

RESOLUTION NO. 5367-18

A RESOLUTION APPROVING A MINOR ARCHITECTURAL REVIEW APPLICATION FILED BY THE TUALATIN PROFESSIONAL CENTER FOR PARKING LOT IMPROVEMENTS LOCATED AT 6464 SW BORLAND ROAD (MAR17-0041).

WHEREAS, Tualatin Professional Center (TPC) submitted an application with the City for a Minor Architectural Review (MAR), for property located at 6464 SW Borland Road, Tualatin, Oregon, 98062;

WHEREAS, MAR17-0041 was approved with conditions by staff on October 12, 2017;

WHEREAS, on October 26, 2017, TPC submitted a request for review;

WHEREAS, Council conducted a quasi-judicial public hearing and de novo review on December 11, 2017, which hearing was continued to January 8, 2018;

WHEREAS, at the January 8, 2018 hearing, the applicant requested the record be left open to provide additional evidence and the hearing was continued to a date certain of April 23, 2018, and continued again to a date certain of May 14, 2018;

WHEREAS, while the hearing was pending, the applicant separately sought a variance from certain criteria from the Planning Commission, which was granted on April 19, 2018 (VAR 18-0001);

WHEREAS, the applicant submitted new evidence, including evidence of the variance, at the May 14, 2018 hearing; and

WHEREAS, at the conclusion of the May 14, 2018 hearing the Council entered into deliberation and voted to approve the application (with conditions).

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF TUALATIN, OREGON, that:

Section 1. Findings. The Council adopts the findings which are attached as Exhibit A, and incorporated by reference.

Section 2. Conditions. The Minor Architectural Review (MAR17-0041) for Tualatin Professional Center (TPC), which consists of Attachments 101 to 104 of the staff report dated May 14, 2018 and which is incorporated by reference, is approved with the following conditions:

1. Prior to applying for permits on the subject site, the applicant must submit one revised paper plan set—24 x 36, a paper narrative, and electronically in Adobe PDF file format—for review and approval to the Planning Division that meet the conditions of approval below. The narrative must explain how and on what page each condition of approval has been met. The submittal must contain page

numbers and a table of contents. No piecemeal submittals will be accepted. Each submittal will be reviewed in two (2) weeks.

2. The applicant must submit plans that illustrates a six foot wide ADA compliant walkway between the main entrance of the southern building of the Tualatin Professional Center complex (Building D) and SW Sagert Street and install to approved plan set pursuant to TDC 73.160(1)(a)(i).
3. The applicant must submit a landscape plan that illustrates areas within the defined project area that are not occupied by buildings, parking spaces, driveways, drive aisles, and pedestrian areas are landscaped and install to approved plan set pursuant to TDC 73.310(3).
4. The applicant must submit a revised landscape plan that notes a clear zone will be provided at the proposed access drive entrances vertically between a maximum of thirty inches and a minimum of eight feet as measured from the ground level pursuant to TDC 73.340(1).
5. The applicant must install landscape areas not less than five feet in width on each side of the southern two access drives located off of SW Sagert Street that extend for a distance of at least twenty-five feet from the back of public sidewalk pursuant to the applicant's revised plan set illustrated in Attachment 104- Sheet C300 dated May 2, 2018 and pursuant to Resolution No. 6-18TPC.
6. The applicant must install two on-site access drives that are thirty-two feet wide for the first twenty-five feet from the back of public sidewalk pursuant to the applicant's revised plan set illustrated in Attachment 104 - C300 dated May 2, 2018 and pursuant to Resolution No. 6-18TPC.
7. The applicant must apply for and obtain a Public Works Permit for all work within public right-of-way and an Erosion Control Permit for all disturbed area.
 - a. Provide an engineered plan that shows plan and profile of the proposed driveway connections and proposed pedestrian connections. All improvements must match back of sidewalk grades currently being constructed by Lennar Homes as part of public works permit number PW16-0211. Plan must meet requirements of Engineering Division for review and approval pursuant to the Tualatin Public Works Construction Code and must be approved by the Engineering Division.
 - b. Show back of sidewalk grades that match the elevations of SW Sagert Street right-of-way improvements currently being constructed by Lennar Homes as approved in Public Works Permit No. PW16-0211.

- c. If proposed pedestrian connection to the Sagert Street sidewalk is the ADA accessible route to the public right-of-way, then improvements in the right-of-way must meet ADA criteria set forth in the 2010 Public Rights of Way Design Guidelines (PROWAG), including running slope, cross slope, and all other relevant requirements.

- 8. The applicant must label both of the southern-most parking stalls (one to the west and one to the east) of the western access drive subcompact stalls, pursuant to TDC 73.380(1).

Section 3. This resolution is effective upon adoption.

ADOPTED by the City Council this 29th day of May, 2018.

CITY OF TUALATIN, OREGON

BY  _____
Mayor

APPROVED AS TO FORM:

BY  _____
City Attorney

ATTEST:

BY  _____
City Recorder

**Res. No. 5367-18 / MAR 17-0041 – Attachment A
ANALYSIS AND FINDINGS**

Proposal

KPFF Consulting Engineers, on behalf of the Tualatin Professional Center (TPC) submitted a Minor Architectural Review (MAR) application 17-0041 on August 21, 2017 to adjust the southern two access drives previously approved through AR83-06, LP83-01, and Development Agreement 84-16657. Modifications and improvements to the southern parking lot, landscaping, and pedestrian network were also included in the proposal.

Staff approved the MAR 17-0041 proposal with conditions on October 12, 2017. The applicant submitted the subject Request for Review on October 26, 2017. This item was first heard by the City Council on December 11, 2017. The applicant requested that the record be left open to provide new evidence at the January 8, 2018 hearing and the hearing was continued to a date certain of April 23, 2018, then continued to a date certain of May 14, 2018. VAR18-0001 was approved by the Planning Commission Resolution 6-18TPC (Attachment 103) on April 19, 2018. New evidence, including evidence of the variance was presented at the May 14, 2018, and MAR 17-0041 was approved with the following conditions:

1. Prior to applying for permits on the subject site, the applicant must submit one revised paper plan set—24 x 36, a paper narrative, and electronically in Adobe PDF file format—for review and approval to the Planning Division that meet the conditions of approval below. The narrative must explain how and on what page each condition of approval has been met. The submittal must contain page numbers and a table of contents. No piecemeal submittals will be accepted. Each submittal will be reviewed in two (2) weeks.

This condition requires the applicant to submit a revised plan set to address the conditions of approval. The applicant has satisfied this condition through new evidence contained in Attachment 104.

2. The applicant must submit plans that illustrates a six foot wide ADA compliant walkway between the main entrance of the southern building of the Tualatin Professional Center complex (Building D) and SW Sagert Street and install to approved plan set pursuant to TDC73.160(1)(a)(i).

The applicant has satisfied this condition in Attachment 104 - Sheet C300, dated 5/2/2018, Keynote 4.

3. The applicant must submit a landscape plan that illustrates areas within the defined project area that are not occupied by buildings, parking spaces, driveways, drive aisles, and pedestrian areas are landscaped and install to approved plan set pursuant to TDC 73.310(3).

The applicant has satisfied this condition in Attachment 104 - Sheet L200, dated 4/23/2018.

4. The applicant must submit a revised landscape plan that notes a clear zone will be provided at the proposed access drive entrances vertically between a maximum of thirty inches and a minimum of eight feet as measured from the ground level pursuant to TDC 73.340(1).

The applicant has satisfied this condition in Attachment 104 - Sheet L200, dated 4/23/2018.

5. The applicant must install landscape areas not less than five feet in width on each side of the southern two access drives located off of SW Sagert Street that extend for a distance of at least

twenty-five feet from the back of public sidewalk pursuant to the applicants revised plan set as seen in Attachment 104- Sheet C300 dated May 2, 2018 and pursuant to Resolution No. 6-18TPC.

The applicant has satisfied this modified condition in Attachment 104 - Sheet C300, dated 5/2/2018.

6. The applicant must install two on-site access drives that are thirty-two feet wide for the first twenty-five feet from back of sidewalk pursuant to the applicants revised plan set as seen in Attachment 104 - C300 dated May 2, 2018 and pursuant to Resolution No. 6-18TPC.

The applicant has satisfied this modified condition in Attachment 104 - Sheet C300, dated 5/2/2018.

7. The applicant must apply for and obtain a Public Works Permit for all work within public right-of-way and an Erosion Control Permit for all disturbed area.
 - a. Provide an engineered plan that shows plan and profile of the proposed driveway connections and proposed pedestrian connections. All improvements must match back of sidewalk grades currently being constructed by Lennar Homes as part of public works permit number PW16-0211. Plan must meet requirements of Engineering Division for review and approval pursuant to the Tualatin Public Works Construction Code and must be approved by the Engineering Division.
 - b. Show back of sidewalk grades that match the elevations of SW Sagert Street right-of-way improvements currently being constructed by Lennar Homes as approved in Public Works Permit No. PW16-0211.
 - c. If proposed pedestrian connection to the Sagert Street sidewalk is the ADA accessible route to the public right-of-way, then improvements in the right-of-way must meet ADA criteria set forth in the 2010 Public Rights of Way Design Guidelines (PROWAG), including running slope, cross slope, and all other relevant requirements.

The applicant has satisfied this condition in Attachment 104 - Sheet C200, dated 5/2/2018; Sheet C300, dated 5/2/2018; Sheet C400, dated 5/2/2018; and Sheet C501, dated 5/2/2018.

8. The applicant must label both of the southern-most parking stalls (one to the west and one to the east) of the western access drive subcompact stalls, pursuant to TDC 73.380(1).

The applicant has agreed to this condition and will label the appropriate stalls.

EROSION CONTROL PLAN NOTES

- APPROVAL OF THIS EROSION/SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PRODUCTS OR METHODS DESCRIBED HEREIN, NOR DOES IT GUARANTEE THE SUCCESS OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY AND THE ENVIRONMENT.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND THE EROSION CONTROL MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY AND THE ENVIRONMENT.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE CLEARLY IDENTIFIED BY THE CONTRACTOR TO THE LOCAL AGENCIES AND THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY AND THE ENVIRONMENT.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY AND THE ENVIRONMENT.
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SHEET NOTES

- CONTRACTOR MAY STAKE WITHIN LIMITS OF DEMOLITION.
- REMOVE ALL EXISTING CURBS AND RECYCLE COMPONENTS AS REQUIRED BY THE LOCAL AGENCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES WITHIN THE PROPERTY.
- GENERAL DEMOLITION PERMIT SHALL BE SECURED BY THE CONTRACTOR.
- ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE DEMOLITION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
- THE CONTRACTOR SHALL RESERVE AND PROTECT FROM DAMAGE ALL EXISTING EIGHT-FOOT-WAY SURVEY MONUMENTS, CORNER MARKERS, AND BOUNDARY MARKERS. REPLACEMENT OF ANY DAMAGED OR MISSING MONUMENTS SHALL BE RESPONSIBLE FOR THE CONTRACTOR. ANY DAMAGED OR REMOVED MONUMENTS SHALL BE REPLACED BY THE CONTRACTOR.
- PROTECT ALL TIES ON ADJACENT PROPERTIES AND IN THE FACILITIES IMMEDIATELY ADJACENT TO DEMOLITIONS FROM EQUIPMENT, PAROSING MACHINES, SIDEWALKS, STREET TREES, AND OTHER ADJACENT FACILITIES. ALL TIES SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGED OR REMOVED TIES SHALL BE REPLACED BY THE CONTRACTOR.
- PROTECT STRUTS, UTILITY, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO DEMOLITIONS FROM EQUIPMENT, PAROSING MACHINES, SIDEWALKS, STREET TREES, AND OTHER ADJACENT FACILITIES. ALL TIES SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGED OR REMOVED TIES SHALL BE REPLACED BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONSOLE, TEST, AND MAINTAIN ALL EXISTING UTILITIES. ALL UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGED OR REMOVED UTILITIES SHALL BE REPLACED BY THE CONTRACTOR.
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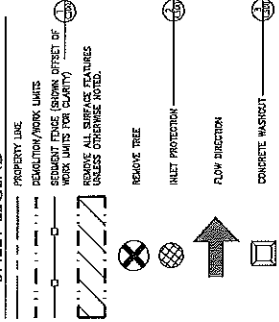
PROTECTION KEY NOTES

- 40 PROTECT CURB
- 41 PROTECT SIDEWALK
- 42 PROTECT LOT/POLE
- 43 PROTECT UTILITY
- 44 PROTECT EXISTING STORM MANHOLE

SALVAGE KEY NOTES

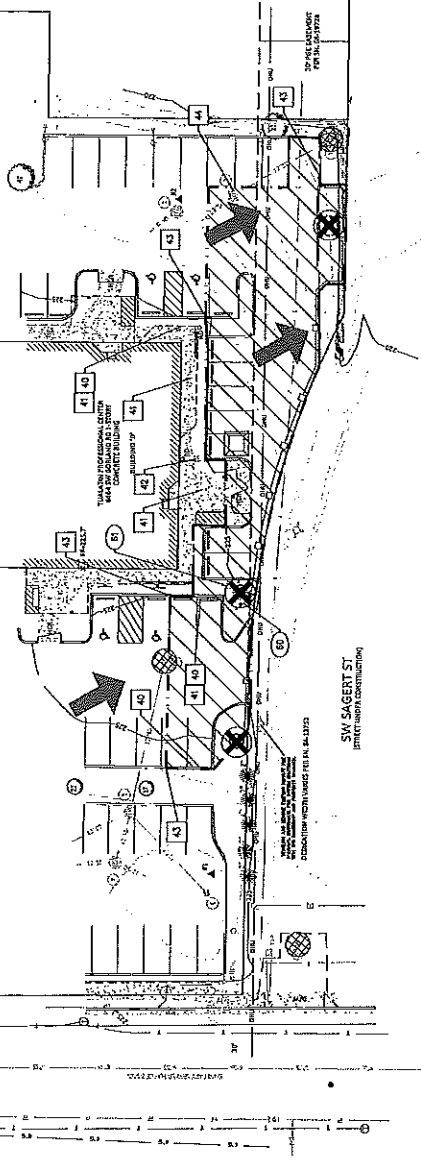
- 50 SALVAGE SIGN AND STORE IN LOCATION AS DIRECTED BY OWNER.
- 51 REMOVE AND SALVAGE LOT/POLE AND STORE IN LOCATION AS DIRECTED BY OWNER.

SHEET LEGEND



EROSION CONTROL PLAN NOTES

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|---|---|---|
| <p>DATE: 07/28/2017 PROJECT: 1700026-TRUCKIN-FIELD-CV/CMAA/P107/C200-04.dwg TAB: C200</p> | | <p>SHEET NO. C200 SHEET 3 OF 11 REVISION NO.</p> |
| <p>4444 BY: [Name] SUCCEED ROAD ENTRANCES ACCESS RESTORATION</p> | | |
| <p>DEMOLITION AND EROSION CONTROL PLAN</p> | | |
| <p>DATE: 07/28/2017 PROJECT: 1700026-TRUCKIN-FIELD-CV/CMAA/P107/C200-04.dwg TAB: C200</p> | <p>DATE: 07/28/2017 PROJECT: 1700026-TRUCKIN-FIELD-CV/CMAA/P107/C200-04.dwg TAB: C200</p> | <p>DATE: 07/28/2017 PROJECT: 1700026-TRUCKIN-FIELD-CV/CMAA/P107/C200-04.dwg TAB: C200</p> |
| <p>SCALE: 1"=25'-0"</p> | | |
| <p>SW SAGER ST</p> | | |
| <p>SW 65TH AVE</p> | | |
| <p>DATE: 07/28/2017 PROJECT: 1700026-TRUCKIN-FIELD-CV/CMAA/P107/C200-04.dwg TAB: C200</p> | | |

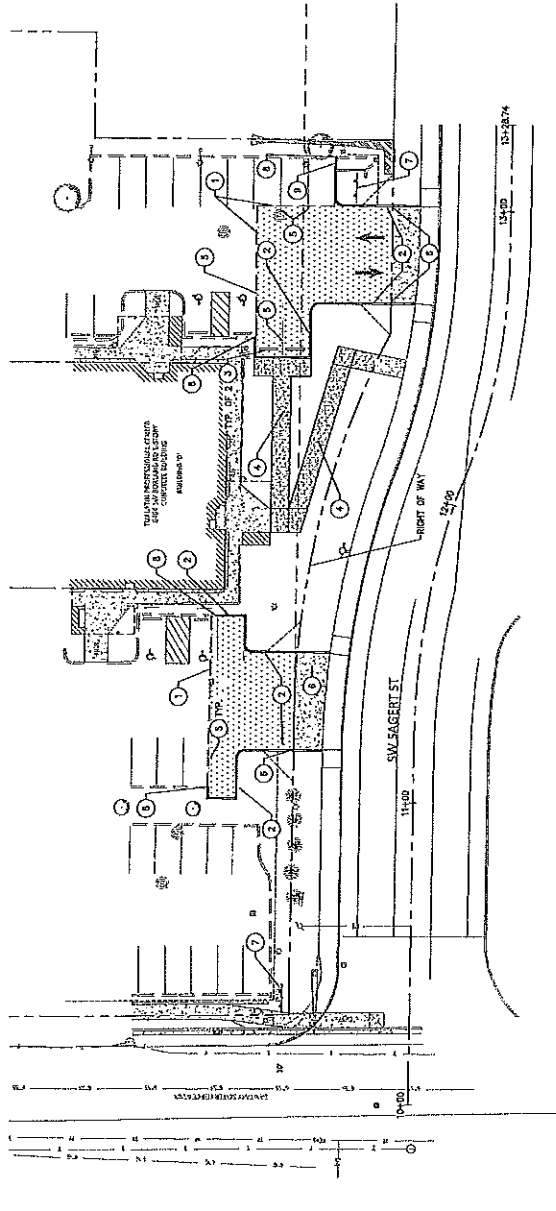
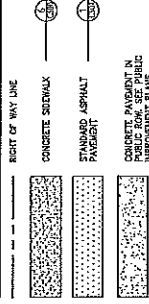
SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL PER SPECIFICATIONS.
2. ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED AS SHOWN.
3. WORK BETWEEN SAGER ST. AND WEST SIDE OF WALL AND PROPERTY LINE PART OF SEPARATE PUBLIC WORKS PERMIT.
4. PROPOSED SAGER STREET AND SIDEWALK ALIGNMENT PROJECT (LAND USE DESIGNATION: RES-100) FOR WORK IN THE AREA OF THE PROJECT TO BE CONSTRUCTED. SEE ALL CONSTRUCTION WITH SAGER STREET CONTRACTOR AND CITY INSPECTOR.

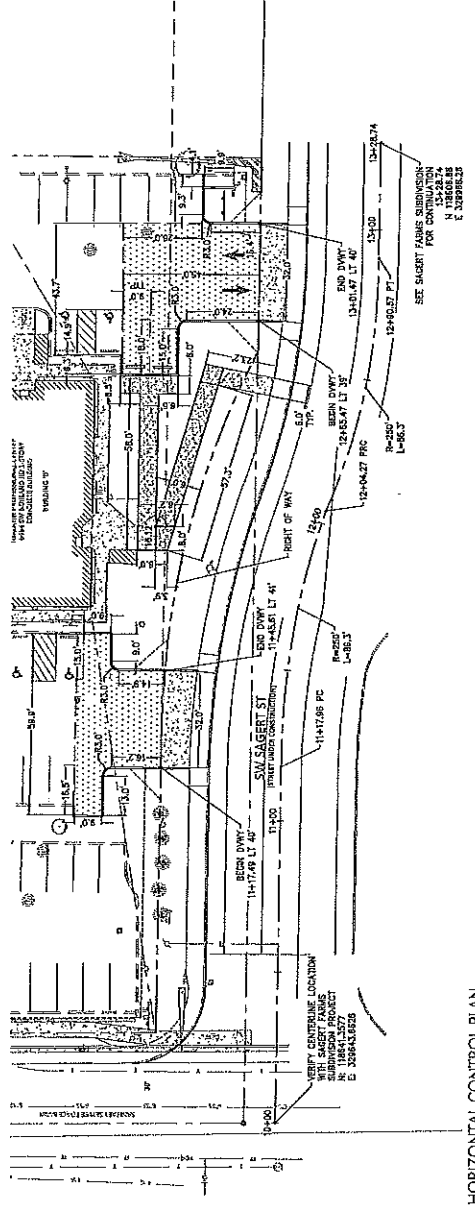
KEY NOTES

- | DESCRIPTION | DETAIL SIZE |
|--------------------------------|-------------|
| 1. SAWCUT LINE | 4/2000 |
| 2. STANDARD CURB | 5/2000 |
| 3. WHEEL STOP | 5/2000 |
| 4. CONCRETE 6-F' WIDE SIDEWALK | 6/2000 |
| 5. 4-IN WIDE WHITE STRIPE | |
| 6. CONCRETE TO SAGER STREET | |
| 7. CONCRETE TO SAGER STREET | |
| 8. CONCRETE TO SAGER STREET | |
| 9. CONSTRUCT TO EXISTING CURB | 7/2000 |

SHEET LEGEND



SITE PLAN
SCALE: 1" = 20'



HORIZONTAL CONTROL PLAN
SCALE: 1" = 25'

| | | | |
|--|---|--|---|
| <p>11.99 PROJECT NO. 200-200 11.99 DATE: 09/11/2018 11.99 DRAWN BY: MJB 11.99 CHECKED BY: MJB 11.99 PROJECT DATE: 09/11/2018 11.99 PROJECT BY: MJB 11.99 DATE: 09/11/2018 11.99 PROJECT NO. 200-200</p> | | <p>JOB NO. 1100235 DESIGNER: AC DRAWN BY: MJB CHECKED BY: MJB PROJECT DATE: 09/11/2018 PROJECT BY: MJB DATE: 09/11/2018 PROJECT NO. 200-200</p> | <p>SHEET NO. C300 SHEET 4 OF 11 PROJECT NO. 200-200</p> |
| <p>kpff</p> | | <p>SITE AND HORIZONTAL CONTROL PLAN</p> | |
| <p>SCALE: 1" = 25' 0 10 20 30 40</p> | <p>SEE SAGER FABRIE SUBMISSION FOR CONSTRUCTION PERMITS</p> | <p>DATE: 09/11/2018</p> | |
| <p>DESCRIPTION</p> | <p>DATE</p> | <p>BY</p> | <p>REVISION</p> |

SHEET NOTES

1. SLOPES PROVIDED ON SLOPE ARROWS ARE FOR REFERENCE ONLY.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAA).
4. ALL TOP OF CURB ELEVATIONS ARE 6" IN ABOVE TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE ON PLANS.
5. PERMANENT GRASS SLOPES SHALL BE 3:1 UNLESS OTHERWISE NOTED ON DETAILS AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAILS AND SPECIFICATIONS.
6. ALL IMPROVED WALKWAYS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE ON 6" WALKWAY.
7. ALL IMPROVED DRIVEWAYS, DRIVEWAYS AND SIDEWALKS ARE SHOWN BY KFF SURVEY 1/16/2018.

GRADING KEY NOTES

- NOTE DESCRIPTION**
1. SEE PUBLIC IMPROVEMENT PLANS AND SAFETY STREET PLANS FOR CONTINUATION.
 2. VERIFY AND MATCH BACK OF WALK GRADIES AT SIDEWALK CONNECTION WITH SAFETY STREET PROJECT.

UTILITY KEY NOTES

- NOTE DESCRIPTION**
1. CONSULT TO EXISTING STORM SYSTEM. CONTRACTOR TO FIELD VERIFY TP.

GRADING LABEL LEGEND

| CALLOUT | DESCRIPTION |
|-------------------|--|
| XXXX | GRADING SLOPE AND DIRECTION (DOWNHILL) |
| SPOT ELEVATION | NO DESCRIPTION MEANS TP OR TO |
| FINISHED GRADE | FINISHED GRADE |
| UTILITY STRUCTURE | UTILITY STRUCTURE |
| TOP OF CURB | TOP OF CURB |
| TOP OF PAVEMENT | TOP OF PAVEMENT |
| (XXXX) | (MATCH W/ OTHER SHEETS) |

SHEET LEGEND

| | |
|----|----------------|
| 49 | GRADE BREAK |
| EX | EXISTING MAJOR |
| EX | EXISTING MAJOR |
| EX | EXISTING MAJOR |
| EX | EXISTING MAJOR |
| EX | EXISTING MAJOR |

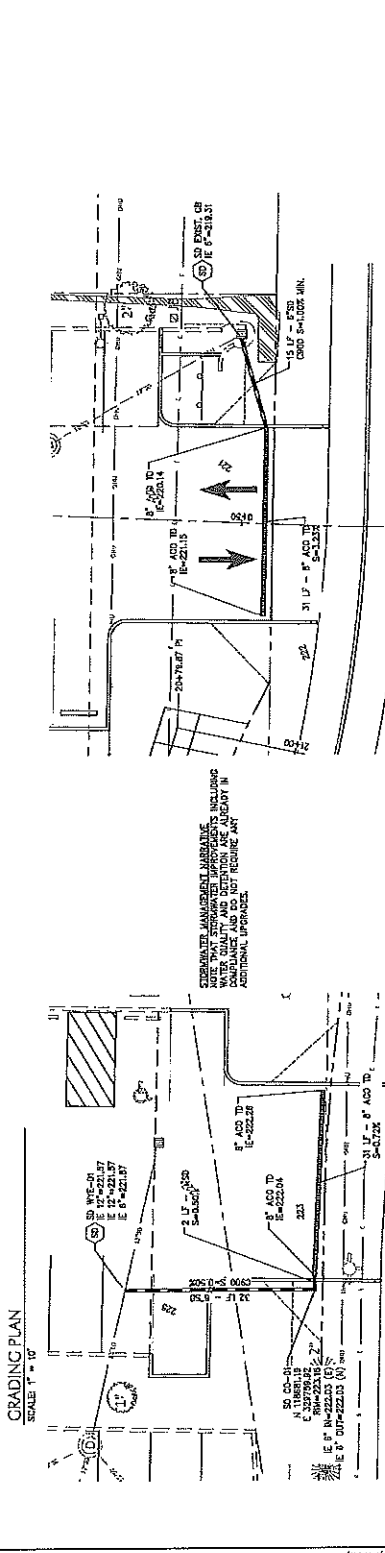
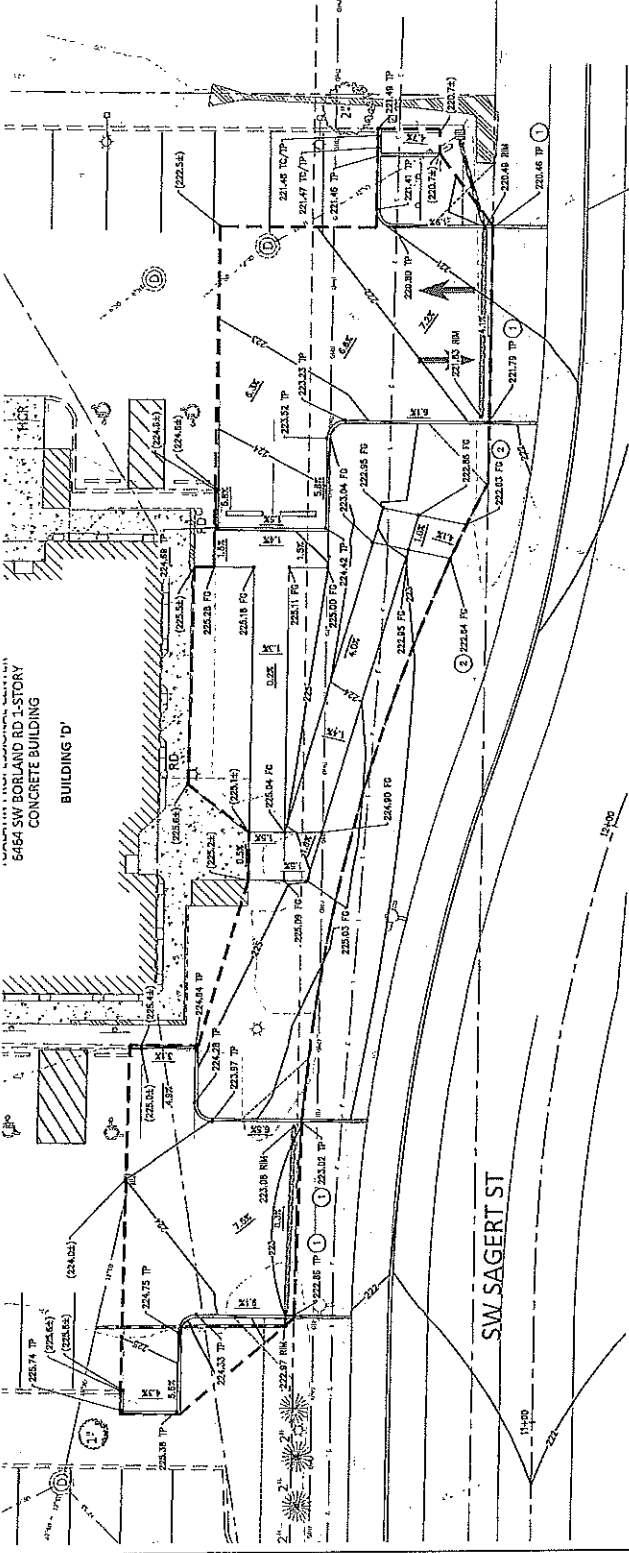
UTILITY LABEL LEGEND

| STRUCTURE LABEL | PIPE LABEL |
|----------------------------------|----------------|
| UTILITY TYPE (DOWNHILL DRAINAGE) | UTILITY LENGTH |
| STRUCTURE TYPE (CALLOUT) | UTILITY SIZE |
| IN NUMBER (WHERE APPLICABLE) | UTILITY TYPE |
| EX EXIST. OR | SOLE - 3" X 3" |
| EX EXIST. OR | SOLE - 3" X 3" |
| EX EXIST. OR | SOLE - 3" X 3" |
| EX EXIST. OR | SOLE - 3" X 3" |
| EX EXIST. OR | SOLE - 3" X 3" |

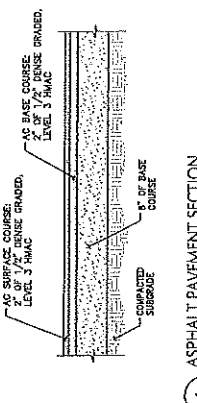
STRUCTURE TYPE

| | |
|---------|--------------|
| CALLOUT | DESCRIPTION |
| TO | TRENCH DRAIN |
| CO | CLEANOUT |
| SD | STORM DRAIN |

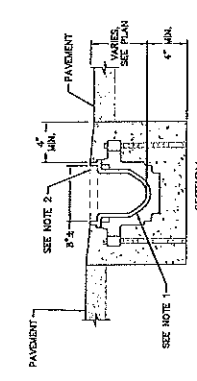
DATE: 07/18/18
 DRAWN BY: JAC
 CHECKED BY: MJ
 PROJECT NO.: 2018-110000
 SHEET NO.: 6 OF 11
 RECORD NO.: 11



| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |

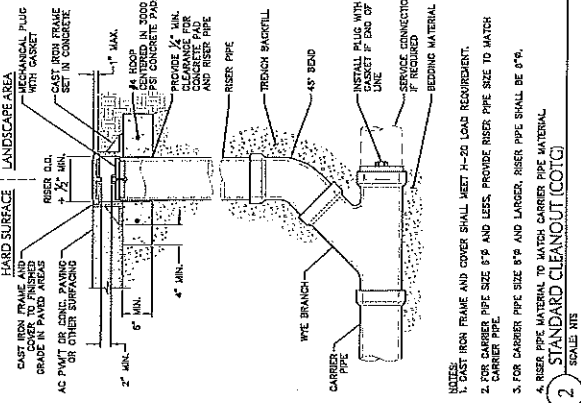


1 ASPHALT PAVEMENT SECTION
SCALE: NTS



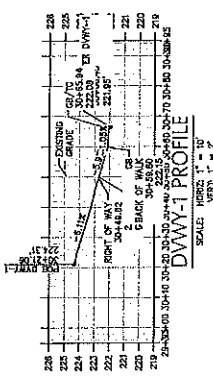
- NOTES:
1. TRENCH DRAIN SHALL BE NEUTRAL 8" WIDE ZIRN OR ACO TRENCH DRAIN OR COVER TO FINISHED GRADE IN PAVED AREAS.
 2. TRENCH DRAIN GRATE SHALL BE LOCKABLE HEAVY DUTY TRENCH GRATE - CLASS C.
 3. TRENCH SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

3 TRENCH DRAIN - 8 INCH WIDE
SCALE: NTS

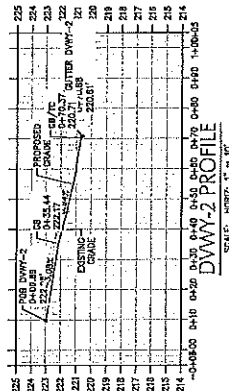


- NOTES:
1. CAST IRON FRAME AND COVER SHALL MEET H-26 LOAD REQUIREMENT.
 2. FOR CARRIER PIPE SIZE 8" AND LESS, PROVIDE RISER PIPE SIZE TO MATCH CARRIER PIPE.
 3. FOR CARRIER PIPE SIZE 8" AND LARGER, RISER PIPE SHALL BE 8".
 4. RISER PIPE MATERIAL TO MATCH CARRIER PIPE MATERIAL.

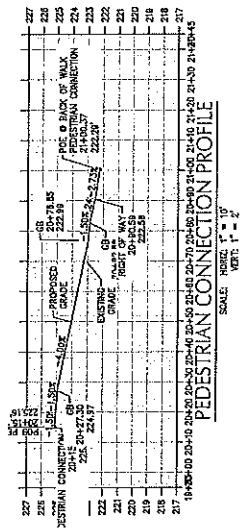
2 STANDARD CLEANOUT (CO/C) SCALE: NTS



DWY-1 PROFILE
SCALE: HORIZ. 1" = 10'
VERT. 1" = 2'



DWY-2 PROFILE
SCALE: HORIZ. 1" = 10'
VERT. 1" = 2'



PEDESTRIAN CONNECTION PROFILE
SCALE: HORIZ. 1" = 10'
VERT. 1" = 2'

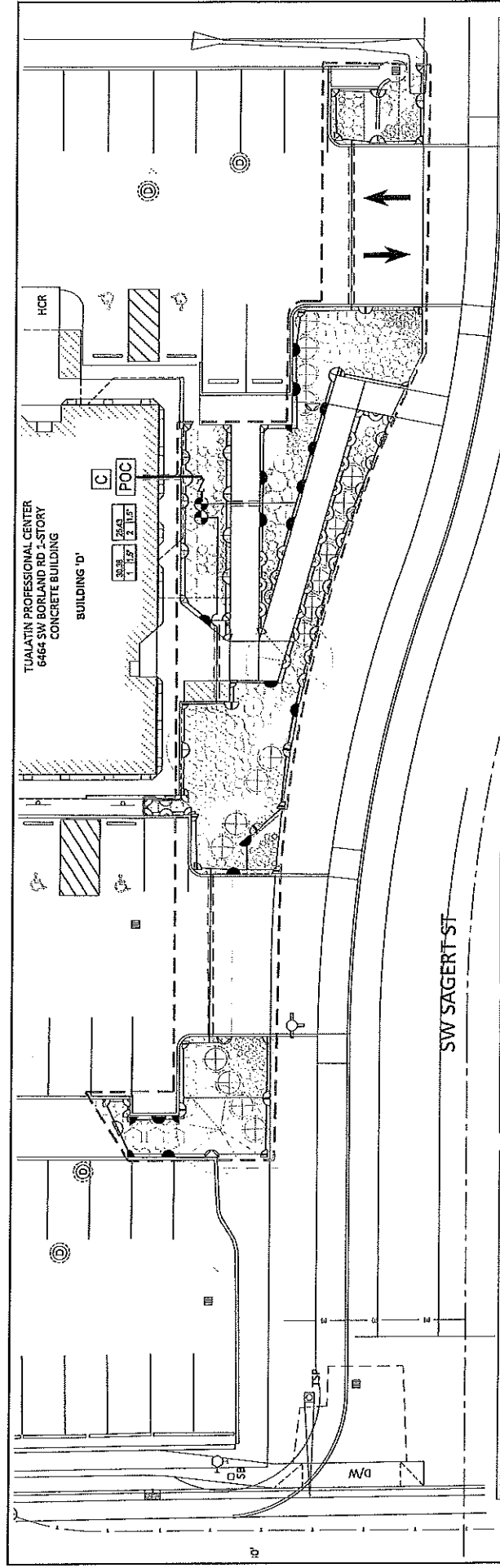
| NO. | DATE | REVISION |
|-----|------|----------|
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| | | |
| | | |



111 2nd Flr, New York, NY 10001
 212 692 2311
 212 692 2311
 212 692 2311

| | | | |
|---------------------------|---------------------------------|-------------------------------|---------------------------|
| JOB NO.: T10002 | DATE BY: B. J. BISHOP | SCALE: AS SHOWN | SHEET NO.: C501 |
| DESIGNED BY: AC | CHECKED BY: AJ | DATE: 02/18/11 | REVISION NO.: 11 |
| PROJECT NO.: 20118 | PROJECT NAME: C500-01-01 | PROJECT DATE: 02/18/11 | PROJECT NO.: 20118 |
| DATE: 02/18/11 | PROJECT NAME: C500-01-01 | PROJECT DATE: 02/18/11 | PROJECT NO.: 20118 |
| DATE: 02/18/11 | PROJECT NAME: C500-01-01 | PROJECT DATE: 02/18/11 | PROJECT NO.: 20118 |

DETAILS



| SYMBOL | NOZZLE | BOC# | GPM | PA | RADIUS |
|--------|---------------|------|-----|----|--------|
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 5' |
| ⊙ | RAINBIRD 1804 | 1804 | 10 | 30 | 5' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 6' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 10' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 12' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |
| ⊙ | RAINBIRD 1804 | 1804 | 20 | 30 | 15' |

| SYMBOL | DESCRIPTION | MODEL | SEE KEY NOTE #1 | SEE KEY NOTES |
|--------|--|-------|-----------------|---------------|
| ⊙ | CONTROLLER | | | |
| ⊙ | BACKFLOW PREVENTER | | | |
| ⊙ | REMOTE CONTROL VALVE - SIZE AS SHOWN | | | |
| ⊙ | 2" SCHEDULE 40 PVC MAINLINE UNLESS OTHERWISE NOTED | | | |
| ⊙ | 4" SCHEDULE 40 PVC SLERVE UNLESS OTHERWISE NOTED | | | |
| ⊙ | VOLUME IN GALVANIZED IRON | | | |
| ⊙ | ZONE NUMBER / VALVE SIZE | | | |

| SYMBOL | DESCRIPTION | MODEL | SEE KEY NOTE #1 | SEE KEY NOTES |
|--------|---|-------|-----------------|---------------|
| ⊙ | NEW IRRIGATION TO USE EXISTING CONTROLLER | | | |
| ⊙ | LOCATE POINT OF CONNECTION ON SITE WITH CLIENT VERIFICATION | | | |
| ⊙ | INSTALL BACKFLOW AS NECESSARY | | | |

| SYMBOL | DESCRIPTION | MODEL | SEE KEY NOTE #1 | SEE KEY NOTES |
|--------|--|-------|-----------------|---------------|
| ⊙ | VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK. | | | |
| ⊙ | VERIFY THAT CONDITIONS ARE SUITABLE TO PROVIDE A COMPLETE WORKING SYSTEM. DO NOT PROCEED IF CONDITIONS ARE PRESENT THAT ARE DETRIMENTAL TO THE EQUIPMENT OR WILL NOT SUPPORT A HEALTHY GROWING ENVIRONMENT FOR PLANTS. | | | |
| ⊙ | COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF THE SYSTEM INCLUDING BUT NOT LIMITED TO: WATER SERVICE, WATER METER, BACKFLOW DEVICES, CONTROLLER LOCATION, CONTROLLER ELECTRICAL SERVICE, AND THE CONDUITS FOR CONTROLLER. | | | |
| ⊙ | ANY NUMERICAL QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE. QUANTITIES SHALL BE BASED ON THE GRAPHIC REPRESENTATION ON THE PLANS. | | | |
| ⊙ | INSTALL IRRIGATION SYSTEM IN COMPLIANCE WITH ALL STATE AND LOCAL CODES. | | | |
| ⊙ | IRRIGATION HEADS, SHUTTERS, AND OTHER WATERING DEVICES ARE GRAPHICALLY SHOWN IN THE DESIRED LOCATIONS. PIPE AND OTHER SUPPORT EQUIPMENT MAY BE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY. | | | |
| ⊙ | INSTALL ALL IRRIGATION EQUIPMENT IN LANDSCAPE AREAS UNLESS OTHERWISE INDICATED. PLACE PIPE AND CONTROL WIRE IN COMMON TRENCHES WHERE POSSIBLE. | | | |
| ⊙ | PLACE ALL VALVE BOXES IN EASY ACCESS AREAS WHERE POSSIBLE AND LOCATE TO ALLOW EASY ACCESS FOR MAINTENANCE. CONSIDER PLANT MATERIAL AND OBSTRUCTIONS. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING WIRE. INSTALL VALVES IN CONCRETE. VALVE BOXES SHALL BE 18" HIGH AND 18" WIDE. VALVE BOXES SHALL BE 18" HIGH AND 18" WIDE. VALVE BOXES SHALL BE 18" HIGH AND 18" WIDE. | | | |
| ⊙ | ADJUST THE ENTIRE SYSTEM TO PROVIDE UNIFORM EVEN COVERAGE. ELIMINATE ALL POGGING AND OVERSPRAY ON TO PAVING, STRUCTURES, OR NON-PLANTED AREAS. PROVIDE A COMPLETE WORKING SYSTEM. | | | |
| ⊙ | THE SYSTEM IS DESIGNED TO OPERATE AT A MINIMUM STATIC PRESSURE OF 50 P.S.I. AT A MINIMUM FLOW OF 40 GPM AT POINTS-OF-CONNECTION. NOTIFY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING WORK IF ACTUAL FIELD DATA DIFFERS FROM DESIGN PRESSURE AND FLOWS. | | | |
| ⊙ | INSTALL ALL IRRIGATION PIPE AND WIRE IN CLASS 200 PVC SLEEVES BELOW ALL PAVED SURFACES OR STRUCTURES SUCH AS WALLS, STAIRS, AND OTHER IMPROVEMENTS. SIZE OF SLEEVES SHALL BE MINIMUM TWICE (2X) THE NOMINAL DIAMETER OF PIPE TO BE PLACED IN SLEEVE. MINIMUM SIZE 4" WITH 2" COVER. MINIMUM COORDINATE PLACEMENT OF SLEEVES WITH OTHER TRADES. | | | |
| ⊙ | SIZE PIPE TO ENSURE THAT MAXIMUM WATER VELOCITY DOES NOT EXCEED 4 FT/SEC. | | | |
| ⊙ | EXISTING IRRIGATION TO REMAIN AND IN USE DURING AND AFTER CONSTRUCTION. | | | |

IRREGATION EQUIPMENT KEY

| SYMBOL | DESCRIPTION | MODEL | SEE KEY NOTE #1 | SEE KEY NOTES |
|--------|--|-------|-----------------|---------------|
| ⊙ | CONTROLLER | | | |
| ⊙ | BACKFLOW PREVENTER | | | |
| ⊙ | REMOTE CONTROL VALVE - SIZE AS SHOWN | | | |
| ⊙ | 2" SCHEDULE 40 PVC MAINLINE UNLESS OTHERWISE NOTED | | | |
| ⊙ | 4" SCHEDULE 40 PVC SLERVE UNLESS OTHERWISE NOTED | | | |
| ⊙ | VOLUME IN GALVANIZED IRON | | | |
| ⊙ | ZONE NUMBER / VALVE SIZE | | | |

IRREGATION KEY NOTES:

- NEW IRRIGATION TO USE EXISTING CONTROLLER
- LOCATE POINT OF CONNECTION ON SITE WITH CLIENT VERIFICATION
- INSTALL BACKFLOW AS NECESSARY

IRREGATION NOTES:

- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT CONDITIONS ARE SUITABLE TO PROVIDE A COMPLETE WORKING SYSTEM. DO NOT PROCEED IF CONDITIONS ARE PRESENT THAT ARE DETRIMENTAL TO THE EQUIPMENT OR WILL NOT SUPPORT A HEALTHY GROWING ENVIRONMENT FOR PLANTS.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF THE SYSTEM INCLUDING BUT NOT LIMITED TO: WATER SERVICE, WATER METER, BACKFLOW DEVICES, CONTROLLER LOCATION, CONTROLLER ELECTRICAL SERVICE, AND THE CONDUITS FOR CONTROLLER.
- ANY NUMERICAL QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE. QUANTITIES SHALL BE BASED ON THE GRAPHIC REPRESENTATION ON THE PLANS.
- INSTALL IRRIGATION SYSTEM IN COMPLIANCE WITH ALL STATE AND LOCAL CODES.
- IRRIGATION HEADS, SHUTTERS, AND OTHER WATERING DEVICES ARE GRAPHICALLY SHOWN IN THE DESIRED LOCATIONS. PIPE AND OTHER SUPPORT EQUIPMENT MAY BE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY.
- INSTALL ALL IRRIGATION EQUIPMENT IN LANDSCAPE AREAS UNLESS OTHERWISE INDICATED. PLACE PIPE AND CONTROL WIRE IN COMMON TRENCHES WHERE POSSIBLE.
- PLACE ALL VALVE BOXES IN EASY ACCESS AREAS WHERE POSSIBLE AND LOCATE TO ALLOW EASY ACCESS FOR MAINTENANCE. CONSIDER PLANT MATERIAL AND OBSTRUCTIONS. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING WIRE. INSTALL VALVES IN CONCRETE. VALVE BOXES SHALL BE 18" HIGH AND 18" WIDE. VALVE BOXES SHALL BE 18" HIGH AND 18" WIDE. VALVE BOXES SHALL BE 18" HIGH AND 18" WIDE.
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- THE SYSTEM IS DESIGNED TO OPERATE AT A MINIMUM STATIC PRESSURE OF 50 P.S.I. AT A MINIMUM FLOW OF 40 GPM AT POINTS-OF-CONNECTION. NOTIFY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING WORK IF ACTUAL FIELD DATA DIFFERS FROM DESIGN PRESSURE AND FLOWS.
- INSTALL ALL IRRIGATION PIPE AND WIRE IN CLASS 200 PVC SLEEVES BELOW ALL PAVED SURFACES OR STRUCTURES SUCH AS WALLS, STAIRS, AND OTHER IMPROVEMENTS. SIZE OF SLEEVES SHALL BE MINIMUM TWICE (2X) THE NOMINAL DIAMETER OF PIPE TO BE PLACED IN SLEEVE. MINIMUM SIZE 4" WITH 2" COVER. MINIMUM COORDINATE PLACEMENT OF SLEEVES WITH OTHER TRADES.
- SIZE PIPE TO ENSURE THAT MAXIMUM WATER VELOCITY DOES NOT EXCEED 4 FT/SEC.
- EXISTING IRRIGATION TO REMAIN AND IN USE DURING AND AFTER CONSTRUCTION.

SCALE

1" = 30 FT

PLACE

735 NW 180 Avenue
Folsom, CA 95759
916.334.2380

kpff

3115
P.O. Box 1077
Folsom, CA 95759
916.334.2380

PRELIMINARY

NOT FOR CONSTRUCTION

PROJECT NO. L100

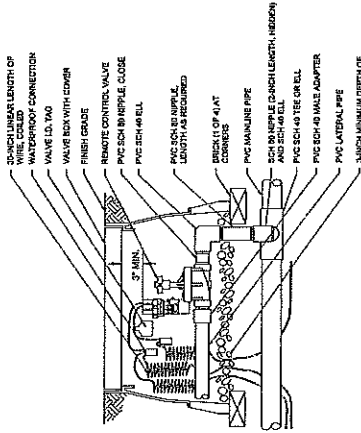
SHEET NO. 11

TOTAL SHEETS 11

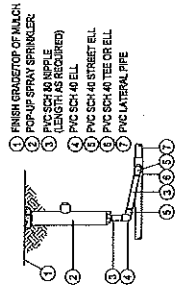
DATE 12/20/20

DESIGNER [Signature]

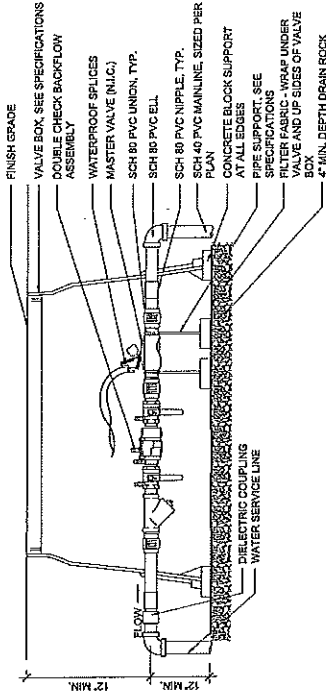
BY [Signature]



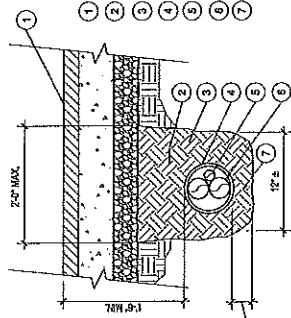
1 REMOTE CONTROL VALVE
Not to Scale



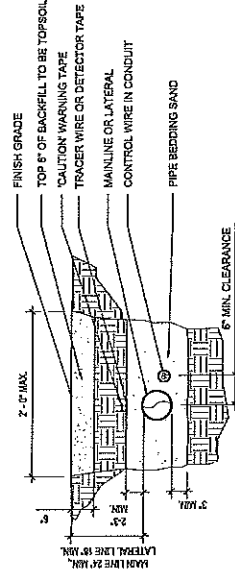
2 POP-UP SPRAY HEAD
Not to Scale



3 BACKFLOW PREVENTER ASSEMBLY
Not to Scale

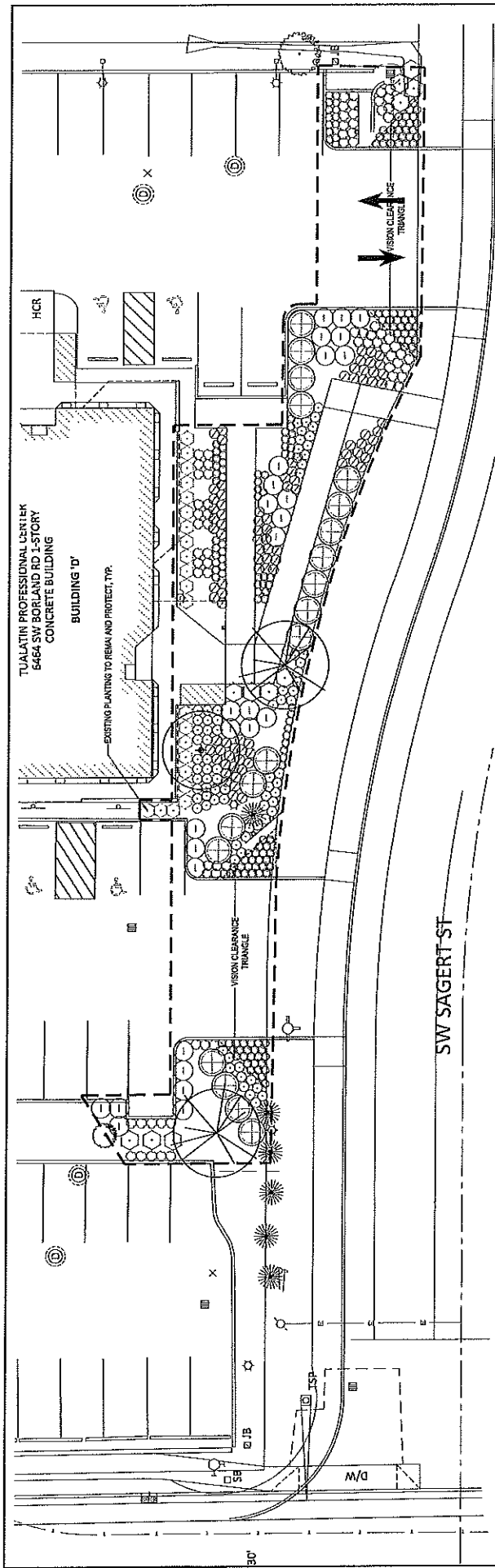


4 IRRIGATION SLEEVING
Not to Scale



5 IRRIGATION TRENCH
Not to Scale

| | | | | | | | | | | | | | | | | | |
|---|--|---|--|---|--|--|--|---|--|--|--|---|--|--|--|---|--|
| | | <p>SCALE AS INDICATED</p> | | <p>kpff 1115 8th Street, Suite 200 Portland, OR 97205 503.534.2080</p> | | <p>PLACE 755 NW 18th Avenue Portland, OR 97209 503.534.2080</p> | | <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>DATE: 11/20/2008 DESIGNED BY: JMS CHECKED BY: JMS PROJECT DATE: 02/27/08 24:10pm PROJECTED BY: JMS DWG NAME: L101_IRRIGATION TAG NAME: L101</p> | | <p>SECRET ROAD ENTRANCES ACCESS RESTRICTION</p> | | <p>DATE: 11/20/2008 DESIGNED BY: JMS CHECKED BY: JMS PROJECT DATE: 02/27/08 24:10pm PROJECTED BY: JMS DWG NAME: L101_IRRIGATION TAG NAME: L101</p> | | <p>PROJECT NO. L101 REVISION NO. 11</p> | |
| <p>1115 8th Street, Suite 200 Portland, OR 97205 503.534.2080</p> | | <p>755 NW 18th Avenue Portland, OR 97209 503.534.2080</p> | | <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>DATE: 11/20/2008 DESIGNED BY: JMS CHECKED BY: JMS PROJECT DATE: 02/27/08 24:10pm PROJECTED BY: JMS DWG NAME: L101_IRRIGATION TAG NAME: L101</p> | | <p>SECRET ROAD ENTRANCES ACCESS RESTRICTION</p> | | <p>DATE: 11/20/2008 DESIGNED BY: JMS CHECKED BY: JMS PROJECT DATE: 02/27/08 24:10pm PROJECTED BY: JMS DWG NAME: L101_IRRIGATION TAG NAME: L101</p> | | <p>PROJECT NO. L101 REVISION NO. 11</p> | | | | | |



TREE SCHEDULE

| SYMBOL | BOTANICAL NAME | COMMON NAME | MINIMUM SIZE | SPACING | QUANTITY |
|--------|--------------------|----------------|-----------------------------------|----------|----------|
| ○ | CORNUS COUSA | INDIA DOGWOOD | 25" CAL. MIN. | AS SHOWN | 4 |
| ⊕ | CHARACTYRIS OBTUSA | PRINCE OF PESS | EXISTING TREE TO REMAIN & PROTECT | N/A | N/A |
| ⊙ | MAGNOLIA STELLATA | STAR MAGNOLIA | EXISTING TREE TO BE RELOCATED | AS SHOWN | 1 |

PLANT SCHEDULE

| SYMBOL | KEY | BOTANICAL NAME | COMMON NAME | MINIMUM SIZE (HT. X SPD.) | SPACING | QUANTITY |
|--------|------|---------------------------------|-------------------------|--------------------------------|----------|----------|
| ○ | CASA | CAMELIA SASANOUEA YULETIDE | YULETIDE CAMELIA | 12" FT. MIN. 4 CANES, #6 CONT. | 4' O.C. | 4 |
| ⊕ | CHRE | CHOISYA TERNA | MEXICAN ORANGE | 18" FT. MIN. 4 CANES, #6 CONT. | 4' O.C. | 19 |
| ⊙ | CHG | CISTIS X ABURARTI MACULATUS | SPOTTED WHITE ROCK ROSE | 12" FT. MIN. 4 CANES, #6 CONT. | 3' O.C. | 28 |
| ○ | COG | CORNUS SERICEA VELBETH | VELVET DOGWOOD | 12" FT. MIN. 4 CANES, #6 CONT. | 2' O.C. | 77 |
| ⊙ | DAOD | DAPHNE COCCA | VAREGATED WINTER DAPHNE | 12" SPREAD, #1 CONT. | 3' O.C. | 29 |
| ○ | LOH | ILEX CREMATA HELLEF | HELLER HOLLY | 12" SPREAD, #1 CONT. | 18" O.C. | 177 |
| ⊙ | IMAG | LIASORUS CONGESTICA GULF STREAM | GULF STREAM HEUBLEY | 12" FT. MIN. 4 CANES, #6 CONT. | 3' O.C. | 40 |
| ⊕ | PEAL | PENIKSETUM ALPECEURODES | LITTLE BUNNY EAR | 12" SPREAD, #1 CONT. | 18" O.C. | 81 |
| ○ | POCR | POTENILLA FRITIOSA | PINK BEAUTY POTENILLA | 12" FT. MIN. 4 CANES, #6 CONT. | 3' O.C. | 81 |
| ○ | SPVA | SPRING JAPONICA GOLDMOUND | GOLDMOUND SPIREA | 12" FT. MIN. 4 CANES, #6 CONT. | 2' O.C. | 81 |

LEGEND:
 --- LIMIT OF LANDSCAPE IMPROVEMENTS

- PLANTING NOTES:**
- VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
 - VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
 - VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DRAINAGE OR OTHER HAZARDOUS OBSTRUCTIONS. PROCEEDING WITHOUT NOTIFICATION IMPLIES ACCEPTANCE.
 - COORDINATE WITH OTHER SUBCONTRACTORS AND TRACERS TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
 - REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
 - VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONFERENCE ONLY.
 - PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
 - UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULAR SPACED.
 - LABELLING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MARKED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP. EACH IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.

kpff
 11100 N.W. 15th Avenue
 Portland, OR 97229
 503.304.2800

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PLACE
 750 NW 15th Avenue
 Portland, OR 97209
 503.304.2800

JOB NO.: 1700003
 DESIGNED BY: NS
 DRAWN BY: NS
 CHECKED BY: DW
 DATE PLOTTED: 02/21/18 10:51 AM
 PLOT NAME: L200_PLANT.dwg
 USER NAME: L200
 PLOT SCALE: 1/8"=1'-0"

SHEET NO. **L200**
 OF 11
 REVISION NO.

SECRET ROAD ENTRANCES
 ACCESS RESTRICTION

TUALATIN PROFESSIONAL PLAZA
 PLANTING PLAN

