C0.1 GENERAL NOTES
C1.0 EXISTING CONDITIONS PLAN
C2.0 SITE PLAN
C3.0 TREE PRESERVATION PLAN
C3.1 TREE TABLE
C4.0 GRADING PLAN
C4.1 GRADING ENLARGEMENTS
C5.0 UTILITY PLAN
C6.0 DETAILS
C6.1 DETAILS
C6.2 DETAILS

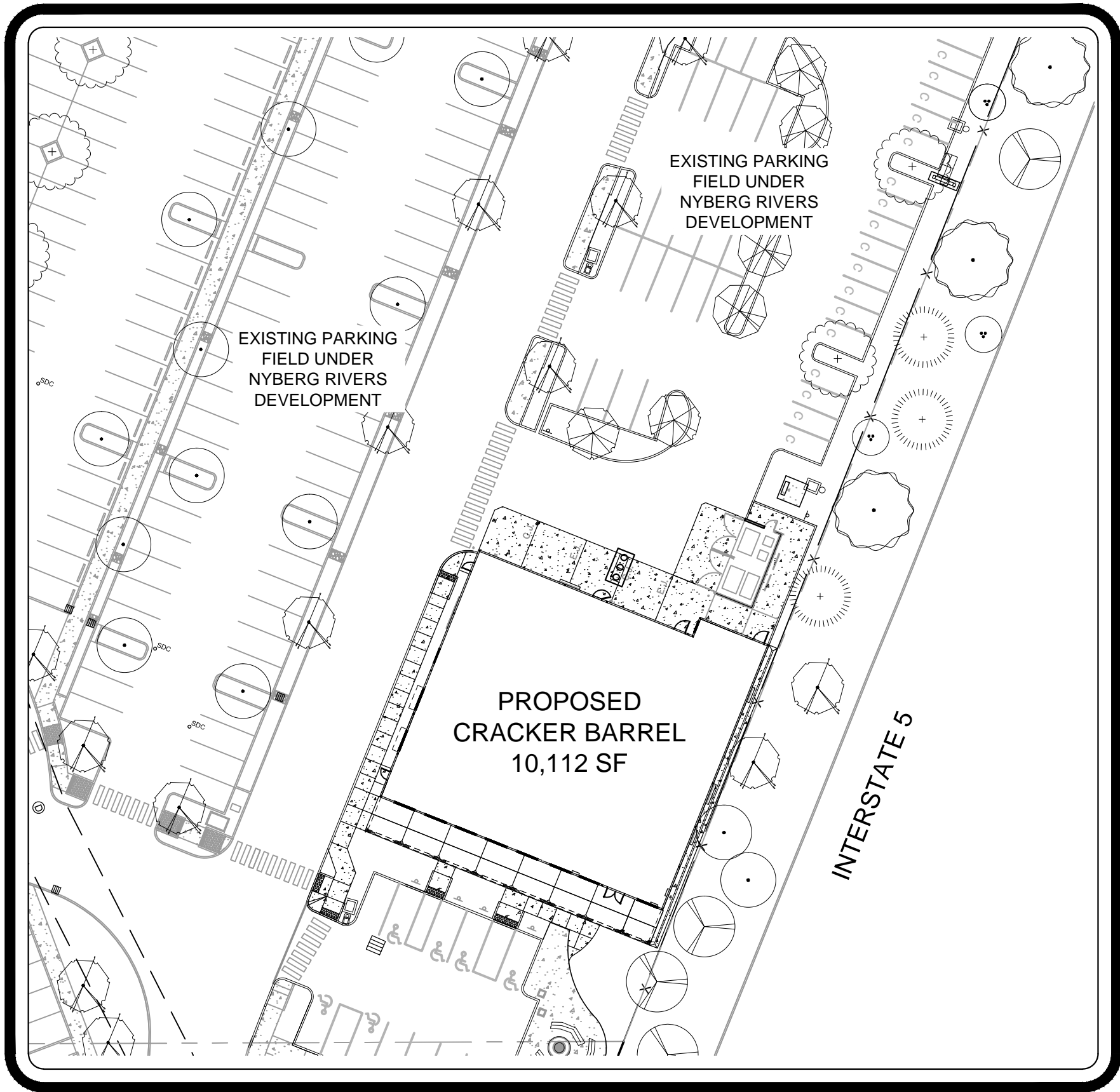
LANDSCAPE PLANS
L1.0 LANDSCAPE PLAN

ARCHITECTURAL PLANS
001 SOUTH-WEST ELEVATION (FULL COLOR)
002 NORTH-EAST ELEVATION (FULL COLOR)
003 SOUTH-NORTH ELEVATION
004 WEST-EAST ELEVATION
D-1 DUMPSTER ENCLOSURE (FULL COLOR)
D-2 DUMPSTER ENCLOSURE

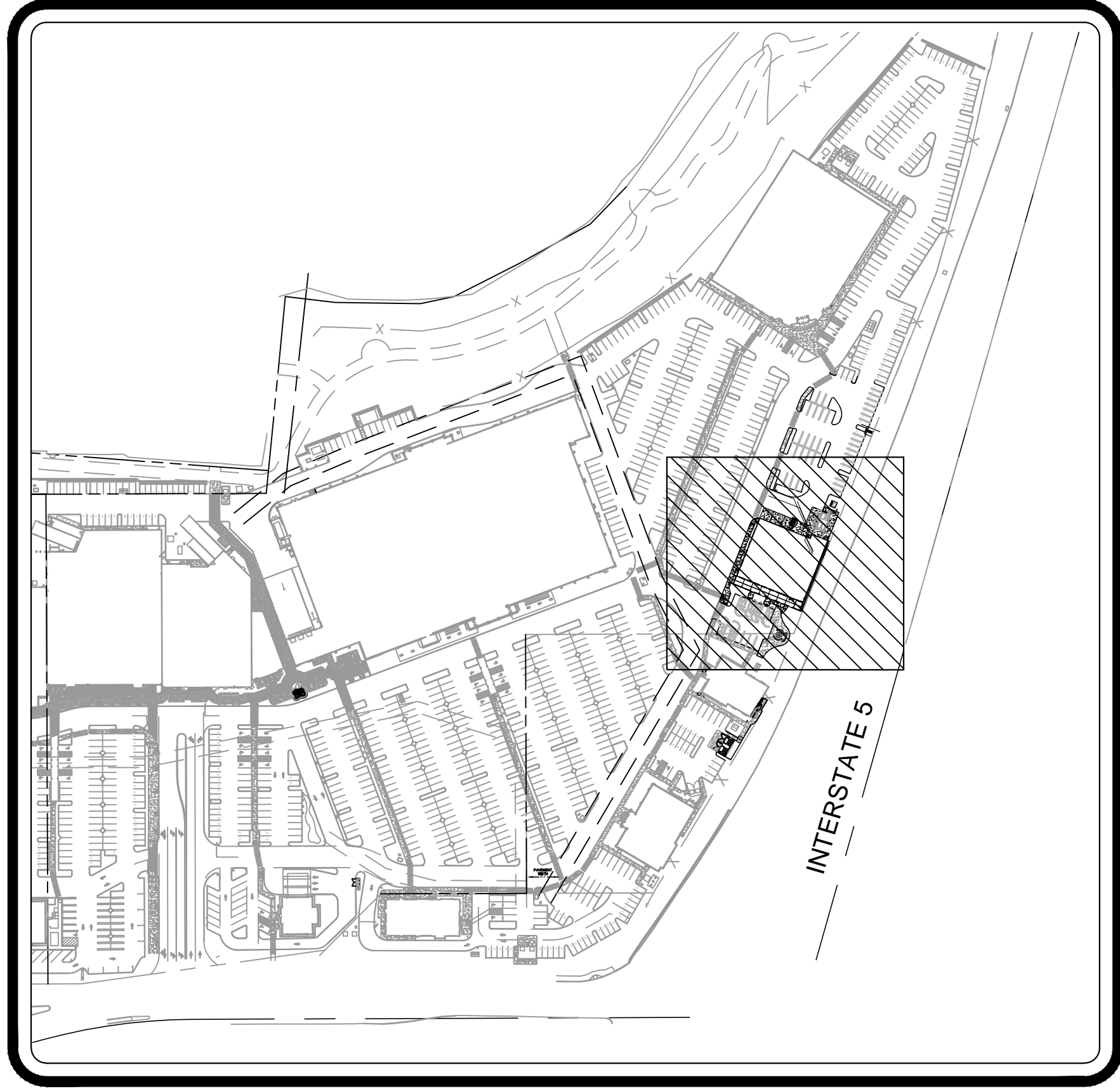
LIGHTING PLANS
ES1 PHOTOMETRIC PLAN
ES2 LIGHTING CUT SHEETS
ES3 LIGHTING CUT SHEETS



VICINITY MAP
SCALE: NTS



SITE
SCALE: NTS



KEY MAP
SCALE: NTS

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU
TO FOLLOW RULES ADOPTED BY THE
OREGON UTILITY NOTIFICATION CENTER.
THOSE RULES ARE SET FORTH IN OAR
952-001-0010 THROUGH OAR
952-001-0090. YOU MAY OBTAIN
COPIES OF THE RULES BY CALLING THE
CENTER.
(NOTE: THE TELEPHONE NUMBER FOR
THE OREGON UTILITY NOTIFICATION
CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.

Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS
M-F 7am-6pm 503-226-4211 Ext.4313
AFTER HOURS 503-226-4211
PGE 503-464-7777
QWEST 1-800-573-1311
CITY BUREAU OF MAINTENANCE 503-823-1700
CITY WATER 503-823-4874
VERIZON 1-800-483-1000

REV	DATE	DESCRIPTION	BY



DOWL
WWW.DOWL.COM
720 SW Washington St, Suite 750
Portland, Oregon 97205
(971)-280-8641



CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
COVER SHEET

PROJECT 21503970
DATE 01/11/2016

© DOWL 2015
SHEET
C0.0

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

Q:\22\transition\21509370\Civil\DD\0937-DD-GENERAL NOTES.dwg PLOT DATE: 2016-1-14 12:27 SAVED DATE: 2016-01-08 17:51 USER: rhelverson DOWLDWLK FILE NO: XXV-XX

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A CITY BUSINESS LICENSE IS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE LOCATIONS, DEPTH, AND DESCRIPTION OF EXISTING UTILITIES SHOWN WERE COMPILED FROM AVAILABLE RECORDS AND/OR SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA. OREGON LAW REQUIRES THAT THE RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER BE FOLLOWED. THOSE RULES ARE SET FORTH IN OAR 852-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER OR ACCESSING VIA INTERNET AT WWW.STATE.OR.US/GOVERNME.HTM CALL BEFORE YOU DIG - PORTLAND METRO AREA 503-246-6699.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED UTILITIES USING MATERIALS AND METHODS APPROVED BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.
- ALL WATERLINE CROSSINGS SHALL BE IN CONFORMANCE WITH OAR CHAPTER 333. THE CITY MAY REQUIRE MORE STRINGENT STANDARDS. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND CITY OF TUALATIN ENGINEERING STAFF 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION AND 24 HOURS BEFORE RESUMING WORK AFTER SHUTDOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING A SATURDAY, SUNDAY, OR HOLIDAY.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL, AND OTHER MATERIAL IN THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT "REDLINE DRAWINGS" TO
- PROJECT ENGINEER FOR PREPARATION OF RECORD DRAWINGS. "REDLINE DRAWINGS" DOCUMENT ALL DEVIATIONS AND REVISIONS TO THE APPROVED PLANS; THEY ALSO RECORD A DESCRIPTION OF CONSTRUCTION MATERIALS ACTUALLY USED (PIPE MATERIAL, ETC.). FROM THE INFORMATION CONTAINED FROM THESE REDLINE DRAWINGS, AS WELL AS ANY NOTES RECORDED BY THE PROJECT ENGINEER, THE PROJECT ENGINEER SHALL PREPARE AND SUBMIT RECORD DRAWINGS (ON 4 MIL MYLAR). RECORD DRAWINGS ARE REQUIRED FOR ANY PUBLIC IMPROVEMENTS, AS WELL AS FOR ANY (PUBLIC OR PRIVATE) STORM WATER QUANTITY OR QUALITY CONTROL FACILITY. CITY ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS ARE TIED TO THE SUBMITTAL OF THESE RECORD DRAWINGS. CAD GENERATED PLANS SHALL ALSO HAVE ELECTRONIC RECORD DRAWINGS SUBMITTED TO THE CITY IN COMPLIANCE WITH THE DIGITAL MAPPING REQUIREMENTS. CONTRACTOR SHALL ERECT AND MAINTAIN TRAFFIC CONTROL PER THE "MANUAL ON UNIFORM TRAFFIC
- CONTROL DEVICES", PART VI, CONSTRUCTION AND MAINTENANCE, AS ADOPTED AND MODIFIED BY ODOT. SHOULD WORK BE IN AN EXISTING PUBLIC RIGHT OF WAY THAT ARE OPEN TO TRAFFIC, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE CITY, COUNTY, STATE, AND PORT PERSONNEL FOR APPROVAL. APPROVALS SHALL BE OBTAINED PRIOR TO START OF WORK. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE
- WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, APPLICABLE AGENCY REQUIREMENTS AND OTHER WORK AS NECESSARY TO PROVIDE A COMPLETE PROJECT.
- THERE SHALL BE NO ALTERATION OR VARIANCE FROM THE APPROVED PLANS. THE MINIMUM SUBMITTAL REQUIREMENTS FOR PLAN REVISIONS ARE AS FOLLOWS: PLAN REVISIONS SHALL BE SUBMITTED ON AN 8 1/2" X 11" SHEET (MINIMUM). PLAN REVISION SHALL BE WET STAMPED AND SIGNED BY PROJECT ENGINEER, ANY REQUIRED ENGINEERING CALCULATIONS, OR OTHER AGENCY APPROVALS, SHALL BE INCLUDED WITH THE SUBMITTAL REVISION. UPON APPROVAL OF THE SUBMITTED REVISIONS, THE CITY ENGINEER SHALL AFFIX AN APPROVED STAMP TO THE REVISED PLAN SKETCH AND THE PLAN SHALL BE RETURNED TO THE PROJECT ENGINEER. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO DISTRIBUTE THE APPROVED PLAN REVISION TO ALL PARTIES TO WHOM THE ORIGINAL APPROVED PLANS WERE ISSUED. ALL APPROVED REVISION SHALL BE AFFIXED TO THE CONSTRUCTION FIELD PRINTS (ALSO KNOWN AS THE CONTRACTOR'S "REDLINE DRAWINGS").
- CONTRACTOR SHALL PROVIDE EFFECTIVE EROSION PROTECTION TO INCLUDE, BUT NOT LIMITED TO, GRADING, DITCHING, HAY BALES, SILT FENCING, AND SEDIMENT BARRIERS TO MINIMIZE EROSION AND IMPACT TO ADJACENT PROPERTY. SEE EROSION AND SEDIMENT CONTROL NOTES AND PLAN.
- OPEN TRENCHES SHALL BE STRICTLY LIMITED TO A MAXIMUM OF 100 LINEAR FEET WITHIN STREET RIGHT-OF-WAY UNLESS LIMITED TO A LESSER AMOUNT BY PERMIT. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS TO ALL AFFECTED PROPERTIES.
- ANY PAVEMENT DISTORTION CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE TEMPORARILY REPAIRED SAME DAY OF OCCURRENCE (OR IN A TIME PERIOD AGREED TO WITH THE CITY INSPECTOR), USING COLD OR HOT AC MIX. OWNER/CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REPAIRED AREAS UNTIL CITY FINAL ACCEPTANCE IS GRANTED.
- IF GROUND WATER SPRINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE PROJECT ENGINEER. THE PROJECT ENGINEER SHALL DIRECT THE CONTRACTOR TO TAKE MEASURES TO ENSURE THAT WATER IS NOT CONVEYED THROUGH THE UTILITY TRENCHES AND THE NATURAL FLOW PATH OF THE SPRING IS ALTERED AS LITTLE AS PRACTICABLE. THE PROJECT ENGINEER SHALL SUBMIT A REPORT SUMMARIZING THE FINDING TO THE CITY. IMPACTS AND MITIGATION SHALL BE ADDRESSED FOR THE CITY APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE
- THE START OF WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE PLANS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTED TO THE PROJECT ENGINEER FOR CLARIFICATION OR CORRECTION. ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY, PORT OF PORTLAND, OR PROJECT
- ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS AND PROJECT CONTRACT DOCUMENTS.
- PROJECT PLANS SHALL ALWAYS HAVE AN ENGINEER OF RECORD PERFORMING THE FUNCTION OF PROJECT ENGINEER. IF THE PROJECT ENGINEER IS CHANGED DURING THE COURSE OF THE WORK, THE CITY SHALL BE NOTIFIED IN WRITING AND THE WORK SHALL BE STOPPED UNTIL REPLACEMENT ENGINEER HAS AGREED TO ACCEPT THE RESPONSIBILITY OF THE PROJECT ENGINEER. THE NEW PROJECT ENGINEER SHALL PROVIDE WRITTEN NOTICE OF ACCEPTING PROJECT RESPONSIBILITY TO THE CITY WITHIN 72 HOURS OF ACCEPTING THE POSITION AS PROJECT ENGINEER. 21. THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION. EXCAVATORS MUST COMPLY WITH THE PROVISIONS OF ORA 757.541 THRU 757.571.

GRADING AND EROSION CONTROL CONSTRUCTION NOTES

- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTling PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

WATER CONSTRUCTION NOTES

- ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF TUALATIN STANDARD CONSTRUCTION SPECIFICATIONS & DRAWINGS AND THE UNIFORM PLUMBING CODE.
- MECHANICAL JOINT FITTINGS SHALL CONFORM TO AWWA C110 AND SHALL BE OF A CLASS AT LEAST EQUAL TO THAT OF THE ADJACENT PIPE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY PRESSURE AND LEAKAGE TESTS ON ALL WATER LINES PER CITY OF TUALATIN STANDARDS.
- ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED PER CITY OF TUALATIN STANDARDS.
- PRIOR TO BEING PLACED IN SERVICE, THE WATER LINES AND SERVICES SHALL BE FLUSHED, STERILIZED, AND TESTED, ALL IN ACCORDANCE WITH CITY OF TUALATIN STANDARDS AND THE UNIFORM PLUMBING CODE BY THE CONTRACTOR.
- TUALATIN VALLEY WATER DISTRICT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WATER LINE CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30" COVER OVER THE WATER LINE.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- WATERLINE SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE FROM SEWER LINE AT ALL TIMES.

PRIVATE UTILITY CONSTRUCTION NOTES

- CUSTOMER IS RESPONSIBLE FOR ALL TRENCH, CONDUIT, VAULTS, PADS, AND ROAD CROSSINGS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 36" COVER OVER CONDUITS.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITIES PRIOR TO CONSTRUCTION OR EXCAVATION.
- ALL CONDUIT MUST BE INSPECTED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO BACKFILL.
- ALL CONDUIT SHALL BE PVC SCHEDULE 40.
- ALL CONDUIT SWEEPS SHALL BE A MIN OF 48" RADIUS.
- 3' OF HORIZONTAL CLEARANCE IS REQUIRED FROM ALL WATER, SEWER, GAS, AND IRRIGATION LINES.
- A 1/4" PULL ROPE RATED FOR 500 LBS. SHALL BE INSTALLED IN EACH CONDUIT BY CONTRACTOR.
- ALL RUNS EXCEEDING 150' IN LENGTH REQUIRE FIBER SWEEPS.

STORM DRAINAGE CONSTRUCTION NOTES

- ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE REQUIREMENTS OF THE UNIFORM PLUMBING CODE, AND THE APPLICABLE REQUIREMENTS OF THE CITY OF TUALATIN.
- NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. (EXCEPT IN AREAS WHERE DIP IS SPECIFIED), THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
- RIM ELEVATIONS OF MANHOLES AND CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
- ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.
- CHANGES IN DIRECTION OF DRAINAGE PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
- INLET AND OUTLET CONNECTIONS SHALL BE MADE BY THE USE OF A FLEXIBLE COMPRESSION JOINT NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINT SHALL BE EMBEDDED IN THE MANHOLE BASE. MANHOLES SHALL HAVE A SMOOTH, UNIFORM WATERWAY WITH CHANGES OF DIRECTION MADE WITH THE APPROPRIATE SWEEP OFFSET AS PER THE OREGON PLUMBING SPECIALTY CODE. OPEN-GRATE LIDS WILL NOT BE ALLOWED ON ANY MANHOLE.

SANITARY SEWER CONSTRUCTION NOTES

- SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF TUALATIN, PORT OF PORTLAND, ODOT AND THE UNIFORM PLUMBING CODE. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC PIPE CONFORMING TO ASTM SPECIFICATION D3034 (SDR-35), UNLESS NOTED OTHERWISE.
- NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS AND DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES. LATERALS SHALL BE INSTALLED AT A MIN. 2% SLOPE UNLESS NOTED ON THE PLANS
- HYDROSTATIC AND AIR TESTING OF SANITARY LINES AND MANHOLES SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- FINISHED RIM ELEVATIONS OF CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE, FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
- PIPE BEDDING AND BACKFILL SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS.
- SANITARY SEWER CLEANOUT CONSTRUCTION SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS.
- A MINIMUM OF TWO FEET (2) HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERLINES AND SANITARY AND STORM MANHOLES. ALL CONSTRUCTION MUST MEET DEQ AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
- ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.

GENERAL DEMOLITION NOTES

- NOTIFY ENGINEER FIVE (5) BUSINESS DAYS BEFORE COMMENCEMENT OF WORK.
- LOCATION OF EXISTING UTILITIES ARE BASED UPON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF GRADING (1-800-332-2344).
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF OSHA.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY ALL APPROPRIATE CODES, LAWS AND REGULATIONS THAT GOVERN CONSTRUCTION WITHIN THE CITY OF TUALATIN.
- THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO CONSTRUCTION DOCUMENTS AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION. CONCEALED CONSTRUCTION WITHOUT THE REQUIRED EXPOSURE SHALL BE SUBJECT TO INSPECTION AT THE CONTRACTOR'S EXPENSE.
- SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND WHAT IS REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON GRADED SLOPES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.
- DEMOLISH/REMOVAL NOT SPECIFICALLY LISTED, BUT REQUIRED TO COMPLETE SITE/UTILITY AND GRADING PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE AND RECYCLED/DISPOSED OF ACCORDING TO LOCAL REGULATIONS.

REVISIONS

BY	DESCRIPTION

REV DATE

PROFESSIONAL ENGINEER
TUALATIN, OREGON
EXPIRES: 06/30/2017

FOR REVIEW ONLY

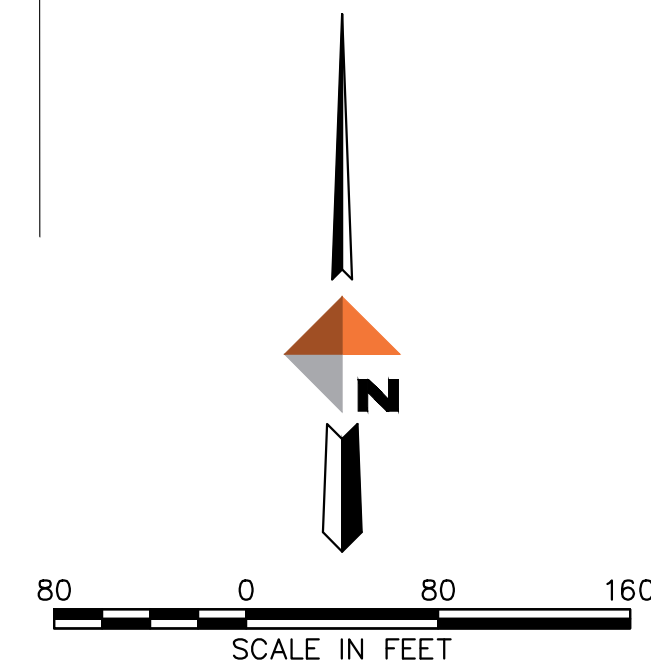
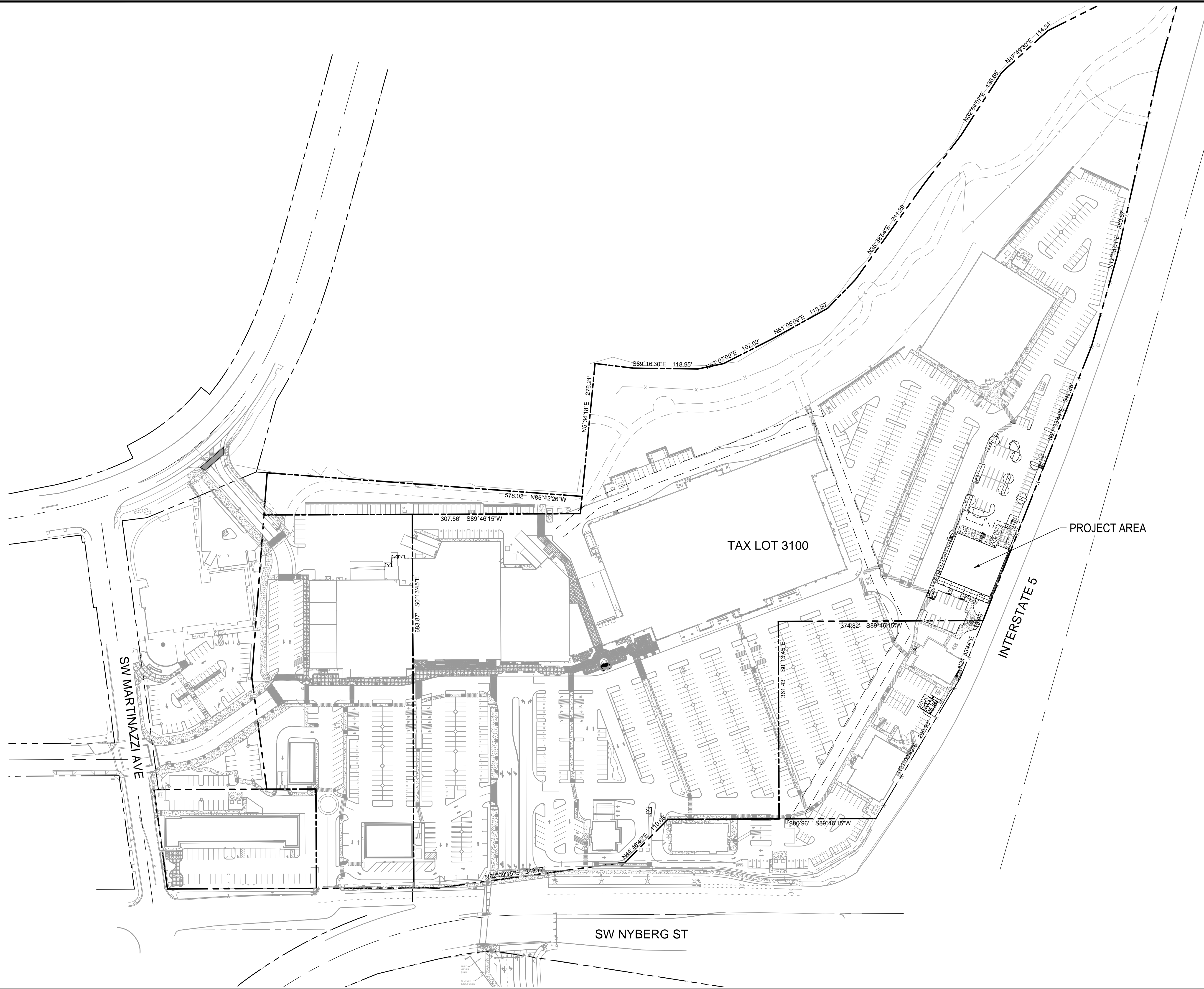
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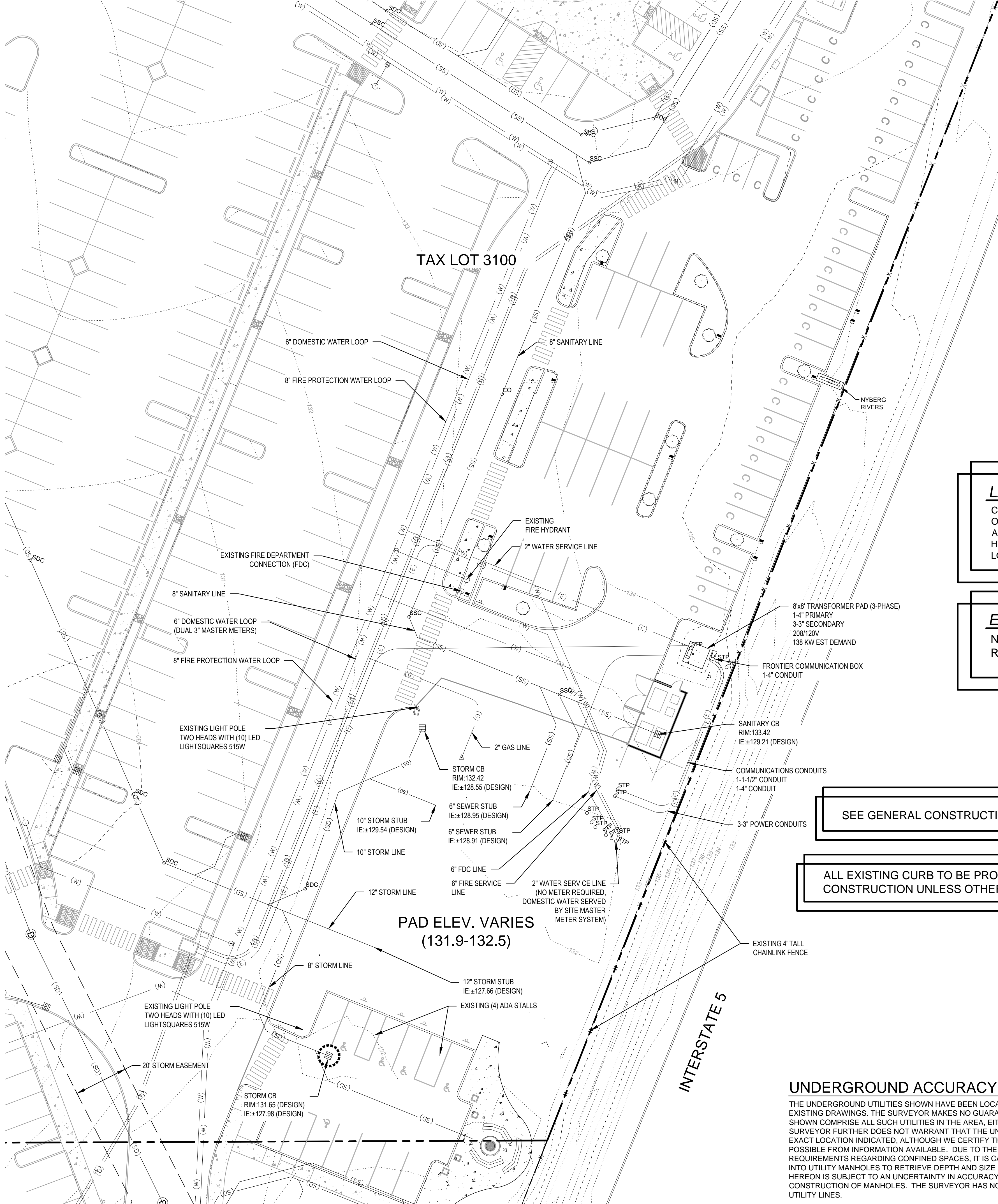
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
GENERAL NOTES

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503970
DATE 01/11/2016

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- EXISTING TREE PROTECTION**
1. PROVIDE TEMPORARY FENCING, BARRICADES, AND GUARDS AS NECESSARY OR REQUIRED TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT.
 - A. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH YELLOW FLAGGING TAPE AND PROTECTED BY BARRIER FENCING PLACED NO LESS THAN 10 HORIZONTAL FEET FROM THE OUTSIDE EDGE OF THE TRUNK IN ALL DIRECTIONS OR BENEATH THE TREE DRIPLINE, WHICHEVER IS GREATER. CLUSTERS OF TREES MAY BE PROTECTED BY CONTINUOUS FENCING FOLLOWING THE SAME GUIDELINES.
 - B. REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN-LINK OR RED VINYL MESH, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
 - C. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
 2. PROTECT ROOT SYSTEMS OF TREES TO REMAIN FROM FLOODING, EROSION, OR EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND COMPACTION. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIPLINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL, OR LIQUIDS, AND CONTINUAL PUDDLING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
 3. MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCESS. AFFECT ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
 4. DO NOT CHANGE THE EXISTING GRADE BENEATH DRIPLINE OF TREES TO REMAIN.
 5. ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIPLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
 6. ENCROACHMENT UPON ANY IDENTIFIED PRESERVED TREES MUST OCCUR UNDER THE DIRECTION OF A QUALIFIED ARBORIST TO ASSURE THE HEALTH NEEDS OF THE TREES WITHIN THE PRESERVED AREA CAN BE ME.

LANDSCAPE

CONTRACTOR TO PROTECT ALL EXISTING PLANTINGS WITHIN THE ODOT RIGHT-OF-WAY. ANY PLANTS AFFECTED BY THE PROPOSED GRADING PLAN WILL BE HAND DUG, STOCKPILED, AND REPLANTED IN THEIR ORIGINAL LOCATIONS ONCE GRADING IS COMPLETE.

EXISTING TREES & GRADING

NO GRADING ACTIVITIES WILL ALLOW PRESERVED TREE ROOTS TO REMAIN EXPOSED PER TDC 73.250(2)(f).

SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

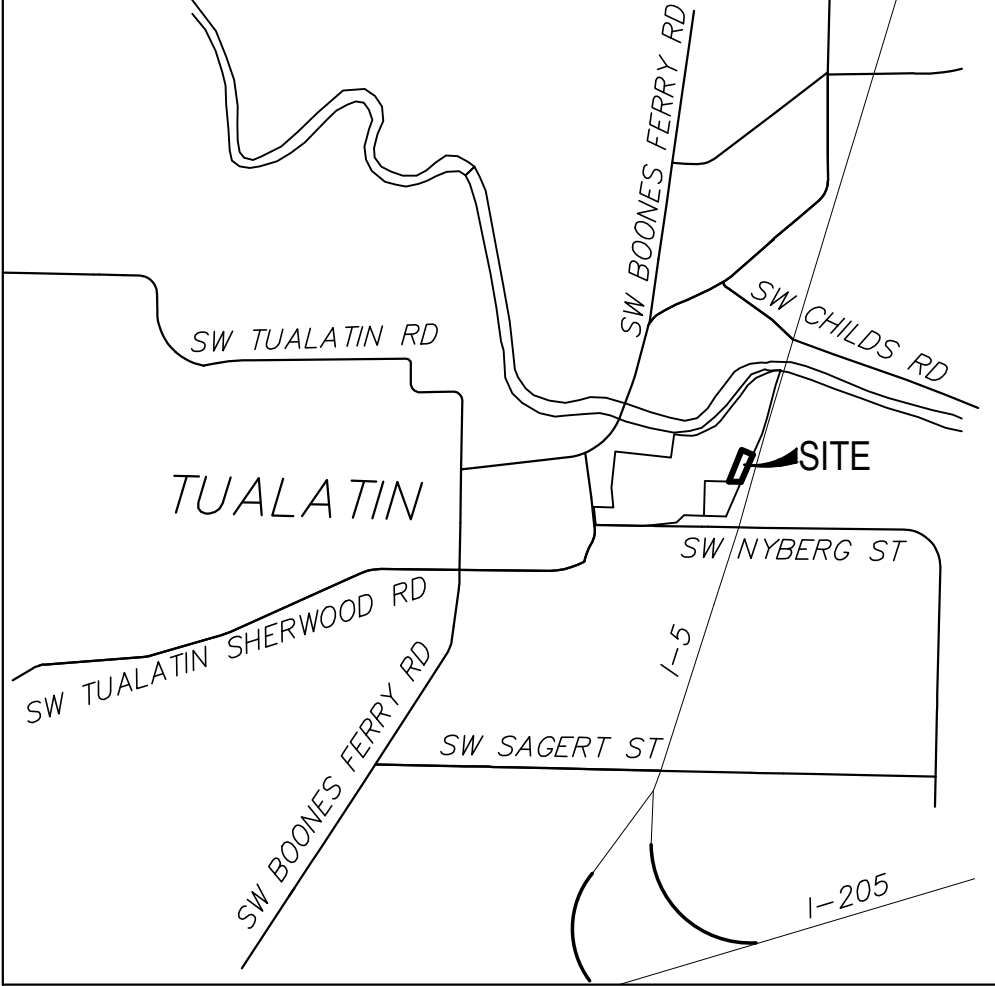
ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

UNDERGROUND ACCURACY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH WE CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. DUE TO THE HAZARDOUS NATURE AND APPLICABLE OSHA REQUIREMENTS REGARDING CONFINED SPACES, IT IS CARONO POLICY TO NOT SEND FIELD STAFF INTO UTILITY MANHOLES TO RETRIEVE DEPTH AND SIZE INFORMATION. INFORMATION SHOWN HEREON IS SUBJECT TO AN UNCERTAINTY IN ACCURACY DEPENDING ON DEPTH, SIZE, FLOW, AND CONSTRUCTION OF MANHOLES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITY LINES.

DATUM:

WASHINGTON COUNTY BENCHMARK NO. 922
A 3" BRASS DISK SET IN CONCRETE CURB AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SW BOONES FERRY ROAD AND SW TUALATIN ROAD.
ELEVATION = 122.154'



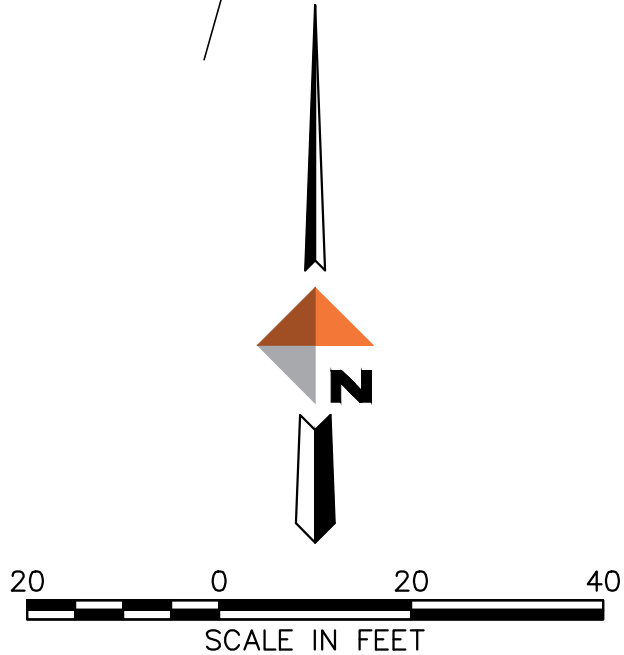
VICINITY MAP
SCALE: NTS

LEGEND

- - - - - EXISTING BOUNDARY LINE
- - - - - EXISTING RIGHT-OF-WAY LINE
- - - - - FENCE LINE, TYPE AS NOTED
- X - - - - - STORM DRAINAGE LINE
- SS - - - - - SANITARY SEWER LINE
- W - - - - - UNDERGROUND WATER LINE
- E - - - - - UNDERGROUND ELECTRICAL LINE
- () - - - - - INDICATES DATA FROM AS BUILT INFORMATION
- - - - - EXISTING CURB LINE
- - - - - EXISTING CONCRETE SURFACE
- - - - - CATCH BASIN - TRAPPED TYPE
- - - - - FIRE HYDRANT
- - - - - FIRE DEPARTMENT CONNECTION
- - - - - WATER VALVE
- - - - - IRRIGATION CONTROL BOX
- - - - - SHOEBOX LIGHT (SINGLE)
- - - - - ELECTRIC JUNCTION BOX
- - - - - UNKNOWN CLEANOUT
- - - - - STAND PIPE
- - - - - UNKNOWN UTILITY VAULT
- - - - - SIGN POST
- - - - - DECIDUOUS TREE
- - - - - PROPOSED INLET PROTECTION



KEY MAP
SCALE: NTS



REV	DATE	DESCRIPTION	BY

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EXPIRES: 06/30/2017

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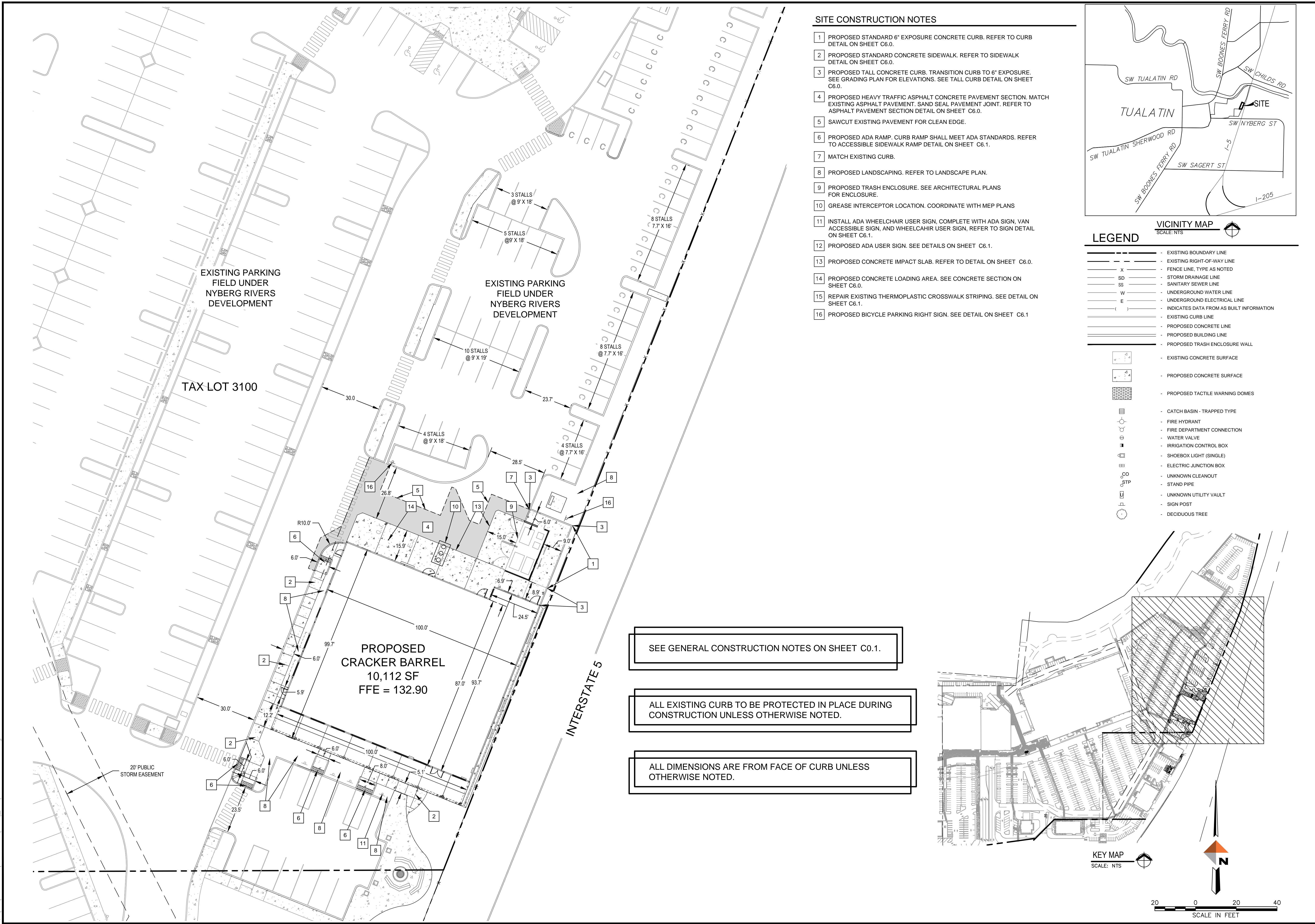
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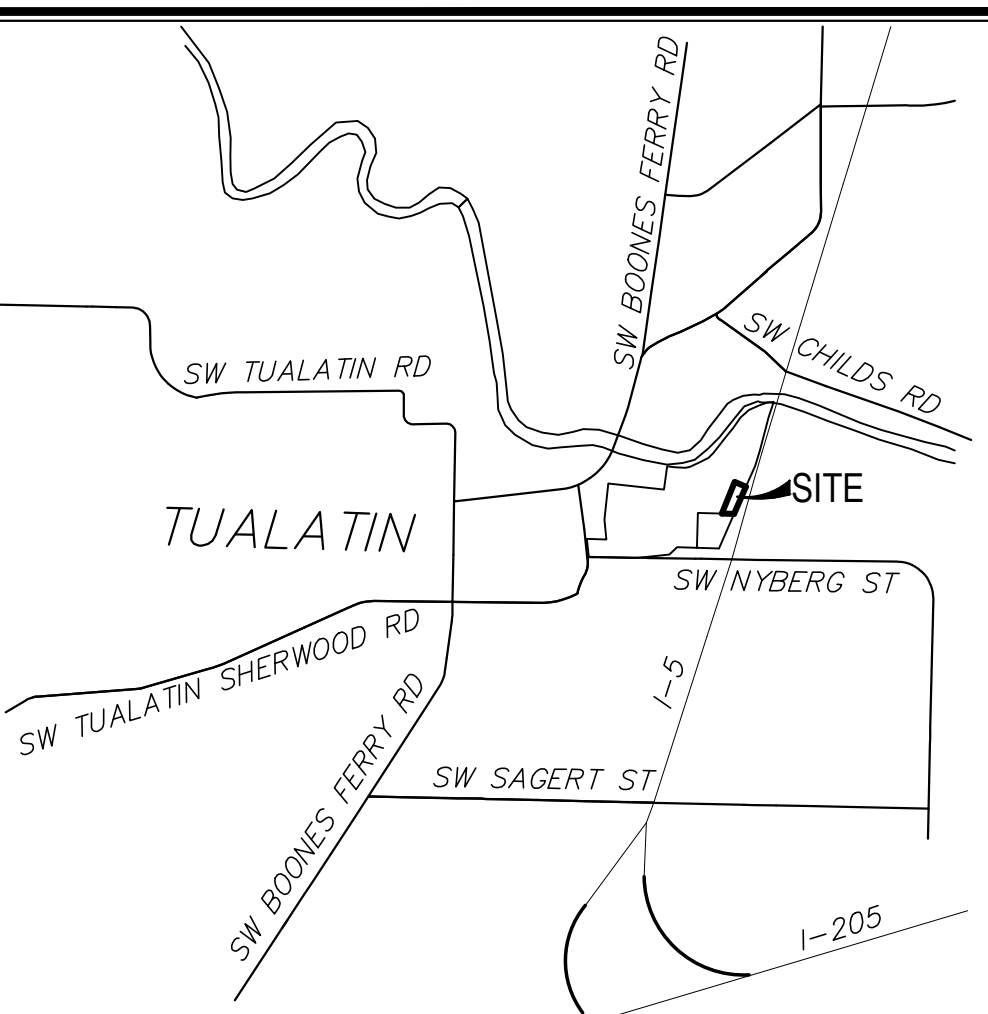
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
EXISTING CONDITIONS PLAN

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT	21503970
DATE	01/11/2016
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SHEET	
C1.0	



- SITE CONSTRUCTION NOTES**
- 1 PROPOSED STANDARD 6" EXPOSURE CONCRETE CURB. REFER TO CURB DETAIL ON SHEET C6.0.
 - 2 PROPOSED STANDARD CONCRETE SIDEWALK. REFER TO SIDEWALK DETAIL ON SHEET C6.0.
 - 3 PROPOSED TALL CONCRETE CURB. TRANSITION CURB TO 6" EXPOSURE. SEE GRADING PLAN FOR ELEVATIONS. SEE TALL CURB DETAIL ON SHEET C6.0.
 - 4 PROPOSED HEAVY TRAFFIC ASPHALT CONCRETE PAVEMENT SECTION. MATCH EXISTING ASPHALT PAVEMENT. SAND SEAL PAVEMENT JOINT. REFER TO ASPHALT PAVEMENT SECTION DETAIL ON SHEET C6.0.
 - 5 SAWCUT EXISTING PAVEMENT FOR CLEAN EDGE.
 - 6 PROPOSED ADA RAMP. CURB RAMP SHALL MEET ADA STANDARDS. REFER TO ACCESSIBLE SIDEWALK RAMP DETAIL ON SHEET C6.1.
 - 7 MATCH EXISTING CURB.
 - 8 PROPOSED LANDSCAPING. REFER TO LANDSCAPE PLAN.
 - 9 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ENCLOSURE.
 - 10 GREASE INTERCEPTOR LOCATION. COORDINATE WITH MEP PLANS
 - 11 INSTALL ADA WHEELCHAIR USER SIGN, COMPLETE WITH ADA SIGN, VAN ACCESSIBLE SIGN, AND WHEELCAHIR USER SIGN, REFER TO SIGN DETAIL ON SHEET C6.1.
 - 12 PROPOSED ADA USER SIGN. SEE DETAILS ON SHEET C6.1.
 - 13 PROPOSED CONCRETE IMPACT SLAB. REFER TO DETAIL ON SHEET C6.0.
 - 14 PROPOSED CONCRETE LOADING AREA. SEE CONCRETE SECTION ON SHEET C6.0.
 - 15 REPAIR EXISTING THERMOPLASTIC CROSSWALK STRIPING. SEE DETAIL ON SHEET C6.1.
 - 16 PROPOSED BICYCLE PARKING RIGHT SIGN. SEE DETAIL ON SHEET C6.1

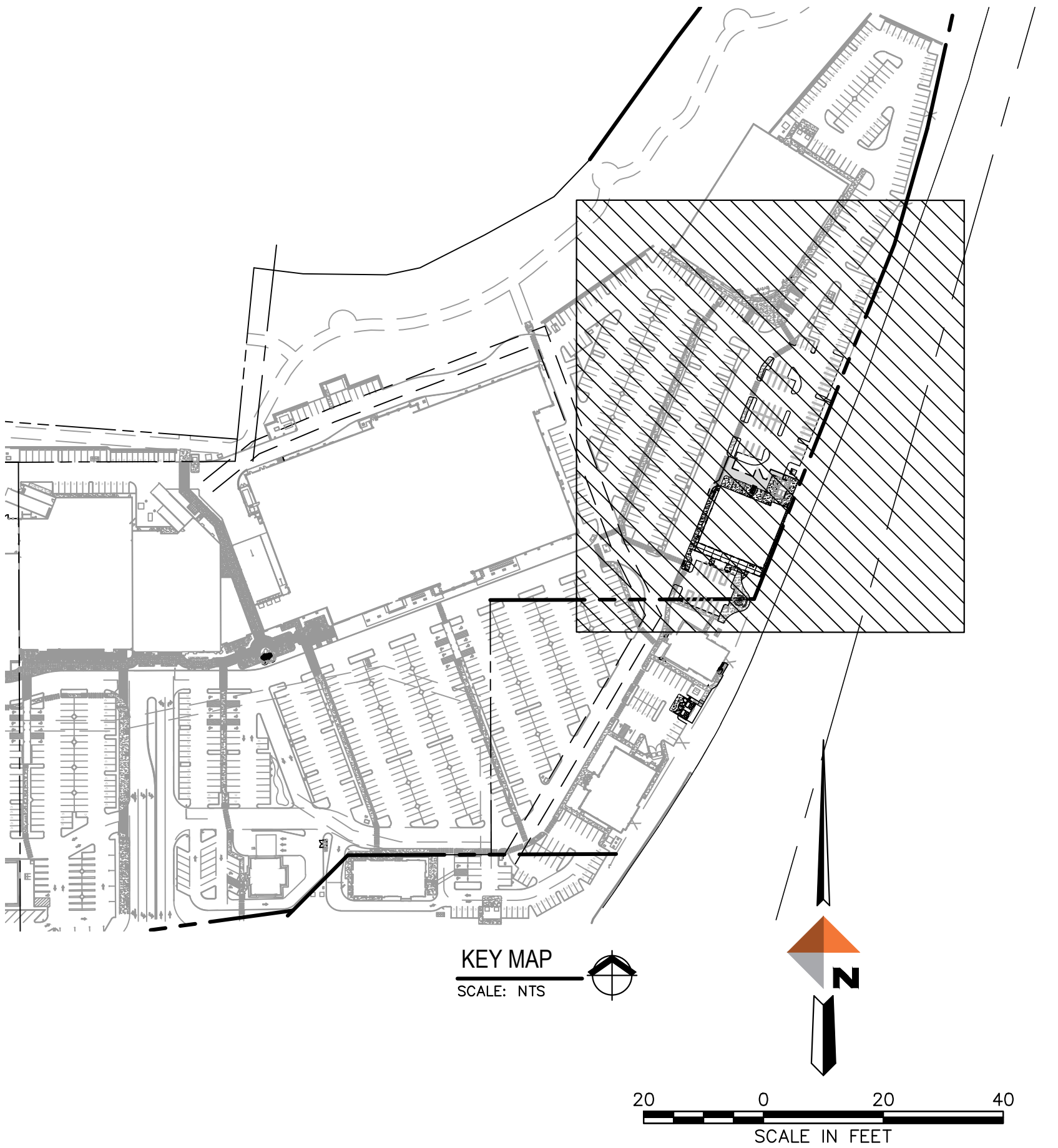


- LEGEND**
- - - - - EXISTING BOUNDARY LINE
 - - - - - EXISTING RIGHT-OF-WAY LINE
 - - - - - FENCE LINE, TYPE AS NOTED
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 - - - - - EXISTING CURB LINE
 - - - - - PROPOSED CONCRETE LINE
 - - - - - PROPOSED BUILDING LINE
 - - - - - PROPOSED TRASH ENCLOSURE WALL
 - - - - - EXISTING CONCRETE SURFACE
 - - - - - PROPOSED CONCRETE SURFACE
 - - - - - PROPOSED TACTILE WARNING DOMES
 - - - - - CATCH BASIN - TRAPPED TYPE
 - - - - - FIRE HYDRANT
 - - - - - FIRE DEPARTMENT CONNECTION
 - - - - - WATER VALVE
 - - - - - IRRIGATION CONTROL BOX
 - - - - - SHOEBOX LIGHT (SINGLE)
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 - - - - - SIGN POST
 - - - - - DECIDUOUS TREE

SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.



REV	DATE	DESCRIPTION	BY

FOR REVIEW ONLY

EXPIRES: 06/30/2017

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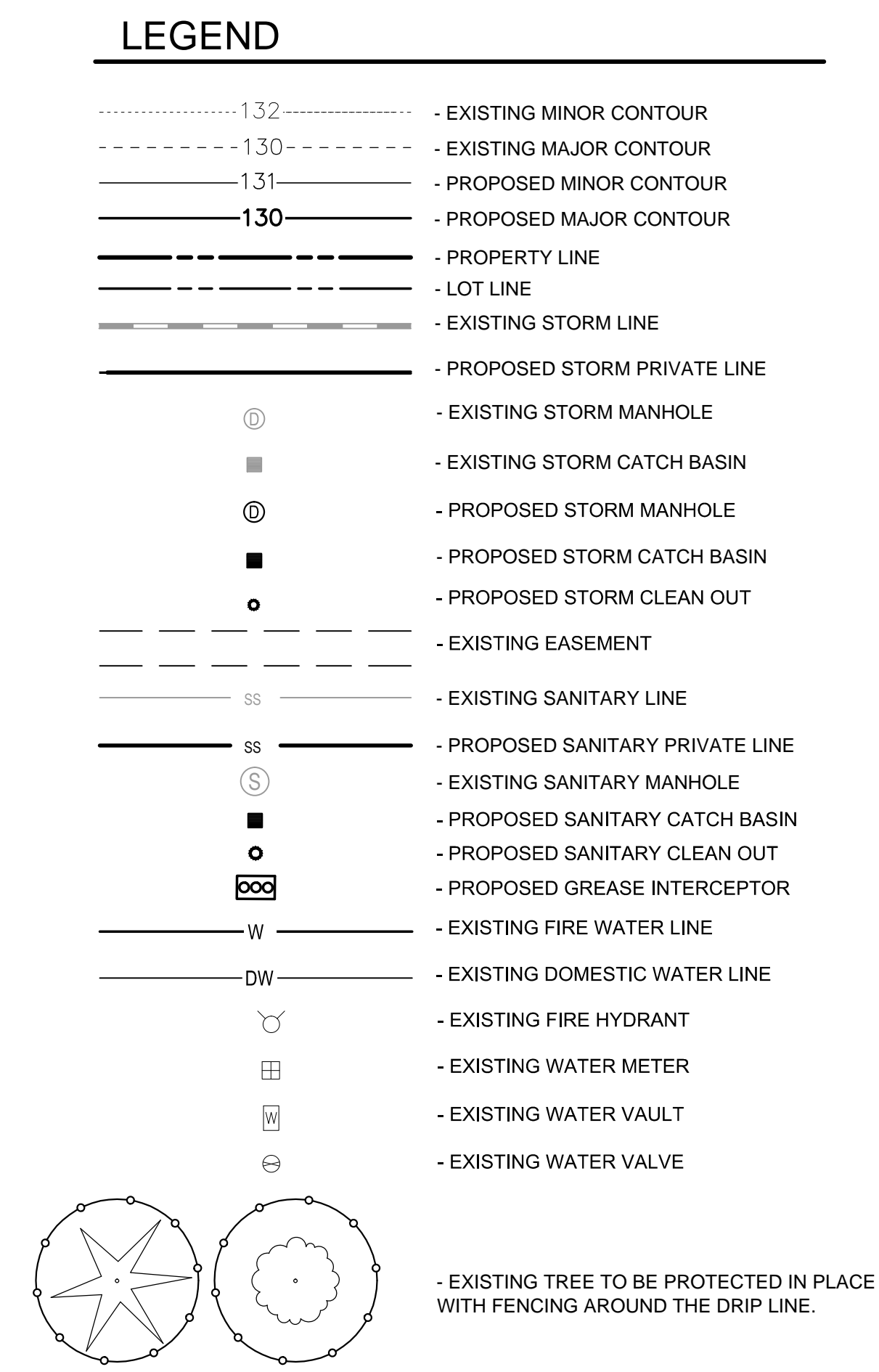
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Portland, Oregon 97205
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**CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
SITE PLAN**

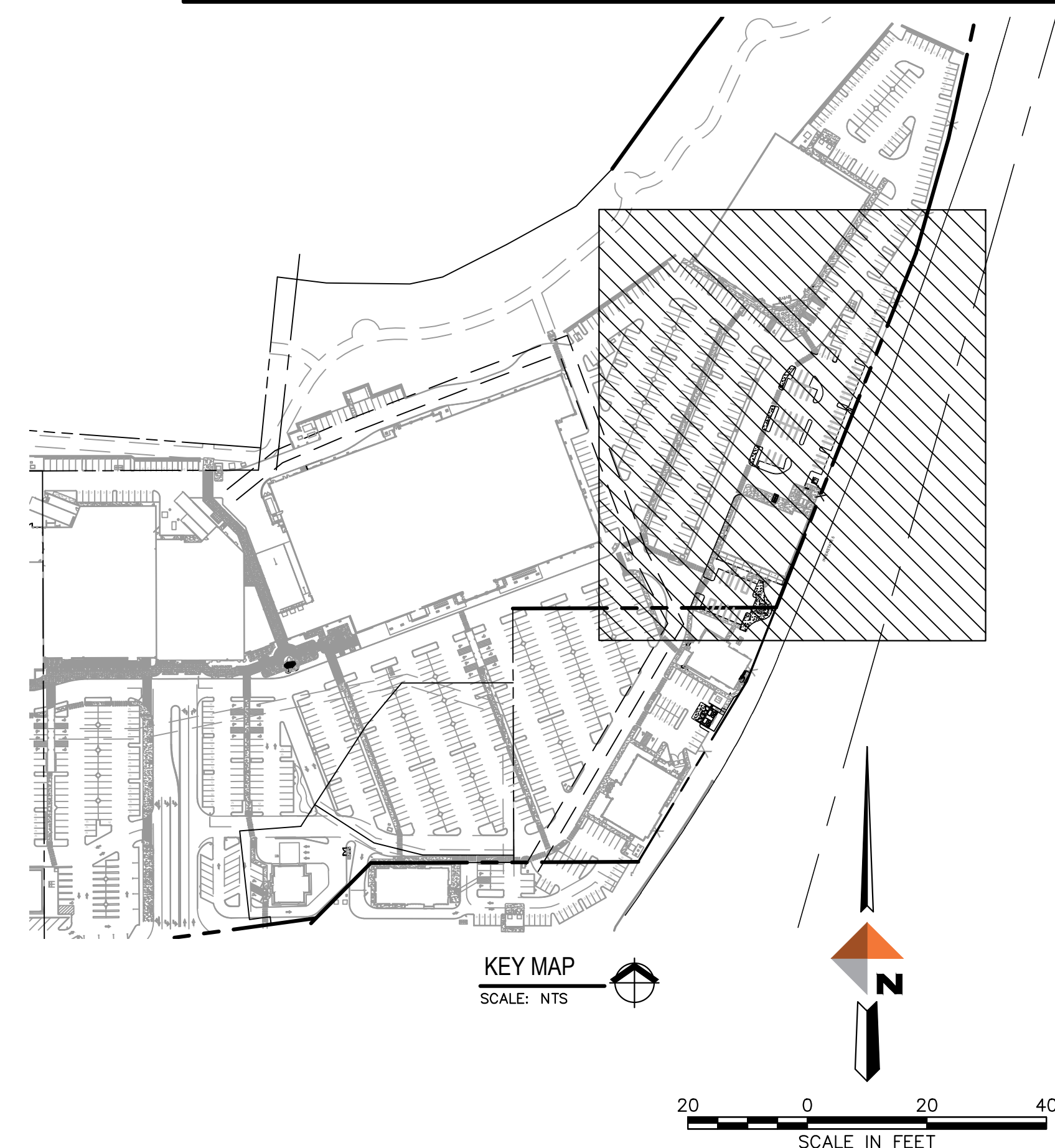
SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503970
DATE 01/11/2016

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SHEET
C2.0



REFER TO SHEET C2.1 FOR TREE TABLE WITH TREE NUMBER,
COMMON NAME, SPECIES NAME, DBH, AND CONDITION INFORMATION

[illegible]

Q:\22\transition\21509370\Civil\DD\0937-DD-TREE.dwg PLOT DATE 2016-1-14 12:34 SAVED DATE 2016-01-11 09:53 USER: rholverson DOWLHKM FILE No: XX-XX

No.	Common Name	Species Name	DBH1	Condition	Comments	Exempt2	Prune	Remove	Criteria3
9041	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9042	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9043	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9050	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9051	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9052	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9053	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9054	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
9055	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
10015	Douglas Fir	<i>Psedotsuga Menziesii</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
10016	Douglas Fir	<i>Psedotsuga Menziesii</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
10017	Douglas Fir	<i>Psedotsuga Menziesii</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
10018	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
10019	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
10020	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13000	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13001	Western Hemlock	<i>Tsuga Heterophylls</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13002	White Oak	<i>Quercus Alba</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13003	Vine Maple	<i>Acer Cercinatum</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13004	Western Hemlock	<i>Tsuga Heterophylls</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13005	Western Hemlock	<i>Tsuga Heterophylls</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13006	Vine Maple	<i>Acer Cercinatum</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13007	White Oak	<i>Quercus Alba</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13008	Douglas Fir	<i>Psedotsuga Menziesii</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13009	White Oak	<i>Quercus Alba</i>	2	new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13010	Western Red Cedar	<i>Thuja Plicata</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13011	Western Hemlock	<i>Tsuga Heterophylls</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13012	Western Red Cedar	<i>Thuja Plicata</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
13013	Vine Maple	<i>Acer Cercinatum</i>		new	Installed as part of I-5 Southbound Off-Ramp @ Nyberg St.	yes		no	
14000	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14001	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14002	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14003	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14004	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14005	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14006	Paperbark Maple	<i>Acer Griseum</i>	2.5	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14007	Paperback Maple	<i>Acer Griseum</i>	2.5	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14008	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14009	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14010	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14011	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14012	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14013	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14014	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14015	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14016	Columnnar Hornbeam	<i>Carpinus Betula 'Fastigiata'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14017	Columnnar Hornbeam	<i>Carpinus Betula 'Fastigiata'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14018	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14019	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14020	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14021	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14022	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14023	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14024	Red Alder	<i>Alnus Rubra</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14025	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14026	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14027	Paperbark Maple	<i>Acer Griseum</i>	2.5	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14028	Paperback Maple	<i>Acer Griseum</i>	2.5	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14029	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>		new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14030	Vine Maple	<i>Acer Cercinatum</i>		new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14031	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14032	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14033	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14034	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14035	Jaquemontii Birch	<i>Betula Jaquemontii</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14036	Columnnar Hornbeam	<i>Carpinus Betula 'Fastigiata'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14037	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14038	Columnnar Hornbeam	<i>Carpinus Betula 'Fastigiata'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
14039	Patmore Green Ash	<i>Fraxinus Pennsylvanica 'Patmore'</i>	2	new	Installed as part of Nyberg Rivers Onsite Project	yes		no	
DBH1 is tree diameter measured at 4.5-feet above the ground level, in inches.									
Exempt2 identifies trees measuring less than eight inches in diameter.									
Criteria3 provides justification for the proposed tree removal (per TDC 34.230):									
D1: Diseased and the disease threatens the structural integrity of the tree;									
D2: Diseased and the disease permanently and severely diminishes the aesthetic value of the tree; or									
D3: Diseased and the continued retention of the tree could result in other trees being infected with a disease that threatens either their structural integrity or aesthetic value.									
H: Hazardous.									
C: Construction necessitates tree removal.									

REV		DATE	REVISIONS		DESCRIPTION	BY





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**CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
TREE TABLE**

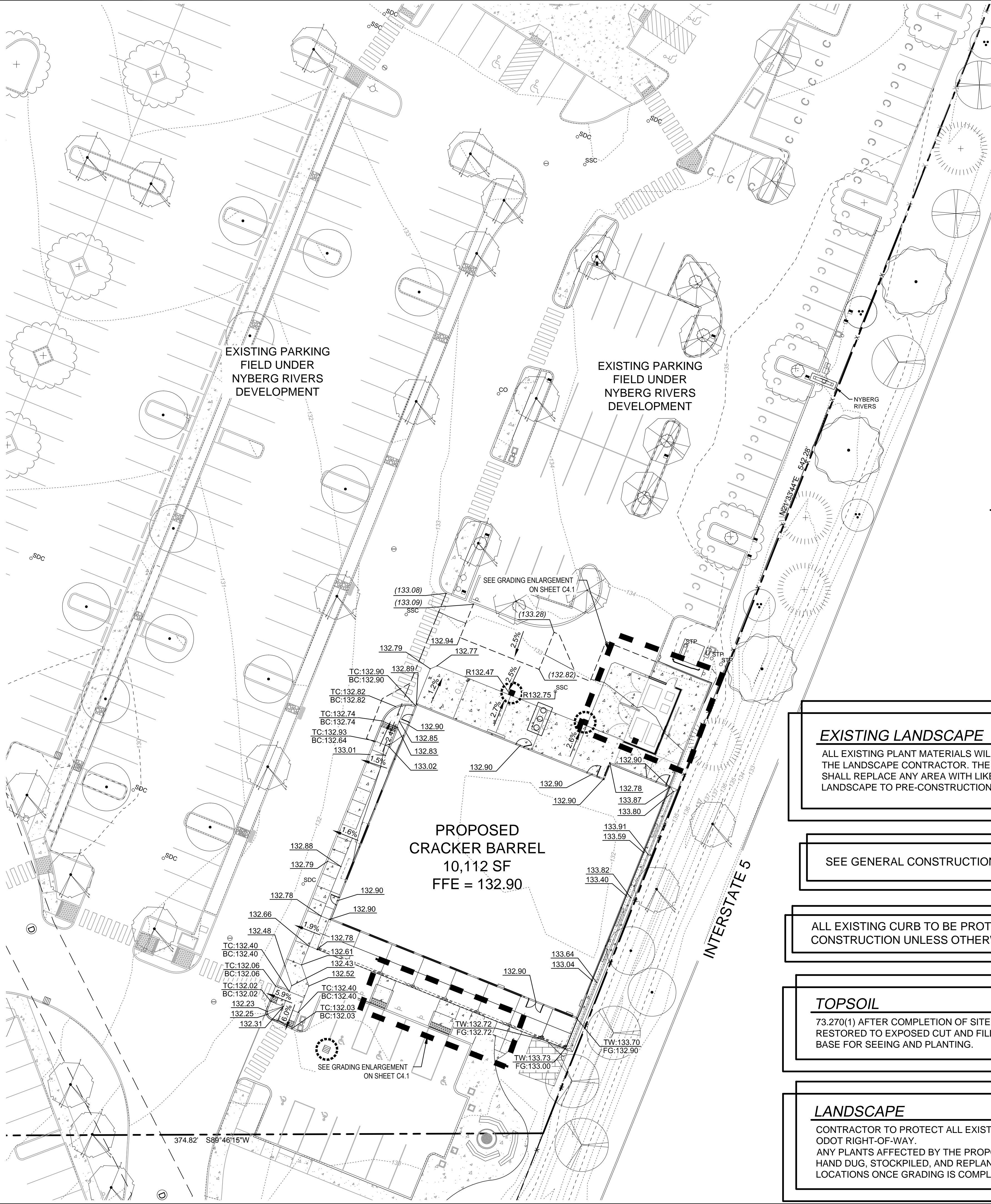


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PROJECT 21503970
DATE 01/11/2016

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C3.1

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON



EXISTING TREE PROTECTION

1. PROVIDE TEMPORARY FENCING, BARRICADES, AND GUARDS AS NECESSARY OR REQUIRED TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT.
 - A. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH YELLOW FLAGGING TAPE AND PROTECTED BY BARRIER FENCING PLACED NO LESS THAN 10 HORIZONTAL FEET FROM THE OUTSIDE EDGE OF THE TRUNK IN ALL DIRECTIONS OR BENEATH THE TREE DRIPLINE, WHICHEVER IS GREATER. CLUSTERS OF TREES MAY BE PROTECTED BY CONTINUOUS FENCING FOLLOWING THE SAME GUIDELINES.
 - B. REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN LINK OR RED VINYL MESH, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
 - C. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
2. PROTECT ROOT SYSTEMS OF TREES TO REMAIN FROM FLOODING, EROSION, OR EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND COMPACTION. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIP LINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL OR LIQUIDS, AND CONTINUAL PUDDLING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
3. MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCESS. AFFECT ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
4. DO NOT CHANGE THE EXISTING GRADE BENEATH DRIPLINE OF TREES TO REMAIN.
5. ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIPLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
6. ENCROACHMENT UPON ANY IDENTIFIED PRESERVED TREES MUST OCCUR UNDER THE DIRECTION OF A QUALIFIED ARBORIST TO ASSURE THE HEALTH NEEDS OF THE TREES WITHIN THE PRESERVED AREA CAN BE MET.

GRADING AND EROSION CONTROL NOTES

POSITIVE DRAINAGE TO BE MAINTAINED AWAY FROM BUILDINGS AT ALL TIMES.

ALL PROPOSED GRADES TO MATCH INTO EXISTING GRADES ON SURROUNDING STREETS, PROPERTIES, AND SENSITIVE AREAS.

INSTALL INLET SEDIMENT PROTECTION ON ALL EXISTING AND NEW INLETS WHEN INSTALLED. INLET SEDIMENT PROTECTION TO BE MAINTAINED FOR THE DURATION OF ALL CONSTRUCTION ACTIVITIES.

SEDIMENT FENCE TO BE PLACED AND MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE SITE.

ALL ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD. ALL FACILITIES TO BE UPGRADES AS NEEDED FOR STORM EVENTS.

ALL EROSION AND SEDIMENT CONTROL FACILITIES WILL BE CONSTRUCTED PRIOR TO ANY CLEARING AND GRADING ACTIVITIES.

EXISTING TREES TO BE PROTECTED OR RETAINED SHALL BE FENCED AROUND THE DRIP LINE WITH CHAIN LINK OR OTHER STURDY FENCING DURING CONSTRUCTION.

EXISTING LANDSCAPE

ALL EXISTING PLANT MATERIALS WILL BE PROTECTED IN PLACE BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL REPLACE ANY AREA WITH LIKE SPECIES TO RESTORE EXISTING LANDSCAPE TO PRE-CONSTRUCTION CONDITIONS.

SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

TOPSOIL

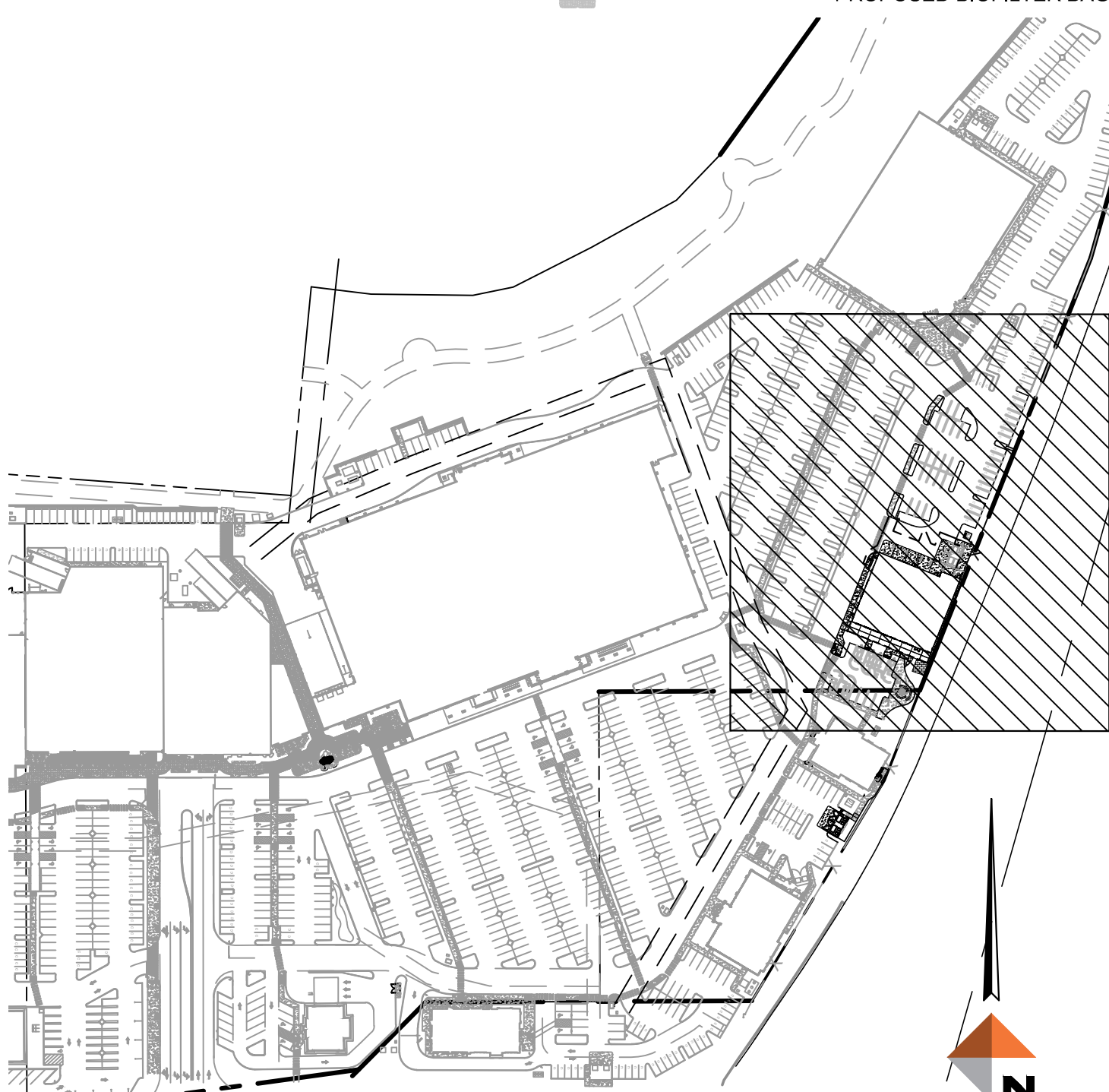
73.270(1) AFTER COMPLETION OF SITE GRADING, TOPSOIL IS TO BE RESTORED TO EXPOSED CUT AND FILL AREAS TO PROVIDE A SUITABLE BASE FOR SEEING AND PLANTING.

LANDSCAPE

CONTRACTOR TO PROTECT ALL EXISTING PLANTINGS WITHIN THE ODOT RIGHT-OF-WAY. ANY PLANTS AFFECTED BY THE PROPOSED GRADING PLAN WILL BE HAND DUG, STOCKPILED, AND REPLANTED IN THEIR ORIGINAL LOCATIONS ONCE GRADING IS COMPLETE.

LEGEND

- 132 - EXISTING MINOR CONTOUR
- 130 - EXISTING MAJOR CONTOUR
- 131 - PROPOSED MINOR CONTOUR
- 130 - PROPOSED MAJOR CONTOUR
- PROPERTY LINE
- LOT LINE
- EXISTING STORM MANHOLE
- EXISTING STORM CATCH BASIN
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM CLEAN OUT
- EXISTING EASEMENT
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY CLEAN OUT
- PROPOSED GREASE INTERCEPTOR
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPT. CONNECTION
- EXISTING WATER VALVE IN METER BOX
- EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.
- EXISTING SPOT ELEVATION
- EXISTING RIM ELEVATION
- EXISTING TOP AND BOTTOM OF CURB ELEVATIONS
- PROPOSED SPOT ELEVATION
- PROPOSED RIM ELEVATION
- PROPOSED TOP AND BOTTOM OF CURB ELEVATIONS
- PROPOSED LANDSCAPE ELEVATION
- EXISTING SLOPE ARROW
- PROPOSED SLOPE ARROW
- EROSION CONTROL SLOPE MATTING
- PROPOSED LIMITS OF WORK
- PROPOSED INLET PROTECTION
- PROPOSED BIOFILTER BAG PROTECTION



KEY MAP

SCALE: NTS

20 0 20 40
SCALE IN FEET

REVISIONS	
REV	DATE

FOR REVIEW ONLY

PROFESSIONAL ENGINEER
STATE OF OREGON
EXPIRES: 06/30/2017

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720 SW Washington St, Suite 750
Portland, Oregon 97205
(971) 280-8641

Cracker Barrel

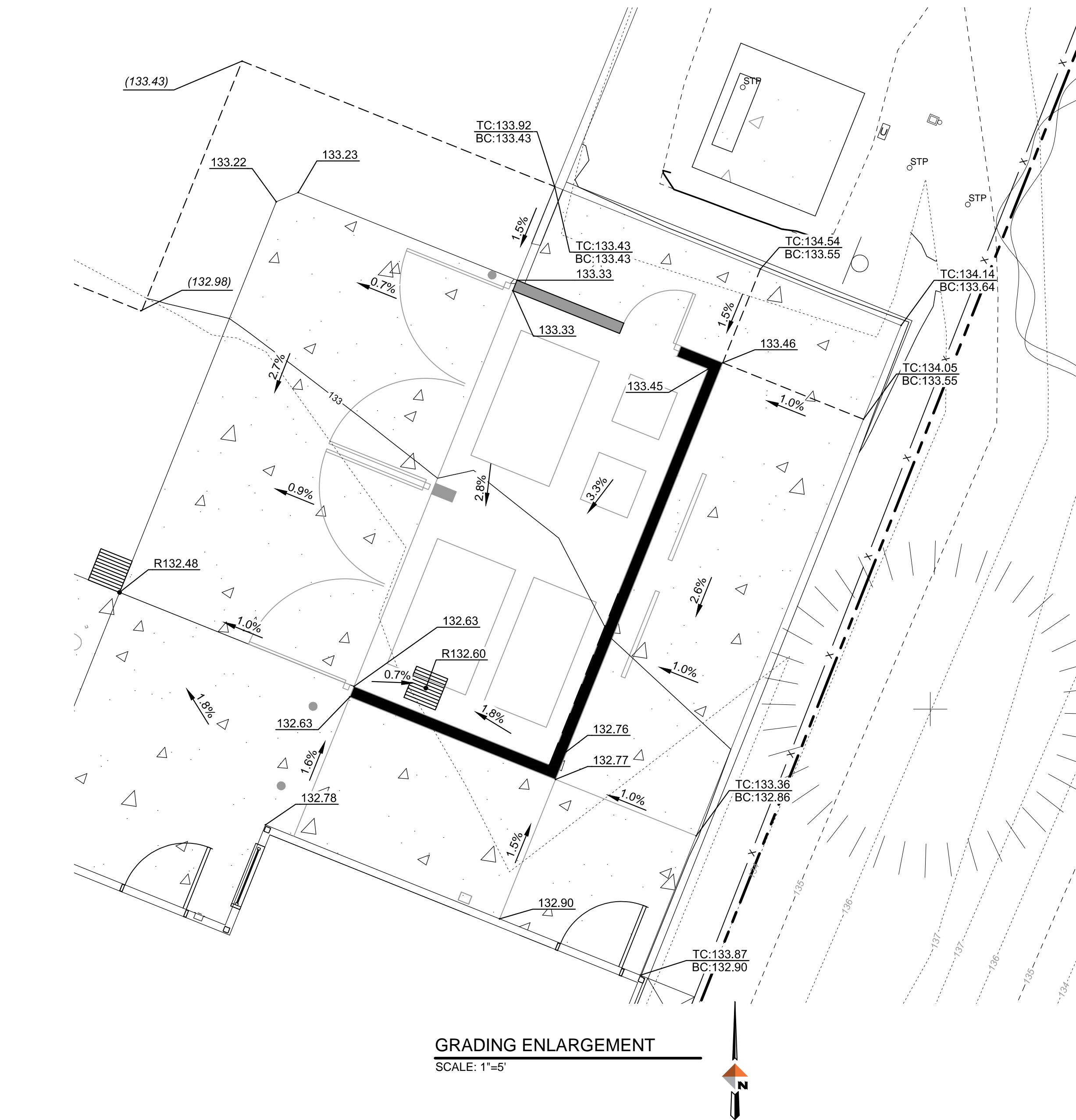
Old Country Store

CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
GRADING PLAN

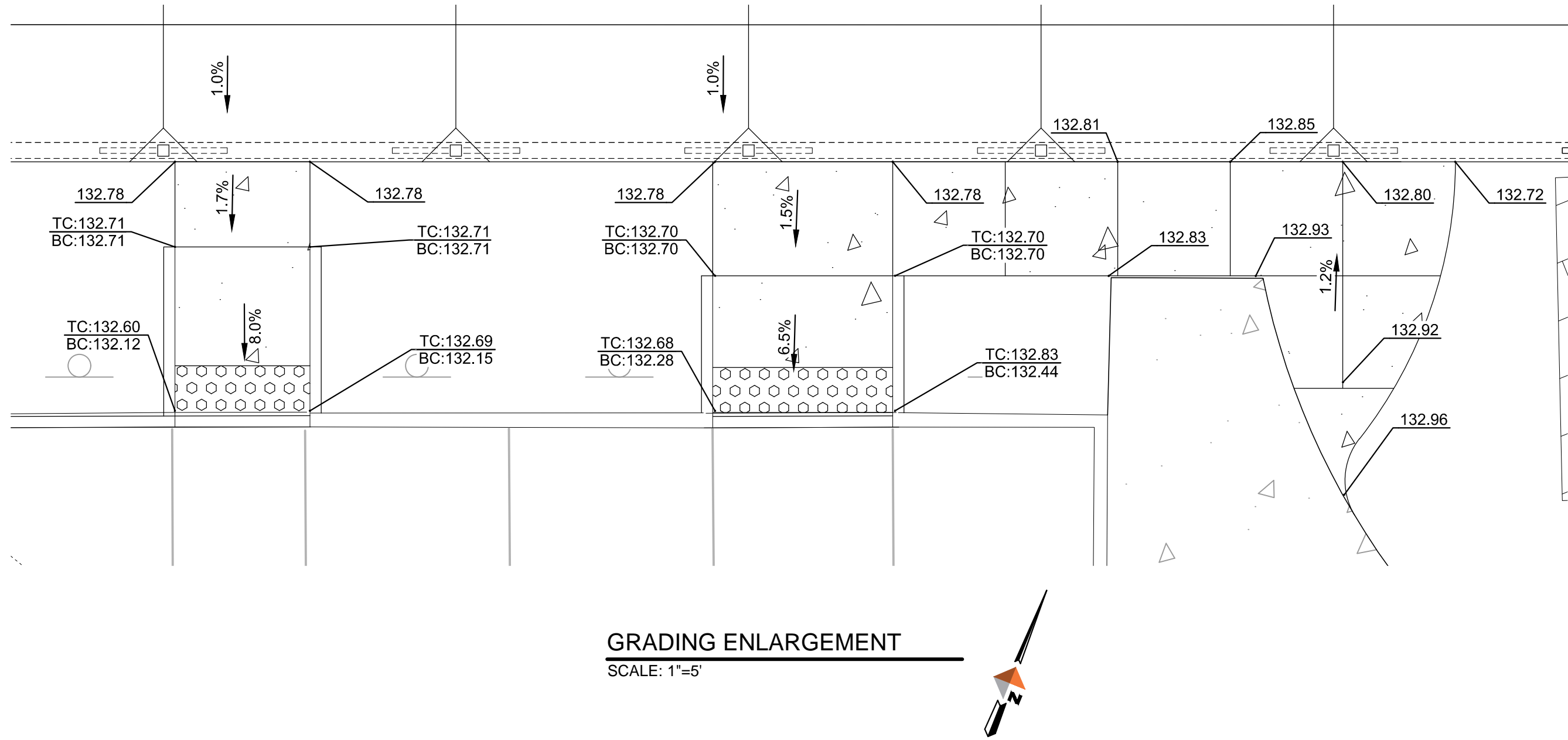
SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503970
DATE 01/11/2016

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SHEET
C4.0



GRADING ENLARGEMENT
SCALE: 1"=5'



GRADING ENLARGEMENT
SCALE: 1"=5'

LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPERTY LINE
- LOT LINE
- EXISTING STORM MANHOLE
- EXISTING STORM CATCH BASIN
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM CLEAN OUT
- EXISTING EASEMENT
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY CLEAN OUT
- PROPOSED GREASE INTERCEPTOR
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPT. CONNECTION
- EXISTING WATER VALVE IN METER BOX
- EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.
- EXISTING SPOT ELEVATION
- EXISTING RIM ELEVATION
- EXISTING TOP AND BOTTOM OF CURB ELEVATIONS
- PROPOSED SPOT ELEVATION
- PROPOSED RIM ELEVATION
- PROPOSED TOP AND BOTTOM OF CURB ELEVATIONS
- PROPOSED LANDSCAPE ELEVATION
- EXISTING SLOPE ARROW
- PROPOSED SLOPE ARROW
- EROSION CONTROL SLOPE MATTING
- PROPOSED LIMITS OF WORK
- PROPOSED INLET PROTECTION



KEY MAP

SCALE: NTS

REVISIONS		DESCRIPTION	BY
REV	DATE		

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EXPIRES: 06/30/2017

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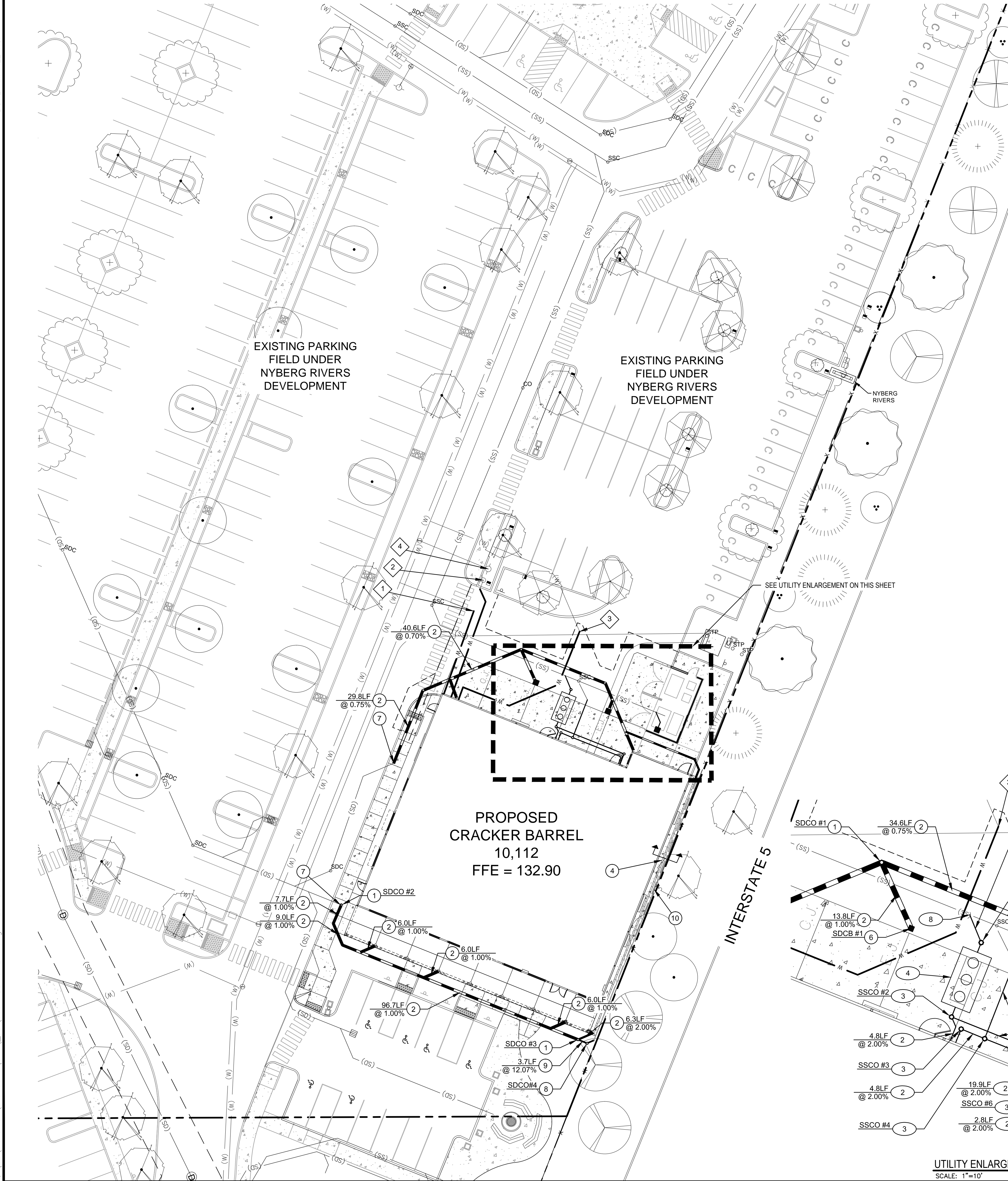
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
GRADING ENLARGEMENTS

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503970
DATE 01/11/2016

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SANITARY SEWER CONSTRUCTION NOTES

- 1 PROPOSED 4" PVC SANITARY LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 2 PROPOSED 6" PVC SANITARY LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 3 PROPOSED SANITARY CLEANOUT.
- 4 PROPOSED 1900 GAL GREASE INTERCEPTOR. SEE GREASE INTERCEPTOR DETAIL ON SHEET XXXX.
- 5 PROPOSED SANITARY BUILDING CONNECTION. SEE PLAN FOR INVERT ELEVATION.
- 6 CONNECT PROPOSED SANITARY SEWER LINE TO EXISTING PUBLIC SANITARY SEWER LINE.
- 7 PROPOSED SANITARY SEWER AREA DRAIN.
- 8 CONNECT PROPOSED SANITARY SEWER TO EXISTING SANITARY LINE.

STORM CONSTRUCTION NOTES

- 1 PROPOSED CLEANOUT.
- 2 PROPOSED 10" STORM LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 3 PROPOSED ROOF DRAIN CONNECTION. SEE PLAN FOR INVERT ELEVATION.
- 4 PROPOSED STORM TRENCH DRAIN. SEE SHEET C6.2 FOR DETAIL.
- 5 PROPOSED 6" STORM LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 6 PROPOSED STORM DRAIN CATCH BASIN. SEE SHEET C6.2 FOR DETAIL.
- 7 CONNECT TO EXISTING STORM LINE. CONTRACTOR TO VERIFY LOCATION AND INVERT PRIOR TO CONSTRUCTION.
- 8 PROPOSED STORM BACKWATER VALVE SEE DETAIL ON SHEET C6.2. IE OUT: 128.28
- 9 PROPOSED 4" STORM LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 10 PROPOSED PERFORATED PIPE PER ARCHITECTURAL AND STRUCTURAL FOUNDATION PLANS.

WATER CONSTRUCTION NOTES

- 1 CONNECT TO EXISTING 6" FIRE WATER LINE. INSTALL 34 LF OF 6" CL52 DUCTILE IRON PIPE TO BUILDING.
- 2 CONNECT TO EXISTING FDC LINE. INSTALL 48 LF OF 6" CL52 DUCTILE IRON PIPE TO BUILDING.
- 3 CONNECT TO EXISTING 2" DOMESTIC WATER LINE. INSTALL 66 LF OF 2" COPPER DOMESTIC WATER LINE.
- 4 EXISTING FIRE HYDRANT TO REMAIN.

POWER CONSTRUCTION NOTES

- 1 PROPOSED POWER BUILDING CONNECTION.

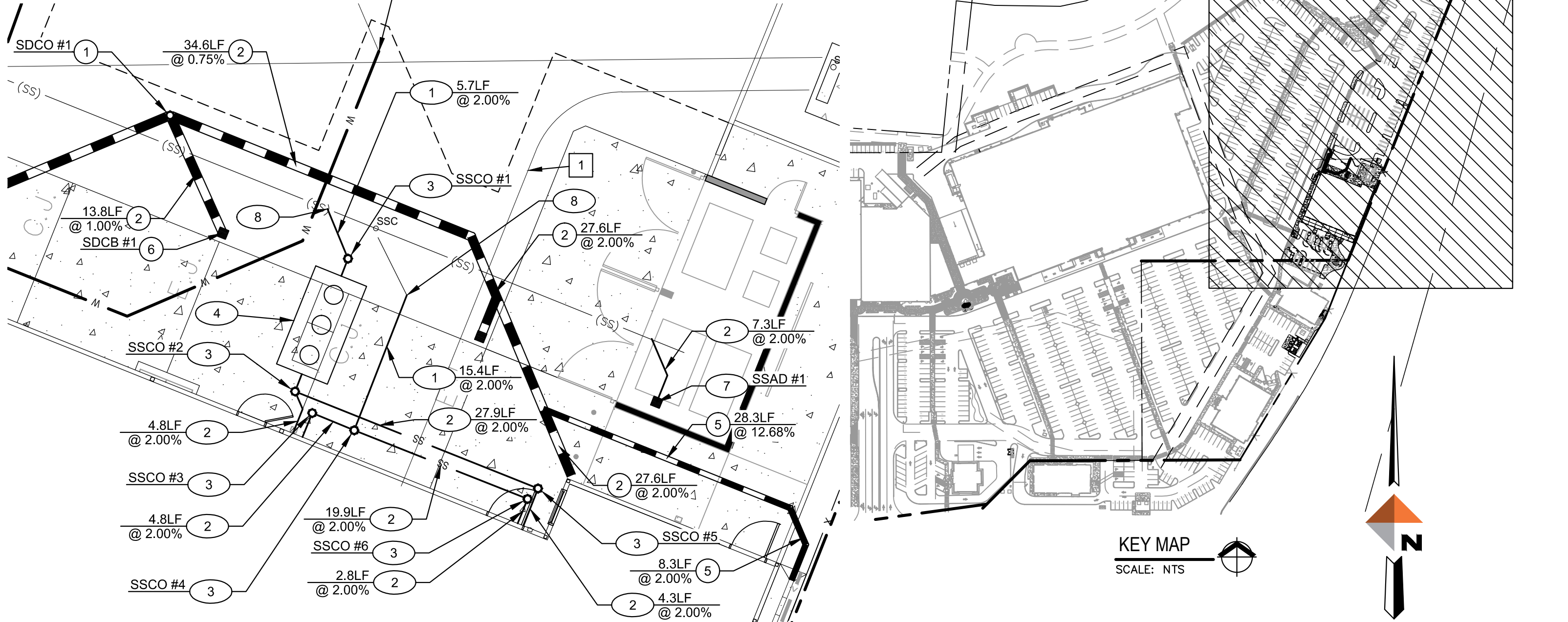
LEGEND	
	- EXISTING MINOR CONTOUR
	- EXISTING MAJOR CONTOUR
	- PROPOSED MINOR CONTOUR
	- PROPOSED MAJOR CONTOUR
	- PROPERTY LINE
	- LOT LINE
	- EXISTING STORM MANHOLE
	- EXISTING STORM CATCH BASIN
	- PROPOSED STORM CATCH BASIN
	- PROPOSED STORM CLEAN OUT
	- EXISTING EASEMENT
	- EXISTING SANITARY MANHOLE
	- PROPOSED SANITARY CLEAN OUT
	- PROPOSED GREASE INTERCEPTOR
	- EXISTING FIRE HYDRANT
	- EXISTING FIRE DEPT. CONNECTION
	- EXISTING WATER VALVE IN METER BOX

CONTRACTOR TO VERIFY ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

ALL PRIVATE STORM AND SANITARY CONNECTION ARE TO BE MADE WITH WYE FITTINGS UNLESS OTHERWISE NOTED.

SEE GENERAL UTILITY CONSTRUCTION NOTES ON SHEET C0.1.

CLEANOUT DATA	CATCH BASIN DATA	CLEANOUT DATA	CLEANOUT DATA
SDCO #1 RIM = 132.72' IE (10") = 127.41'	SDCB #1 RIM: 132.47 IE OUT (10"NW) = 127.55	SSCO #1 RIM = 132.66' IE (6") = 128.67'	SSCO #5 RIM = 132.80' IE (4") = 129.60'
SDCO #2 RIM = 132.74'	SDCB #2 RIM: 132.49 IE OUT (10"N) = 129.00	SSCO #2 RIM = 132.82' IE (4") = 129.04'	SSCO #6 RIM = 132.83' IE (4") = 129.46'
SDCO #3 RIM = 129.47' IE (10") = 127.59'	SSAD #1 RIM: 132.60 IE OUT (8"N) = 129.20	SSCO #3 RIM = 132.84' IE (4") = 129.16'	
SDCO #4 RIM = 133.07' IE (4") = 128.54'		SSCO #4 RIM = 132.84' IE (6") = 129.06'	



UTILITY ENLARGEMENT
SCALE: 1"=10'

REVISIONS

REV	DATE	DESCRIPTION

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PROFESSIONAL ENGINEER
STATE OF OREGON
J. J. DOWL
EXPIRES: 06/30/2017

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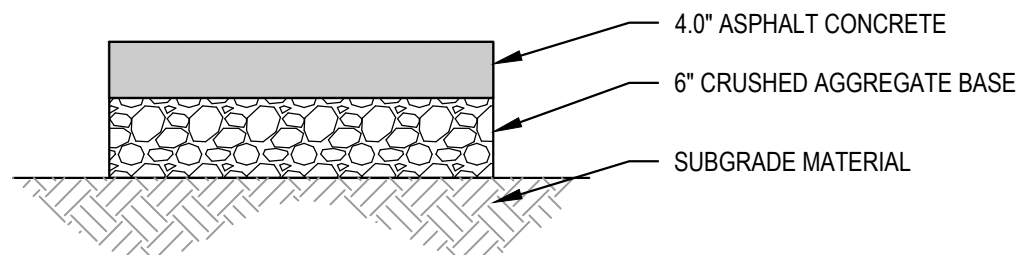
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Cracker Barrel
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CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
PUBLIC UTILITY FACILITY PLAN

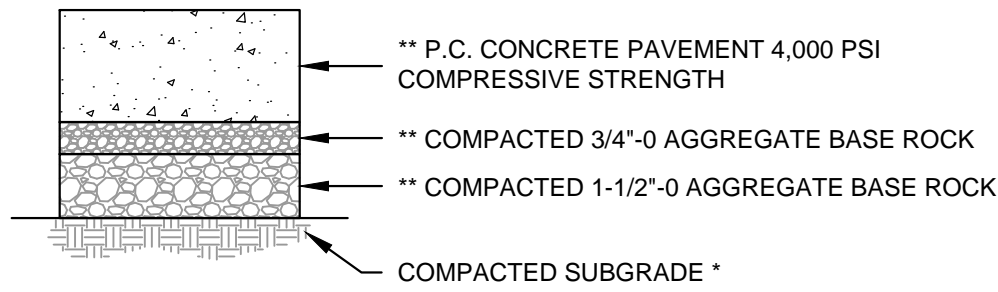
PROJECT 21503970
DATE 01/11/2016

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HEAVY ASPHALT PAVEMENT SECTION

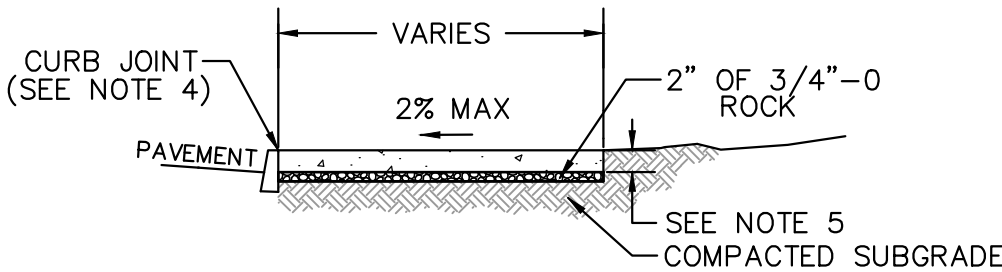
*REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS



** SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER

LOADING DOCK HEAVY CONCRETE PAVEMENT SECTION

* SEE GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE BASE, COMPACTION, ETC. REQUIREMENTS.

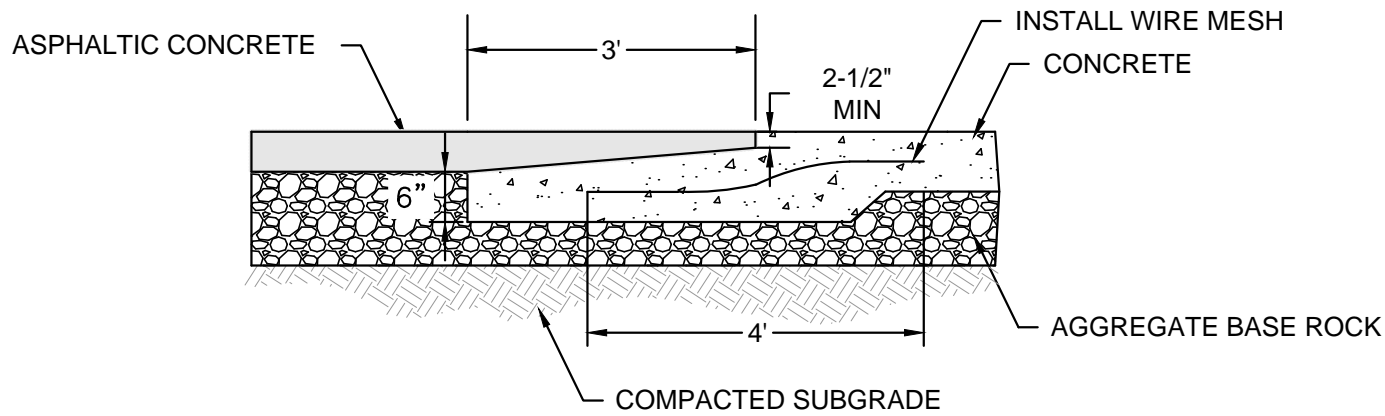


NOTES:

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS, SLUMP RANGE OF 1-1/2" TO 3".
2. PANELS TO BE 5 FEET LONG.
3. EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
4. FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROVELED JOINT WITH A MIN. 1/2 INCH RADIUS.
5. SIDEWALK SHALL HAVE A MIN. THICKNESS OF 6 INCHES IF IT IS INTENDED AS A PORTION OF A DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MIN. THICKNESS OF 4 INCHES.
6. DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PLASTIC PIPE AT 2 % SLOPE. CONTRACTION JOINT TO BE PLACED OVER PIPE.
7. FINISH WITH BROOM AND EDGE ALL JOINTS.

STANDARD SIDEWALK DETAIL

NOT TO SCALE

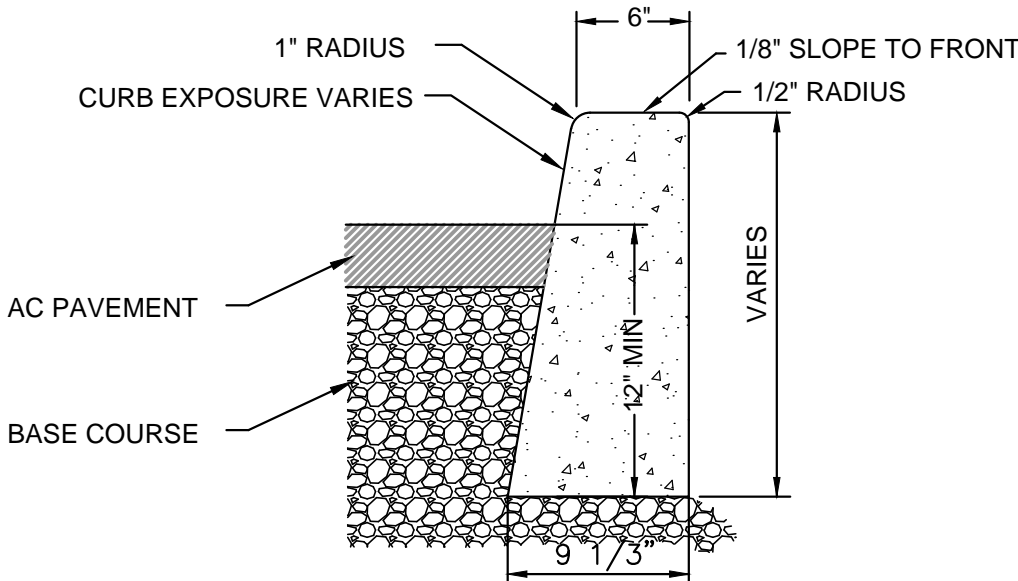


NOTES:

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS

IMPACT SLAB DETAIL

NOT TO SCALE

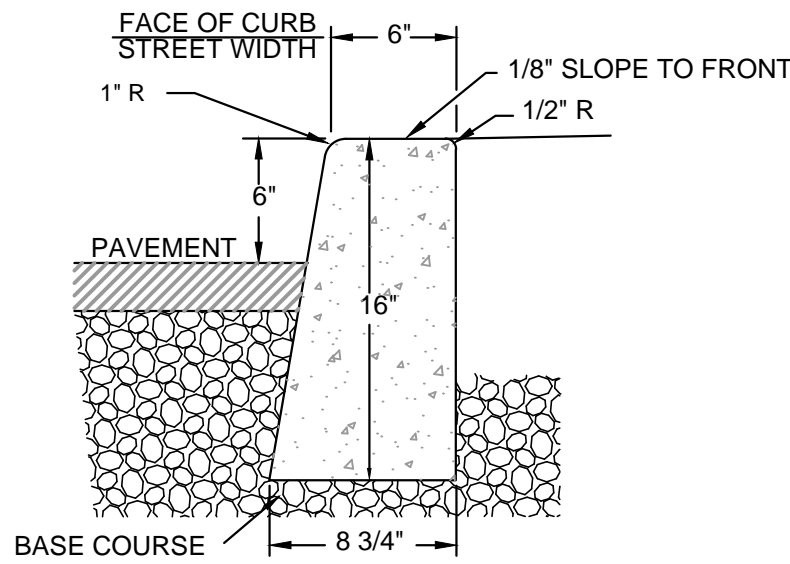


STANDARD TALL CONCRETE CURB DETAIL

NOT TO SCALE

NOTES:

1. FOR DESIGN SPEEDS GREATER THAN 40 MPH THE EMERGENCY MOUNTABLE CURB SHALL BE USED.
2. CONCRETE TO HAVE A BREAKING STRENGTH OF 3,000 PSI AFTER 28 DAYS.
3. EXPANSION JOINTS.
 - 3.1. TO BE PROVIDED:
 - 3.1.1. AT EACH POINT OF TANGENCY OF THE CURB.
 - 3.1.2. AT EACH COLD JOINT.
 - 3.1.3. AT EACH SIDE OF INLET STRUCTURES.
 - 3.1.4. AT EACH END OF DRIVEWAYS.
 - 3.1.5. AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
 - 3.2. MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
4. CONTRACTION JOINTS.
 - 4.A. SPACING TO BE NOT MORE THAN 15 FEET.
 - 4.B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES.
5. BASE ROCK TO BE 2'-0" OR 3/4'-0" COMPACTED TO 95% OF ASTM 1557 AND SHALL BE TO SUBGRADE OR 4' IN DEPTH, WHICHEVER IS GREATER.

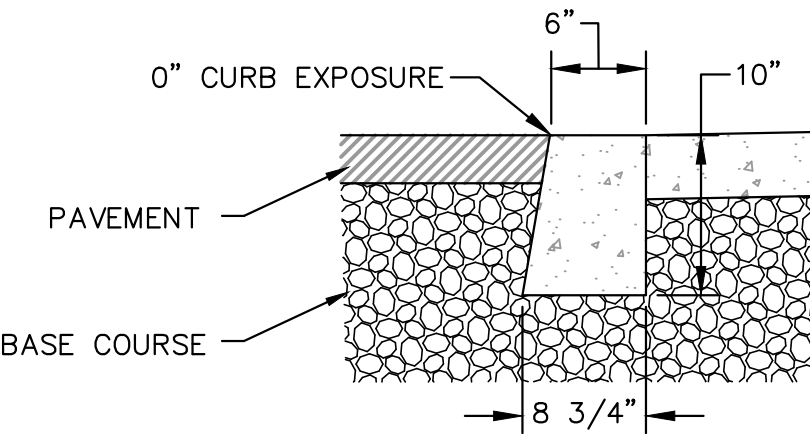


STANDARD 6" EXPOSURE CURB

NOT TO SCALE

NOTES:

1. CONCRETE TO HAVE A BREAKING STRENGTH OF 4000 PSI AFTER 28 DAYS.
2. EXPANSION JOINTS.
 - A. TO BE PROVIDED:
 - 1) AT EACH POINT OF TANGENCY OF THE CURB.
 - 2) AT EACH COLD JOINT. 3) AT EACH SIDE OF INLET STRUCTURES.
 - 3) AT EACH END OF DRIVEWAYS.
 - 4) AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
 - B. MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
3. CONTRACTION JOINTS.
 - A. SPACING TO BE NOT MORE THAN 15 FEET.
 - B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES
4. BASE ROCK TO BE 3/4'-0" COMPACTED TO GEOTECHNICAL REPORT RECOMMENDATION AND SHALL BE TO SUBGRADE, STREET STRUCTURE, OR 4' IN DEPTH, WHICHEVER IS GREATER.

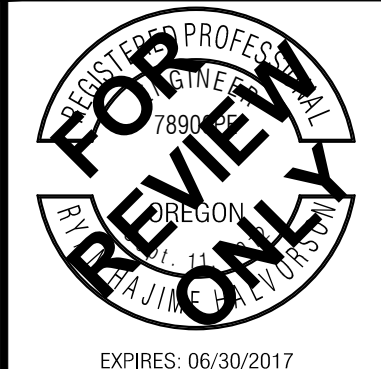


FLUSH CURB WITH 0" EXPOSURE

FLUSH (0" EXPOSURE) CURB

NOT TO SCALE

REVISIONS		DESCRIPTION	BY
REV	DATE		



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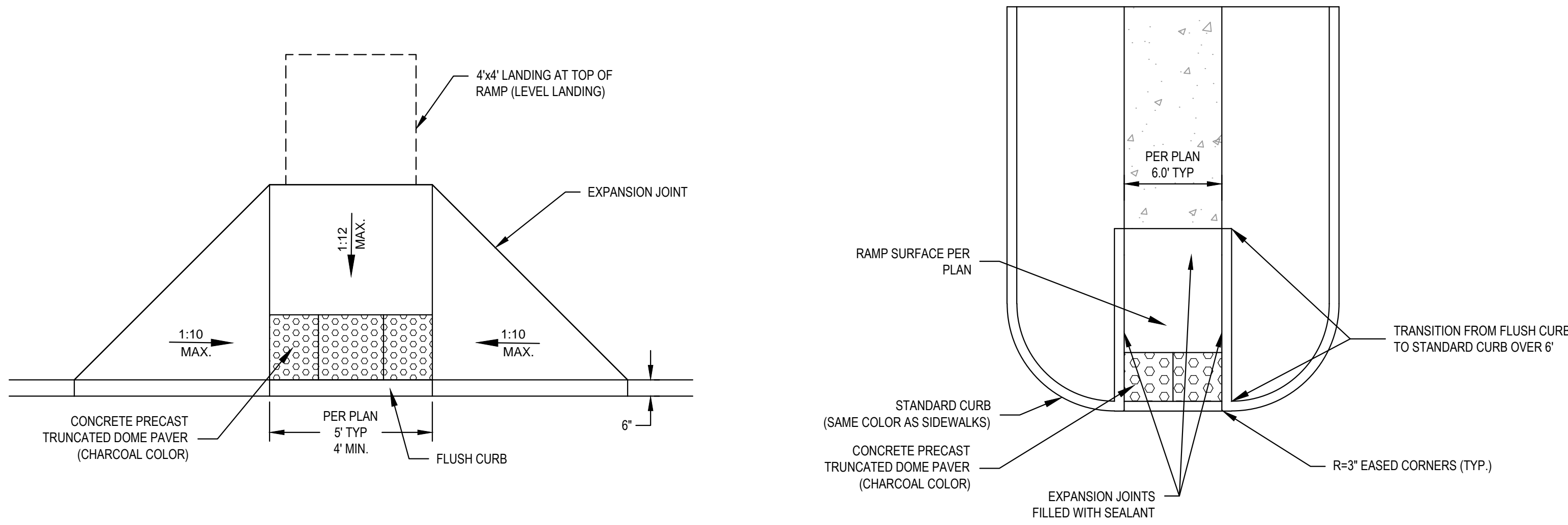
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS

PROJECT	21503970
DATE	01/11/2016

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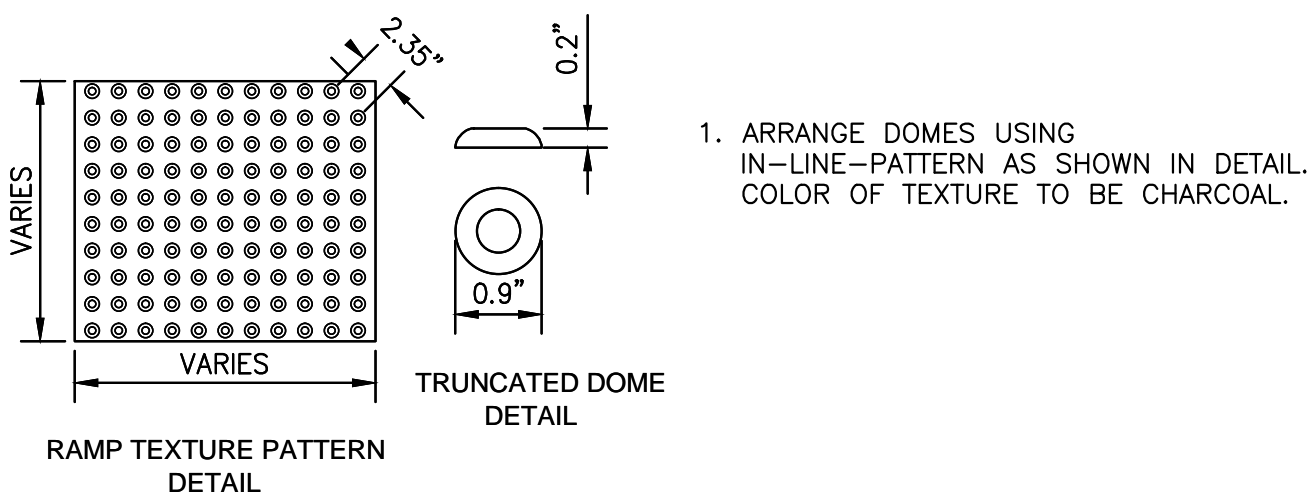
C6.0



- NOTES:
1. CONCRETE TO HAVE A BREAKING STRENGTH OF 4000 PSI AFTER 28 DAYS.
 2. RAMP TO BE CONSTRUCTED SEPARATELY FROM SIDEWALK AND ISOLATED BY EXPANSION JOINT MATERIAL.

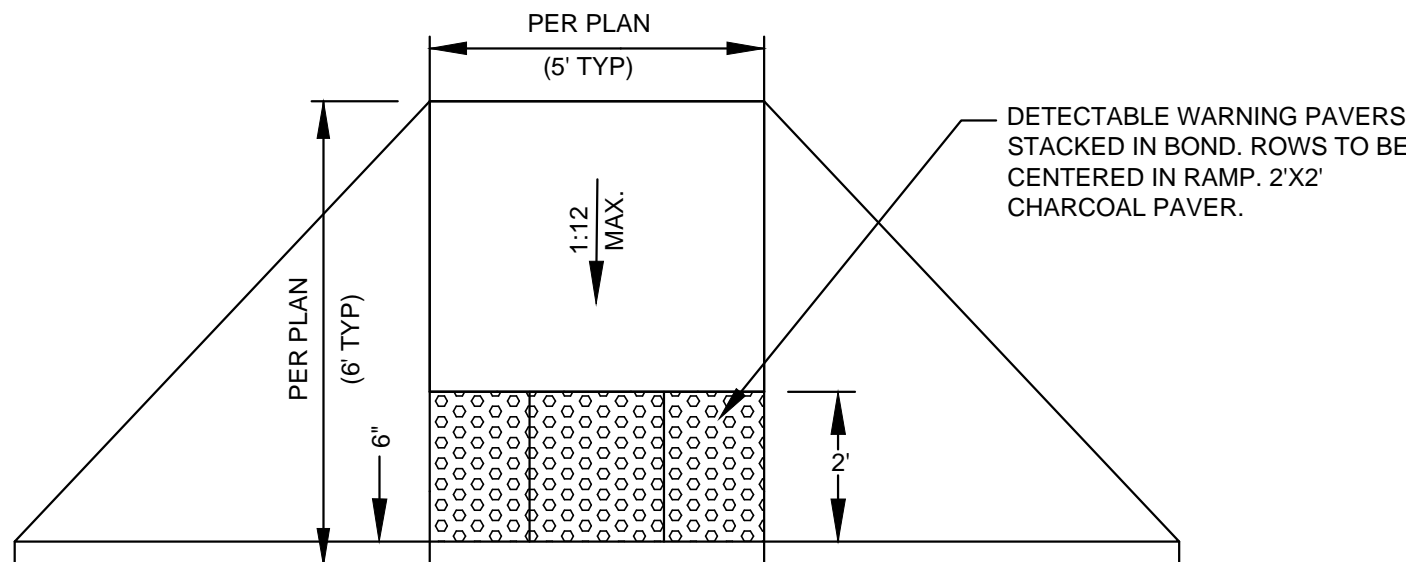
ACCESSIBLE SIDEWALK RAMP DETAILS

NOT TO SCALE



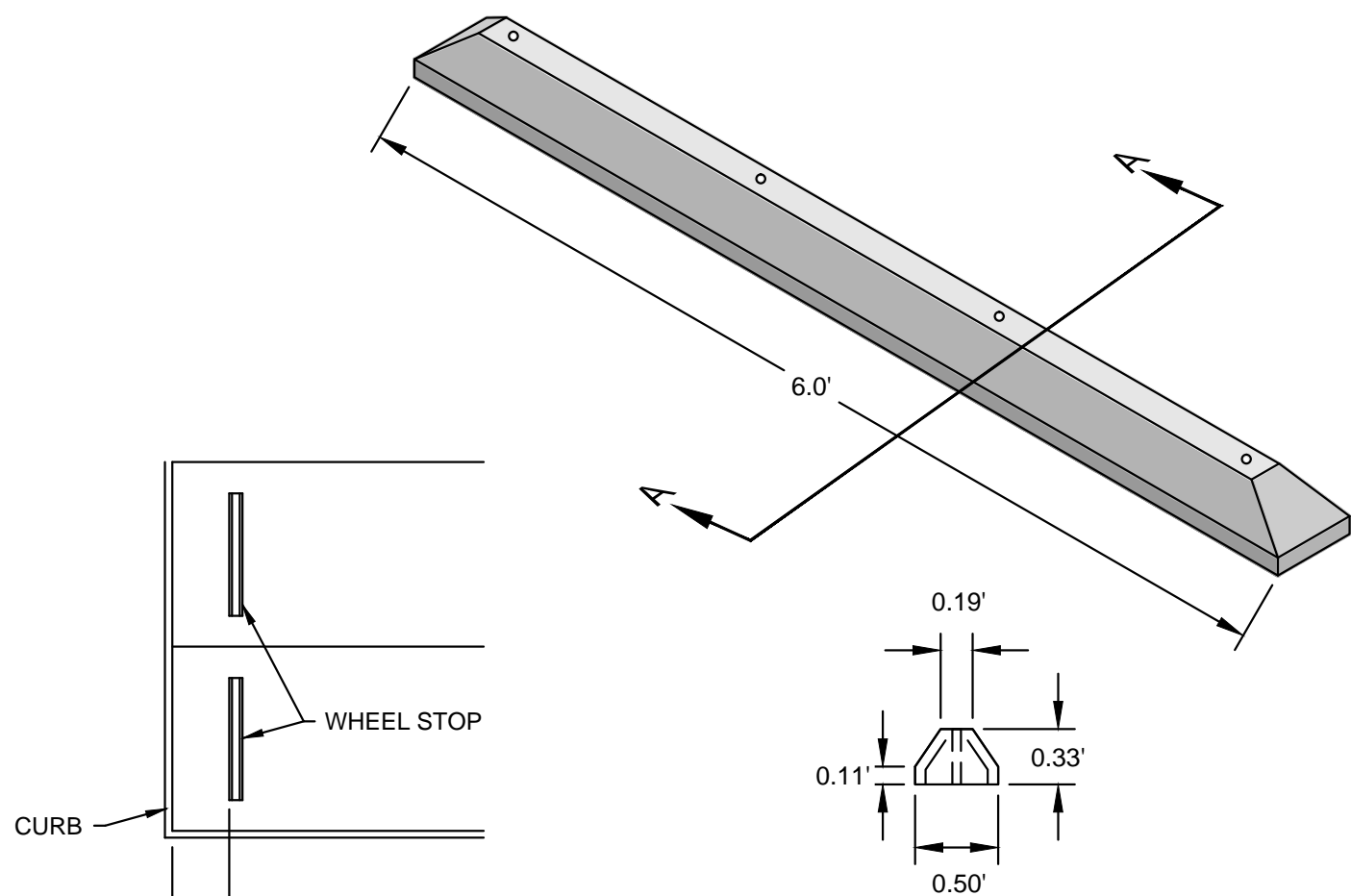
DETECTABLE WARNING TEXTURE DETAIL

NOT TO SCALE



DETECTABLE WARNING PAVER DETAIL

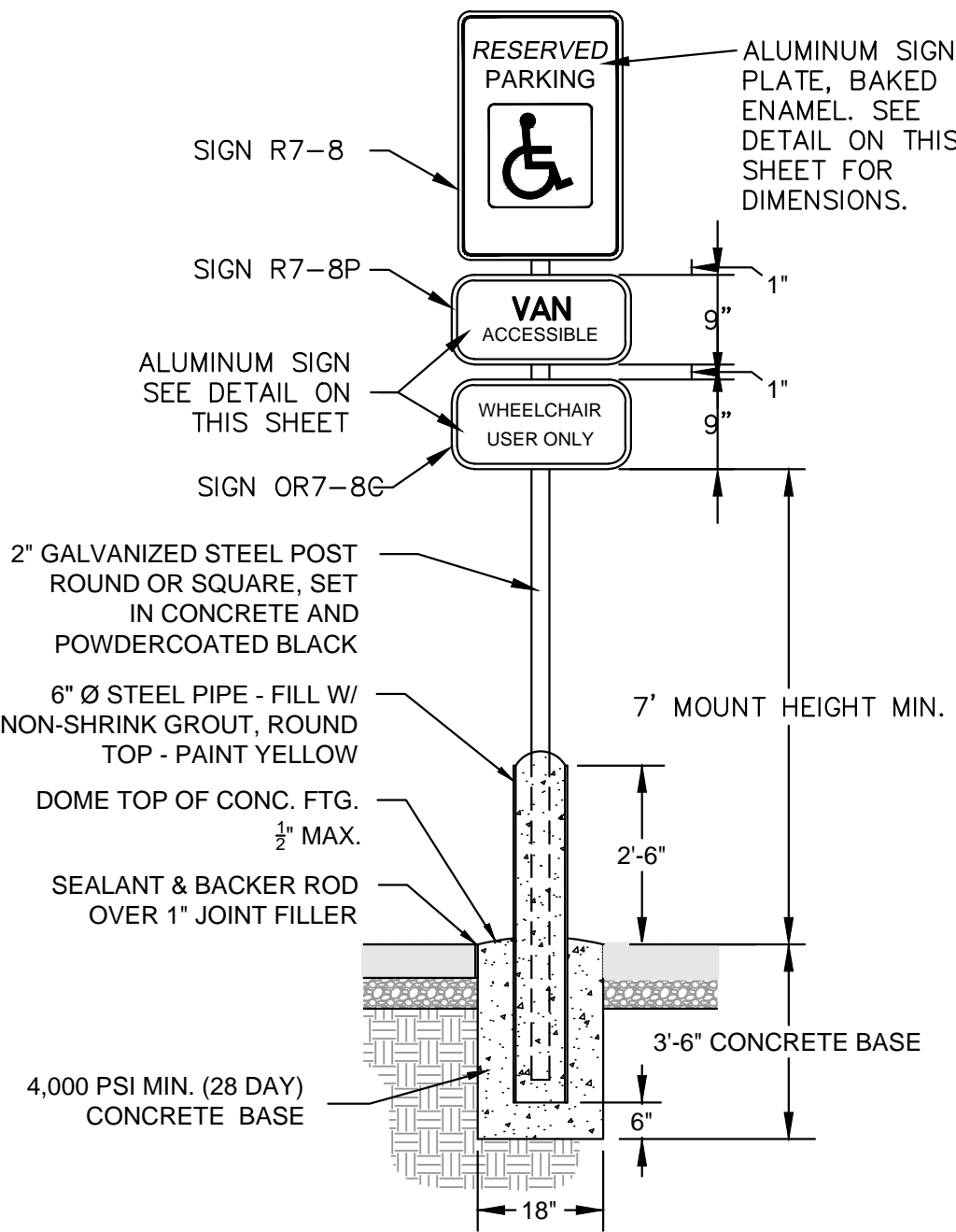
NOT TO SCALE



- NOTES:
1. WHEEL STOP SHALL BE MADE OF 100% RECYCLED RUBBER.
 2. DOWEL INTO PAVEMENT WITH 24" #4 REBAR.
 3. PLACE WHEEL STOP CONSISTENTLY ON CENTER OF STALL.
 4. CONTRACTOR TO USE BARCO PRODUCTS, GNR TECHNOLOGIES, INC. OR EMEDCO WHEEL STOP, OR APPROVED EQUAL.
 4. THE WHEEL STOPS SHOULD BE STRIPED (8 STRIPES) WITH REFLECTIVE YELLOW COLOR.

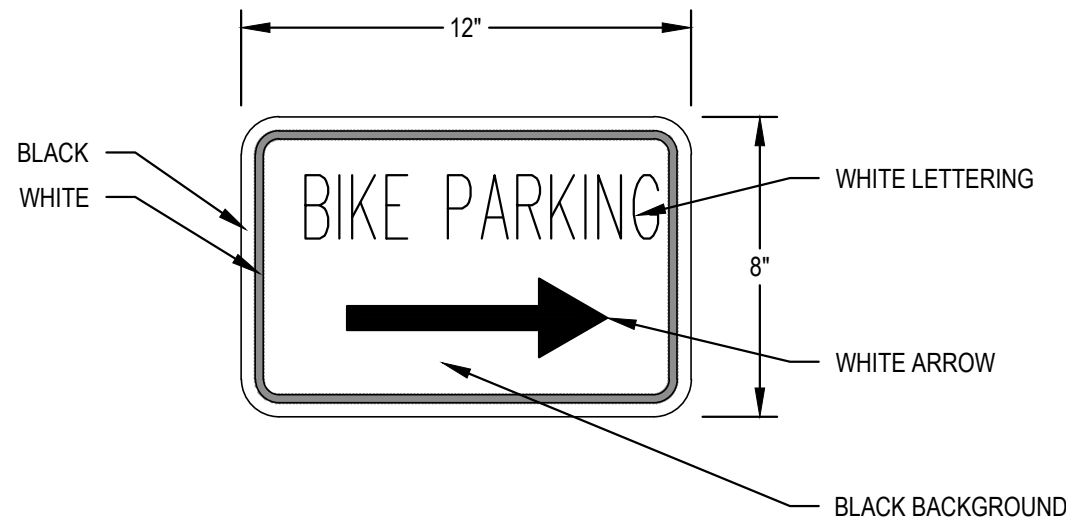
RECYCLED RUBBER WHEEL STOP

NOT TO SCALE



TYPICAL A.D.A. VAN & WHEELCHAIR PARKING SIGN DETAIL

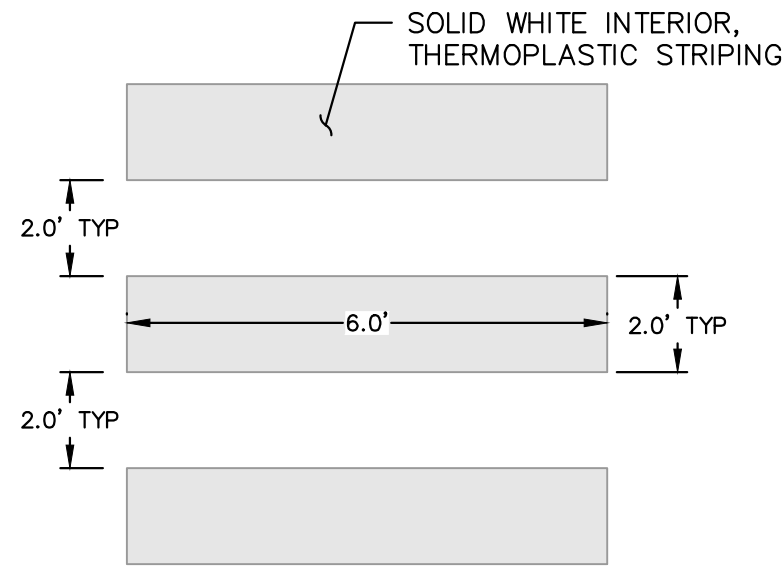
NOT TO SCALE



- NOTES
1. BIKE PARKING SIGNAGE TO MATCH EXISTING NYBERG RIVERS DEVELOPMENT BIKE PARKING SIGNAGE.
 2. SIGN POST SHALL BE POWDER COATED BLACK.
 3. SIGN POSTS SHALL BE BREAKAWAY.

BIKE PARKING RIGHT SIGNAGE

NOT TO SCALE



- NOTES:
1. ALL THERMOPLASTIC PAVEMENT MARKING SHALL CONFORM TO CURRENT ODOT SPECIFICATIONS FOR MATERIALS AND INSTALLATION.

CROSSWALK DETAIL

NOT TO SCALE



NOTES

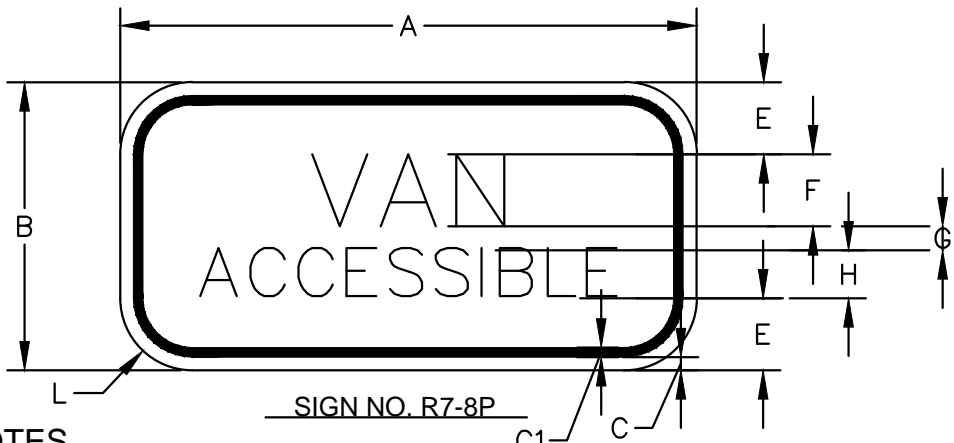
1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
3. THE DISABLED PERSON PARKING SIGN IS USED TO DESIGNATE A PARKING AREA RESERVED FOR VEHICLES WITH DMV PERMIT AS STATED.

SIGN	DIMENSIONS (INCHES)									
	A	B	C	D	E	F	G	H	J	K
STANDARD	12	18	3/8	1-1/2R	2	4	2C	6	4	1

- NOTE:
1. SIGN BACKS SHALL BE PAINTED BLACK

A.D.A PARKING STALL SIGN

NOT TO SCALE

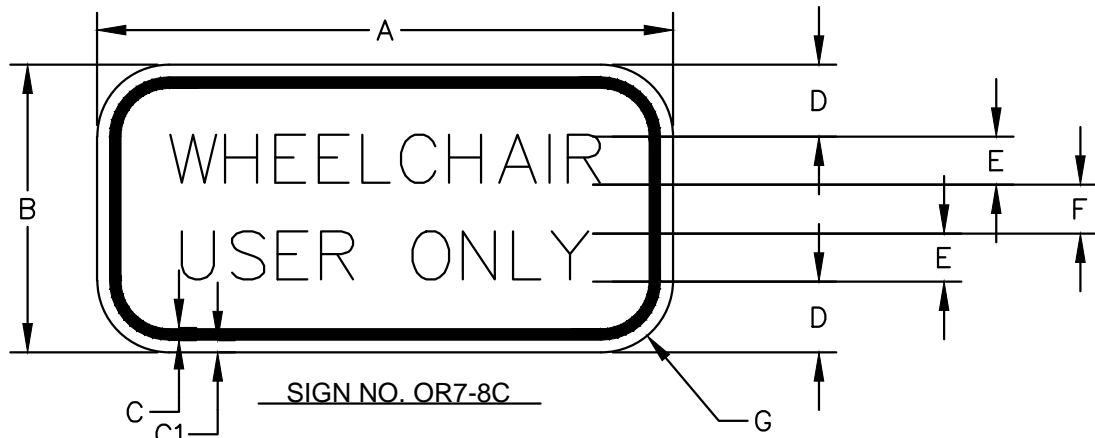


NOTES

1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
3. THE VAN-ACCESSIBLE SIGN SHALL ONLY BE USED WITH SIGN R7-8 TO DESIGNATE THE PARKING SPACES THAT HAVE AN ACCESS AISLE 8 FT OR WIDER.

SIGN	DIMENSIONS (INCHES)								
	A	B	C	C1	E	F	G	H	L
STANDARD	18	9	3/8	3/8	2-1/4	2D	1	1-1/2D	1-1/2R

- NOTE:
1. SIGN BACKS SHALL BE PAINTED BLACK
- VAN ACCESSIBLE SIGN
- NOT TO SCALE



NOTES

1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
3. THE "WHEELCHAIR USER ONLY" SIGN SHALL ONLY BE USED WITH THE DISABLED PERSON PARKING SIGN (R7-8) AND THE VAN ACCESSIBLE SIGN (R7-8P) TO DESIGNATE THE WHEELCHAIR USER ONLY SPACES AS DEFINED IN ORS 447.233.

SIGN	DIMENSIONS (INCHES)							
	A	B	C	C1	D	E	F	G
MINIMUM	18	9	5/8	3/8	2-1/4	1-1/2D	1-1/2	1-1/2R

- NOTE:
1. SIGN BACKS SHALL BE PAINTED BLACK
- WHEELCHAIR ONLY SIGN
- SCALE: NOT TO SCALE

REV	DATE	DESCRIPTION	BY

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EXPIRES: 06/30/2017

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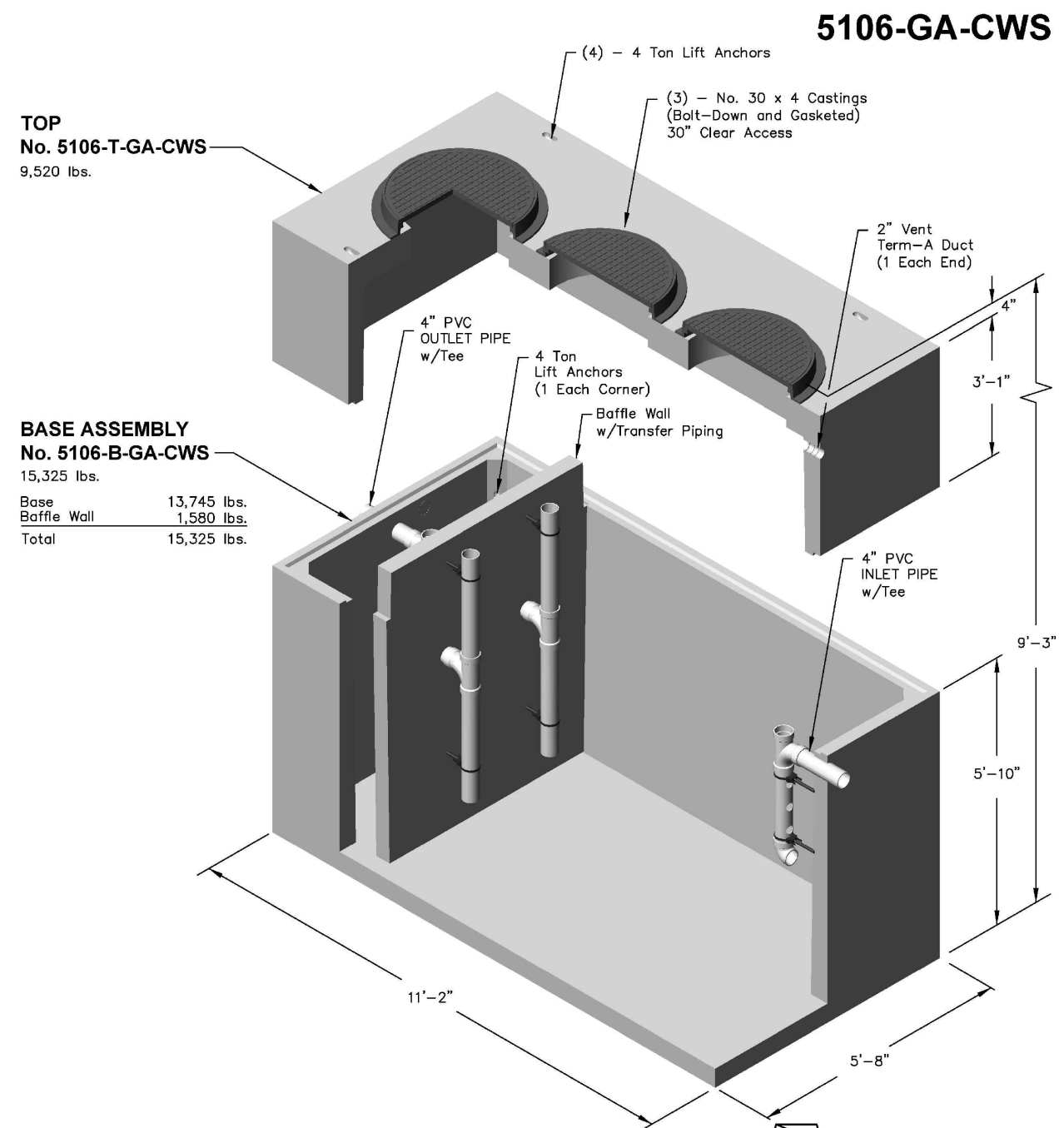
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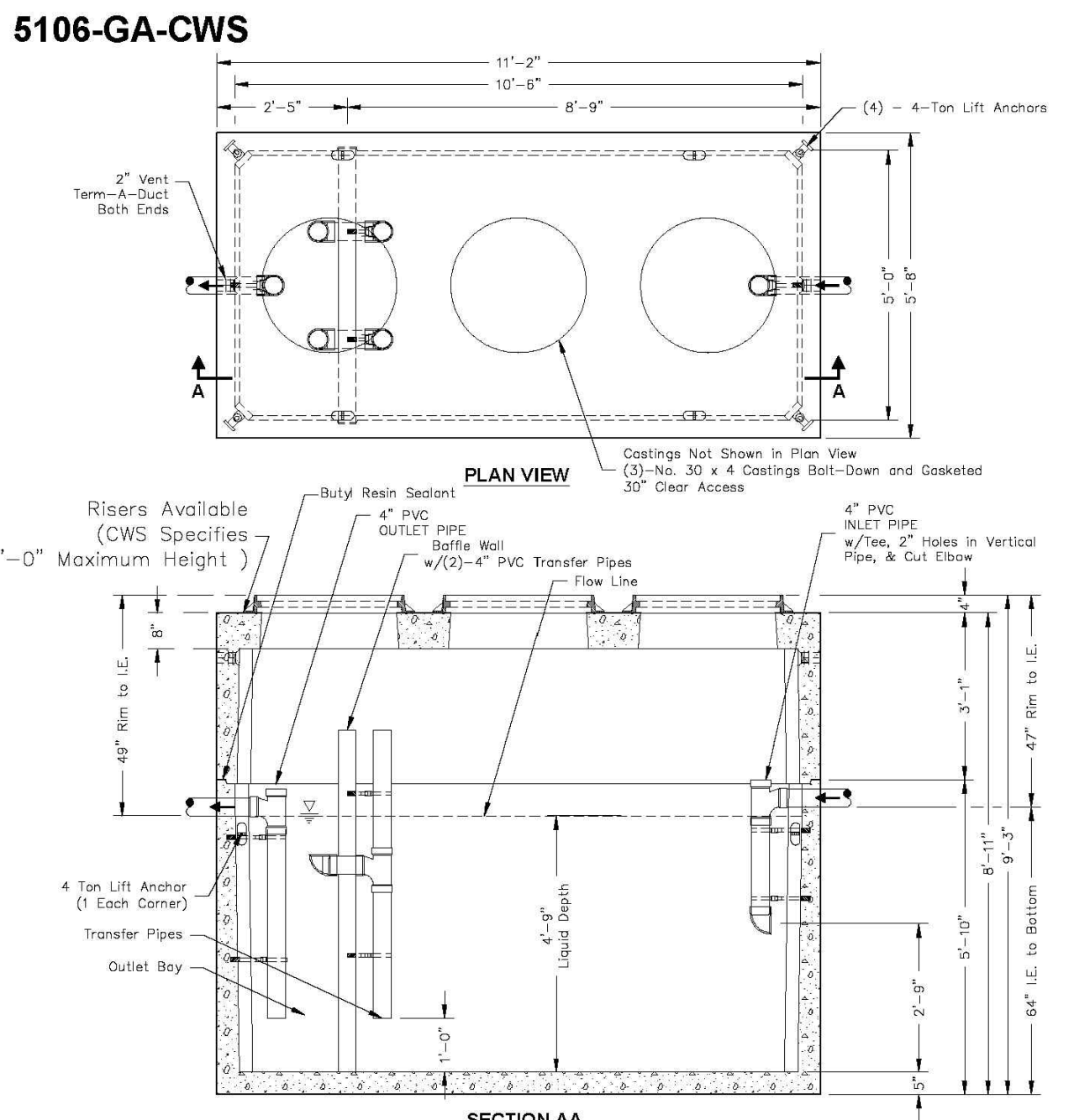
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS

PROJECT	21503970
DATE	01/11/2016




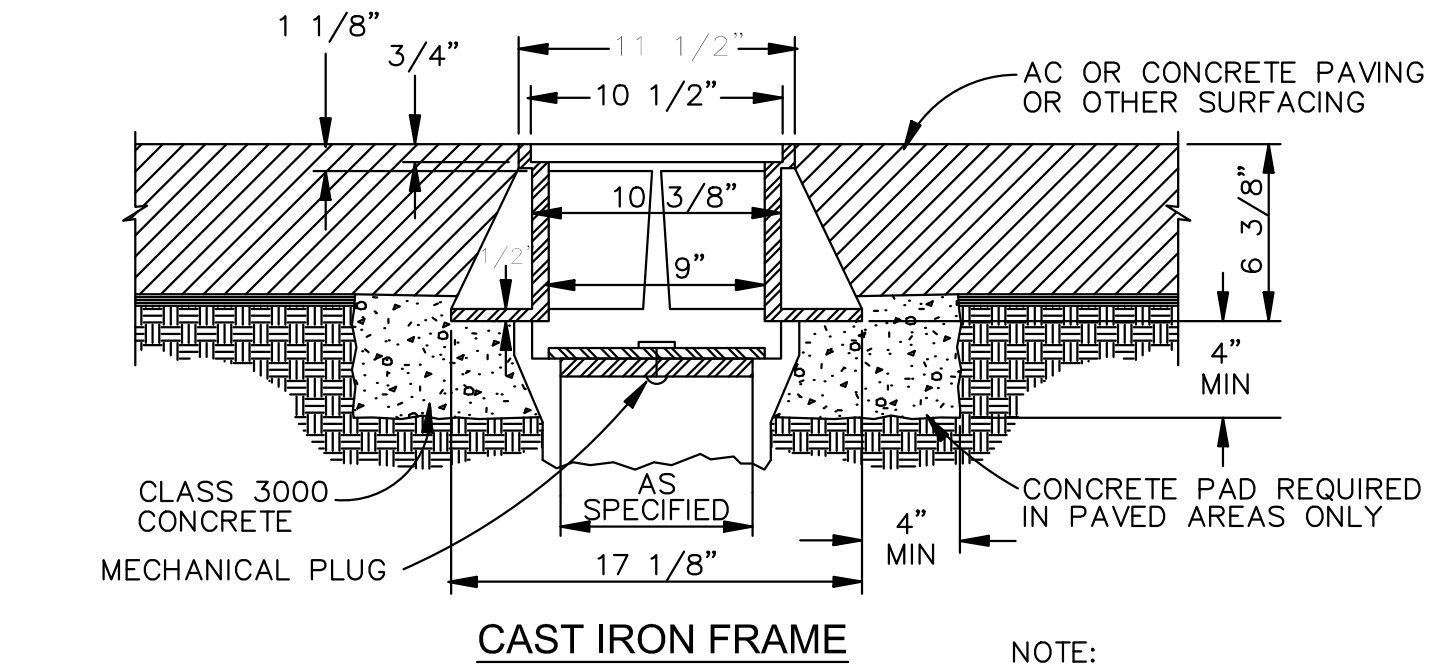
The Oregon State Plumbing Specialty Code, under 918-770-0050, requires that plumbing products sold in Oregon must be listed by an organization approved by the Board to certify plumbing products for conformance with product standards approved by the Board. IAPMO (Int. Assoc. of Plumbing & Mech. Officials) is a listed organization.

 <p>PO Box 323, Wilsonville, Oregon 97070-0323 Tel: (503) 682-2844 Fax: (503) 682-2657</p>	5106-GA-CWS	5106-GA-CWS
	File Name: 020ECOS106GA-CWS	CLEAN WATER SERVICES
	Issue Date: 2015	1900 GALLON
	oldcastleprecast.com/wilsonville	

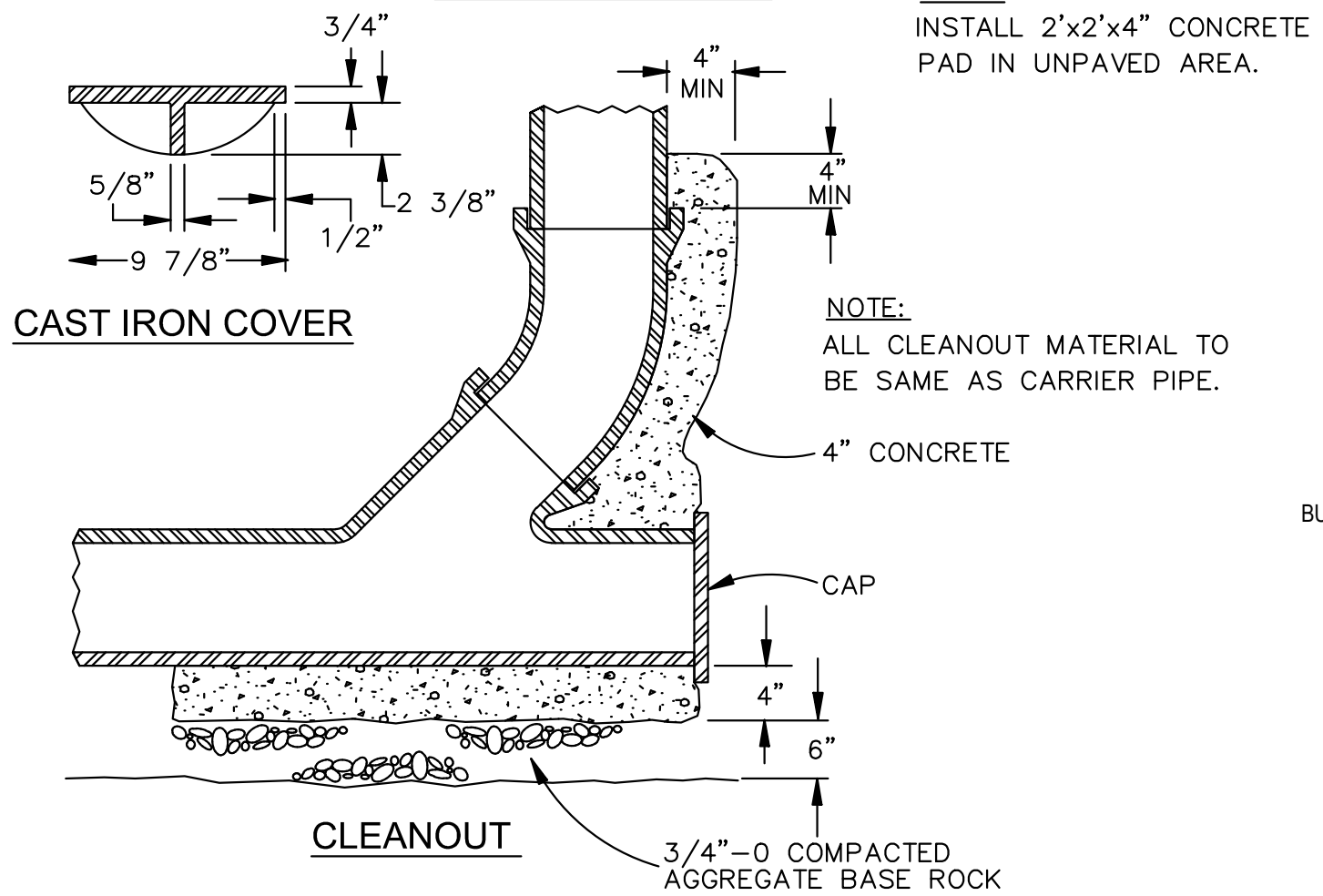


- Notes:
- Designed in accordance with ASTM C 890 for AASHTO HS20-44 vehicle loading.
 - General Requirements:
 - Seam/joint not allowed below flow line.
 - Baffle Wall sealed in place w/Butyl Resin IA.
 - Round Grade Ring flange not to exceed 12" height.
 - Pipe Clamps supporting all down pipes.
 - Contractor Requirements:
 - Ventilate the interceptor to open atmosphere.
 - Leak test from inlet bay to outlet bay at site.
 - Leak test of complete unit at site.
- Manufacturer's Recommendations:
- Ventilate each end to open atmosphere.
 - Prior to "Start Up" of system, fill with clean water through outlet bay to bottom of transfer pipes (approx. one foot deep). For best results, fill to flow line.
 - Follow Regular Inspection, Cleaning, & Maintenance Schedule (See Clean Out & Maintenance).

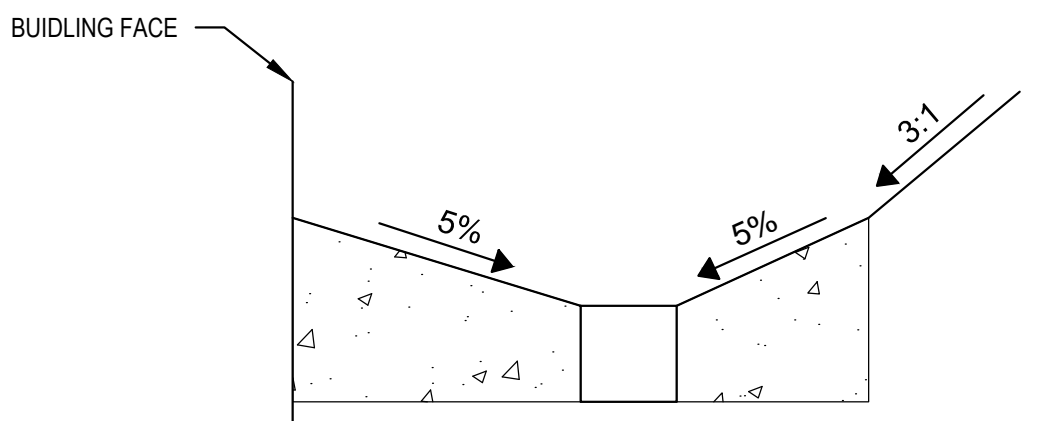
 <p>PO Box 323, Wilsonville, Oregon 97070-0323 Tel: (503) 682-2844 Fax: (503) 682-2657</p>	5106-GA-CWS	5106-GA-CWS
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	Issue Date: 2015	1900 GALLONS
	oldcastleprecast.com/wilsonville	



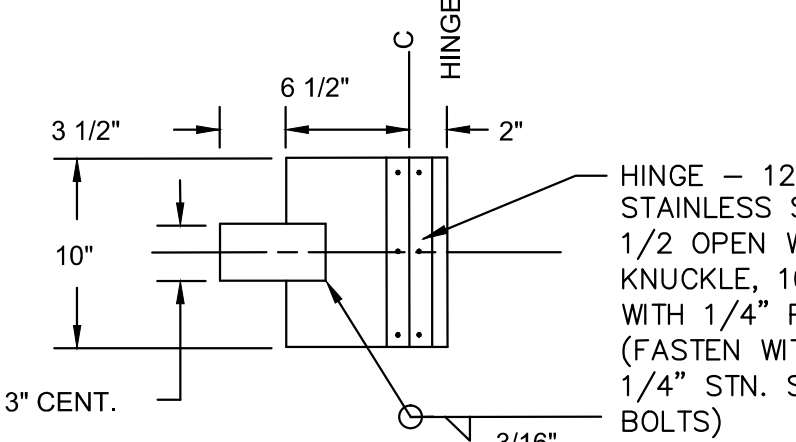
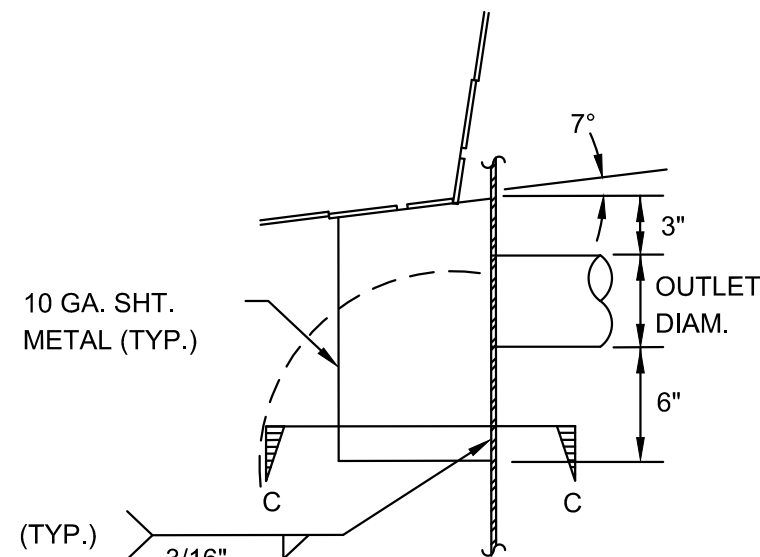
NOTE:
INSTALL 2'x2'x4" CONCRETE PAD IN UNPAVED AREA.



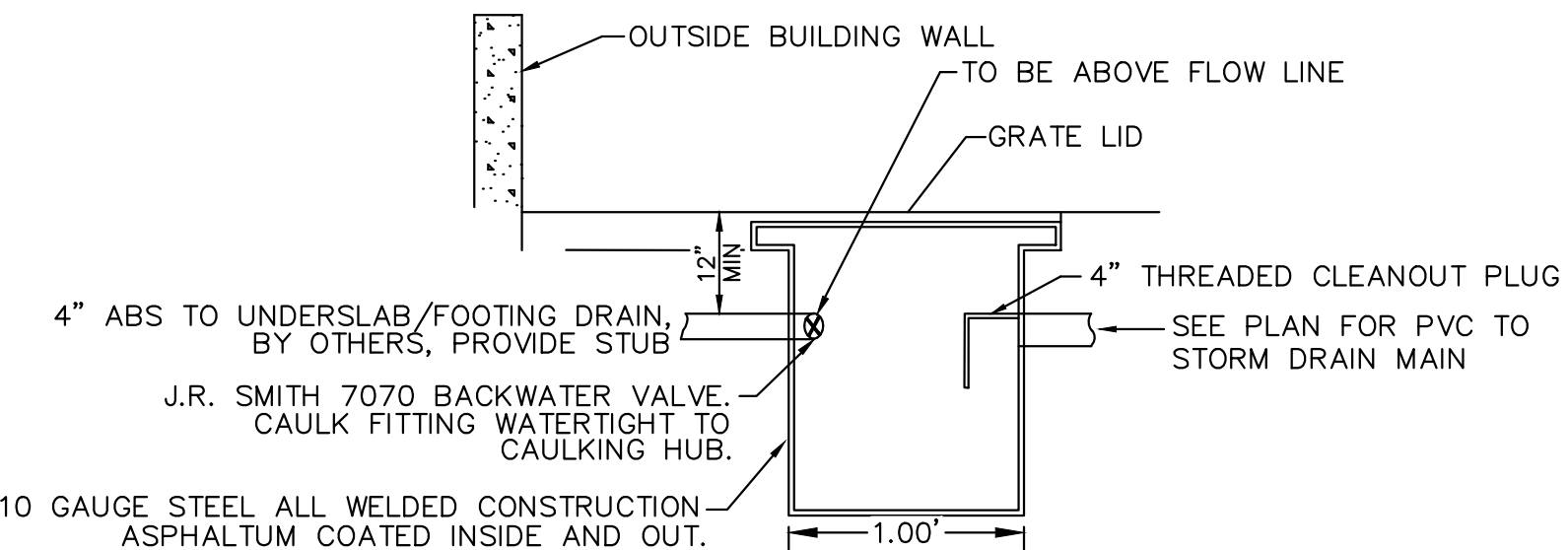
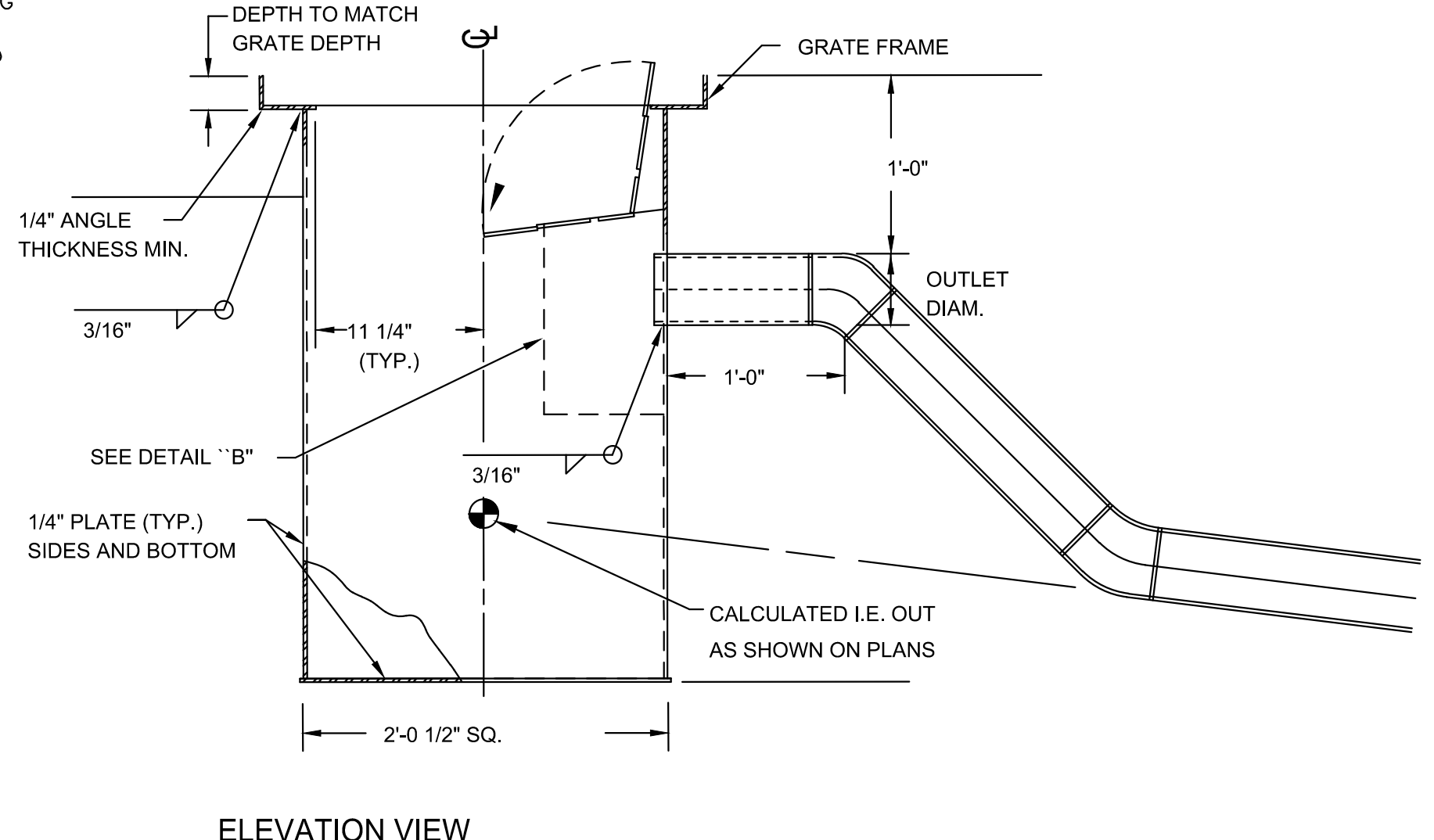
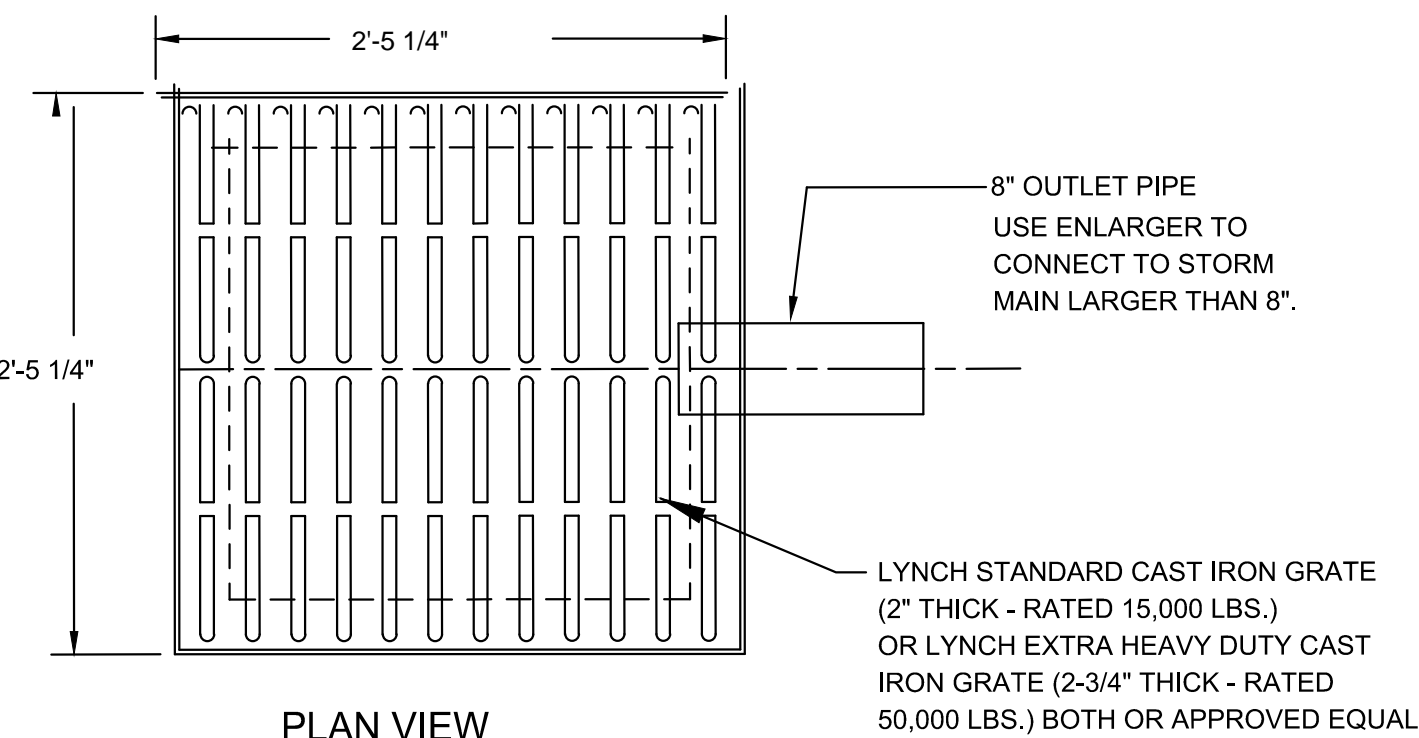
TYPICAL SEWER CLEANOUT DETAIL
NOT TO SCALE



TRENCH DRAIN ENLARGEMENT
NOT TO SCALE



HINGE - 12 GA. STAINLESS STEEL, 2 1/2" OPEN WITH 1/2" KNUCKLE, 10" LONG WITH 1/4" PIN (FASTEN WITH 6 @ 1/4" STN. STL. BOLTS)

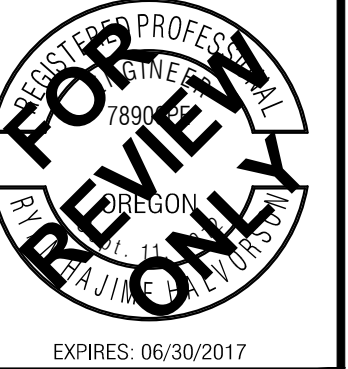


BACKWATER VALVE FOOTING DRAIN RECEPTOR
NOT TO SCALE

NOTE: FOOTING DRAIN RECEPTOR MAY BE SUBSTITUTED WITH "CLEAN CHECK" ABS BACK WATER VALVE IF APPROVED BY THE CITY OF TUALATIN. SEE WWW.CLEANCHECK.COM FOR ADDITIONAL INFO, INCLUDING UPC APPROVAL.

STANDARD "TRAPPED" STYLE CATCH BASIN
NOT TO SCALE

REV	DATE	DESCRIPTION



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www.dowl.com

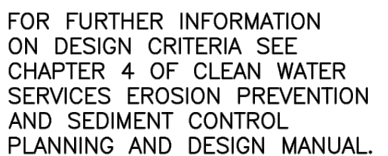
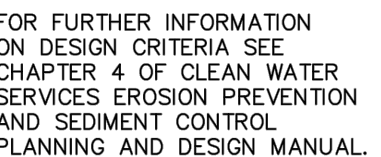
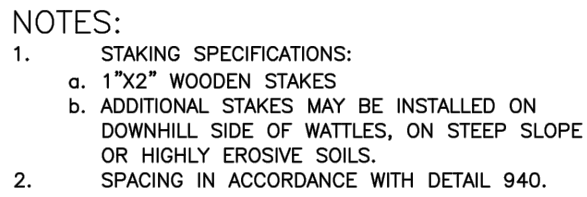
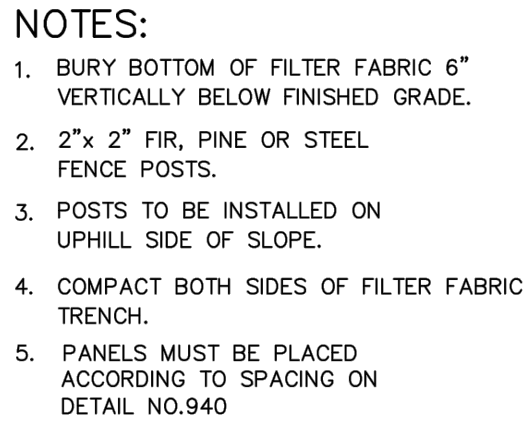
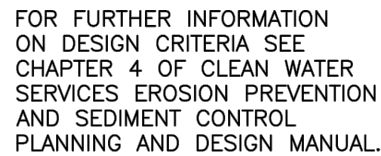
720 SW Washington St. Suite 750
Portland, Oregon 97205
(971) 280-8641



CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS


SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT	21503970
DATE	01/11/2016



1. WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITEE.
2. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR.
3. DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
4. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
5. ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
6. SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENT OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
7. SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
8. SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/3RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
9. CLEANING OF ALL STRUCTURES WITH SLUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
10. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
11. THE PERMITEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
12. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
13. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT FLOOD WATER SERVICES STANDARDS AND STATE, AND FEDERAL REGULATIONS.
14. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THE PLAN SHALL BE CLEARLY IDENTIFIED IN THE FIELD. LESSER OR NO PROTECTION IS REQUIRED. NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT.
15. NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
16. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPs THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPs MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
17. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 15TH; THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
18. WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIPMENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROVED BMPs; SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.
19. ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
20. THE ESC PLAN MUST BE KEPT ON SITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER WAY, CREEK, ROADWAY, OR OTHER PROPERTIES.
21. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
22. WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ON SITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
23. IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPs MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
24. ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

[illegible]

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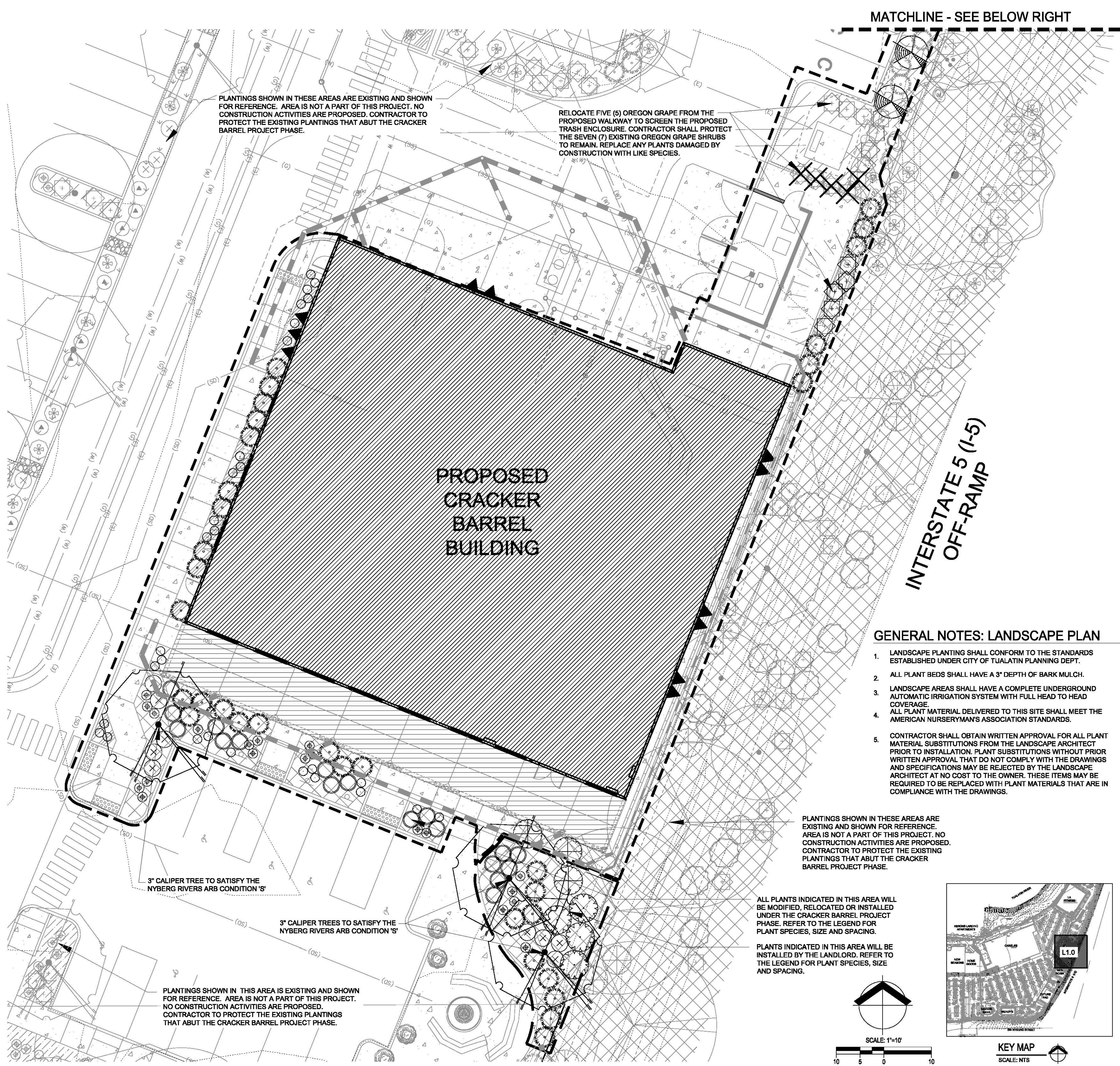


CRACKER BARREL - NYBERG RIVERS TUALATIN, OREGON DETAILS

PROJECT	21503970
DATE	01/11/2016

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SHEET

C6.3



PLANT MATERIALS - CRACKER BARREL

SYMBOL	TREES ITEM	SIZE	QTY.
	BETULA JAQUEMONTII JAQUEMONTII BIRCH	3" CAL. / B&B AS SHOWN	1
	THUJA PLICATA 'HOGAN' HOGAN WESTERN RED CEDAR	6' HT. / B&B AS SHOWN	6
SHRUBS & ACCENTS		SIZE	QTY.
	SPIRAEA DOUGLASII DOUGLAS SPIRAEA	1 GAL.	5
	ROSA WOODSII WOOD'S ROSE	1 GAL.	12
	COTONEASTER LACTEUS PARNEY COTONEASTER	3 GAL.	25
	PHYSOCARPUS PACIFIC NINEBARK	2 GAL.	2
	PENNISETUM ALOPECUROIDES 'HAEMEL' HAEMEL FOUNTAIN GRASS	1 GAL.	15
	CALAMAGROSTIS ACUTIFLORA 'OVERDAM' OVERDAM FEATHER REED GRASS	1 GAL.	29
	TRACHYLOSPERMUM JASMINOIDES CLIMBING STAR JASMINE	1 GAL.	11
EXISTING SHRUBS		SIZE	QTY.
	MAHONIA AQUIFOLIUM TALL OREGON GRAPE HOLLY (EXISTING SHRUBS FROM PREVIOUS PHASE OF DEVELOPMENT. RELOCATE AND PROTECT AS NOTED ON PLAN.)	3 GAL.	—
GROUNDCOVERS		SIZE	QTY.
	ARCTOSTAPHYLOS UVA-URSI 'MASS' MASSACHUSETTS KINNICKINNIK	1 GAL. @ 3'-0" O.C.	1,015 SF 130 PLANTS
	COTONEASTER DAMMERI ROCKSPRAY COTONEASTER	1 GAL. @ 3'-0" O.C.	260 SF 35 PLANTS

PLANT MATERIALS - LANDLORD RESPONSIBILITY

SYMBOL	TREES ITEM	SIZE	QTY.
	BETULA JAQUEMONTII JAQUEMONTII BIRCH	3" CAL. / B&B AS SHOWN	2
SHRUBS & ACCENTS		SIZE	QTY.
	SPIRAEA DOUGLASII DOUGLAS SPIRAEA	1 GAL.	4
	ROSA WOODSII WOOD'S ROSE	1 GAL.	6
	COTONEASTER LACTEUS PARNEY COTONEASTER	3 GAL.	9
	PHYSOCARPUS PACIFIC NINEBARK	2 GAL.	1
	PENNISETUM ALOPECUROIDES 'HAEMEL' HAEMEL FOUNTAIN GRASS	1 GAL.	5
	CORNUS ALBA 'IVORY HALO' IVORY HALO DOGWOOD	5 GAL.	4
GROUNDCOVERS		SIZE	QTY.
	ARCTOSTAPHYLOS UVA-URSI 'MASS' MASSACHUSETTS KINNICKINNIK	1 GAL. @ 3'-0" O.C.	625 SF 80 PLANTS

REV

DATE

DESCRIPTION

BY

REGISTERED

249

PATRICK GAYNOR

OREGON

05/19/11

LANDSCAPE ARCHITECT

EXPIRES 05/31/16

DOWL

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CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
LANDSCAPE PLAN

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT

21503970

DATE

01/11/2016

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SHEET

L1.0



SOUTH ELEVATION



WEST ELEVATION

DIMENSIONAL INFORMATION

BUILDING SIZE:

-LENGTH/WIDTH OF BUILDING:
103'-4" L x 100'-0" W

-LENGTH/WIDTH OF PORCH:
12'-2" L x 100'-6" W

-SQUARE FOOTAGE OF BUILDING:
9,121 sf

-SQUARE FOOTAGE OF PORCH:
1,223 sf

-TOTAL FOOTPRINT:
10,344 sf

BUILDING HEIGHTS:

-HEIGHT OF FRONT WALL PARAPET:
19'-0" H

-HEIGHT OF SIDE & REAR PARAPETS:
16'-10 1/2" H

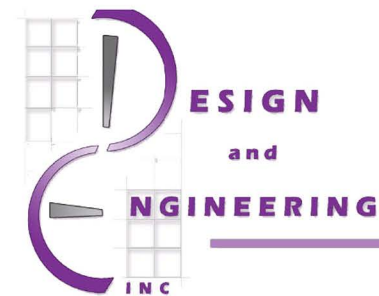
-TOP OF SIGN PARAPETS:
FRONT: 23'-0" H,
RIGHT: 20'-10 1/2" H

-HEIGHT OF CHIMNEY ABOVE FINISH
FLOOR: 30'-0" +/-

-ROOF SLOPES FRONT TO REAR:
-MAX. HEIGHT ABOVE FINISH FLOOR
INSIDE FRONT PARAPET WALL: 13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR
INSIDE REAR PARAPET WALL: 11'-0" H

WALL SIGNAGE:

-HEIGHT/WIDTH OF ALL SIGNS:
SOUTH & WEST: 7' H x 13' W (91 sf)



TUALATIN, OREGON

NYBERG RIVERS SHOPPING CENTER - PROTOTYPE 177-16 F NB

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR RENDITION OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR AND TEXTURE SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ACTUAL DIMENSIONS.

EXTERIOR MATERIALS LEGEND

- A CERTAINTED SIDING & MIRATEC BATTENS, PAINTED "CRACKER BARREL BROWN"
- B BERRIDGE STANDING-SEAM ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D CULTURED STONE VENEER, "CHARDONNAY" BLEND



07.07.15
1 of 2

UPDATED 1.11.16
SCALE: 3/32" = 1'-0"



EAST ELEVATION



NORTH ELEVATION

DIMENSIONAL INFORMATION

BUILDING SIZE:

-LENGTH/WIDTH OF BUILDING:
103'-4" L x 100'-0" W

-LENGTH/WIDTH OF PORCH:
12'-2" L x 100'-6" W

-SQUARE FOOTAGE OF BUILDING:
9,121 sf

-SQUARE FOOTAGE OF PORCH:
1,223 sf

-TOTAL FOOTPRINT:
10,344 sf

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19'-0" H

-HEIGHT OF SIDE & REAR PARAPETS:
16'-10 1/2" H

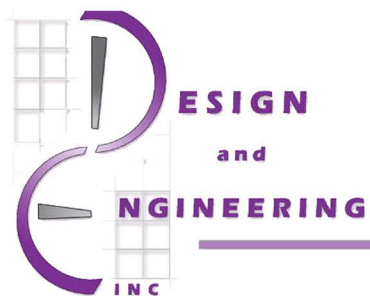
-TOP OF SIGN PARAPETS:
FRONT: 23'-0" H,
RIGHT: 20'-10 1/2" H

-HEIGHT OF CHIMNEY ABOVE FINISH
FLOOR: 30'-0" +/-

-ROOF SLOPES FRONT TO REAR:
-MAX. HEIGHT ABOVE FINISH FLOOR
INSIDE FRONT PARAPET WALL: 13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR
INSIDE REAR PARAPET WALL: 11'-0" H

WALL SIGNAGE:

-HEIGHT/WIDTH OF ALL SIGNS:
EAST & NORTH: 7' H x 13' W (91 sf)



TUALATIN, OREGON

NYBERG RIVERS SHOPPING CENTER - PROTOTYPE 177-16 F NB

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR RENDITION OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR AND TEXTURE SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ACTUAL DIMENSIONS.

EXTERIOR MATERIALS LEGEND

- A CERTAINEED SIDING & MIRATEC BATTENS, PAINTED "CRACKER BARREL BROWN"
- B BERRIDGE STANDING-SEAM ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D CULTURED STONE VENEER, "CHARDONNAY" BLEND

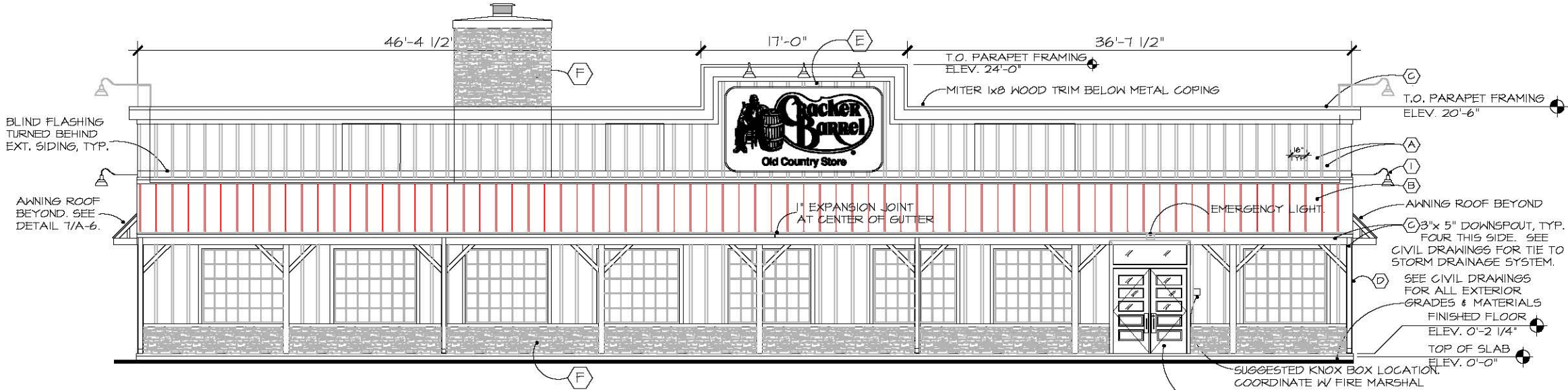


07.07.15
2 of 2

UPDATED 1.11.16
SCALE: 3/32" = 1'-0"

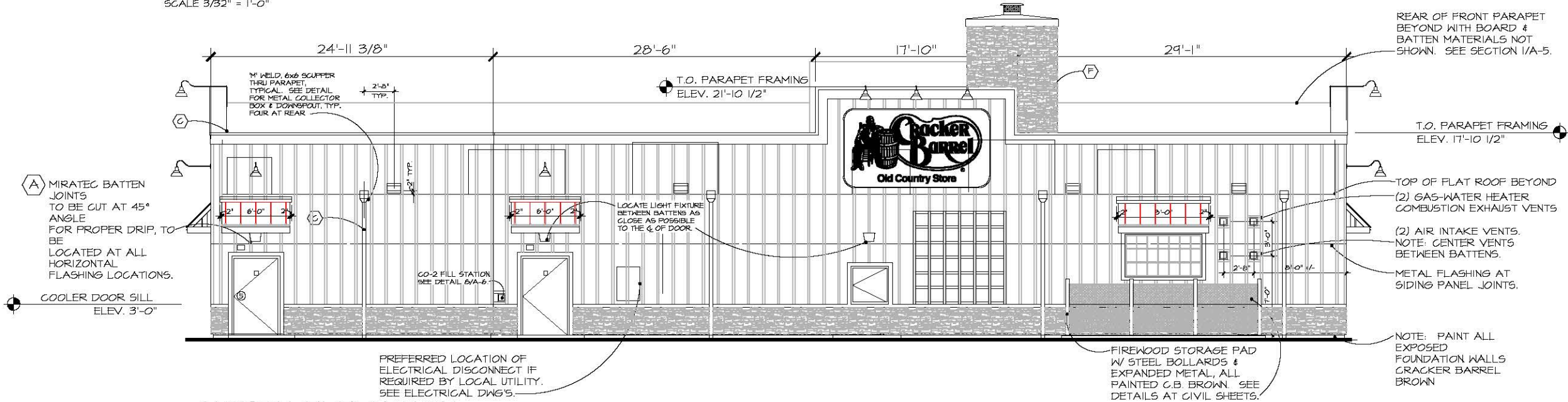
EXTERIOR MATERIALS LEGEND A

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIRATEC BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SOUTHERN LEDGESTONE CULTURED STONE VENEER	"CHARDONNAY" BLEND, #2054
G	WOOD ENTRY DOORS	MINWAX OIL STAIN 'GOLDEN OAK'
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK



SOUTH ELEVATION

SCALE 3/32" = 1'-0"



NORTH ELEVATION

SCALE 3/32" = 1'-0"

CRACKER BARREL PROJECT NUMBER: CB 172 16F NB
**CRACKER BARREL
OLD COUNTRY STORE**
7855 SW NYBERG STREET
TUALATIN, OR 97062
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Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

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**DESIGN AND ENGINEERING
ARCHITECTS AND ENGINEERS**
1445 West 4th Circle
Bristol, TN 37620
423-370-1779
Fax: 423-370-1188
www.dendelinc.com

EXTERIOR
ELEVATIONS

INITIAL DATE: 12-01-15
RE-DATE: _____
REVISIONS
1-12-16, TMT FORMAT
2-1-17

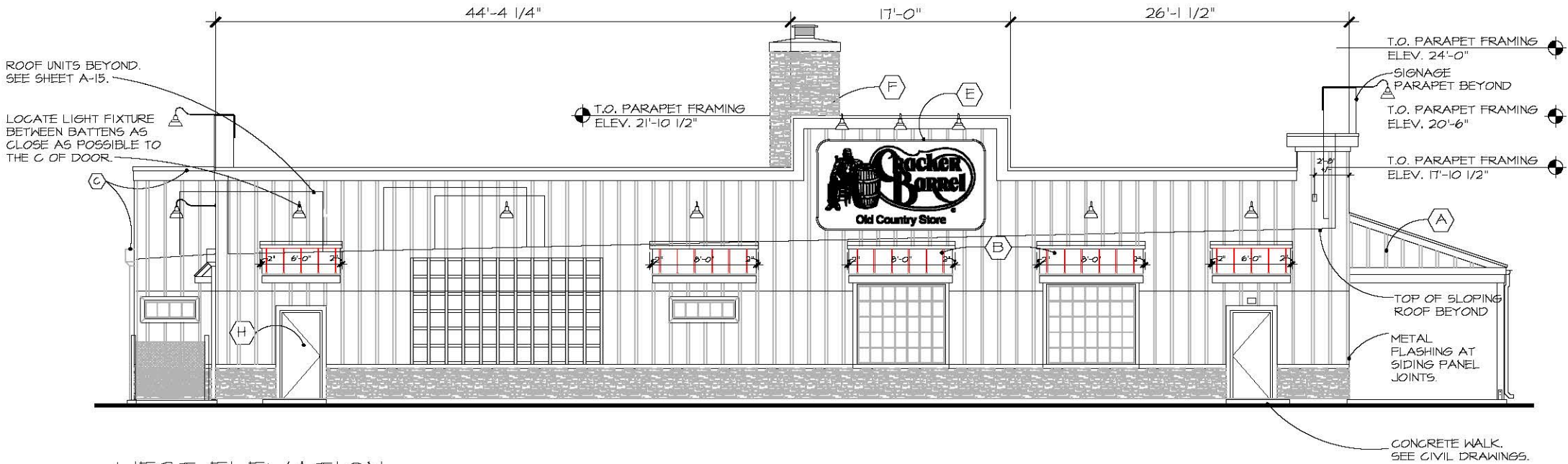


SHEET 1 OF 2

CB 172 16F NB

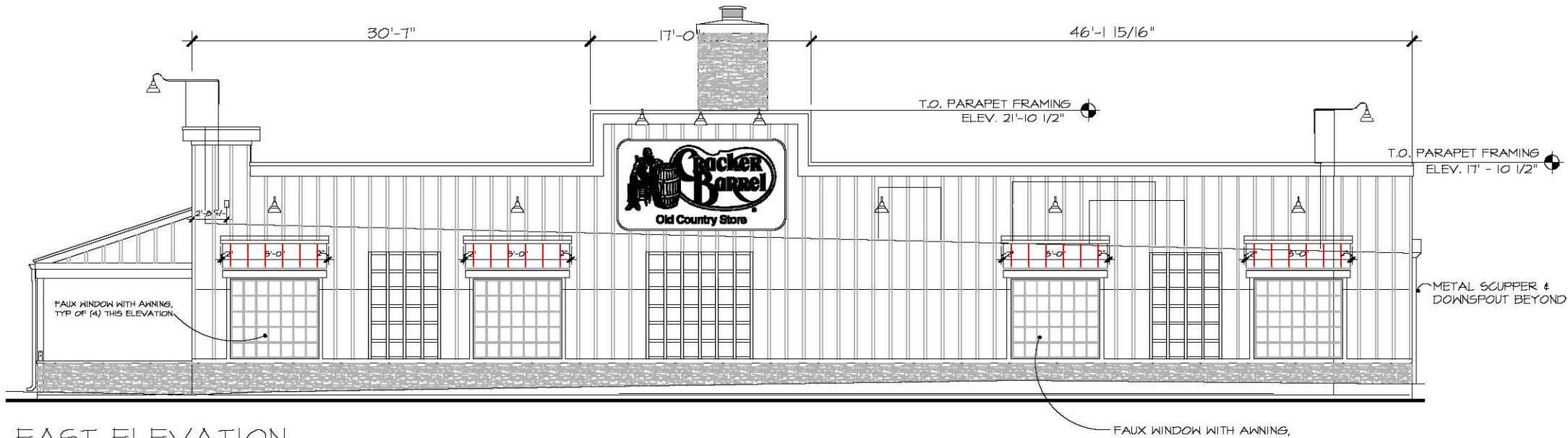
EXTERIOR MATERIALS LEGEND (A)

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIRATEC BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SOUTHERN LEDGESTONE CULTURED STONE VENEER	"CHARDONNAY" BLEND, #2054
G	WOOD ENTRY DOORS	MINWAX OIL STAIN 'GOLDEN OAK'
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK



WEST ELEVATION

SCALE 3/32" = 1'-0"



EAST ELEVATION

SCALE 3/32" = 1'-0"

CRACKER BARREL
OLD COUNTRY STORE
7866 SW NYBERG STREET
TUALATIN, OR 97062

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

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FOR CONSTRUCTION

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ARCHITECTS AND ENGINEERS
1643 Westgate Circle
Irvington, TN 37037
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fax: 615-370-9188
www.dandeeinc.com

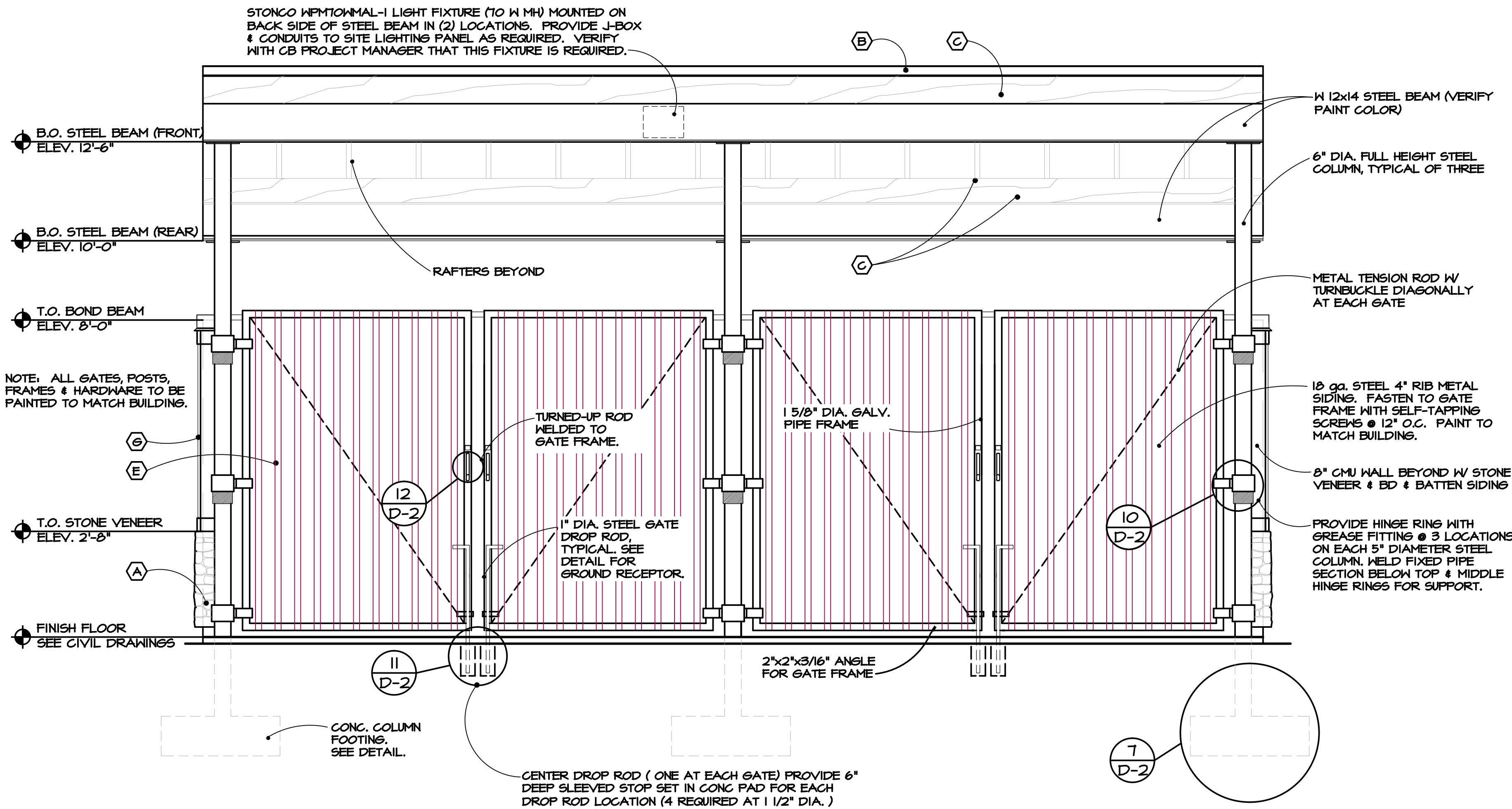
EXTERIOR
ELEVATIONS

INITIAL DATE: 12-01-15
RE-ISSUE DATE:
REVISIONS
1-12-16, INT FORMAT
11-18-16
SHEET 2 OF 2
CB 172 18F NB

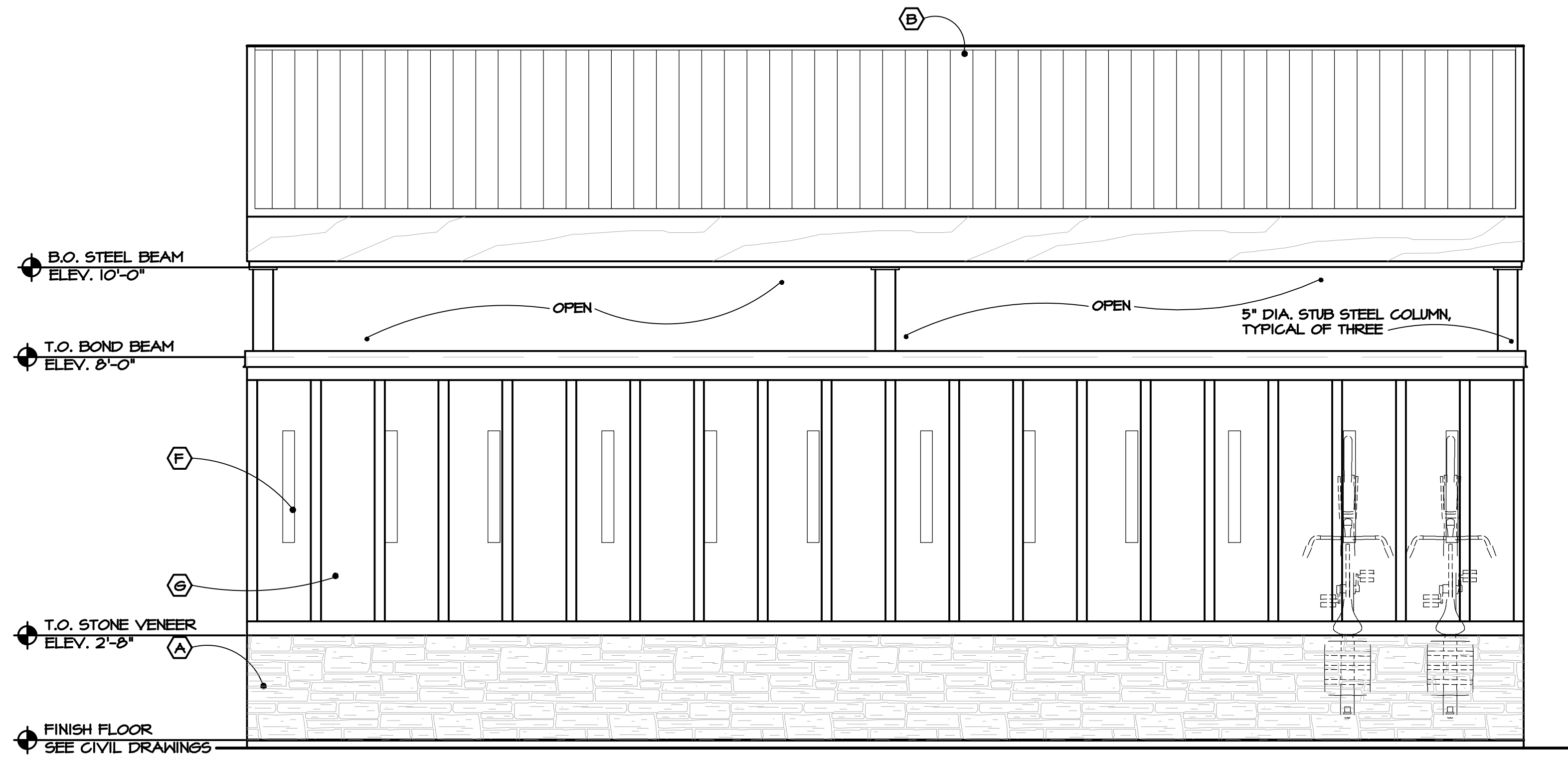
NOTE: ALL DUMPSTER ENCLOSURE STRUCTURAL STEEL (BOLLARDS, GATES, DROP RODS, COLUMNS, BEAMS, ETC.) IS INCLUDED IN THE OWNER-FURNISHED STEEL PACKAGE AND ARE INSTALLED BY THE CONTRACTOR.

- KEY NOTES
1. ALL HARDWARE SHALL BE HEAVY DUTY CORROSION RESISTANT.
 2. ALL WELDS SHALL BE GRIND SMOOTH
 3. THE TOP OF ALL ENCLOSURE WALLS AND GATES SHALL BE LEVEL.
 4. IF REQUIRED, PROVIDE FLARED SIDES OF APRON SLAB TO MEET ADJACENT FINISH SURFACE - SLOPE 1/4" PER FOOT MAX.
 5. ALL GATES (INCLUDING SUPPORTS) SHALL BE PAINTED
 6. CONC. BLK. SHALL BE SEALED AND PAINTED
 7. ALL EXPOSED STEEL PAINTED - CRACKER BARREL BROWN

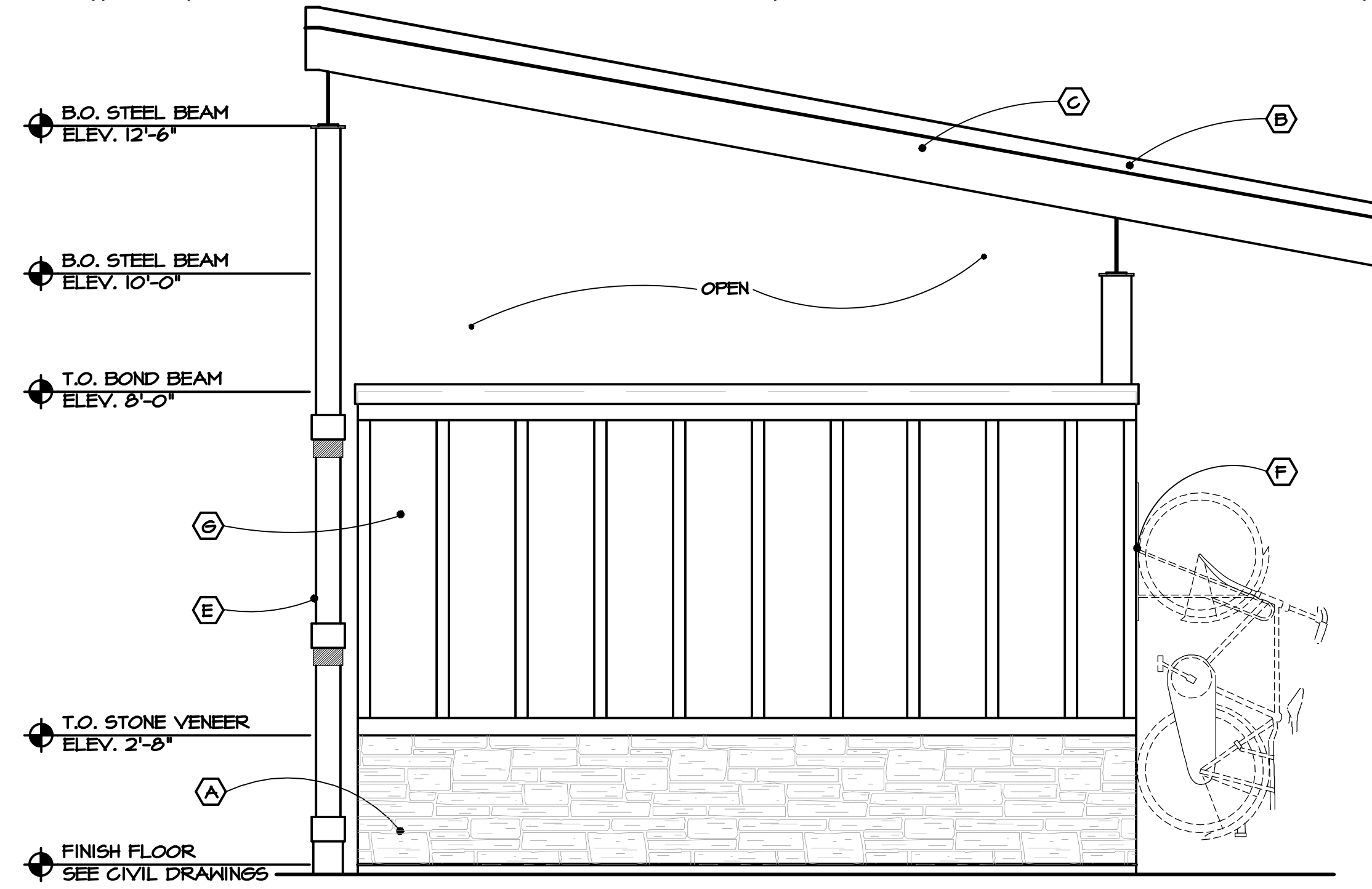
EXTERIOR MATERIALS LEGEND		
MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	STONE VENEER OVER 8" SMOOTH FACE CMU	CHARDONNAY SOUTHERN LEDGESTONE CSV-2054
B	STANDING SEAM METAL ROOF / DRIP EDGE	PRE-FINISHED GALVALUME
C	HOOD TRIM AND RAFTERS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
D	METAL MAN DOOR AND FRAME	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	METAL DUMPSTER ENCLOSURE, ALL MISCELLANEOUS STEEL, AND GATE PANELS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
F	BIKE RACKS	BELSON MODEL BSV-1-WM-P
G	ALLURA SIDING W/ 1x3 MIRATEC BATTENS @ 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'



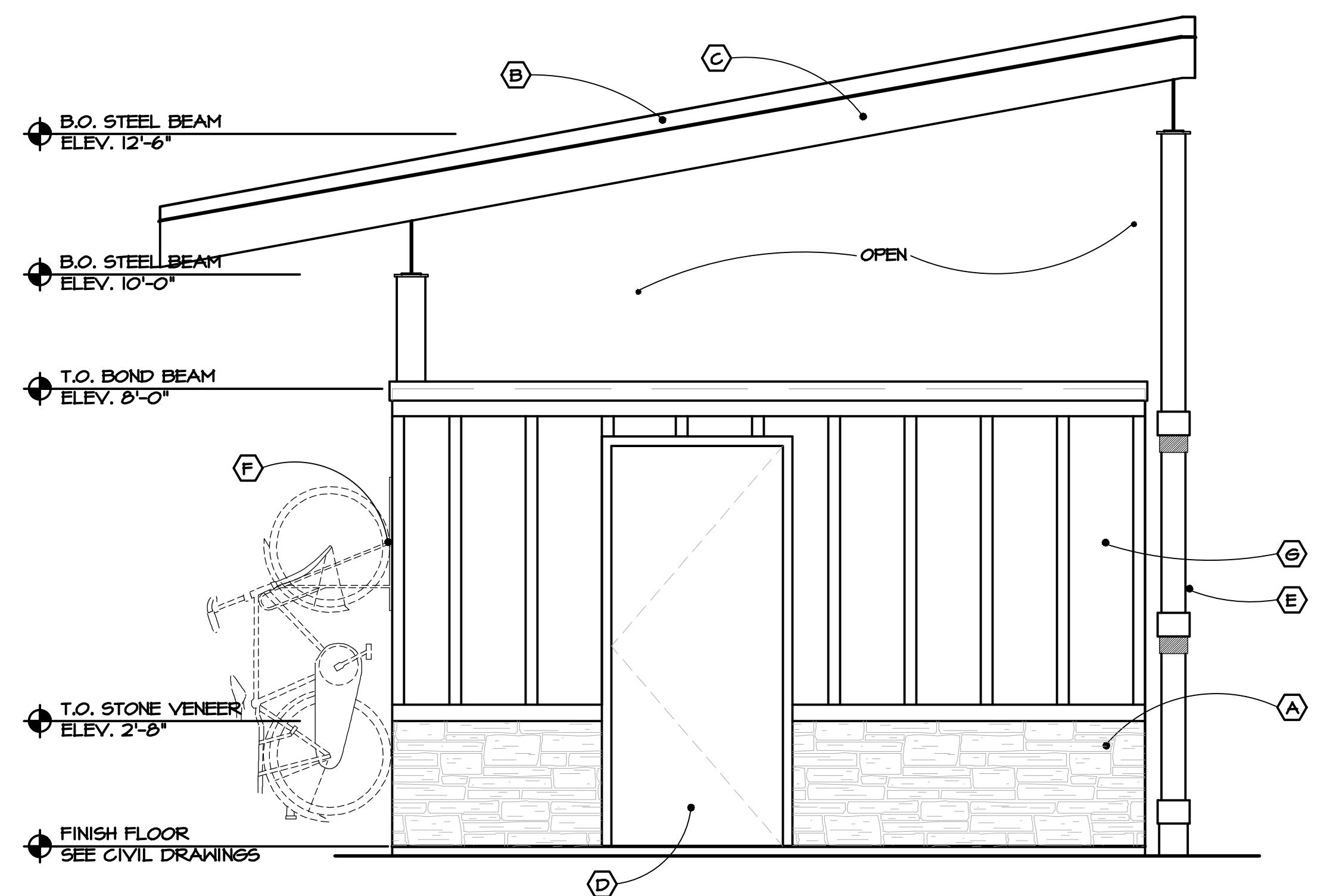
1 DUMPSTER ENCLOSURE FRONT ELEVATION
D-1 SCALE : 1/2"=1'-0"



2 DUMPSTER ENCLOSURE REAR ELEVATION
D-1 SCALE : 1/2"=1'-0"



3 DUMPSTER ENCLOSURE RIGHT SIDE ELEVATION
D-1 SCALE : 1/2"=1'-0"



4 DUMPSTER ENCLOSURE LEFT SIDE ELEVATION
D-1 SCALE : 1/2"=1'-0"

CRACKER BARREL
OLD COUNTRY STORE, #787
7655 SW NYBERG ST
TUALATIN, OREGON 97062

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

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Brentwood, TN 37027
615-370-1779
615-370-1778
www.dondeinc.us

DESIGN
and
ENGINEERING
INC.

STRUCTURAL AND CIVIL ENGINEERS

DATE: 10-28-15
PROJECT NO: 11-1574
REVISIONS

Δ	Δ
Δ	Δ
Δ	Δ

Cracker Barrel
Old Country Store, #787

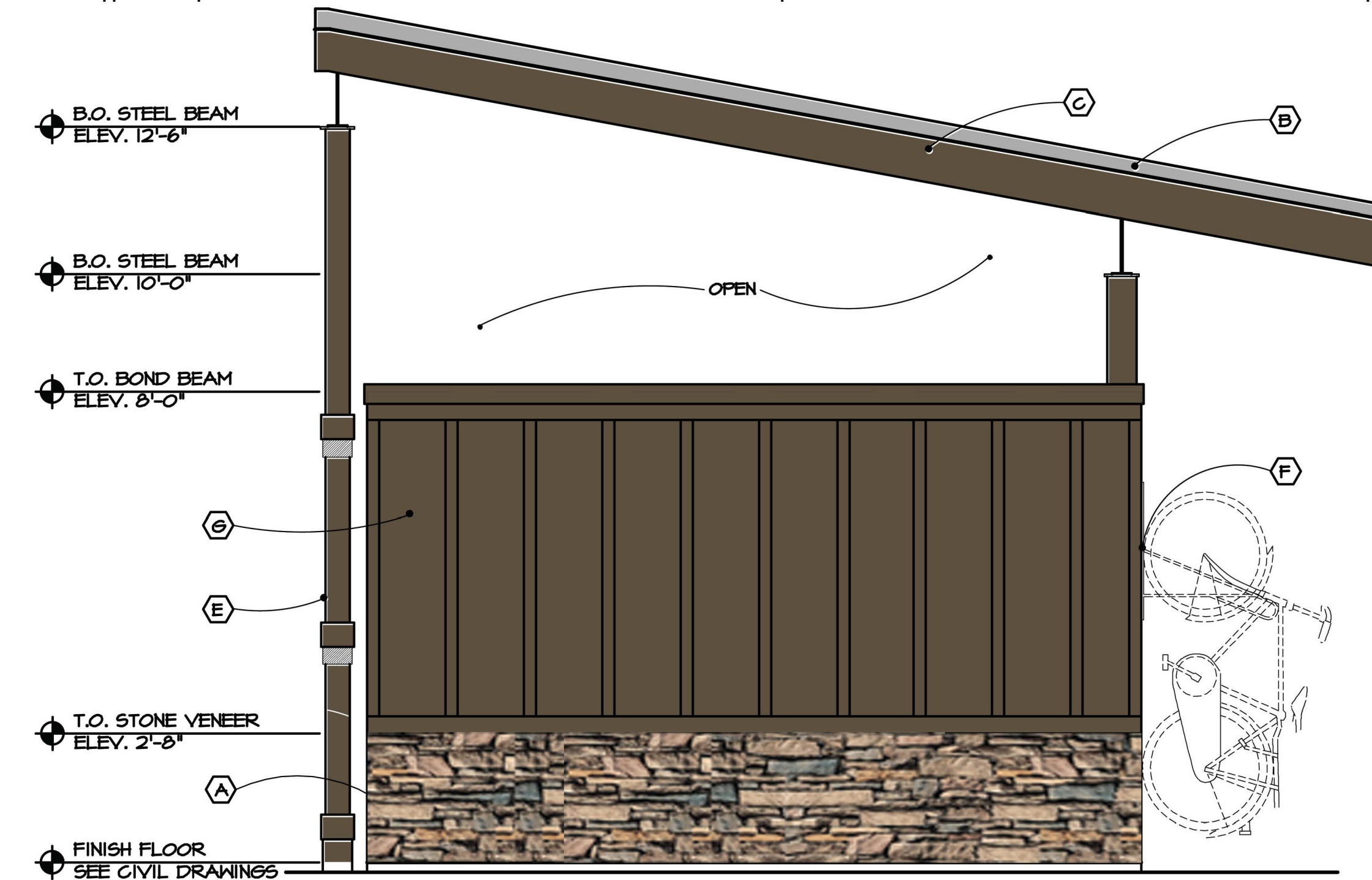
DUMPSTER
ENCLOSURE

D-1

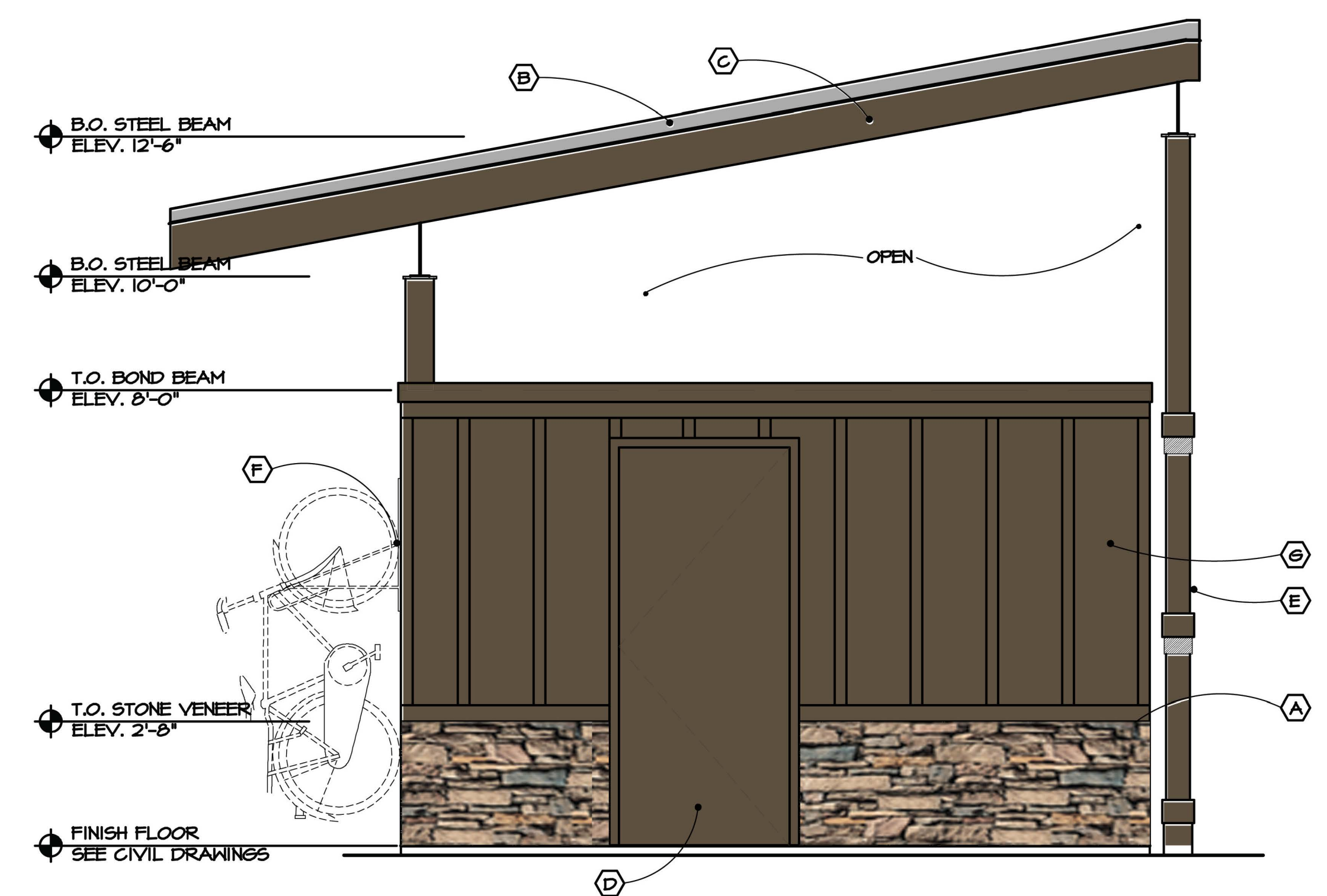
KEY NOTES	
1.	ALL HARDWARE SHALL BE HEAVY DUTY CORROSION RESISTANT.
2.	ALL WELDS SHALL BE BEROUND SMOOTH
3.	THE TOP OF THE TONGUE GUARDS AND GATES SHALL BE LEVEL.
4.	IF REQUIRED, PROVIDE FLARED SIDES OF APRON SLAB TO MEET ADJACENT FINISH SURFACE - SLOPE 1/4" PER FOOT MAX.
5.	ALL GATES (INCLUDING SUPPORTS) SHALL BE PAINTED
6.	CONC. BLK. SHALL BE SEALED AND PAINTED
7.	ALL EXPOSED STEEL PAINTED - CRACKER BARREL BROWN

CRACKER BARREL
OLD COUNTRY STORE, #737
7655 SW NYBERG ST
TUALATIN, OREGON 97062

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1 DUMPSTER ENCLOSURE FRONT ELEVATION
D-1 SCALE: 1/2"=1'-0"



4 DUMPSTER ENCLOSURE LEFT SIDE ELEVATION
D-1 SCALE: 1/2"=1'-0"

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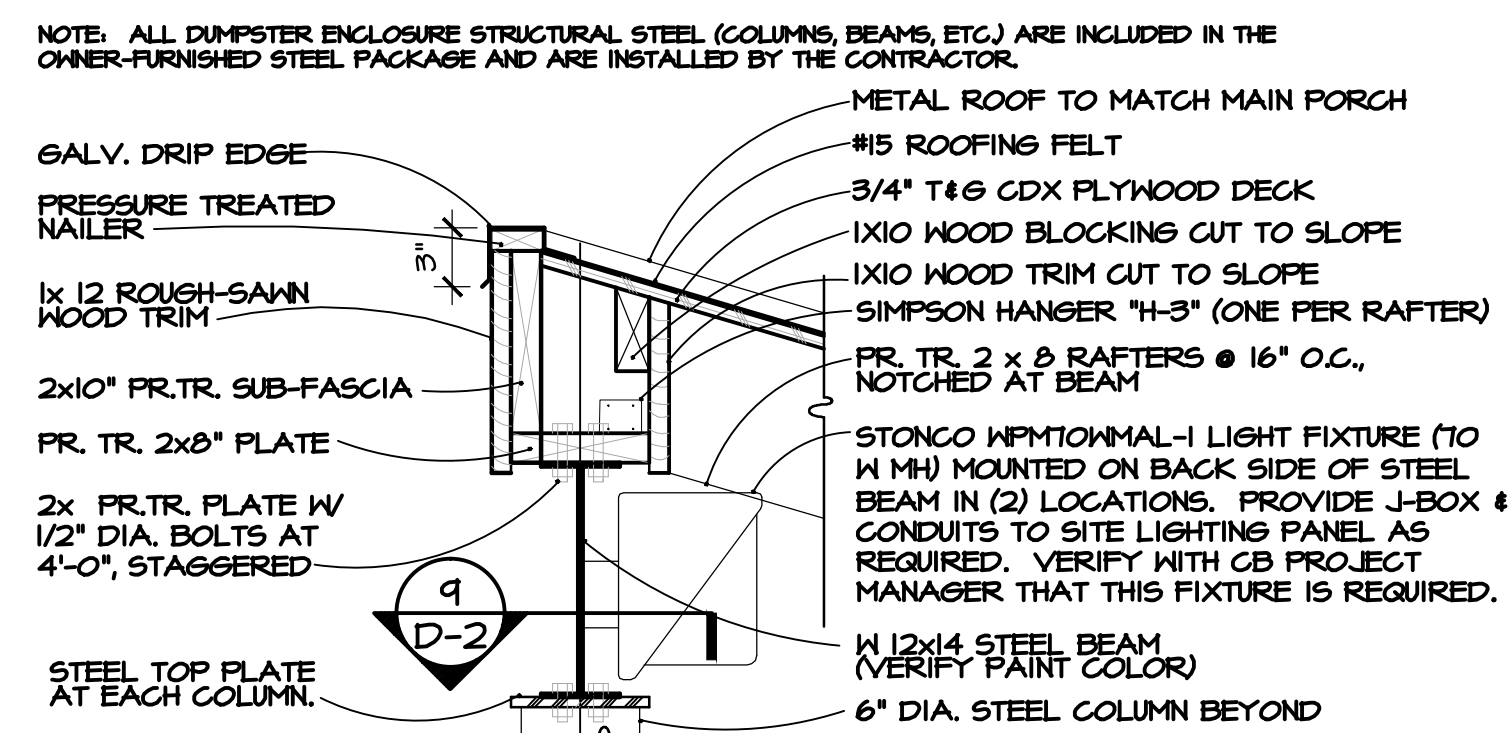
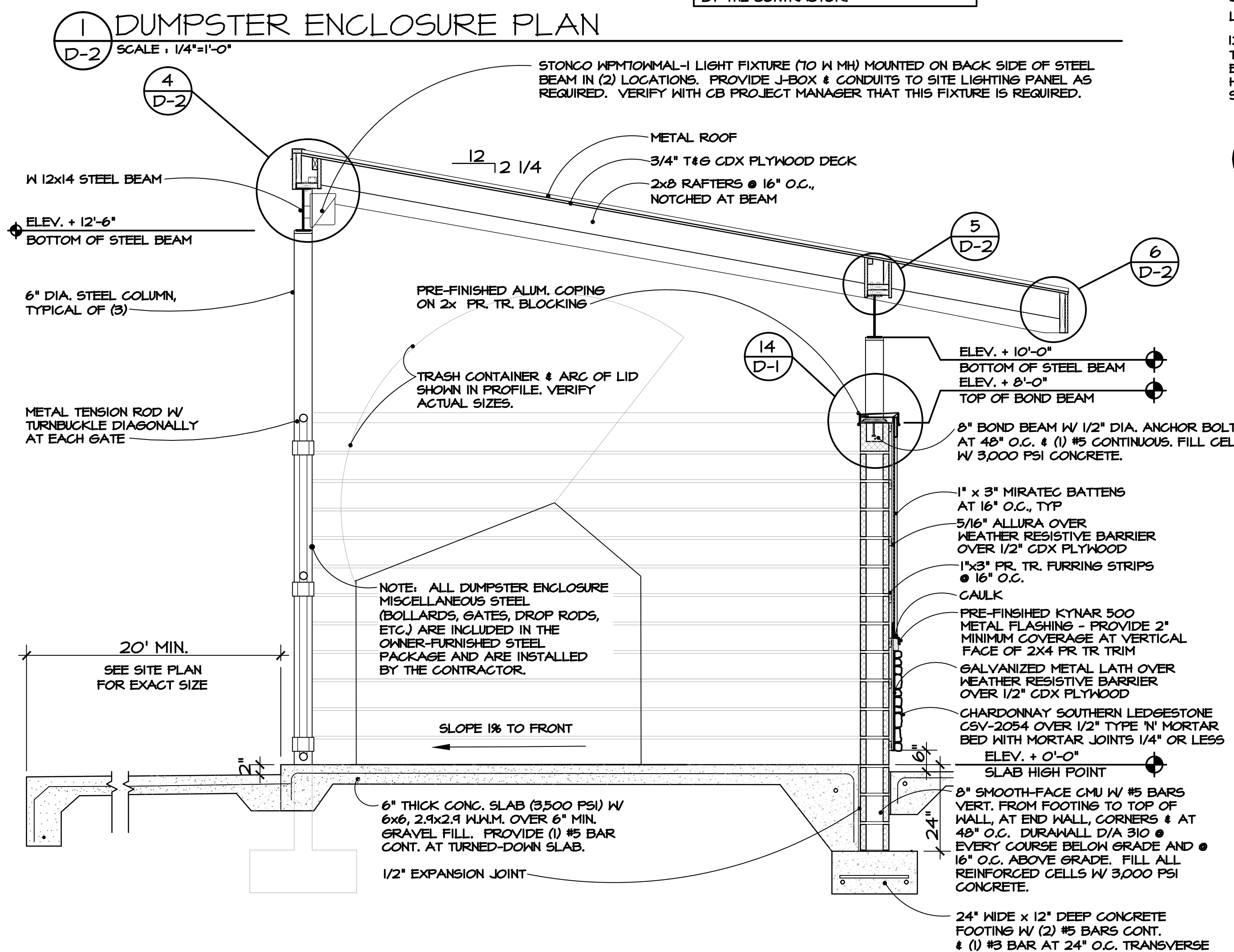
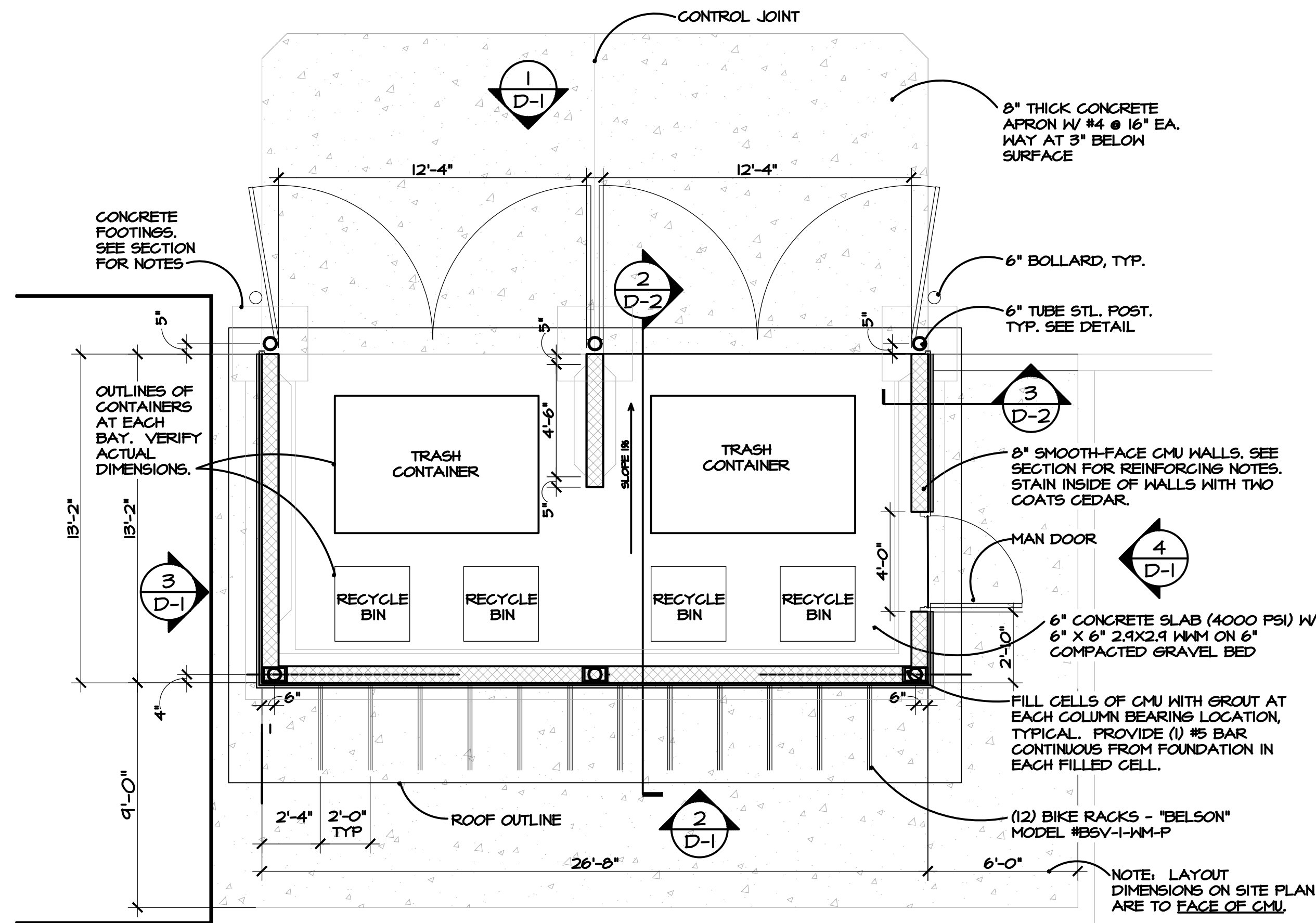
1645 Westgate Circle
Brentwood, TN 37027
615-370-1779
fax: 370-9108
www.dondeinc.us

STRUCTURAL AND CIVIL ENGINEERS

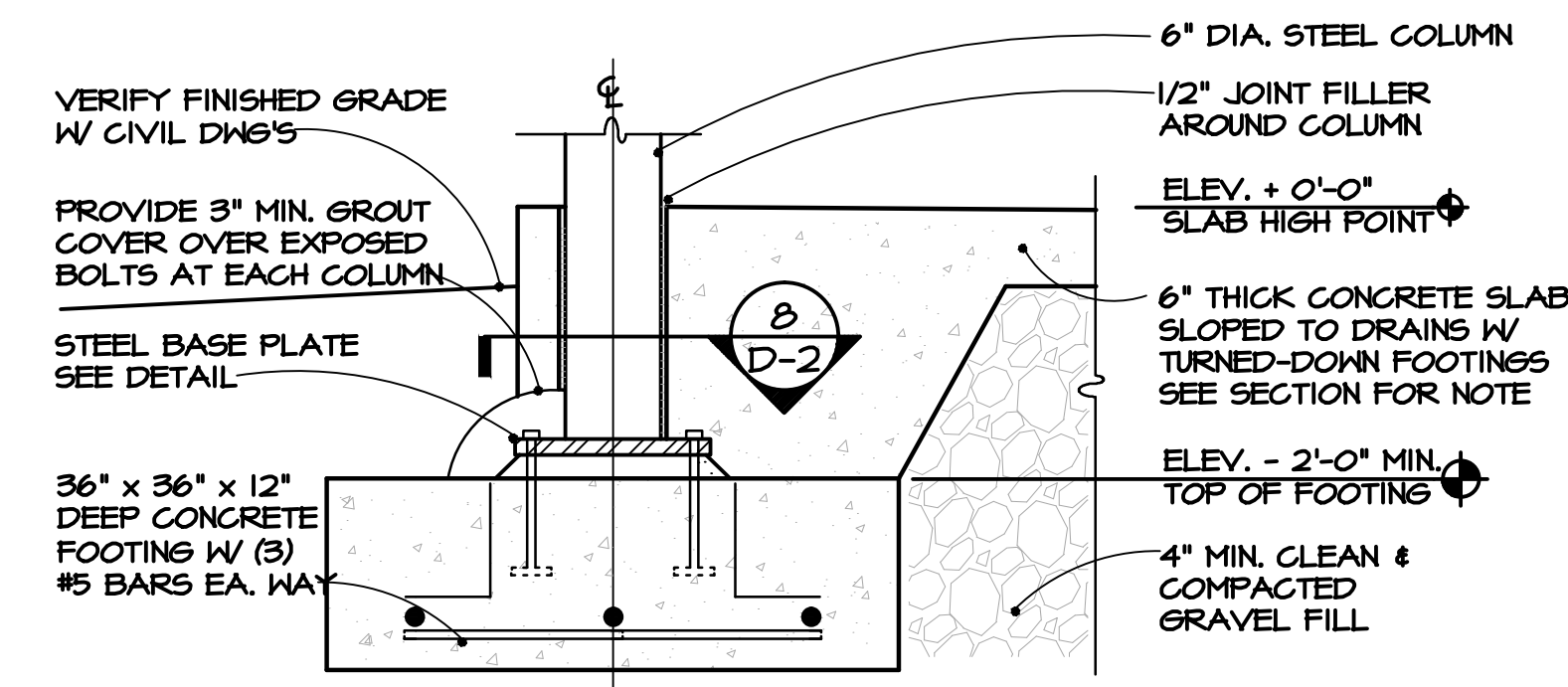
DATE: 10-28-15	
PROJECT NO: 11-1514	
REVISIONS	
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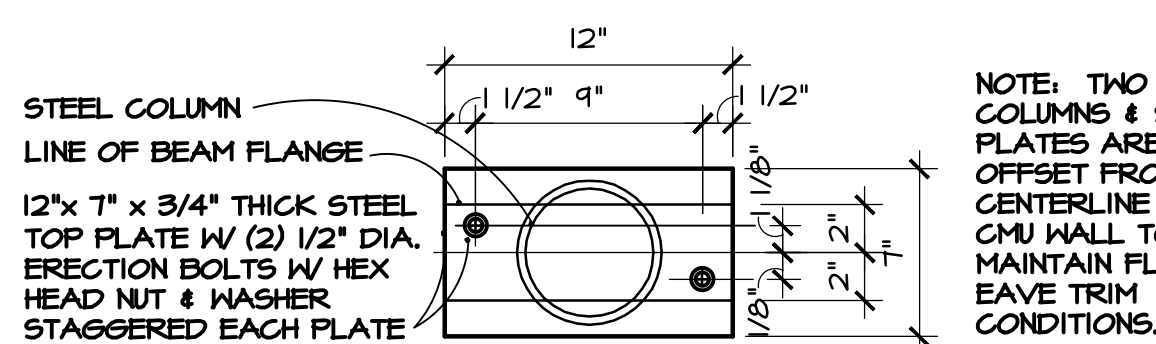
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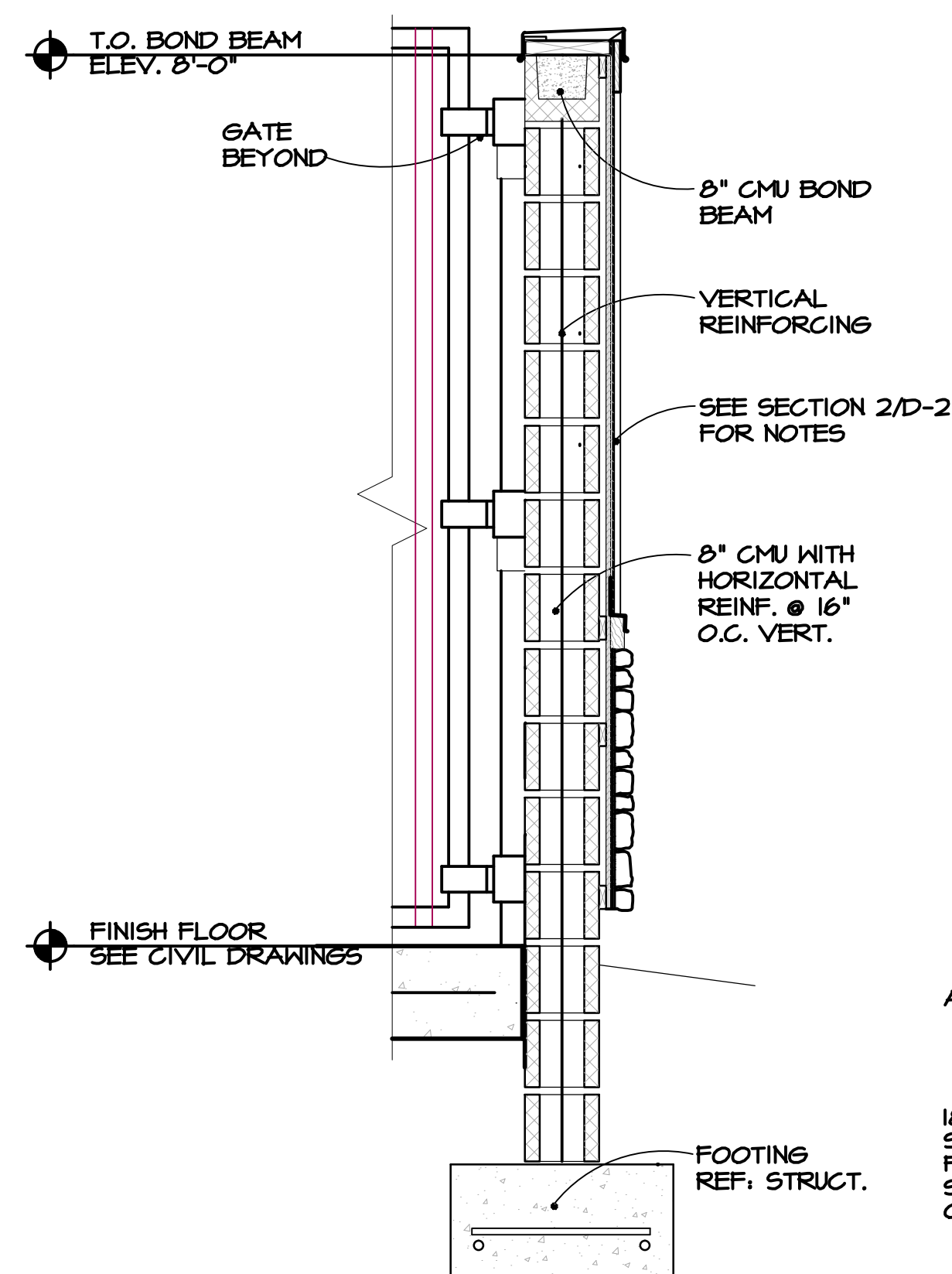
4 SECTION DETAIL
SCALE: 1 1/2"=1'-0"



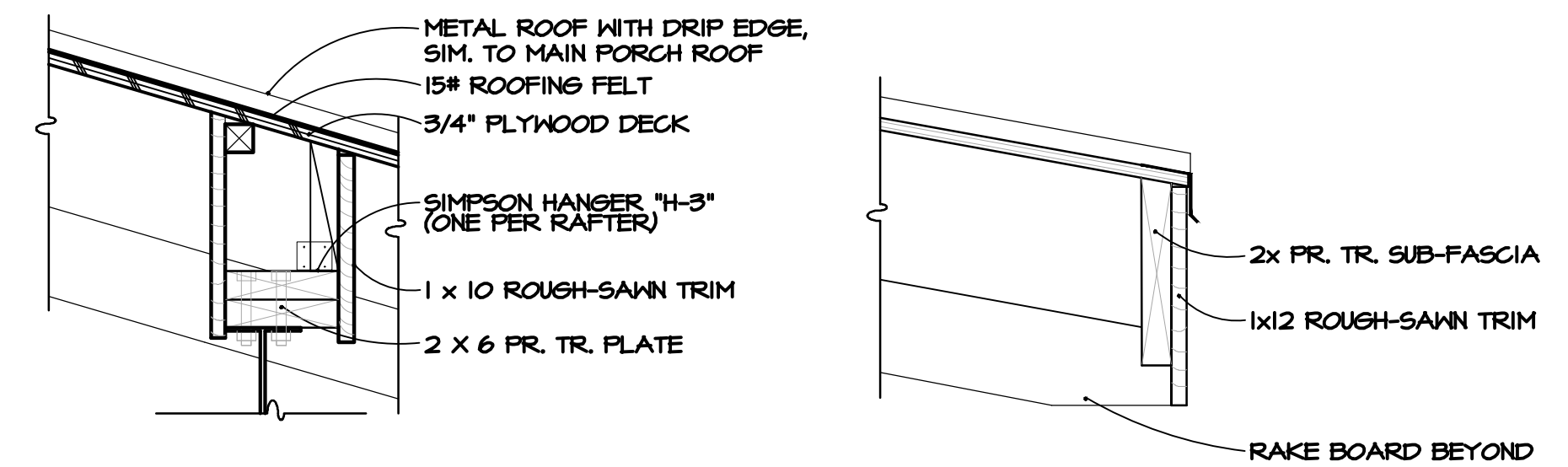
7 SECTION DETAIL
SCALE: 1"=1'-0"



9 PLATE TO BEAM DETAIL
SCALE: 1 1/2"=1'-0"

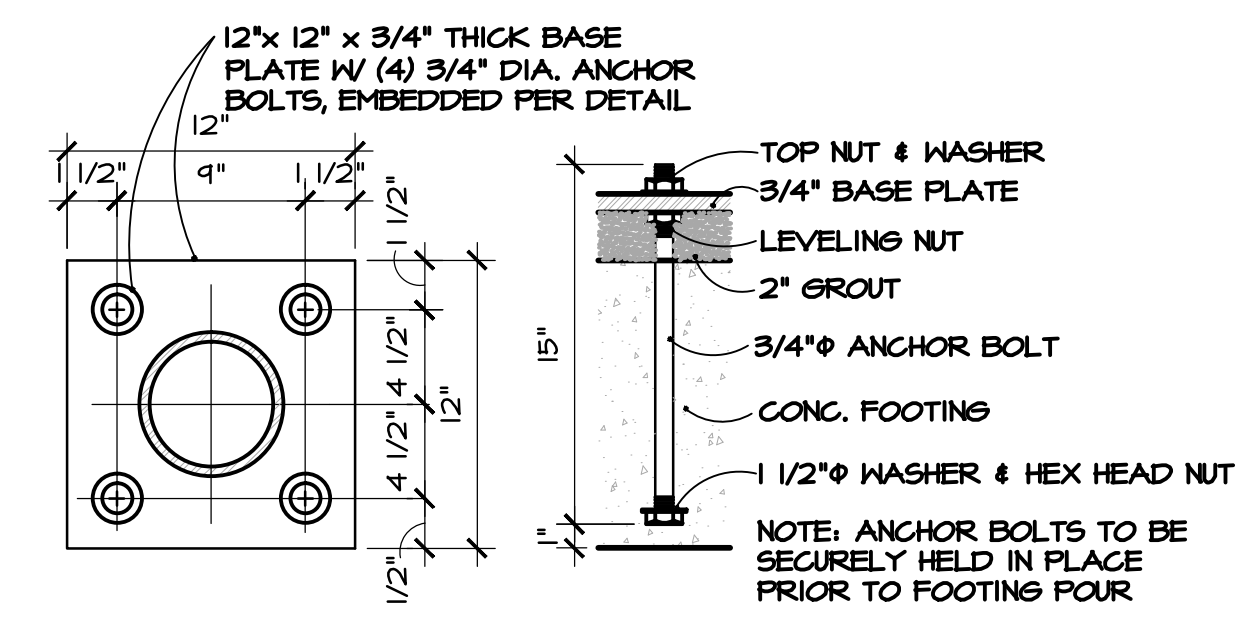


3 WALL SECTION
SCALE: 3/4"=1'-0"

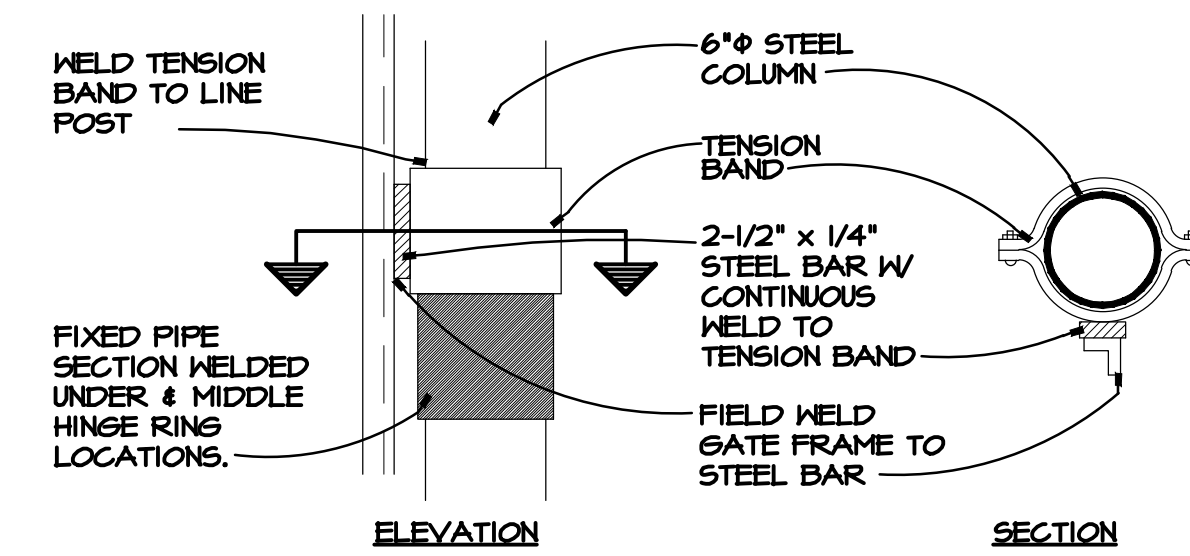


5 SECTION DETAIL
SCALE: 1 1/2"=1'-0"

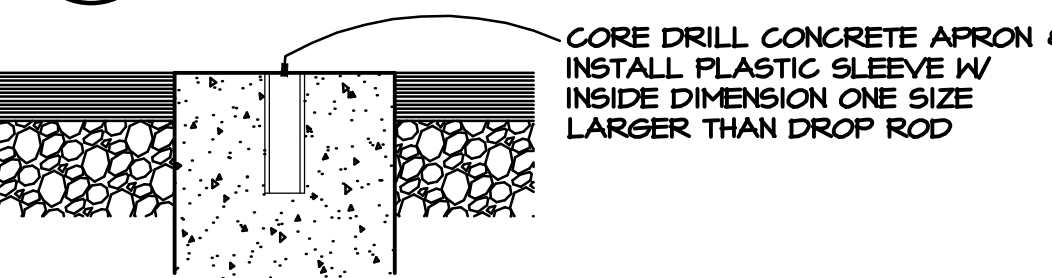
6 ELEVATION VIEW
SCALE: 1 1/2"=1'-0"



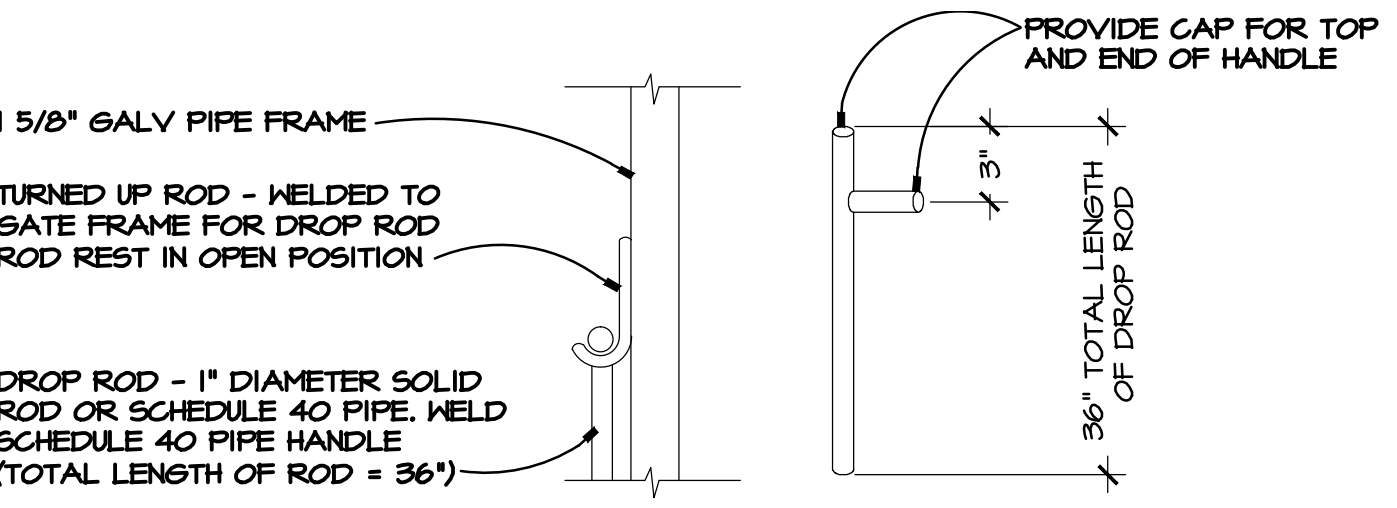
8 PLATE TO COLUMN DETAIL
SCALE: 1 1/2"=1'-0"



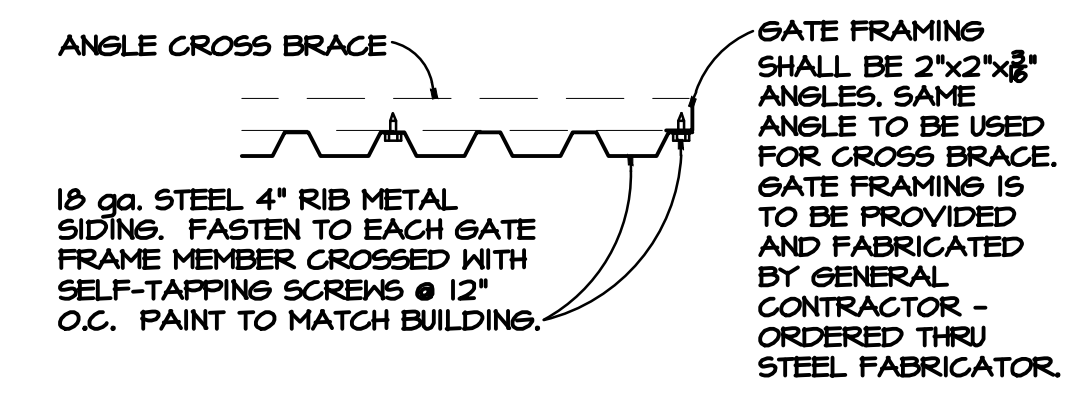
10 GATE DETAIL
SCALE: 1 1/2"=1'-0"



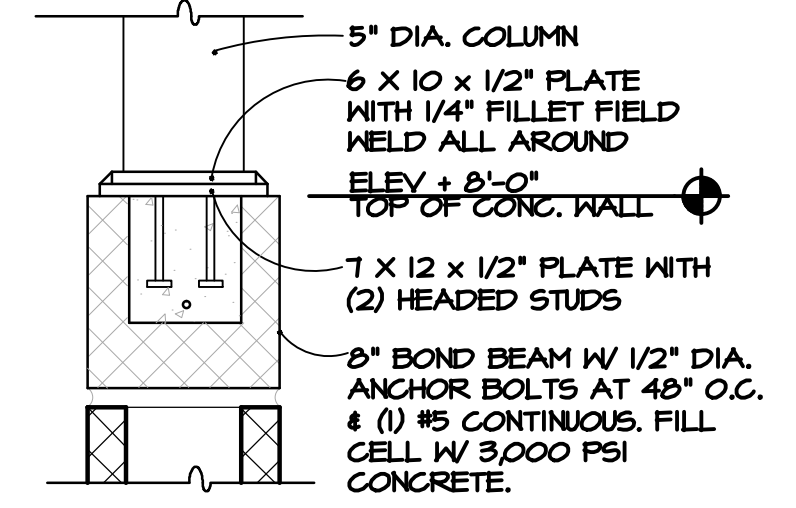
11 GATE HOLD DETAIL
SCALE: 1 1/2"=1'-0"



12 GATE DETAIL
SCALE: 1 1/2"=1'-0"



13 GATE PANEL ATTACHMENT
SCALE: 1 1/2"=1'-0"



14 SECTION DETAIL
SCALE: 1 1/2"=1'-0"

CRACKER BARREL
OLD COUNTRY STORE. #787
7655 SW NYBERG ST
TUALATIN, OREGON 97062

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

PRELIMINARY
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CONSTRUCTION

1645 Westgate Circle
Brentwood, TN 37027
615-370-1779
Fax: 370-9108
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DATE: 10-28-15
PROJECT NO: 11-1574

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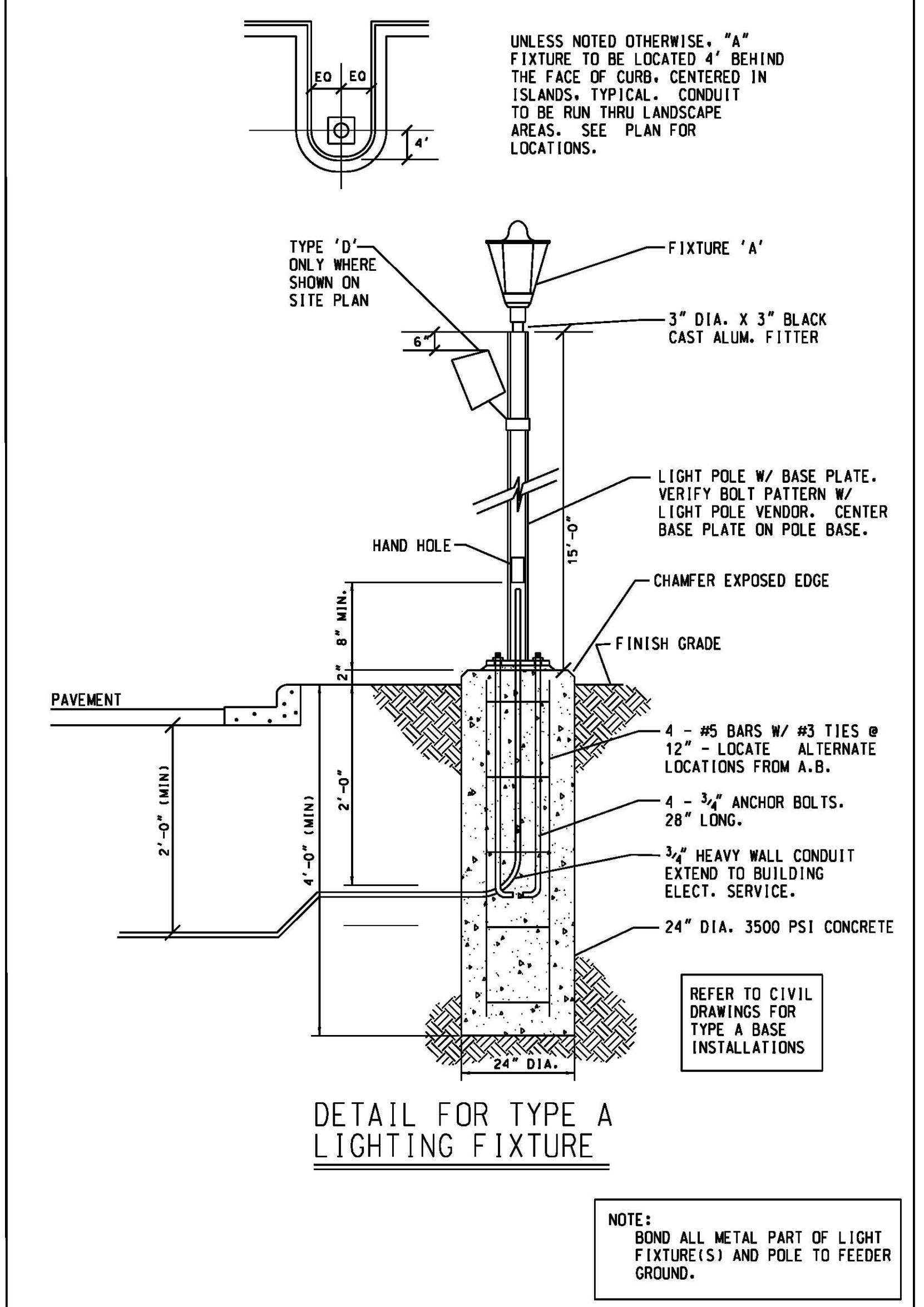
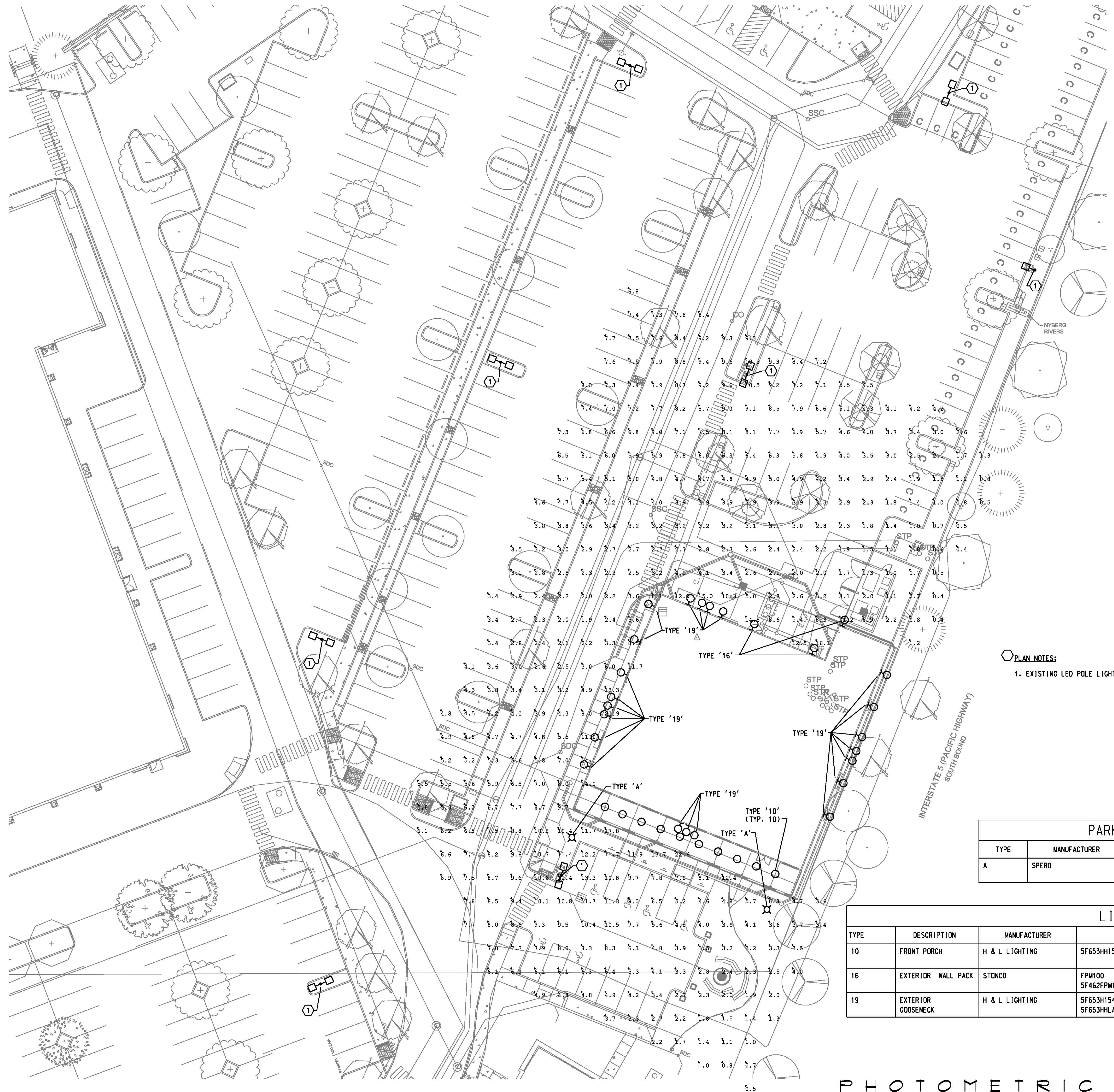
Cracker Barrel
Old Country Store.

DUMPSTER
ENCLOSURE

D-2

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200' = 1" / 4"



PLAN NOTES:
1. EXISTING LED POLE LIGHT TO REMAIN.

PARKING & LANDSCAPE LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS		REMARKS	
			VOLT	QTY		
A	SPERO	SF734CB250BLK	208	1	250 HPS	POLE-SEE BASE DETAIL ON E8 SITE LIGHT (USE UF UL APPROVED CABLE INSIDE OF POLE)

LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LAMPS		REMARKS
					QTY	TYPE	
10	FRONT PORCH	H & L LIGHTING	SF653HH154-91	120	1	75PAR30F	PENDENT MOUNTED-PROVIDE GROUND WIRE TO BASE (SEE DETAIL ON SHEET E7)
16	EXTERIOR WALL PACK	STONCO	FPM100 SF462FPM100MA	120	-	INCL.	WALL MOUNTED @ 9'-0" AFG
19	EXTERIOR GOOSENECK	H & L LIGHTING	SF653H154-91 SF653HHLA3691/SF653DCM9134	120	1	MXR50CUM	SIDE SECURITY LIGHT ON GOOSENECK BRACKET


CRACKER BARREL PROJECT NUMBER:
**CRACKER BARREL
OLD COUNTRY STORE**
TUALATIN, OR

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

ENTECH
ENGINEERING INC.
2000 WILLOW WAY
SUITE 100
LEBANON, TN 37037-2400
(615) 371-3400
www.enteche.com

PHOTOMETRIC
SITE PLAN

INITIAL DATE:
RE-ISSUE DATE:
REVISIONS


Old Country Store

ES1

(SCALE: 1" = 20' - 0")

UNLESS NOTED OTHERWISE, "A" FIXTURE TO BE LOCATED 4' BEHIND THE FACE OF CURB, CENTERED IN ISLANDS. TYPICAL. CONDUIT TO BE RUN THRU LANDSCAPE AREAS. SEE PLAN FOR LOCATIONS.

TYPE 'D' ONLY WHERE SHOWN ON SITE PLAN

FIXTURE 'A'

3" DIA. X 3" BLACK CAST ALUM. FITTER

15'-0"

HAND HOLE

CHAMFER EXPOSED EDGE

FINISH GRADE

4 - #5 BARS W/ #3 TIES @ 12" - LOCATE ALTERNATE LOCATIONS FROM A.B.

4 - 3/4" ANCHOR BOLTS. 28" LONG.

3/4" HEAVY WALL CONDUIT EXTEND TO BUILDING ELECT. SERVICE.

24" DIA. 3500 PSI CONCRETE

24" DIA.

REFER TO CIVIL DRAWINGS FOR TYPE A BASE INSTALLATIONS

DETAIL FOR TYPE A LIGHTING FIXTURE

NOTE:
BOND ALL METAL PART OF LIGHT FIXTURE(S) AND POLE TO FEEDER GROUND.

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Scale
80' = 1" = 80'

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The

house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or APL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during

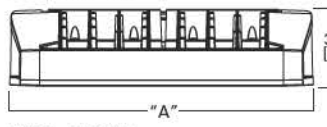
assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

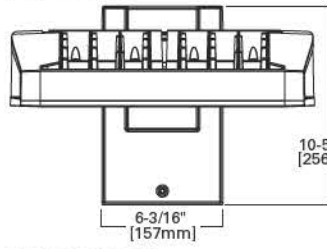
Warranty
Five-year warranty.

DIMENSIONS

POLE MOUNT



WALL MOUNT



DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	10" (254mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	10" (254mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Standard arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 2. EPA calculated with optional arm length.



*www.designlights.org

McGraw-Edison

Catalog #		Type	
Project			
Comments		Date	
Prepared by			



GLEON
GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE



CERTIFICATION DATA
ULUSL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
≥0.9 Power Factor
≤20% Total Harmonic Distortion
120V/277V 60/50Hz
347V & 480V 60Hz
-40°C Min. Temperature
60°C Max. Temperature
90°C Max. Temperature (HA Option)

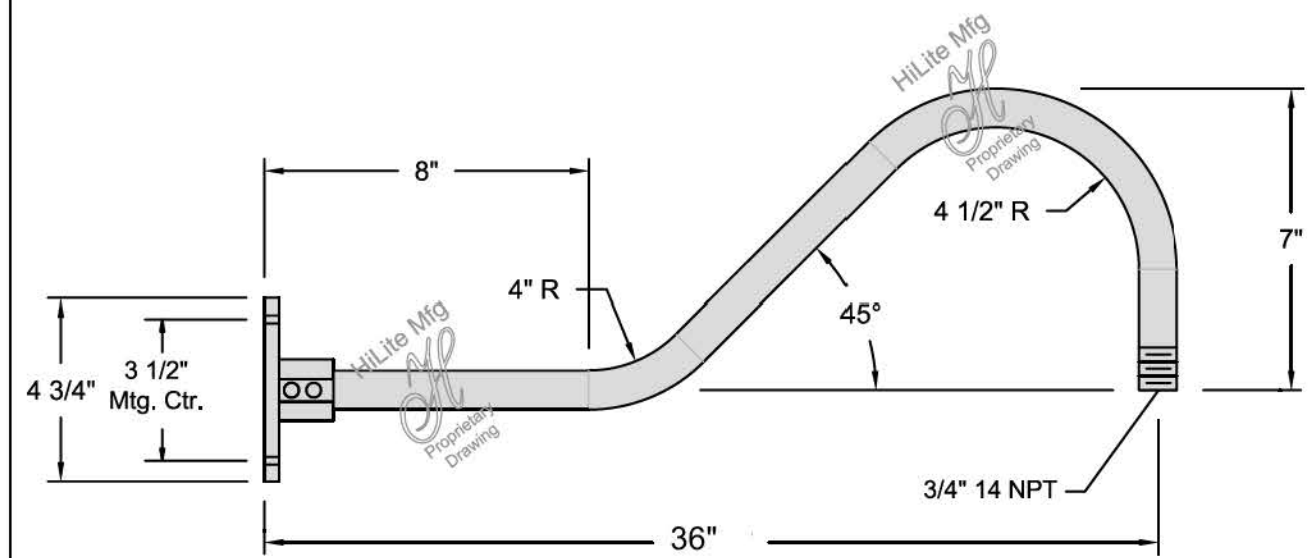


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**HI-LITE MFG.
CO., INC**
13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1969
Toll Free: (800) 465-0211
Fax: (909) 465-0907
www.hilitemfg.com

Job Name:
Type: 019
Quantity:

HL-A



Stem (Conduit)

Item No.	Conduit size and thread	Note.
ST2 (Specify length)	1/2" 14-NPT	Not available in steel, brass, copper or specialty finishes.
ST3 (Specify length)	3/4" 14-NPT	Not available in steel, brass or specialty finishes.

SMC (Stem Mount Canopy)

HD-SMC-1/2" (Heavy Duty Stem Mount Canopy - 1/2")

HD-SMC-3/4" (Heavy Duty Stem Mount Canopy - 3/4")

HSC-1/2" (Hang Straight Canopy - 1/2" - 38 degree Swivel)

HSC-3/4" (Hang Straight Canopy - 3/4" - 35 degree Swivel)

CC (Cord Canopy)

FX (Flexible Tubing) 7/8"

D (Chain Canopy)

BP-1/2" (Back Plate - 1/2")

BP-3/4" (Back Plate - 3/4")

SL (Swivel for IPS Stem only, 1/8" and 1/4")

Stem (Pipe Tubing, 1/8" and 1/4")

Item No.	Conduit size and thread	Note.
ST3/8 (Specify length)	1/8" IPS	Not available in copper or aluminum finishes.
ST1/4 (Specify length)	1/4" IPS	Not available in copper or aluminum finishes.

STC-1 (Stem Canopy for 1/8 or 1/4 IPS Stem)

STC-2 (Stem Canopy for 1/8 or 1/4 IPS Stem)

CRACKER BARREL, PRODUCT NUMBER:
**CRACKER BARREL
OLD COUNTRY STORE**
TUALATIN, OR
THREE CONSTRUCTION DOCUMENTS AND 16 SPECIFICATIONS
THE INFORMATION HEREIN MAY NOT BE USED OR REPRODUCED
WITHOUT THE WRITTEN PERMISSION OF CRACKER BARREL, OLD COUNTRY STORE.

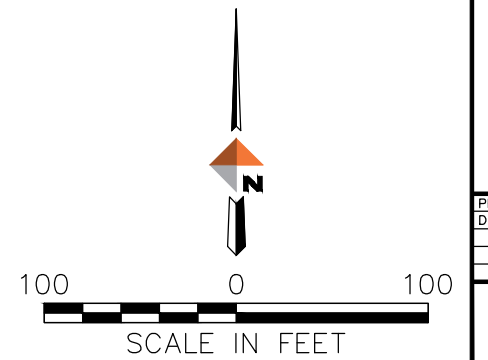
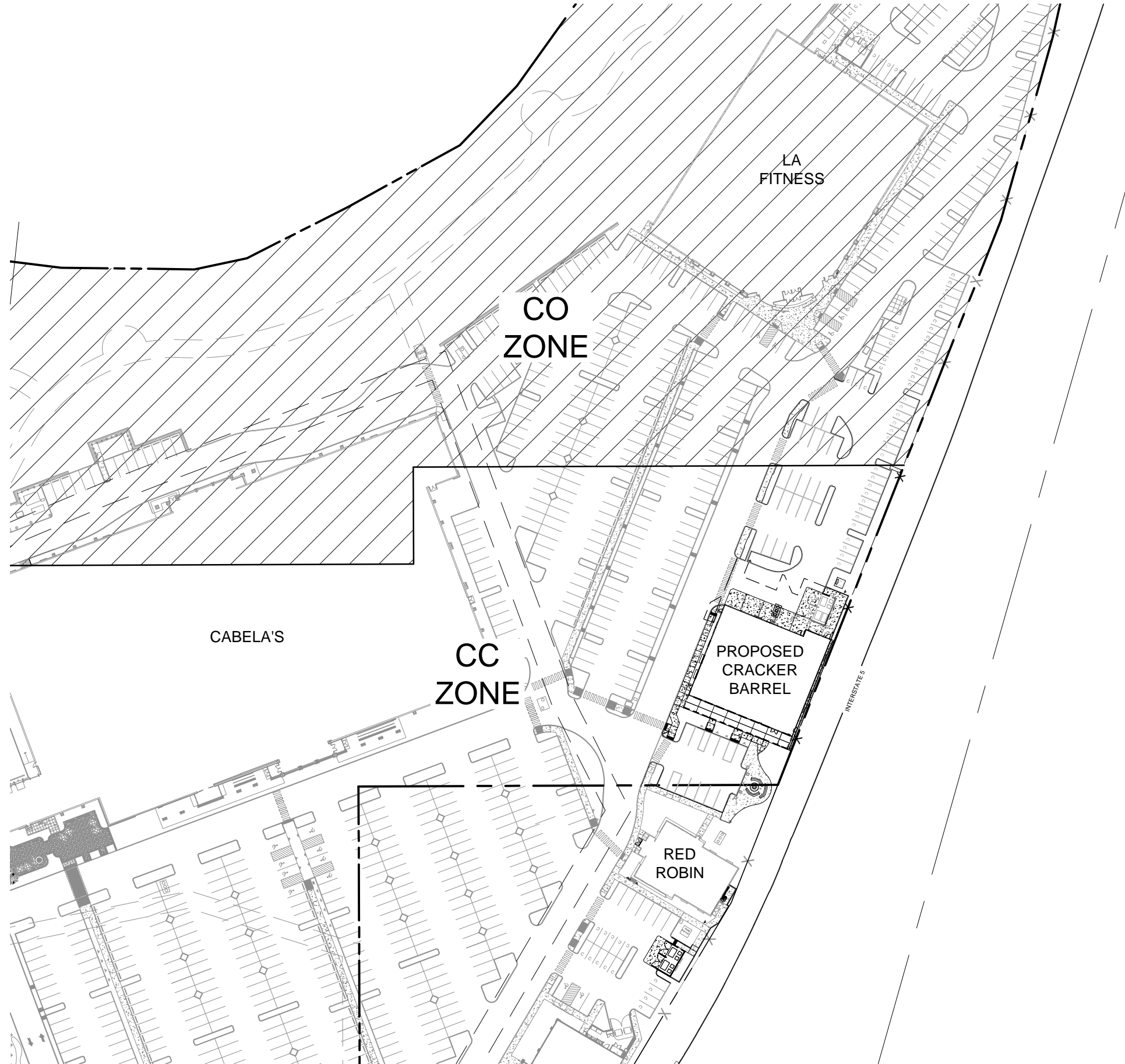
Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

**ENTECH
ENGINEERING INC.**
15110 SUTHERLAND WAY
DALLAS, TEXAS 75246
(469) 377-2560
entechinc.com

REVISION DATE	REVISION DATE



ES3



PROJECT		21503970	
DATE		01/11/2016	
<div>  <div> <div> DOWL </div> <div> WWW.DOWL.COM </div> </div> </div>			
CRACKER BARREL - NYBERG RIVERS TUALATIN, OREGON ZONING EXHIBIT		SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON	
© DOWL, 2016 SHEET			
EX-1			

EXHIBITS

Exhibit A	AR Application
Exhibit B	Narrative
Exhibit C	Tax Map/Title Report
Exhibit D	Pre-Application/Neighborhood Meeting Materials
Exhibit E	Geotechnical Report
Exhibit F	CWS SPL
Exhibit G	Franchise Hauler Plan/Letter
Exhibit H	AR Plan Set
Exhibit I	Zoning Map

AR-15-0025

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