



04.01.2024

TS Construction Management

9760 SW Tigard Street

Tigard, OR, 97223

RE: **Revised Meeting Date and Time:** Cipole Business Center, New Metal Building, 19450 SW Cipole Road, Tualatin OR 97052

Dear Property Owner,

You are cordially invited to attend a meeting on **04.15.2024 at 6:15pm** at the Tualatin Public Library Community Room. This meeting shall be held to discuss a proposed project located at 19450 SW Cipole Road. The proposal is to discuss the construction of a new slab-on-grade commercial metal building with three tenant spaces, each featuring a shop, office, and restroom.

The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet and discuss this proposal and identify any issues regarding this proposal.

Regards,



Carson Pike, Project Engineer

TS Construction Management

P.O. Box 885

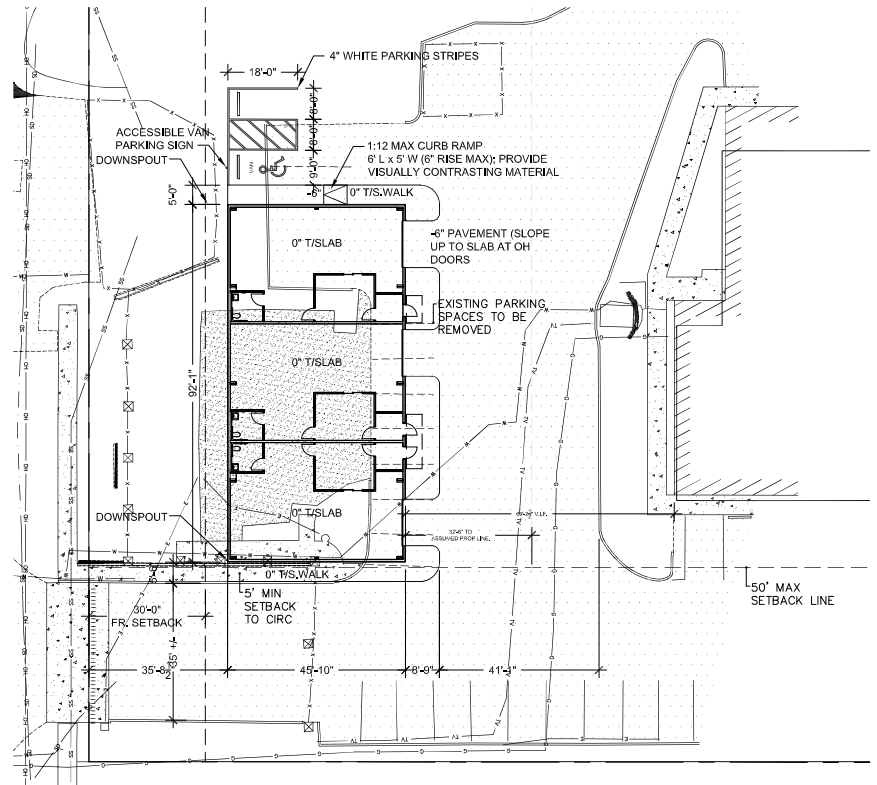
Tualatin, OR 97062

Cell (503)-867-0051

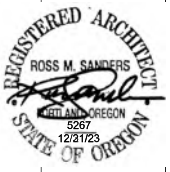
cpike@tsconstructionmanagement.com

ZONING CODE INFORMATION:

JURISDICTION: CITY OF TUALATIN
 SITE ID: 2S121DB90015
 SITE AREA: 3.03 acres (131,986 SF)
 ZONE: MG (GENERAL MANUFACTURING)
 USE: OFFICE/SHOP
 HEIGHT LIMIT: 60' ALLOWED 20-4" PROVIDED
 SETBACKS:
 FRONT (STREET) 30' MIN 30-6" PROVIDED
 SIDE 0-50' MIN (A,R) 50-6" MIN. PROVIDED
 LOT COVERAGE (NEW BUILDING ONLY): 100% ALLOWED
 (DRIP LINE) 4,321/ 131,986 = 3.27%



1 ARCHITECTURAL SITE PLAN
 FOR REFERENCE ONLY. SEE CIVIL PLANS FOR GRADING, UTILITIES & EROSION CONTROL
 1/16" = 1'-0"



CIPOLE ROAD
 COMMERCIAL BUILDING
 19452 CIPOLE ROAD
 TIGARD, OR 97052

REVISION DATE

EXISTING & PROPOSED SITE PLANS

REVIEW SET 01/10/2024 **A1.0**

EGRESS PLAN LEGEND

- xx' EGRESS TRAVEL DISTANCE
- 75' FE TRAVEL DISTANCE (SHOWN AS RADIUS)
- FIRE EXTINGUISHER (75' TRAVEL DIST MET AT ALL SUITES)
- EXIT SIGN
- EXTERIOR BLDG LIGHT FOR EGRESS LIGHTING - SEE A202 & ELECTRICAL LIGHTING PLAN

JURISDICTION: CITY OF TUALATIN
 BASED ON THE 2022 OREGON STRUCTURAL SPECIALTY CODE
 CONSTRUCTION TYPE: TYPE II-B
 AUTOMATIC SPRINKLERS SYSTEM PROVIDED

PROPOSED OCCUPANCIES: 'F-1' & 'B' (NON-SEPARATED)
 PROPOSED BUILDING AREA: GROUND FLOOR (F-1): 3,001 SF
 (B): 693 SF
TOTAL: 3,694 SF PROPOSED (NET)

TABLE 504.3 ALLOWABLE BLDG HEIGHT (II-B; F-1 & B W/SPRINKLERS): 75' (LIMITED TO 60' MAX PER ZONING); 20'-3" PROPOSED
 TABLE 504.4 ALLOWABLE STORIES ABOVE GRADE (II-B W/SPRINKLERS): (F-1) 3 MAX; (B) 4 MAX; 1 STORIES PROPOSED
 TABLE 506.2 ALLOWABLE AREA (II-B W/SPRINKLERS): (F-1) 62,000 SF/STORY; (B) 92,000 SF/STORY; 3,694 SF (4,310 GSF) TOTAL PROPOSED

SECT. 508.4 NON-SEPARATED OCCUPANCIES - COMPLYING WITH MOST RESTRICTIVE OF PROPOSED OCCUPANCIES (B, F-1)

TABLE 601 FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS FOR II-B: NONE

SECT. 705.3 BUILDINGS ON SAME LOT- ASSUMED IMAGINARY LINE IS 36'-8" FROM NEW BUILDING
 TABLE 705.5 FIRE RATING AT EXTERIOR WALLS BASED ON FSD:
 F-1 (SHOP): 30' MIN FSD = 0 HR RATED WALL
 B (OFFICE): 30' MIN FSD = 0 HR RATED WALL
 SECT. 705.6 STRUCTURAL STABILITY NO RATING REQUIRED FOR OUT OF PLANE BRACING ELEMENTS PER T. 601
 TABLE 705.8 MAX AREA OF WALL OPG'S PER FSD: N/A (FSD IS >30')
 SECT. 705.11 PARAPET NOT REQUIRED PER EXCEPTIONS 1 & 3

TABLE 803.13 SPRINKLERED ROOMS & ENCLOSED SPACES (F & B): MIN. CLASS C FINISHES AT INTERIOR: CLASS A PROPOSED

SECT. 903.2.4 AUTOMATIC SPRINKLER SYSTEM (F-1, B): NOT REQUIRED

SECT. 1003.5 ELEVATION CHANGE: 6" OR LESS, RAMP W/ CONTRASTING MATERIALS (PROVIDED AT EXTERIOR SIDEWALK)

TABLE 1004.5 OCCUPANT LOAD

GROUND FLOOR SHOP A101 (INDUST.): $\frac{10000}{1000}$ = 11 OCCs
GROUND FLOOR OFFICE A102 (BUSINESS): $\frac{1000}{500}$ = 2 OCCs
GROUND FLOOR SHOP B101 (INDUST.): $\frac{1000}{100}$ = 11 OCCs
GROUND FLOOR OFFICE B102 (BUSINESS): $\frac{1000}{500}$ = 2 OCCs
GROUND FLOOR SHOP A101 (INDUST.): $\frac{1000}{100}$ = 10 OCCs
GROUND FLOOR OFFICE A102 (BUSINESS): $\frac{1000}{500}$ = 2 OCCs

SECTION 1005.3 MEANS OF EGRESS WIDTH (SPRINKLERED)
 GROUND FLOOR SHOPS A101, B101: (DOORS): 0.15' X 11 OCCs = 1.65' REQ'D; 34.5' PROVIDED AT (1) EGRESS DOOR
 GROUND FLOOR SHOP C101: (DOORS): 0.15' X 10 OCCs = 1.5' REQ'D; 34.5' PROVIDED AT (1) EGRESS DOOR
 GROUND FLOOR OFFICES A102, B102 & C102: (DOORS): 0.15' X 13 (TOTAL) OCCUPANTS = 1.95' REQ'D; 34.5' PROVIDED AT (1) EGRESS DOOR

TABLE 1006.2.1.1 SPACES W/ 1 EXIT OR EXIT ACCESS:
 GROUND FLOOR SHOP A101 (F-1, SPR'D): 49 OCCs MAX & 100' COMMON PATH MAX ALLOWED
 11 OCCs & 69'-6" MAX COMMON PATH PROVIDED = 1 EXIT REQ'D, 1 PROVIDED
 GROUND FLOOR OFFICE (B, SPR'D): 49 OCCs MAX & 100' COMMON PATH MAX ALLOWED
 2 OCCs & 23'-6" MAX COMMON PATH PROVIDED = 1 EXIT REQ'D, 1 PROVIDED
 GROUND FLOOR SHOP B101 (F-1, SPR'D): 49 OCCs MAX & 100' COMMON PATH MAX ALLOWED
 11 OCCs & 65' MAX COMMON PATH PROVIDED = 1 EXIT REQ'D, 1 PROVIDED
 GROUND FLOOR OFFICE (B, SPR'D): 49 OCCs MAX & 100' COMMON PATH MAX ALLOWED
 2 OCCs & 23' MAX COMMON PATH PROVIDED = 1 EXIT REQ'D, 1 PROVIDED

GROUND FLOOR SHOP C101 (F-1, SPR'D): 49 OCCs MAX & 100' COMMON PATH MAX ALLOWED
 10 OCCs & 67'-6" MAX COMMON PATH PROVIDED = 1 EXIT REQ'D, 1 PROVIDED
 GROUND FLOOR OFFICE (B, SPR'D): 49 OCCs MAX & 100' COMMON PATH MAX ALLOWED
 2 OCCs & 23'-6" MAX COMMON PATH PROVIDED = 1 EXIT REQ'D, 1 PROVIDED

TABLE 1006.3.3 STORIES W/ ONE EXIT:
 1-500 OCCs (39 PROVIDED) = 1 EXIT REQ'D, 3 PROVIDED

SECTION 1008 MEANS OF EGRESS ILLUMINATION
 INTERIOR FIXTURES TO PROVIDE 1 Fc MIN AT WALK SURFACES & 0.2 Fc MIN AT EXTERIOR DOOR LANDINGS
 ON EMERGENCY GENERATOR (90 MIN REQ'D) - SEE ELECTRICAL FOR LIGHTING PLAN

SECTION 1009 ACCESSIBLE MEANS OF EGRESS
 ALL EXITS ARE ACCESSIBLE PER CH 12 & ANSI 117.1

SECTION 1010 DOORS
 NEW 36" EXIT DOORS (34.5" CLEAR WHEN OPEN) PROVIDED; 32" REQUIRED
 NEW DOORS SWING OUTWARD (IN DIRECTION OF TRAVEL)
 FORCE: 15 LB LATCH FORCE, 30 LB MOTION FORCE, 15 LB FULLY OPEN FORCE MAX
 LANDINGS AT DOORS: 44" IN D.O.T. (PROVIDED)
 THRESHOLDS ARE ACCESSIBLE: $\frac{1}{2}$ " MAX, BEVELED @ 1:2 IF > $\frac{1}{2}$ "
 DOOR HARDWARE IS LEVER-HANDLED W/ OWNER-PROVIDED ACCESS CONTROLS AT EXTERIOR,
 ALWAYS OPEN FROM INTERIOR

SECTION 1013 EXIT SIGNS
 ILLUMINATED EXIT SIGNS PER PLANS (NOT REQ'D WHERE ONLY 1 EXIT IS REQUIRED, PROVIDED VOLUNTARILY)

SECTION 1016.2 EGRESS THROUGH INTERVENING SPACES - EXCEPTION: NOT PROHIBITED IN H/S/F IF ADJACENT ROOM IS SAME OR LESSER HAZARD OCCUPANCY GROUP; PER 2021 IEBC T, 1011.5; B, F-1 & S-1 ARE ALL LEVEL 4 HAZARD OCCUPANCY

SECTION 1017.2 EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)
 GROUND FLOOR SHOP A101 (F-1): ALLOWABLE 250' MAX, 70' PROVIDED
 GROUND FLOOR OFFICE: A102 (B): ALLOWABLE 300' MAX, 31'-6" PROVIDED
 GROUND FLOOR SHOP B101 (F-1): ALLOWABLE 250' MAX, 67' PROVIDED
 GROUND FLOOR OFFICE B102 (B): ALLOWABLE 300' MAX, 31'-6" PROVIDED
 GROUND FLOOR SHOP C101 (F-1): ALLOWABLE 250' MAX, 65' PROVIDED
 GROUND FLOOR OFFICE C102 (B): ALLOWABLE 300' MAX, 31'-6" PROVIDED

SECTION 1018.5 AISLE WIDTH (IN B/M & IN OTHER THAN A/B/M) PER T. 1020.3:
 OCC LOAD < 50 = 36" MIN REQUIRED, 36" MIN PROVIDED

SECTION 1028 EXIT DISCHARGE
 EXTERIOR EXIT STAIRS DISCHARGE TO OPEN SPACE AT WALKWAY TO PUBLIC WAY

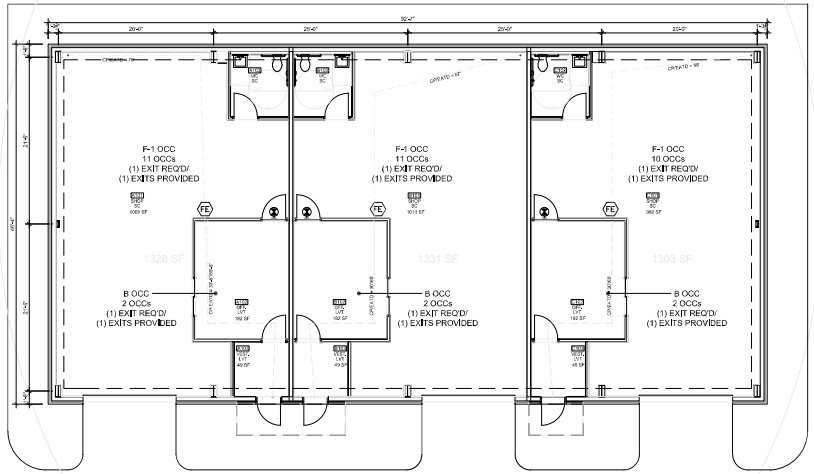
SECT. 1102.1.2.7 VEHICLE SPACES BASED ON O.T.C. 'STANDARDS FOR ACCESSIBLE PARKING' - SEE SITE PLAN
 SECT 1104.1 ACCESSIBLE ROUTE TO PUBLIC WAY: AREA OF SAFE DISPERSAL IN PARKING LOT & CONNECTION TO PUBLIC R.O.W.
 SECT. 1105.1 ENTRIES ARE ACCESSIBLE
 TABLE 1106.1.1 TO 25' PARKING SPACES PROVIDED: 1 ACCESSIBLE SPACE (VAN) REQUIRED; 1 VAN SPACE PROVIDED W/ AISLE & SIGN

TABLE 2902.1 PLUMBING FIXTURE COUNT:
 SUITE A (FACT/IND. USE): 13 OCCs (1 WC/100 OCCs, 1 LAV/100 OCCs REQ'D); 1 WC/ 1 LAV PROVIDED
 SUITE B (FACT/IND. USE): 13 OCCs (1 WC/100 OCCs, 1 LAV/100 OCCs REQ'D); 1 WC/ 1 LAV PROVIDED
 SUITE C (FACT/IND. USE): 12 OCCs (1 WC/100 OCCs, 1 LAV/100 OCCs REQ'D); 1 WC/ 1 LAV PROVIDED

2021 OEESC (ASHRAE 90.1 2019)
 SECT. 5.2 AIR LEAKAGE: CONTINUOUS AIR BARRIER REQUIRED, WITH SEALING AT ALL INTERSECTIONS, JOINTS, OPENINGS (PROVIDED)

SECT. 5.4.3 VESTIBULE REQUIRED AT EXTERIOR TO CONDITIONED SPACES (PROVIDED)

T. 5-5.4 BUILDING ENVELOPE REQ'S - CLIMATE ZONE 4
 ROOF (METAL BUILDING): R-19 + R-11 LS (OR R-25 + R-8 LS)
 WALL (METAL BUILDING): R-9 + R-4.5 d
 SLAB ON GRADE (UNHEATED): R-15 FOR 24"



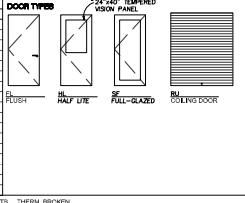
1 GROUND FLOOR EGRESS PLAN 1/8" = 1'-0"

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CODE STUDY & GROUND FLOOR EGRESS PLAN

DOOR/WINDOW SCHEDULE

DOOR #	ROOM NAME	DOOR INFO						FRAME			REMARKS		
		NOMINAL SIZE	SWING	TYPE	MATL.	FINISH	HOWRY	GLAZ. NOTES	TYPE	MATL.		FINISH	
A101	SHOP 0-10	10' X 10'	-	STL	STL	FACT	H1	-	TEMPERED	SF	AL	FACT	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A102	ENTRY	3'0" X 6'0"	LH	GL	AL	FACT	H1	-	TEMPERED	SF	AL	FACT	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A103	OFFICE	3'0" X 6'0"	LHR	GL	STL	ST	H2	-	TEMPERED	-HM	STL	P	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A104	UNBEL	3'0" X 6'0"	LHR	FL	WD	ST	H3	-	TEMPERED	-HM	STL	P	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A105	VESTIBULE	3'0" X 6'0"	LHR	GL	AL	FACT	H1	-	TEMPERED	-HM	STL	P	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A106	SHOP 0-10	10' X 10'	-	STL	STL	FACT	H4	-	TEMPERED	SF	AL	FACT	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A107	ENTRY	3'0" X 6'0"	LH	GL	AL	FACT	H1	-	TEMPERED	SF	AL	FACT	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A108	OFFICE	3'0" X 6'0"	LHR	GL	STL	ST	H2	-	TEMPERED	-HM	STL	P	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A109	UNBEL	3'0" X 6'0"	LHR	FL	WD	ST	H3	-	TEMPERED	-HM	STL	P	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
A110	VESTIBULE	3'0" X 6'0"	LHR	GL	AL	FACT	H1	-	TEMPERED	-HM	STL	P	OVERLEAD DOOR COMPANY MOD. 902 THERMOCLIC SECTIONAL DOOR - OWNER TO VERIFY MANUAL VS POWER OP. STOREFRONT ENTRY W/ENSL GLASS. SIGN ON INT FACE OF FRAME THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.



WINDOW GROUPS BY FUNCTION

1. ALUM. STOREFRONT ENTRY DOOR - EXTERNALLY OPERATED. ALUM. MINOR SYSTEM WITH RUBBER GASKET. INSULATED FRAME. FRAME AND GLASS. WEATHER PROOF. ACCESSIBLE. THERMOCLIC DOOR. ACCESS CONTROLS BY OWNER.

2. OFFICE DOOR. LEVER HANDLE W/ OUTSIDE KNOCKDOWN. LEVER HANDLE. ACCESSIBLE. LEVER/NOCK DOWN. WIDE FRAME. SILENCERS. 0\"/>

3. TOILET ROOM DOOR. LEVER HANDLE. OUTSIDE KNOCKDOWN. LEVER HANDLE. ACCESSIBLE. INDICATOR HEAD. SECURITY BUTTS. FRAME 2 1/2\"/>

4. DOUBLE DOOR. CHIMNEY LOCK AND MANUAL OPERATOR ON INSIDE. WEATHER. PROOF. THERMOCLIC. 0\"/>

ABBREVIATIONS

FACT FACTORY GL GLASS GLAZED P PAPERED STL STEEL TR THERM. BROKEN AL ALUMINUM F FULL HM HOLLOW METAL SF STOREFRONT (ALUM) ST STAINED WD WOOD

DOOR & WINDOW NOTES

1. DOOR HANDLE TO BE MOUNTED AT 34\"/>

2. COORDINATE LOW VOLTAGE SYSTEMS & ACCESS CONTROLS W/ OWNER.

3. GROUND DOORS TO OPEN FROM WITHIN WITHOUT KEY OR SPECIAL KNOWLEDGE. COORD. ACCESS CONTROLS TO ALLOW DOORS TO ALWAYS OPEN FROM WITHIN.

4. ENERGY CODE REQUIREMENTS FOR EXTERIOR DOORS SHOWN UNLESS OTHERWISE NOTED. MIN. ROLLS ARE 1/2\"/>

5. ALL COLOR CHANGES TO ANY FINISH OR MATERIALS TO BE APPROVED BY ARCHITECT. 0\"/>

6. SEE MATERIALS FOR FRAMING DETAILS AT INTERIOR AND DOOR FRAMES.

LEGEND

- 101 OFFICE SC ROOM NUMBER ROOM NAME FLOOR FINISH (VFY W/ OWNER PRIOR TO ORDERING): SC (SEALED CONCRETE NON-SLIP FINISH)
- LVT-1 (LUXURY VINYL TILE - CLICK-LOCK); SHAW FLOORTE 0455V RANIER 'HARBOR BAY 5030'; INSTALL PER MFR RECOMMENDATIONS OVER LEVEL PL W/D (GLUED & NAILED) SUBFLOOR; INSTALL PTD WOOD 1X4 BASE (EBONY MINWAX STAIN W/ SATIN FINISH)
- CPT-1 (CARPET SQUARES); MOHAWK COLOR BALANCE TILE 949 CONCRETE 12'X36' CARPET SQUARES ON LEVEL SUBFLOOR; INSTALL 4\"/>
- INSTALL LOW-PROFILE TRANSITION STRIPS AT TRANSITION BETWEEN FLOORING FINISHES - SEE 3/A.1
- SW/ WALL MTD FIXTURE SWITCH @ 44\"/>
- FIXTURE ASSOCIATED W/ EACH SWITCH - SEE REFLECTED CEILING PLAN FOR MORE INFORMATION

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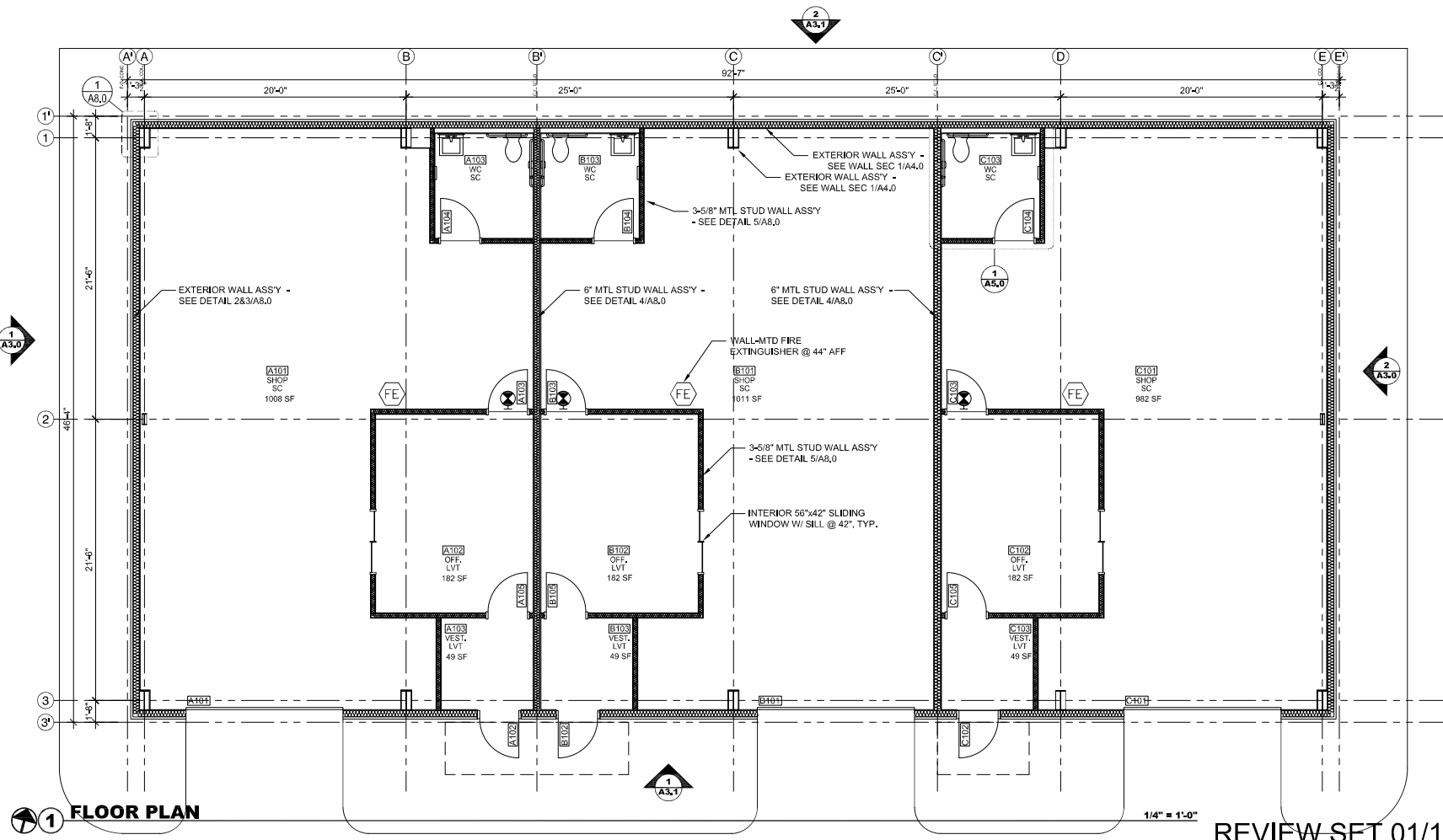
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REGISTERED ARCHITECT
ROSS M. SANDERS
STATE OF OREGON

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FLOOR PLAN

A2.0



FLOOR PLAN

1/4" = 1'-0"

REVIEW SET 01/10/2024



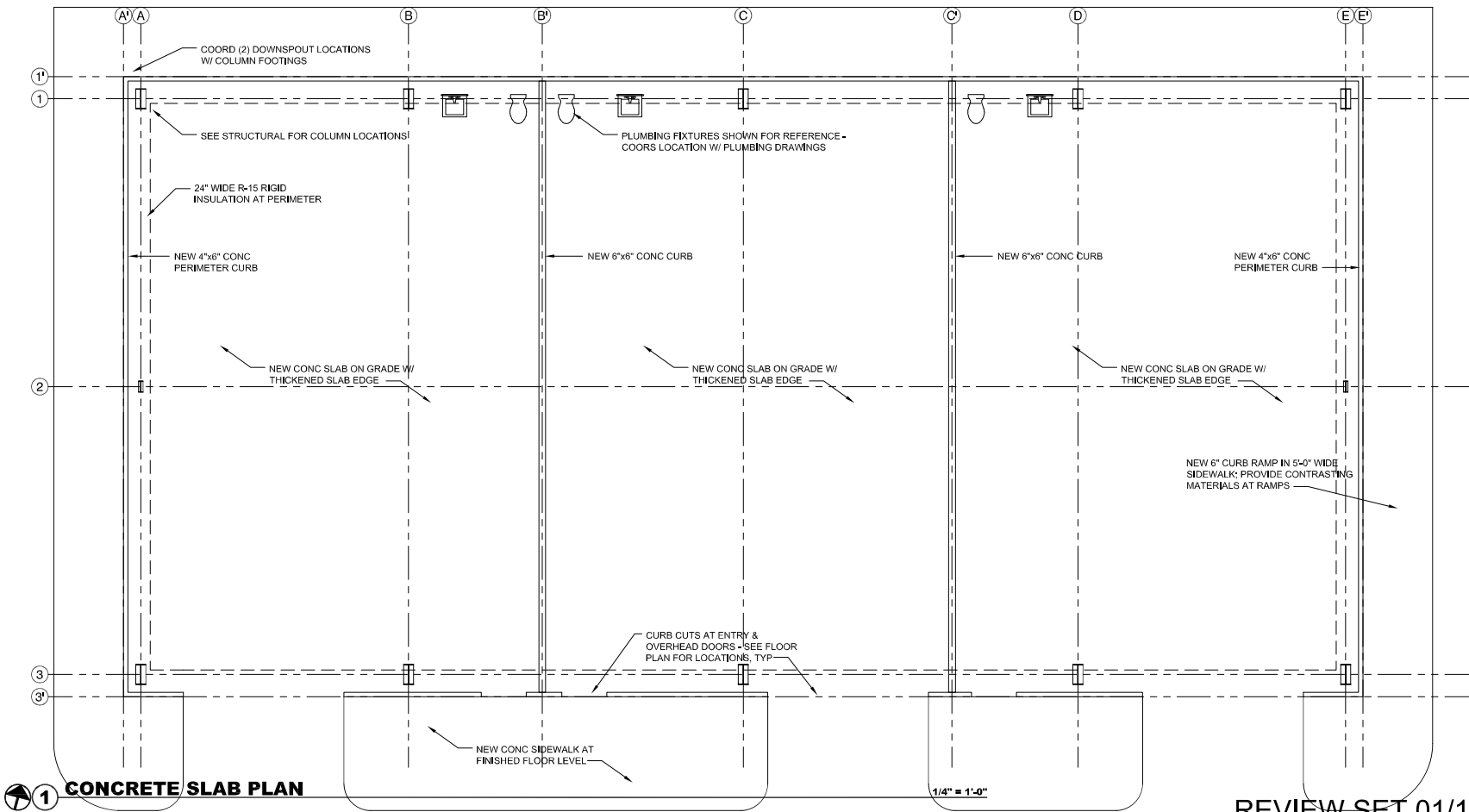
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ARCH'L SLAB PLAN















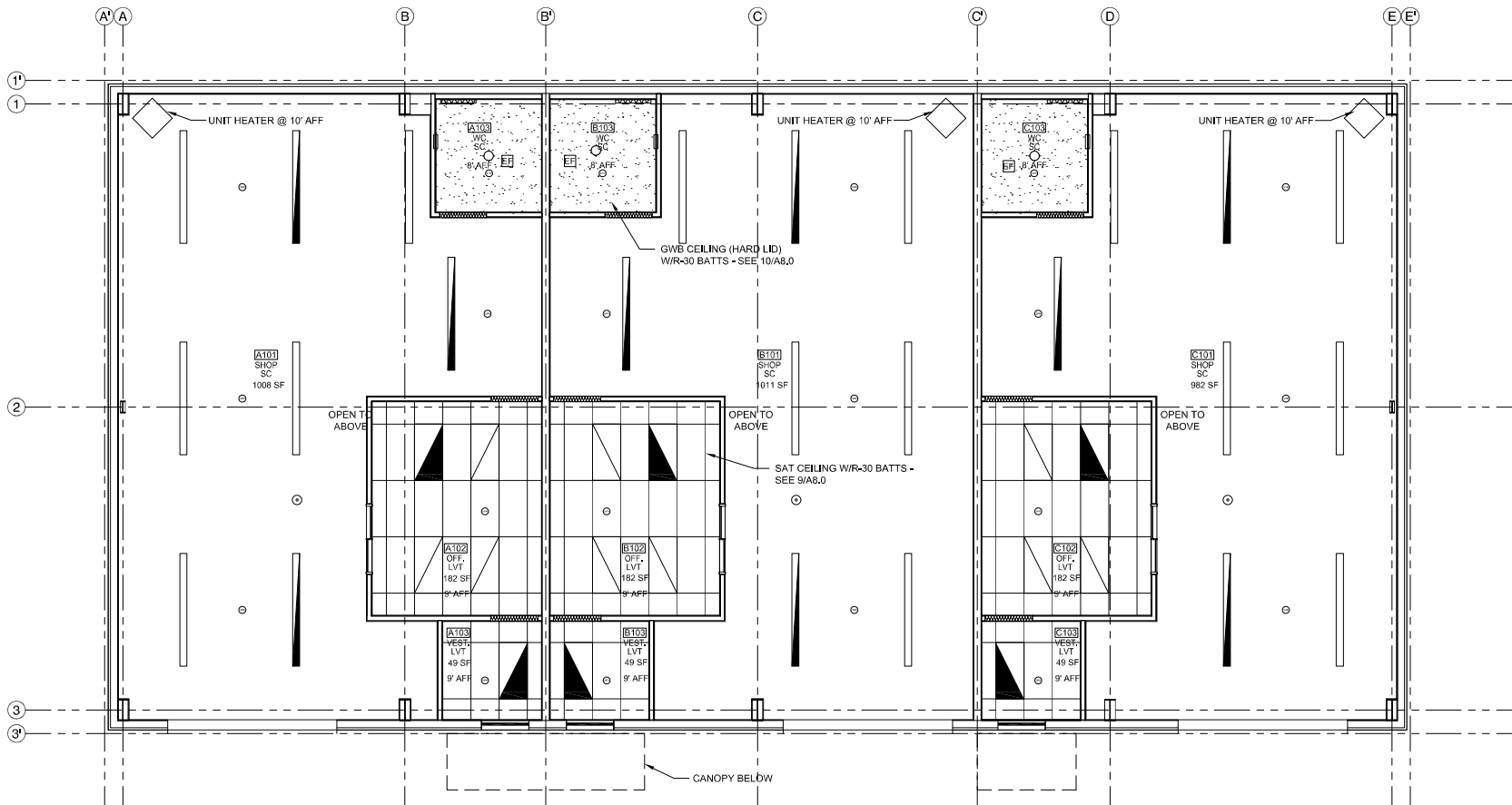
1 CONCRETE SLAB PLAN

1/4" = 1'-0"

REVIEW SET 01/10/2024 **A2.1**

RCP LEGEND

-  NEW GWB CEILING (MR SHEETROCK @ BATHROOMS)
-  NEW SUSPENDED CEILING GRID SYSTEM - SEE 14/A8.1
-  SMOKE DETECTOR (CONNECT TO BUILDING POWER, INTERCONNECT ALL DETECTORS)
-  4" LED DOWNLIGHT (WET AREA RATED AT RESTROOMS & KITCHEN)
-  4" OUTDOOR RATED LED DOWNLIGHT
-  EXHAUST FAN W/ WALL-MTD MANUAL SWITCH
-  BUILDING-MOUNTED LED LIGHT W/ LIGHT POLLUTION CUT-OFF BAFFLE TO DIRECT LIGHT DOWNWARD
-  WALL-MTD LED VANITY LIGHT OVER MIRROR (WET AREA RATED)
-  2X4 LED LIGHT PANEL (LOW-PROFILE)
-  2X4 LED LIGHT PANEL LOW-PROFILE ON EMERGENCY CIRCUIT
-  LINEAR LED LIGHT PANEL @ 12' AFF
-  SPRINKLER HEAD (FINAL LAYOUT BY SPRINKLER DESIGNER IN DEFD SUBM.)



1 REFLECTED CEILING PLAN
 LIGHTING & HVAC LAYOUT PROVIDED AS DESIGN REFERENCE ONLY - SEE MECHANICAL & ELECTRICAL DRAWINGS FOR MORE INFORMATION

1/4" = 1'-0"

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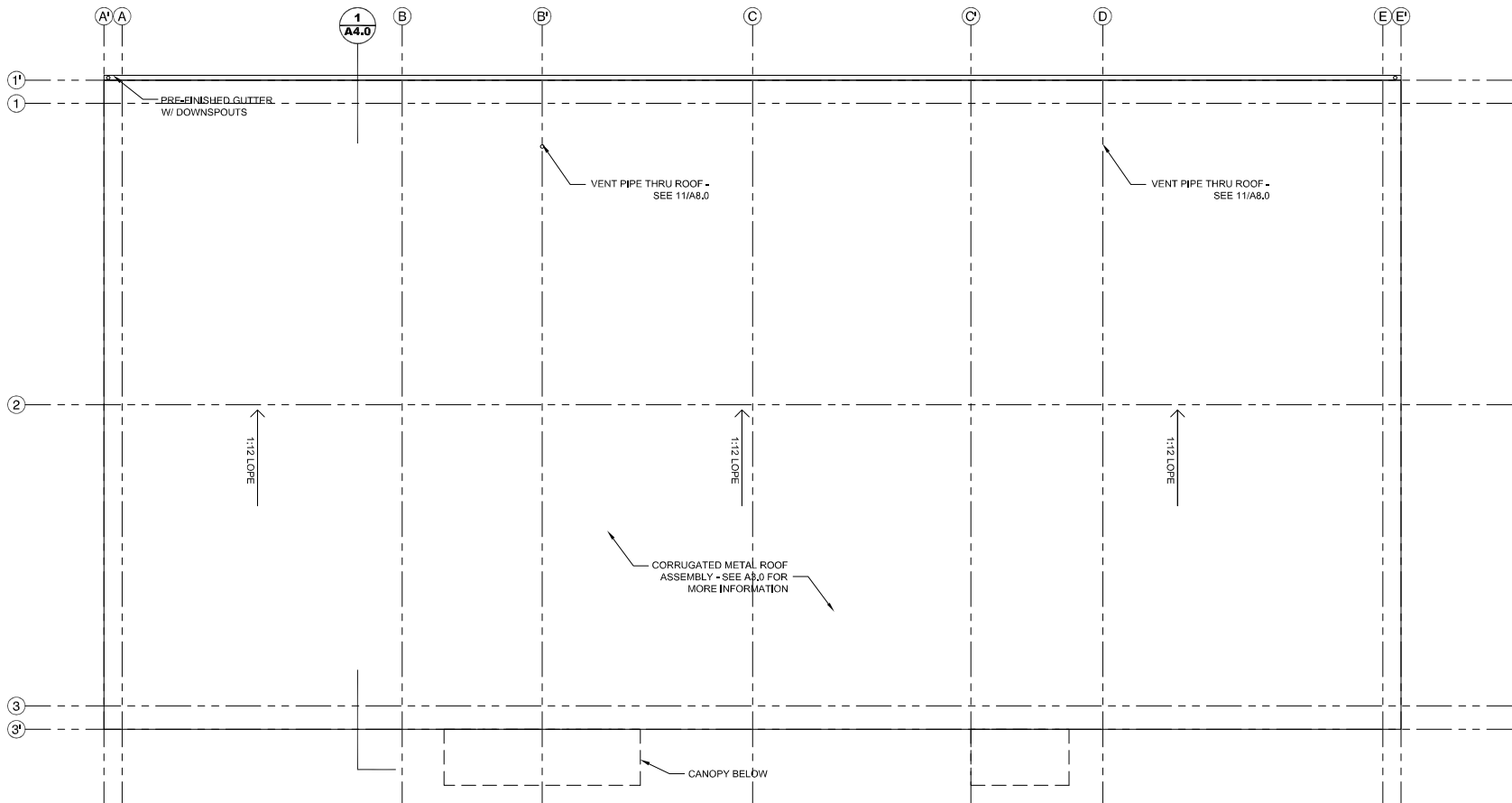
REFLECTED
 CEILING
 PLAN

A2.2



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1 ROOF FLOOR PLAN

1/4" = 1'-0"

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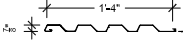
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ROOF PLAN

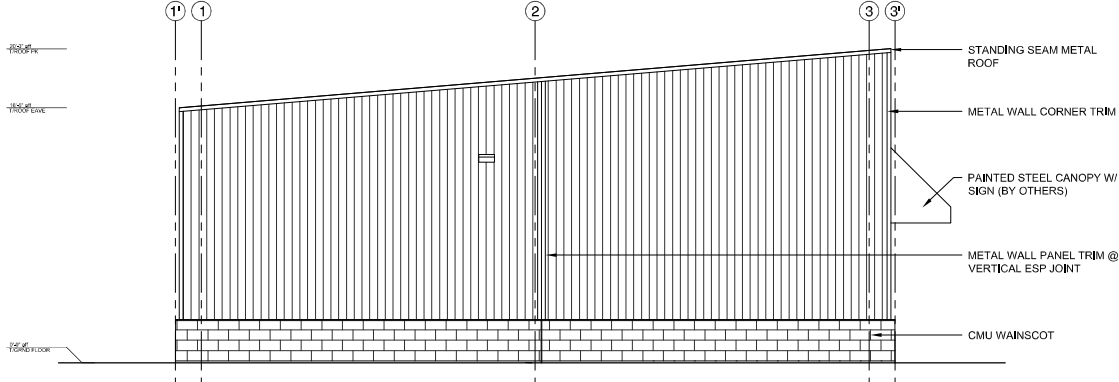
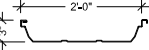
A2.3

EXTERIOR MATERIALS

METAL SIDING: 24 GA. MBCI MASTERLINE 16 HIDDEN-FASTENER SIDING PANELS IN CHARCOAL GRAY, W/ MATCHING TRIM PIECES

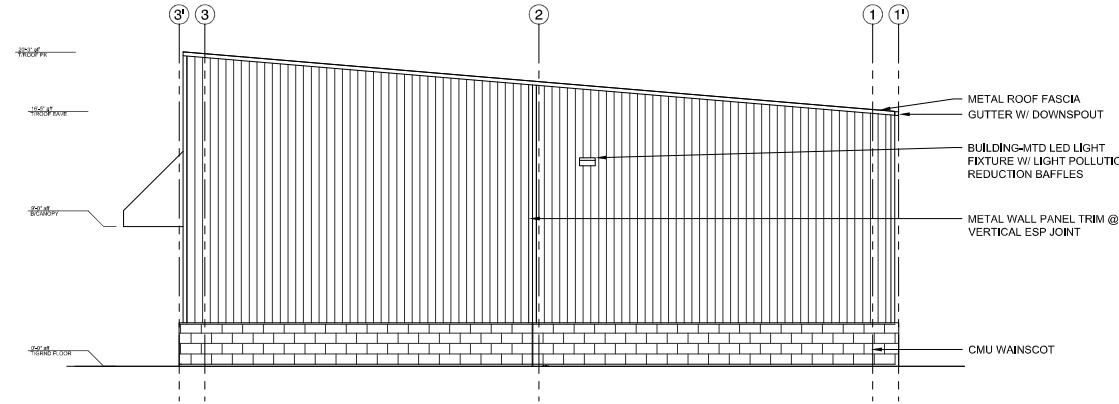


METAL ROOF: 24 GA. MBCI DOUBLE-LOK STANDING SEAM ROOF PANELS IN SLATE GRAY, W/ INTEGRAL BOX GUTTER & MATCHING TRIM PIECES



2 EXTERIOR ELEVATION - SOUTH
SEE FLOOR PLANS FOR WINDOW & DOOR DESIGNATIONS

1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
SEE FLOOR PLANS FOR WINDOW & DOOR DESIGNATIONS

1/4" = 1'-0"



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EXTERIOR ELEVATIONS SOUTH & NORTH

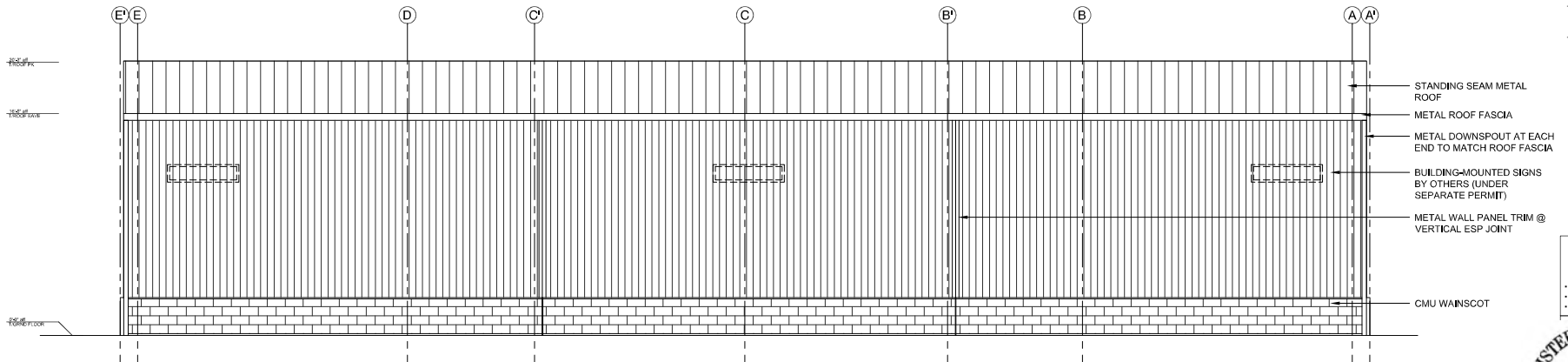
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A3.0



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2 EXTERIOR ELEVATION - WEST
SEE FLOOR PLANS FOR WINDOW & DOOR DESIGNATIONS

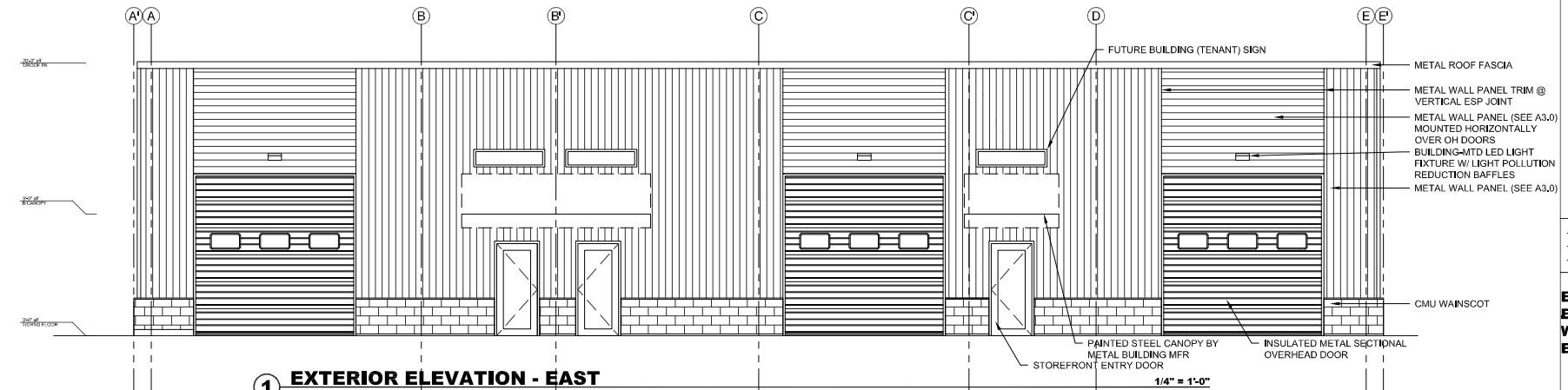
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**EXTERIOR
ELEVATIONS
WEST &
EAST**

A3.1



1 EXTERIOR ELEVATION - EAST
SEE A3.0 FOR MORE INFORMATION

1/4" = 1'-0"

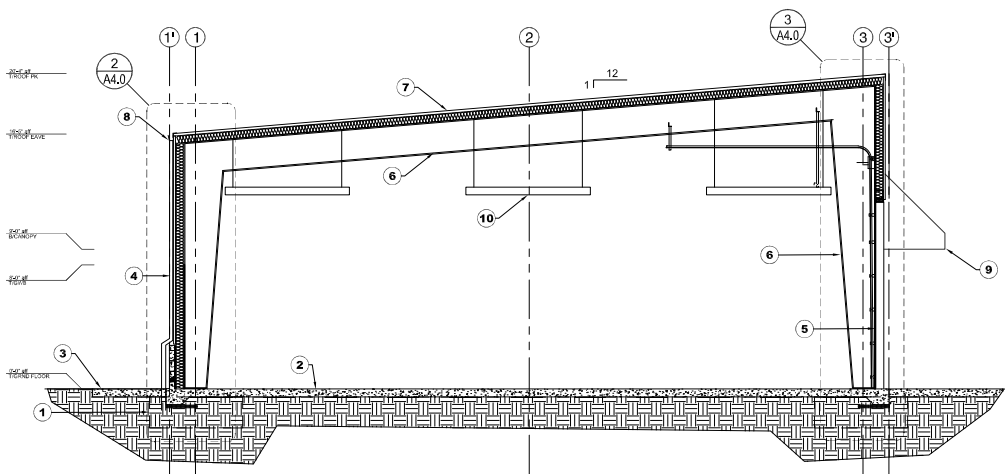
REVIEW SET 01/10/2024

KEYNOTES

- 1. CONCRETE FOUNDATION AT METAL BUILDING COLUMNS
- 2. CONCRETE SLAB ASSEMBLY W/ THICKENED EDGE, 8"x1 1/2" CURB (W/4X4 WWF MESH) ON GRADED FILL W/ VR
- 3. SLOPE ADJACENT GRADE AWAY FROM BUILDING @ 1:50 MAX
- 4. EXTERIOR WALL ASSEMBLY - SEE 2&3/A&B,0
- 5. SECTIONAL OVERHEAD DOOR ASSEMBLY
- 6. METAL BUILDING COLUMNS/ROOF STRUCTURE
- 7. CORRUGATED METAL ROOF ON PURLINS
- 8. GUTTER & DOWNSPOUT - MATCH EXTERIOR TRIM COLOR; TIE TO STORM SYSTEM (SEE CIVIL)
- 9. STEEL CANOPY BY METAL BUILDING MFR
- 10. SUSPENDED LED LIGHT FIXTURES - SEE RCP

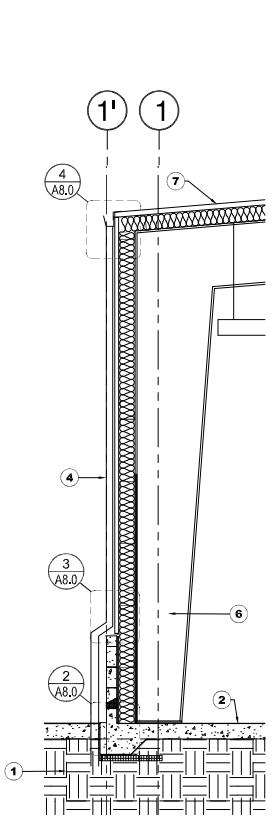
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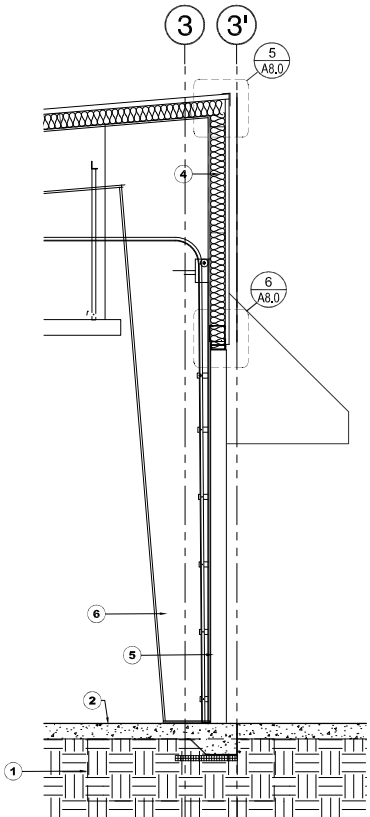
1 BUILDING SECTION

1/4" = 1'-0"



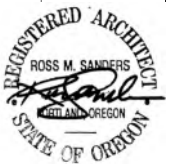
2 WALL SECTION

1/2" = 1'-0"



3 WALL SECTION

1/2" = 1'-0"

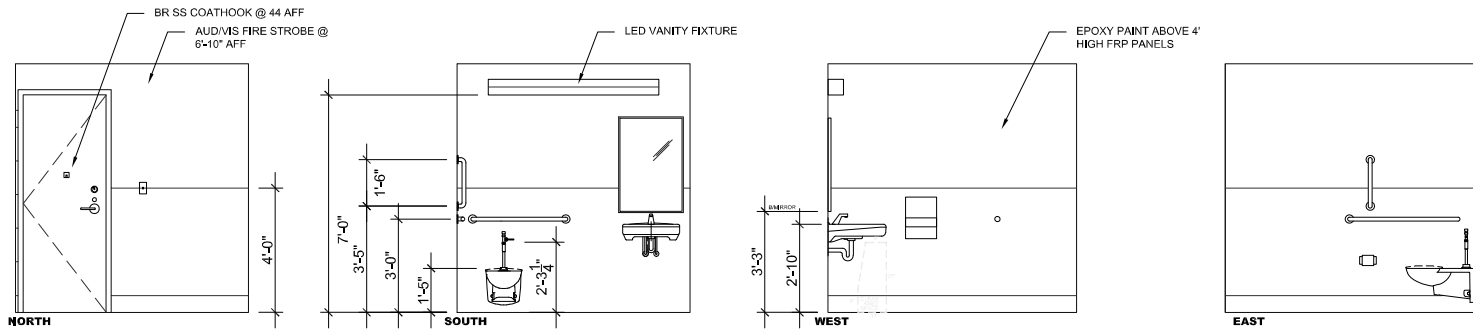


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BUILDING & WALL SECTIONS

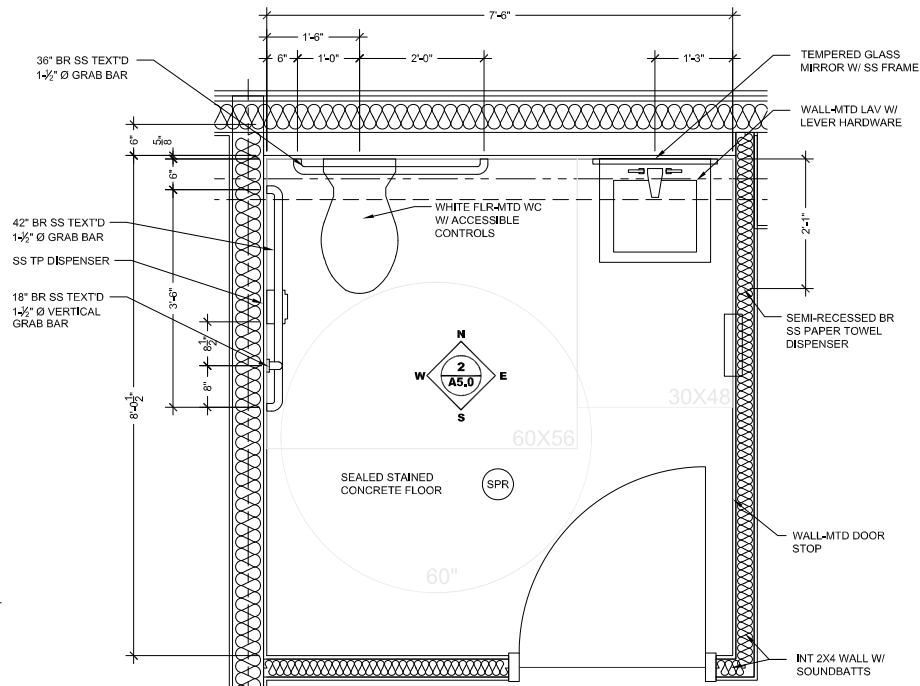
REVIEW SET 01/10/2024

A4.0



2 INTERIOR ELEVATIONS
 @ BATHROOM

1/2" = 1'-0"



1 ACCESSIBLE (UNISEX) RESTROOM PLAN
 SEE 8/A5.0 FOR GRAB BAR BLOCKING DETAIL

1" = 1'-0"



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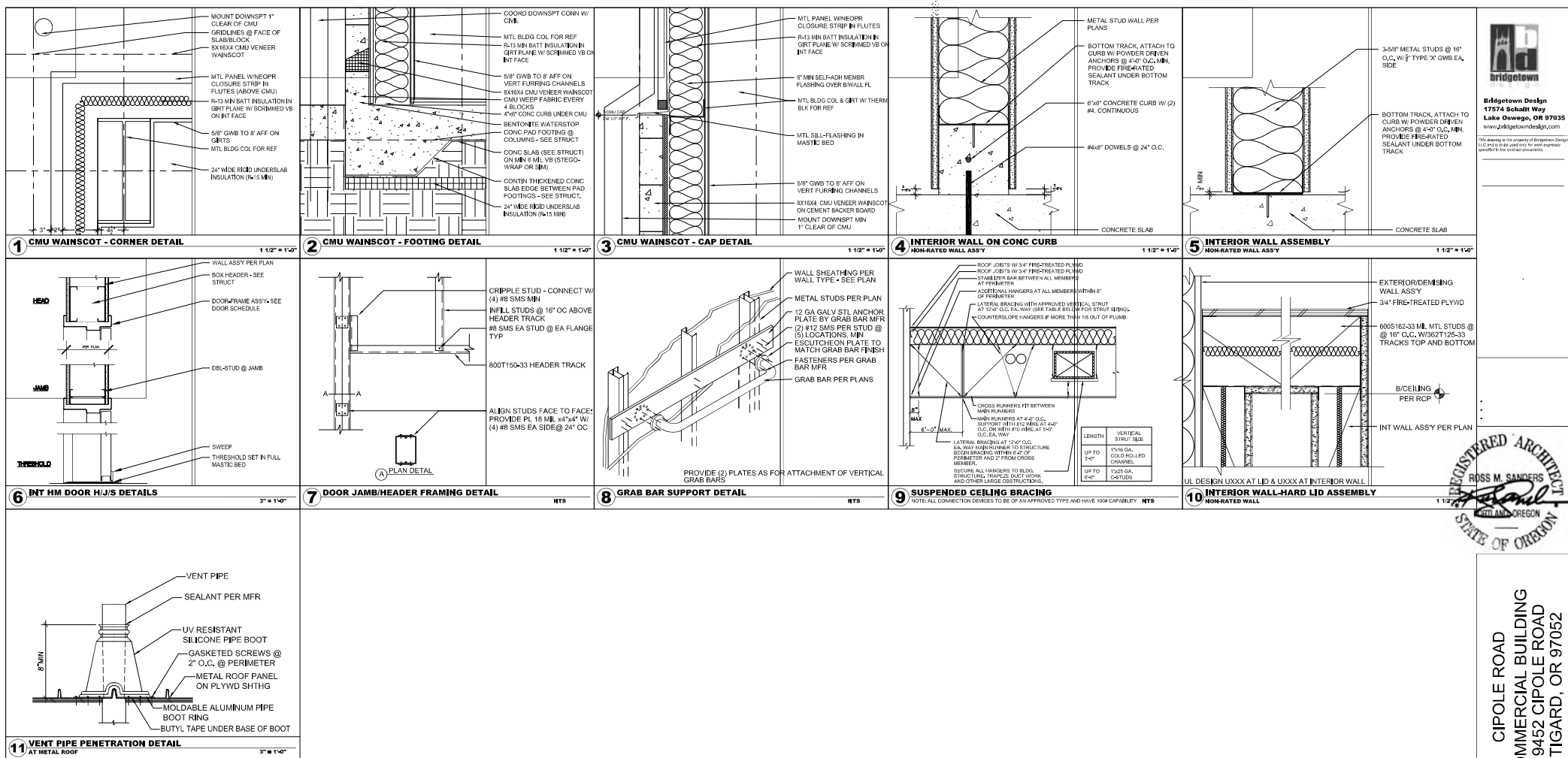
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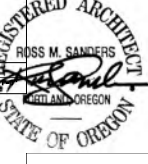
**ENLARGED
 PLANS & INT
 ELEVATIONS**

REVIEW SET 01/10/2024 **A5.0**

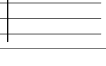


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DETAILS