



City of Tualatin

Attachment H2:

Public Comment Record 2015



From: [G. Lucini](#)
To: [Councilor Susie Stevens](#); [Councilor Charlotte Lehan](#); [Councilor Julie Fitzgerald](#); [Councilor Starr Scott](#); Knapp@ci.wilsonville.or.us
Cc: council@ci.wilsonville.or.us; [Bateschell, Miranda](#); [JoelleDavis](#); [Cindy Hahn](#)
Subject: PLEASE INCLUDE AS PART OF PUBLIC RECORD -Basalt Creek and Compliance with ADA within Public ROW and Public Trails-- for City of Wilsonville Council Work Session 4-20-15
Date: Friday, April 17, 2015 6:11:45 PM
Attachments: [2015-04-16 Proposed Basalt Creek Trail Map Comments.pdf](#)

As residents of the Basalt Creek Area, and without elected representation within the decision making Basalt Creek Concept Planning IGA, we request the City Council of Wilsonville to take into consideration the following information when the Council convenes on April 20, 2015.

During the Council Work Session on 4-20-15, information will be presented on Basalt Creek Concept Planning – as well as on Wilsonville’s’ ADA Transition Plan. It is somewhat ironic and yet helpful that information on both of these issues will be presented during the same Council Work Session.

1. GRAHAMS FERRY ROAD- BOONES FERRY ROAD CONNECTOR-

The issue of the grade on proposed East West Connector between Grahams Ferry Road and SW Boones Ferry Road has been brought to the Council previously, but should be brought to the Council’s attention again.

- The current design of the Connector will be approximately 1/2 of a mile in length and includes a bridge which will be 100 feet above ground at the east end. According to the presentation by Washington County Engineer Russell Knoeble at the Tualatin City Council Work Session on 4-13-15, the County is attempting to “not exceed a 6% grade on this bridge” by raising the level of the proposed intersection at Grahams Ferry Road and the planned Boones Ferry Connector.
- While implementing the goal of increasing the flow and volume of regional freight traffic through this specific location, what protections will be provided to pedestrians and bicyclists from this planned regional freight traffic- on the bridge and at the intersections at the top and the bottom of the 6% grade?
- What was not discussed during the Tualatin Council 4-13-15 meeting was the additional costs involved to build the bridge (which is part of the public ROW system) to be ADA compliant considering the anticipated 6% grade.
- These issues are in addition to other grade and safety issues for a bridge constructed over wetlands; a bridge which will be more prone to freezing and ice than the surrounding surface streets; and a design/ location problem which will delay timely emergency services response due to the height of the bridge and the two limited street access point along the 124th –Boones Ferry Expressway.
- Knowledgeable truckers will not voluntarily use routes which slow their speed (i.e. a 6% grade with intersections at the top and bottom) or which increase fuel costs (i.e. accelerating up a 6% grade) when other local options are available.
- The current plan will continue to increase the flow and volume of regional freight traffic along SW Boones Ferry Road to the intersections at Day Road and the I-5 Interchange all the way up until the year 2035- and only when the Frobase Road Overcrossing is authorized, and issues surrounding the UBG in the area, are resolved.
- All of these factors again question the feasibility and utility of the planned location of the Grahams Ferry –Boones Ferry Connector as a regional freight route for year round use.
- Yet, all efforts of the current Concept Planning for the Basalt Creek Area are all predicated on the location of the East West Connector as currently planned. Should

the location of the bridge be found to be inappropriate due to wetland instability, negative impact upon significant natural resources and wetland /water quality, increased safety issues, lack of AGA compliance, or lack of use by knowledgeable truckers due to increased fuel costs and increased then the time, effort and taxpayer expense of most of the current concept planning will have been wasted.

2. APPARENT LACK OF THE APPROPRIATE DUE DILIGENCE AND THE INTEGRATION OF THIS INFORMATION DURING THE DEVELOPMENT AND PRESENTATION PHASE OF PROPOSED SCENARIOS

At the Wilsonville Council Work Session on 4-20-15, information on the current concept planning will be provided.

Maps which are included within the informational packet include proposed suggestions which are contrary to normal construction practice or not in compliance with local or Federal laws.

- o Sanitary System Map places CWS line across multiple privately owned properties without ROW access available by road.

On page 158 "Attachment B Sanitary System Alternative Maps: BASE CASE," indicates a proposed CWS Service System west of SW Boones Ferry Road and running in a North-South direction.

- The location of the southern portion of this proposed line is not along a current or proposed future street and through the middle of several privately owned lots--which makes obtaining ROW, access, and maintenance of the line extremely problematic and therefore outside the usual and customary placement.
- The location of the southern portion of this proposed line is either through the existing wetlands, through a basalt cliff, through our home, or through our septic drain field/ or reserve drain field.
- All of these are previously known limiting factors which are problematic in placing this CWS line in the location as indicated on the map on page 158.

- o Public Trail Included in Basalt Creek Concept Planning Maps-Through Numerous Parcels Of Privately Owned Property.

Maps on pages 157, 159, 160, and 161 indicate a proposed public trail west of SW Boones Ferry Road which fragments our property as well as several other property owners. The proposed public trail runs north along the wetlands and into our backyard. The public trail then turns east through our barn and either through our home (or next to our home) and then up our driveway to connect to SW Boones Ferry Road.

(Please see the attached PDF file which provides a copy of the proposed public trail through the wetlands and up, into and through a significant portion of our homestead and property. This map was obtained from the City of Wilsonville City Council Work Session Information Packet 4-20-15, page 161 "Attachment B. Sanitary System-Alternatives Maps: Hybrid")

- Our driveway rises approximately 100 feet to reach Boones Ferry Road within approximately a 300 foot span----- with grades reaching 10-20%.
- This grade would cause the trail to exceed Federal ADA Standards- as well as Wilsonville's own ADA Transition Plan for public trails.
- Costs to come into ADA compliance would need to be critically evaluated due

- to the constraints of the topography.
- The driveway where the proposed trail is located- is the only vehicular access to our home. Because of the topography, there is limited room for expansion on either side of the driveway to accommodate a public trail as well as vehicles.
- The proposed trail also limits free access to a large section of our property in addition to removing our use and the enjoyment of our home and all our property.
- There are also obvious trespassing issues with the proposed location of the trail through our property and other privately owned lots.
- Are the Cities of Wilsonville and Tualatin as part of the Basalt Creek Concept Planning IGA proposing to purchase our home (in good condition and built in 2002) and all of our property of 4.8 acres?
 - Is any funding available to be utilized for the purchase- with a reasonable belief that funding will be readily available for such a purchase?
 - If so, what timeframe would this purchase be envisioned?
 - Would it be reasonable and respectful to discuss a proposal of this nature with a property owner prior to public distribution of plans which significantly impact their property?

3. INCONSISTENT APPLICATION OF MAJOR DESIGN/PLANNING PRINCIPLES.

It has been stated by project staff members- A primary determination in the selection of the present location of the east-west connector over the hybrid alternative was due to the fewer number of property owners affected and need to obtain fewer numbers of ROW.

- Yet, as evidenced by the Base Case Scenario Maps, and the various maps contained within the Wilsonville City Council Informational Packet for Council Meeting 4-20-15- there appears to be a total disregard to the number of property owners impacted by the location of various pipe lines and/or other public infrastructure and trails fragmenting private property.
- Due to the planned location of the East-West Connector an entire neighborhood/residential development will be destroyed at the proposed intersection of the East West Connector and Boones Ferry Road- without apparent concern for the property owners involved.

While we realize the concept planning process is still developing alternative scenarios- interim maps which are placed within the public domain and disseminated can have significant negative impact upon property owners- even if the proposed plans are not adopted.

The Basalt Creek Area consists of over 800 acres. Therefore planning for the area will affect many property owners. Out of consideration and respect for the many local property owners we are requesting the development and drafting of plans be reviewed for reasonable feasibility, and evaluated for known limitations--- *prior to moving to a formal public presentation to prevent undue hardship on local property owners.*

We have already been affected by other Basalt Creek Planning projects, and are very interested in seeing that property owners within the Basalt Creek Area are not subjected to impractical or unfeasible public presentation of plans and/or maps which may then inadvertently cause undue negative financial impact upon the property owners (i.e. clouding the property title, limiting salability of property due to potential public use etc.)

4. WOULD THIS BE AN APPROPRIATE TIME TO LOOK FORWARD AND INTEGRATE WITH OTHER NEWLY DEVELOPING MAJOR PUBLIC WORKS PROJECTS WHICH ARE BEING PLANNED WITHIN THE AREA?

- o The location and route of the Willamette Water Supply Program Pipeline from Wilsonville to Hillsboro and Beaverton was not yet identified when the East-West Connector was voted upon in December 2012.
- o Tualatin City Council Member Joelle Davis suggested at their 4-13-15 City Council Work Session that a consideration be given for placing the regional freight connection between 124th towards Interstate 5 along the same route as the Willamette Water Supply Program Pipeline---- at a cost savings which affects fewer residential properties. This location would also eliminate the need to construct a 6% grade bridge through known significant natural resources and wetlands and associated problems.

After the informational packet for the Wilsonville Council Meeting of 4-20-15 was posted on Tuesday 4-14-15 we submitted our concerns after business hours on 4-16-15, to the Wilsonville project manager for Basalt Creek Concept Planning, but have not yet received a response.

We are asking those who are involved in proposing various scenarios to come to our home to see first-hand the significant changes in topography of the area west of Boones Ferry Road and of the wetlands.

The ability to see the large basalt cliffs and steep slopes on the north end of the ravine (including our property) may help in the development of realistic and feasible alternatives.

We are yet again inviting the City Councilors to also do a site visit – that they may also understand the unique natural constraints within this specific section of the Basalt Creek Area. These constraints are difficult to visualize on a 2 dimensional map and cannot be seen from Boones Ferry Road above.

Respectfully submitted,

John and Grace Lucini
23677 SW Boones Ferry Road
Tualatin, OR 97062
503 692 9890

From: [G. Lucini](#)
To: Knapp@ci.wilsonville.or.us; [Councilor Starr Scott](#); [Councilor Julie Fitzgerald](#); [Councilor Charlotte Lehan](#); [Councilor Susie Stevens](#); [Lou Ogden](#); [Monique Beikman](#); [Nancy Grimes](#); [Wade Brooksby](#); [Joelle Davis](#); [Frank Bubenik](#); [Ed Truax](#); [Council](#); [Sandra King](#), [City Recorder](#)
Cc: [Alice Cannon](#); [Cindy Hahn](#); [Aquilla Hurd-Ravich](#); [Chris Neamtzu](#); [Karushaar, Nancy](#); [Bateschell, Miranda](#)
Subject: City Council Work Session-May 2015---Basalt Creek Land Use Scenarios-Impact on Property Owners West Side of SW Boones Ferry Road
Date: Monday, June 15, 2015 1:47:56 PM
Attachments: [2015 6-15- Land Use Options- Impact SW Boones Ferry Property Owners.pdf](#)

As the cities of Wilsonville and Tualatin discuss the two proposed Land Use Options for the Basalt Creek Concept Planning, as local property owners without elected representation within the decision making process, and who will be directly affected by this process- we wish to bring to your attention an important issue which may affect us and some other property owners along SW Boones Ferry Road.

We direct your attention to one of many differences ---between proposed Land Use Option 1 and Land Use Option 2.

Land Use Scenario for Option 1 provides a consistent land use of Residential Neighborhood for our home which is on a parcel of 4.81 acers.

- The proposed land use is consistent on both sides of the Basalt Creek Canyon
- Both the east and the west portions of our property is indicted as Residential Neighborhood
- The center portion of our property includes wetlands designation.

Land Use Scenario for Option 2 indicates two different land uses for our property in addition to the wetlands.

- The east end of our property as proposed in Option 2 is the same as for Option 1- Residential Neighborhood.
- The west end of our property in this scenario differs from Option 1, and changes the land use to Employment Transition – and may also include a triangle of Neighborhood Residential.
- The center portion of our property remains designated as wetlands.

It is apparent in the development of Option 2 – use of existing parcel lot lines was not considered when creating this part of the land use scenario. Multiple land uses and/or the recommendation of arbitrary diagonal use lines within existing parcels----- places additional burdens on existing individual property owners.

Please see the attached copy of proposed maps for Option1 and Option 2 with identification of the issues and properties in discussion.

We would appreciate your consideration of these issues when evaluating land use options for the property owners on the west side of SW Boones Ferry Road.

Respectfully submitted,
John and Grace Lucini
23677 SW Boones Ferry Road
Tualatin, Oregon 97062

From: [Herb Koss](#)
To: [Aquilla Hurd-Ravich](#); [Cindy Hahn](#); [LouOgden](#); [Lou.ogden@juno.com](#)
Subject: RE: Basalt Creek
Date: Wednesday, July 08, 2015 3:44:11 PM

Aquilla

Would it be helpful if I had a planner draw up some options for our land?

Herb

From: Aquilla Hurd-Ravich [mailto:AHURD-RAVICH@ci.tualatin.or.us]
Sent: Wednesday, July 08, 2015 9:48 AM
To: Herb Koss; Cindy Hahn; LouOgden; Lou.ogden@juno.com
Subject: RE: Basalt Creek

Dear Mr. Koss,

We appreciate you coming by yesterday to share your input on the future of your property. We will take these comments into consideration as we move forward.

Thank you,

Aquilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [mailto:herb@kossred.com]
Sent: Wednesday, July 08, 2015 7:38 AM
To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; [Lou.ogden@juno.com](#)
Subject: FW: Basalt Creek

Dear Cindy and Aquilla

Thank you for taking your time to meet with me today. First of all I sincerely hope that the land that my LLC owns is annexed into Tualatin vs Wilsonville. As I pointed out the 10 acres that our LLC owns is the corner of 124th and Grahams Ferry (the north east corner). I have highlighted it on the attached map. My preference would be a boundary a shown on Option 1 or a boundary that I would call option 3.

I have always thought that a natural boundary line would be 124th, however I have not taken into consideration the sewer service that may alter that desire.

I did drive by the proposed commercial site and looked at the grades. If the commercial was located on our property it would necessitate a cut . The one site next to Tonquin Road would need to be filled.

My personal desire is to have most of our land designated residential with the potential of our corner being commercial although a commercial designation is not important to me.

As we discussed I believe that with a parkway road (124th) a higher density residential zone would be a good transition from 124th and allow for a lower density as development occurs to the North. The commercial activity to the south of our land can be buffered with appropriate landscaping.

Is their time for me to have a planner draw up some more detailed plans for our 10 acres and how it would work in concert with the property to our north. I would be happy to do so if time permits.

Again thanks for meeting with me on such a short notice.

Sincerely
Herb Koss

Herb Koss | Owner & Broker
Koss Real Estate Development and Investment Co.
22400 Salamo Rd. Suite 106, West Linn, OR 97068
herb@kossred.com | (503)730-2431

From: [Zander Prideaux](#)
To: "Bateschell, Miranda"
Cc: [Cindy Hahn](#); molly.prideaux@gmail.com
Subject: RE: Basalt Creek follow-up
Date: Wednesday, July 29, 2015 8:32:56 AM

Miranda,

Thank you for the update. I will do my best to participate in the upcoming meetings and open house. Time is always a factor in my level of participation. It is a constant challenge running my own business, raising our kids, and trying to enjoy some free time. So I am including a letter with my official request.

Please let me know if you have any questions.

Thanks,

Zander

503.702.2507

From: Bateschell, Miranda [mailto:bateschell@ci.wilsonville.or.us]
Sent: Tuesday, July 21, 2015 6:56 PM
To: zprideaux@gmail.com
Cc: 'Cindy Hahn'
Subject: Basalt Creek follow-up

Xander,

Nice chatting with you on the phone last Friday. Sorry it has taken a while to follow-up with you. As I mentioned, the two Councils moved for staff to revisit the proposed boundary and make some edits. We are currently in the process of conducting an alternative boundary and land use scenario based on that input, which will go back to another Joint Council meeting anticipated for September 8, 6-8pm, City of Wilsonville City Hall (keep in tune on the project page for any updates and materials: www.basaltcreek.com). I am currently scheduled to go to Wilsonville City Council work session on 8/17 in preparation for that Joint Council meeting. I will also be at the 8/12 Wilsonville Planning Commission meeting to provide an update on the overall project.

As I mentioned on the phone there was not a recording of the June Joint Council. However, in response to your questions about the boundary near Boones Ferry Road, the Tualatin City Council expressed significant interest in maintaining the residential parcels to the west of Boones Ferry Road as residential parcels, keeping that residential community whole. City of Wilsonville Councilors acknowledged that position. The next scenario will be presented at the upcoming meetings described above and will likely reflect this discussion with the residential parcels spanning across the Basalt Creek Canyon proposed to be designated as future City of Tualatin. However, this will be under further discussion by the Councils.

In terms of public participation and input: You are welcome to testify at any City Council or Planning Commission meeting under general business. You are also welcome to submit written testimony for us to provide to Council at either the upcoming work sessions or for the Joint Council meeting where Basalt Creek is on the agenda (you can submit written testimony to me or Cindy (cc:d). The other avenue, which I encourage, is to participate in the upcoming public open house. It is not scheduled yet but we anticipate it will occur late September or October and will be posted on the website and an e-mail notification sent.

Thank you again for your interest in the project. Let me know if I can answer any more questions.

Best regards,
Miranda

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

7-29-15

Basalt Creek Planning Area:

To whom it may concern,

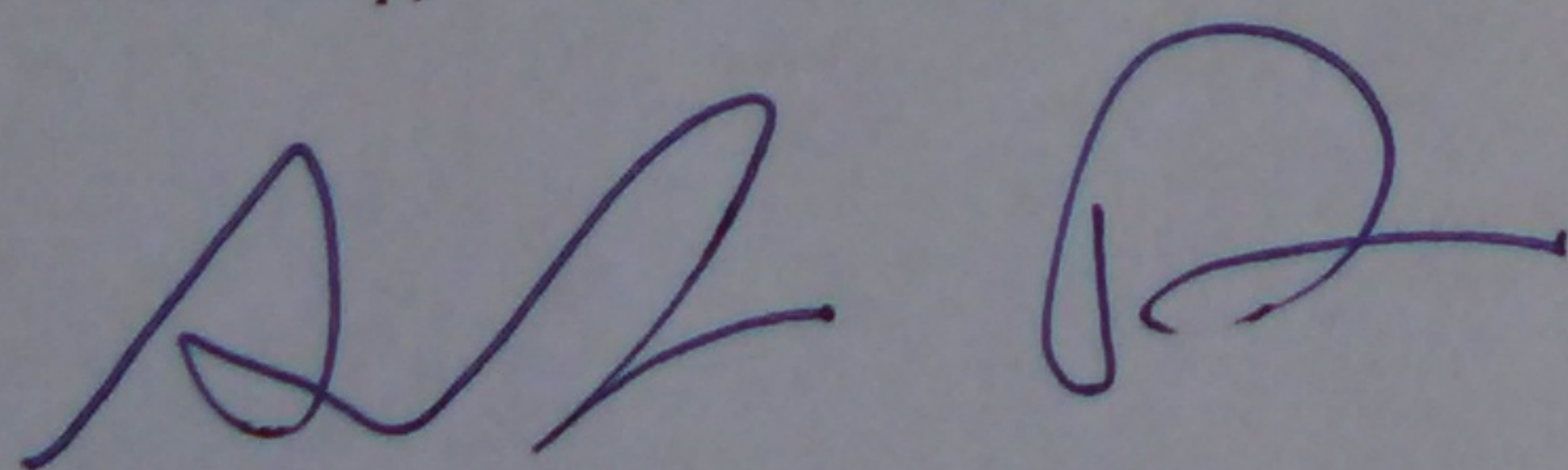
I am writing for a request to reconsider the decision to include our property in the City of Tualatin jurisdiction.

If a map is studied closely you will notice a natural division in property type on our northern border. Most houses to the North of us have a very nice residential layout to them. Our property and the ones to the south are much more organic in nature. It is our preference that our property be included in the Wilsonville jurisdiction. We feel our property would not be conducive to residential, due to the geography and proximity to the road.

Also we have strived over the years to maintain a native landscape surrounding the wetland that dominates our lower property, and would like to see it maintained long into the future.

I welcome any feedback.

Sincerely,

A handwritten signature in blue ink, consisting of two distinct parts. The first part is a stylized, cursive 'A' followed by a horizontal line. The second part is a cursive 'M' followed by a horizontal line. The two parts are written side-by-side.

Arthur and Molly Prideaux

24305 SW Boones Ferry Rd

Tualatin, Or 97062

503.702.2507

From: [Herb Koss](#)
To: [Cindy Hahn](#)
Cc: [Aquilla Hurd-Ravich](#); [Alice Cannon](#); [Sherilyn Lombos](#); [Bateschell, Miranda](#)
Subject: RE: Basalt Creek
Date: Tuesday, August 04, 2015 10:39:24 AM

Cindy

Thank you for your email. I happened to run into Lou Ogden this am and he confirmed that I have some time on the actual zoning issues.

When we spoke yesterday I suggested that I provide a tour of Stafford along with a side trip to the land I own in the Basalt Creek area. Most are probably very familiar with Basalt Creek, but not Stafford.

The County and Metro have now retained the services of a mediator to help resolve the remand on Stafford. As I mentioned to you I think crossing the Tualatin River would offer some opportunities for more housing for employers and their employees working in Tualatin, retirement communities, 55+ housing (single Level), etc.

Again I would like to know who would be interested in a Stafford Tour and a side trip to Grahams Ferry where 124th ends?

The Stafford tour takes 1.5 hours.

My time is fairly flexible.

Sincerely
Herb Koss 503 730 2431

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]
Sent: Monday, August 03, 2015 5:07 PM
To: Herb Koss
Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda
Subject: RE: Basalt Creek

Hi Herb,

As we discussed, I have copied Aquilla Hurd-Ravich, Planning Manager, and Alice Cannon, Assistant City Manager, on this email so they are aware that you called about Basalt Creek. Aquilla's phone is 503-691-3028 and Alice's is 503-691-3018. If you arrange a site visit of your property as you discussed with Sherilyn Lombos, City Manager, either Aquilla or Alice may be interested in participating.

I have also copied Miranda Bateschell, Long Range Planning Manager, at the City of Wilsonville who is managing the Basalt Creek project on their end so she is aware of your interest.

Our City Council will receive a briefing on the latest alternative for a jurisdictional boundary and potential land uses at work session on August 24. The public is welcome to attend, however, Council does not take public comment during the meeting. Materials will post on the City website one week before the meeting (on August 17). Work session usually starts at 5:00 pm at the Juanita Pohl Center. Please check the agenda in advance to see if there is a change to the start time as occurs occasionally.

Thank you for your interest in this project and please let me know if I can be of further assistance.

Cindy

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: Herb Koss [<mailto:herb@kossred.com>]
Sent: Wednesday, July 08, 2015 3:44 PM
To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com
Subject: RE: Basalt Creek

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Aquilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [<mailto:herb@kossred.com>]

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Again thanks for meeting with me on such a short notice.

Sincerely
Herb Koss

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herb@kossred.com | (503)730-2431

From: [Aquilla Hurd-Ravich](#)
To: [Herb Koss](#); [Cindy Hahn](#); [LouOgden](#); [Lou.ogden@juno.com](#); [John Fregonese](#)
Cc: [Don & Barb Hanson \(don.hanson@otak.com\)](#); [Bateschell, Miranda](#)
Subject: RE: Basalt Creek
Date: Friday, August 21, 2015 8:34:46 AM

Mr. Koss,

Thank you for forwarding this concept drawing and cross section. The Project Management Team will include your ideas with other public comment that will be presented to both Councils later this fall.

Thanks again,

Aquilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [mailto:herb@kossred.com]
Sent: Wednesday, August 19, 2015 4:40 PM
To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com; John Fregonese
Cc: Don & Barb Hanson (don.hanson@otak.com)
Subject: RE: Basalt Creek

Good Afternoon Aquilla, Cindy, Lou and John

After our meeting I decided to hire Otak to draw up a plan that I had described to tie into the Tualatin existing residential housing from 124th North.

Note that the power line corridor is now a lineal parkway that links to the existing proposed open space. **This land is far better suited for housing since there is considerable slopes on some of the land that do not make light industrial very feasible.**

I know this maybe a bit ahead of the zoning process, but I wanted to send this to you now so you had a better idea of my suggested plan.

The Multifamily is a good use across from the light industrial use shown south of 124th.

Please let me know if you have any questions or suggestions.

Sincerely
Herb Koss

PS: Otak may be making some small changes to the plan, but I wanted to get this to you asap.

From: Herb Koss

Sent: Wednesday, July 08, 2015 7:38 AM

To: 'ahurd-ravich@ci.tualatin.or.us'; chahn@ci.tualatin.or.us; Louogden; Lou.ogden@juno.com

Subject: FW: Basalt Creek

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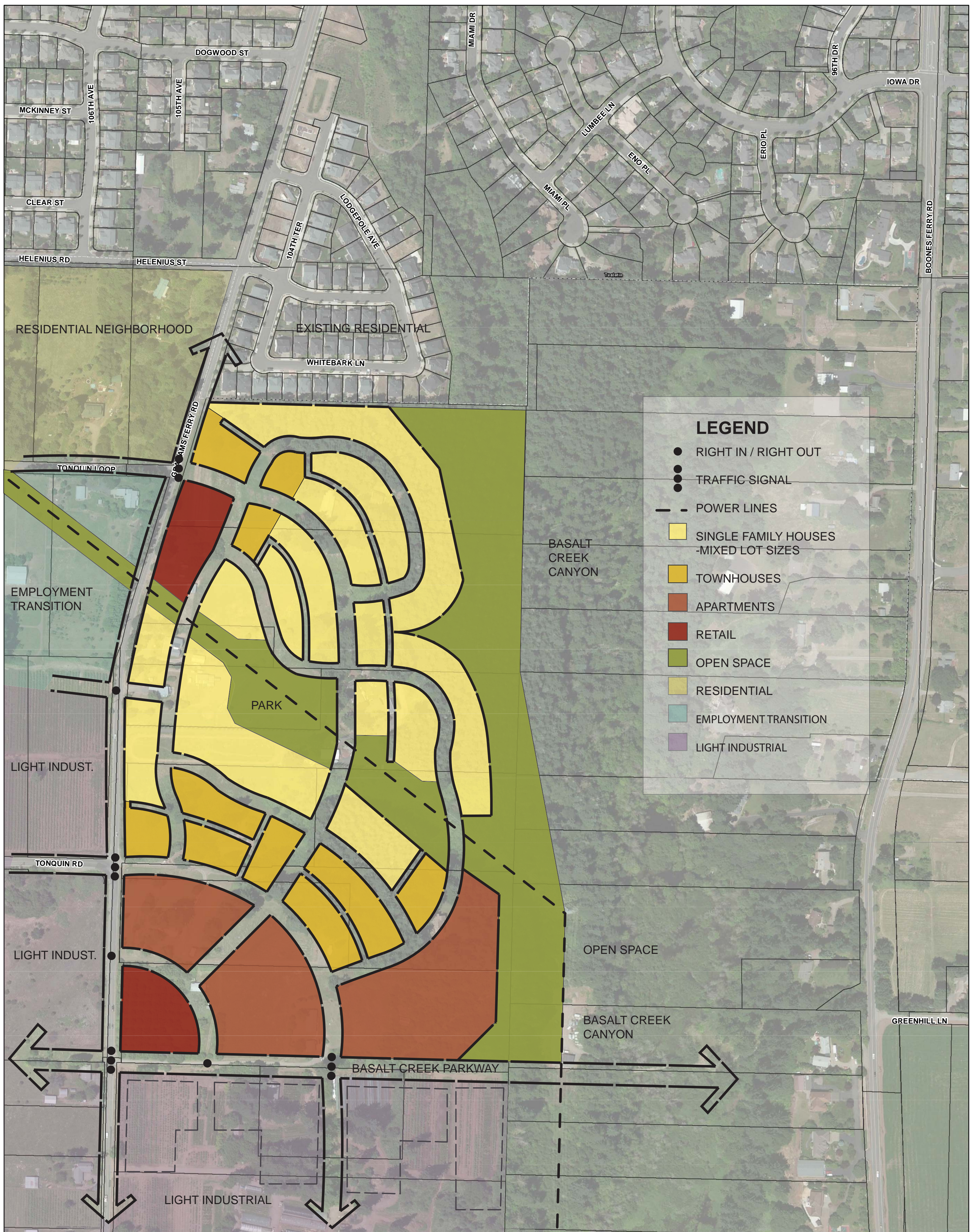
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Again thanks for meeting with me on such a short notice.

Sincerely
Herb Koss

Herb Koss | Owner & Broker
Koss Real Estate Development and Investment Co.
22400 Salamo Rd. Suite 106, West Linn, OR 97068
herb@kossred.com | (503)730-2431





From: [Bateschell, Miranda](#)
To: [Cindy Hahn](#)
Subject: FW: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-17-15
Date: Thursday, August 20, 2015 2:14:07 PM

fyi

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

From: G. Lucini [<mailto:grluci@gmail.com>]
Sent: Thursday, August 20, 2015 2:10 PM
To: Bateschell, Miranda
Subject: Re: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-17-15

Thanks Miranda for your prompt reply. It is appreciated.

Looking forward to giving the public access and understanding of the information and dynamics which goes into the selection of the final option.

Grace

Sent from my iPhone

On Aug 20, 2015, at 1:47 PM, Bateschell, Miranda <bateschell@ci.wilsonville.or.us> wrote:

Ms. Lucini,

Thank you for your e-mail. I want you to know that Tualatin and Wilsonville staff are working with the consultant to have the right public meeting information posted on the website. We apologize for the oversight and understand the potential implications. The meetings are already posted on our individual city websites, but should be corrected on the project website very soon.

Thanks,
Miranda

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

From: G. Lucini [<mailto:grluci@gmail.com>]
Sent: Thursday, August 20, 2015 1:29 PM

To: Kraushaar, Nancy; Bateschell, Miranda; Cindy Hahn; Aquilla Hurd-Ravich
Cc: Sean Brady; Kohlhoff, Mike
Subject: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-17-15

I'm following up on a conversation I had with Nancy and Miranda following the Wilsonville City Council Work Session on 8-17-15.

Part of our conversation centered upon the lack of notice of recent Public Meetings on Basalt Creek Concept Planning on its official website - BasaltCreek.com.

While actual notice was provided to some subscribed interested persons- General Public Notice via the official website for the project -has lacked posting of several important Public Meetings held by either Tualatin or Wilsonville in recent months. This omission of General Public Notice of Public Meetings on Basalt Creek Concept Planning on the official project website continues regarding future Public Meetings which have already been scheduled for concept planning.

According to the BasaltCreek.com website no Public Meetings on concept planning were scheduled for the month of August 2015 or September 2015.

Please see webshots of the three pages taken today (8-20-15) from BasaltCreek.com which are attached.

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As lack of appropriate Public Notice on Basalt Creek Concept Planning has been a concern of the past, and members of the Tualatin City Council have made assurances during City Council Meetings that the public would be notified of Public Meetings on the Concept Planning for Basalt Creek, I am requesting every effort be made to comply and exceed minimum requirements for Public Notice on Basalt Creek Concept Planning.

I hope these oversights or perhaps technical problems on the BasaltCreek.com website will be corrected as soon as possible- recognizing another Public Meeting on Basalt Creek Concept Planning is scheduled for the Tualatin City Council Work Session on Monday August 24, 2015.

Regards,
Grace Lucini

Get Involved

We value and encourage your input. **Public involvement opportunities will be posted on the calendar of events below.** You can also **sign up to receive updates and meeting notices** about the Concept Plan on the right-hand side of the page.

Contact Us

Visit the Basalt Creek [Contact Us](#) page and submit your questions, comments, or suggestions.

Calendar of Events

For event documents and materials, please go to [Documents & Resources](#)

◀ Aug 2015 ▶ Today		August 2015		Month Week		
MON	TUE	WED	THU	FRI	SAT	SUN
27	28	29	30	31	1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31	1	2	3	4	5	6

Concept Plan Updates

- [Project Team Presents Alternative Options for Future Land Uses and a Jurisdictional Boundary: Open House to Occur in Late Summer](#)
- [Consultant Team Studies Sewer System Options and Costs in-depth: Open House shifted to Early Summer](#)
- [Workshop and Online Survey Results](#)
- [June 17th, 2014 Community Workshop](#)
- [Partnering Agreement](#)

Sign up to receive email updates about the Basalt Creek Concept Plan!

Email address:

[SIGN UP](#)

Upcoming Events

View the monthly calendar of events [here](#).

- No upcoming events

Watch a Video About Basalt Creek



City of Tualatin
 18880 SW Martinazzi Ave.
 Tualatin, OR 97062
 (503) 691-3026

City of Wilsonville
 29799 SW Town Center Loop E
 Wilsonville, OR 97070
 (503) 682-1011

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◀ Sep 2015 ▶ Today September 2015 Month Week						
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Basalt Creek Concept Plan

6.25.15 Update: Project Team Presents Alternative Options for Future Land Uses and Jurisdictional Boundary; Open House to Occur in Late Summer

The Basalt Creek Concept Plan project team presented alternative options for future land uses and a jurisdictional boundary, as well as refined infrastructure cost estimates to individual City Councils and the Tualatin and Wilsonville Joint City Council in June 2015. Planning is underway for a Public Open House in August/September. See the [News & Updates Page](#) for more information.

To ensure you are receiving the most current project information, please subscribe to email updates [here](#).

The Basalt Creek Concept Plan project will develop a plan for future development of the Basalt Creek and West Railroad Planning Areas. In 2004, Metro included this land within the urban growth boundary to accommodate increased development in the region for the next 20 years. Specifically, the Concept Plan will address a variety of factors including:

- Future city limit lines between the Cities of Tualatin and Wilsonville
- Land uses including industrial, commercial, residential, parks, trails, and green ways
- Transportation network and system of connections for automobiles and pedestrians
- Provision of urban services such as water, sanitary sewer, and stormwater



Concept Plan Updates

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From: [G. Lucini](#)
To: [Bateschell, Miranda](#); [Nancy Karushaar](#); [Cindy Hahn](#); [Aquilla Hurd-Ravich](#)
Subject: Re: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-17-15
Date: Thursday, August 20, 2015 3:30:58 PM

Thank you for your action regarding the accuracy of information posted on the [BasaltCreek.com](#) website.

In checking after my previous email- I notice the website has now been updated to reflect scheduled public meetings on concept planning for the area for the months of Aug and Sept 2015.

I hope the website will receive routine monitoring in the future as any new public meeting/s are scheduled.

Thanks,

Grace

Sent from my iPhone

On Aug 20, 2015, at 2:09 PM, G. Lucini <grluci@gmail.com> wrote:

Thanks Miranda for your prompt reply. It is appreciated.

Looking forward to giving the public access and understanding of the information and dynamics which goes into the selection of the final option.

Grace

Sent from my iPhone

On Aug 20, 2015, at 1:47 PM, Bateschell, Miranda
<bateschell@ci.wilsonville.or.us> wrote:

Ms. Lucini,

Thank you for your e-mail. I want you to know that Tualatin and Wilsonville staff are working with the consultant to have the right public meeting information posted on the website. We apologize for the oversight and understand the potential implications. The meetings are already posted on our individual city websites, but should be corrected on the project website very soon.

Thanks,
Miranda

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

From: G. Lucini [<mailto:grluci@gmail.com>]
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Regards,
Grace Lucini

From: [LouOgden](#)
To: ["Herb Koss"](#)
Cc: [Aquilla Hurd-Ravich](#); [Cindy Hahn](#); [Lou.ogden@juno.com](#); ["John Fregonese"](#); ["Don & Barb Hanson"](#)
Subject: RE: Basalt Creek
Date: Thursday, August 20, 2015 10:41:40 PM
Attachments: [image003.png](#)

That's exactly how I understand it. It's just that your previous email said the intersection of Grahams and 124th. As you point out below, it is the intersection of Grahams and the Basalt Parkway, not 124th. I get it.

Thanks,



Lou Ogden
Resource Strategies Planning Group
Group Benefits & Life, Health, Disability, & Long Term Care Insurance for Businesses and Individuals
21040 SW 90th Ave. Tualatin, OR 97062
Phone 503.692.0163; Fax 503.385.0320
lou@louogden.com

From: Herb Koss [<mailto:herb@kossred.com>]
Sent: Thursday, August 20, 2015 8:51 AM
To: Louogden
Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; John Fregonese; Don & Barb Hanson (don.hanson@otak.com)
Subject: RE: Basalt Creek

Good Morning Lou

The land that my LLC owns is the NE Corner of the Proposed Basalt Creek Parkway and Grahams' Ferry. I have had calls from the Washington County transportation people about ROW on our frontage on Graham's Ferry and future ROW acquisition from our southern Property line when the New Basalt Creek Parkway is constructed.

It is my understanding the until the new Parkway is built that Tonquin Road will be the connector to Graham's Ferry, but when the Parkway is built it alinement will be along our southern boundary.

The plan that Otak produced for me shows a small retail center at both the intersection of Tonquin and Graham's Ferry and the intersection of Graham's Ferry and the new Parkway (the extension of 124th).

Otak's plan connects to the existing housing in Tualatin with a parkway in the power line corridor. As I mentioned in the email, with the plan attachments, the land shown in Otak's plan is better suited for housing than light industrial because of the existing grades. If I have misunderstood the transportation plan I would appreciate staff commenting on this.

Thanks
Herb

From: Louogden [<mailto:lou@louogden.com>]
Sent: Wednesday, August 19, 2015 7:51 PM
To: Herb Koss
Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; John Fregonese; Don & Barb Hanson (don.hanson@otak.com)
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Hi Herb. Where you say your land is the NE Corner of Graham's Ferry and 124th I am confused. As I understand the plan is for 124th to extend south and intersect Tonquin in phase 1. In phase 2 124th will extend a bit farther south the new "Basalt Creek Pkwy". I don't know that 124th intersects Graham's Ferry??

Thanks,



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Phone 503.692.0163; Fax 503.385.0320
lou@louogden.com

On Aug 19, 2015, at 4:39 PM, Herb Koss <herb@kossred.com> wrote:

Good Afternoon Aquilla, Cindy, Lou and John

After our meeting I decided to hire Otak to draw up a plan that I had described to tie into the Tualatin existing residential housing from 124th North.

Note that the power line corridor is now a lineal parkway that links to the existing proposed open space. **This land is far better suited for housing since there is considerable slopes on some of the land that do not make light industrial very feasible.**

I know this maybe a bit ahead of the zoning process, but I wanted to send this to you now so you had a better idea of my suggested plan.

The Multifamily is a good use across from the light industrial use shown south of 124th.

Please let me know if you have any questions or suggestions.

Sincerely
Herb Koss

PS: Otak may be making some small changes to the plan, but I wanted to get this to you asap.

From: Herb Koss
Sent: Wednesday, July 08, 2015 7:38 AM
To: 'ahurd-ravich@ci.tualatin.or.us'; chahn@ci.tualatin.or.us; Louogden; Lou.ogden@juno.com
Subject: FW: Basalt Creek

Dear Cindy and Aquilla

Thank you for taking your time to meet with me today. First of all I sincerely hope that the land that my LLC owns is annexed into Tualatin vs Wilsonville. As I pointed out the 10 acres that our LLC owns is the corner of 124th and Grahams Ferry (the north east corner). I have highlighted it on the attached map. My preference would be a boundary a shown on Option 1 or a boundary that I would call option 3.

I have always thought that a natural boundary line would be 124th, however I have not taken into consideration the sewer service that may alter that desire.

I did drive by the proposed commercial site and looked at the grades. If the commercial was located on our property it would necessitate a cut . The one site next to Tonquin Road would need to be filled.

My personal desire is to have most of our land designated residential with the potential of

our corner being commercial although a commercial designation is not important to me.

As we discussed I believe that with a parkway road (124th) a higher density residential zone would be a good transition from 124th and allow for a lower density as development occurs to the North. The commercial activity to the south of our land can be buffered with appropriate landscaping.

Is their time for me to have a planner draw up some more detailed plans for our 10 acres and how it would work in concert with the property to our north. I would be happy to do so if time permits.

Again thanks for meeting with me on such a short notice.

Sincerely
Herb Koss

Herb Koss | Owner & Broker
Koss Real Estate Development and Investment Co.
22400 Salamo Rd. Suite 106, West Linn, OR 97068
herb@kossred.com | (503)730-2431

<17713 - South Tualatin Neighborhood Diagram_08-18.pdf>

<17713 - Basalt Creek Parkway - Cross Section.pdf>

From: [Herb Koss](#)
To: [LouOgden](#)
Cc: [Aquilla Hurd-Ravich](#); [Cindy Hahn](#); [Lou.ogden@juno.com](#); "John Fregonese"; "Don & Barb Hanson"
Subject: RE: Basalt Creek
Date: Friday, August 21, 2015 7:44:30 AM
Attachments: [image001.png](#)

Thanks for the email Lou. As you are aware I really hope that Tualatin is the city that will annex the land that we own and the plan that I submitted is utilized. Thanks for sending me the email which allowed me to clarify the location.

Sincerely
Herb

From: Lou Ogden [<mailto:lou@louogden.com>]
Sent: Thursday, August 20, 2015 10:42 PM
To: Herb Koss
Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; 'John Fregonese'; 'Don & Barb Hanson'
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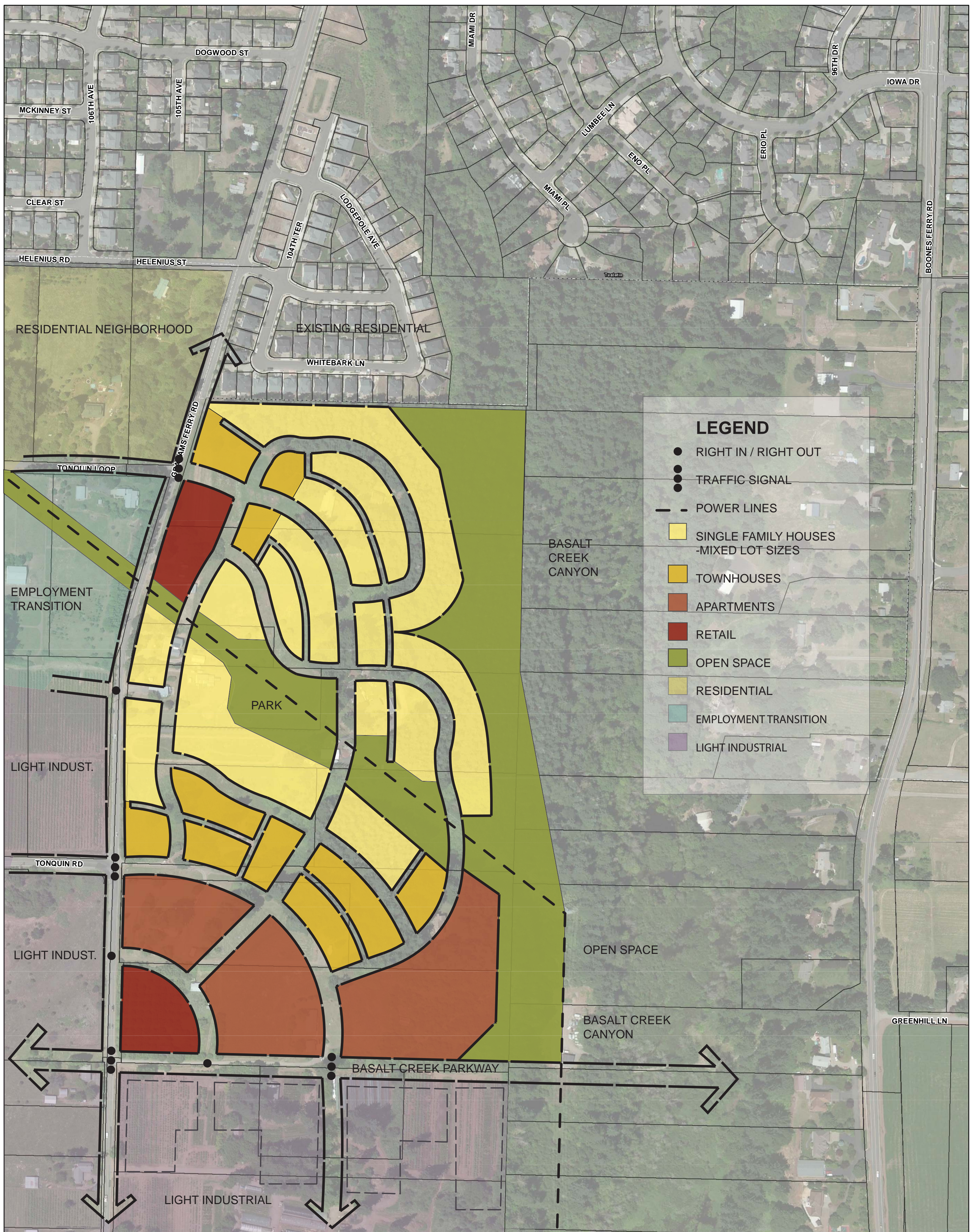
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<17713 - Basalt Creek Parkway - Cross Section.pdf>





From: [Herb Koss](#)
To: [Cindy Hahn](#)
Cc: [Peter Watts](#); [Ed Trompke \(Ed.Trompke@jordanramis.com\)](#); [Don & Barb Hanson \(don.hanson@otak.com\)](#)
Subject: RE: Basalt Creek Concept Plan Project - September Notice of Upcoming Public Meetings
Date: Monday, August 31, 2015 2:36:22 PM
Attachments: [image001.png](#)

Thank you Cindy.

I am having Otak do some more work for us. As you know the LLC that I manage is affected big time by this plan.

More information from our planner – Don Hanson with Otak will be coming.

Thanks
Herb Koss

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]
Sent: Monday, August 31, 2015 2:26 PM
Subject: Basalt Creek Concept Plan Project - September Notice of Upcoming Public Meetings



Greetings,

The Basalt Creek project team has decided to delay the Joint Council meeting, previously scheduled for September 8, 2015, due to several Councilors from each city being unable to attend. This schedule change also allows more time for analysis of boundary and land use options in the Basalt Creek Planning Area. A new meeting date will be posted as soon as it is confirmed.

Prior to this rescheduling, a boundary option was developed based on direction received from both City Councils in June. On August 17, 2015, that boundary option was presented to Wilsonville Council – materials are posted [here](#). Tualatin Council reviewed the same material on August 24, 2015 - materials are available [here](#). The presentation from the June 17, 2015, Joint Council meeting is available [here](#).

Upcoming Presentations:

- **CANCELLED Joint Tualatin and Wilsonville City Council Meeting:** September 8, 6:00-8:00 pm, Wilsonville City Hall
- **Tualatin Planning Commission:** September 17, 6:30 pm, Juanita Pohl

Center (meeting materials posted September 10) – Project Update

Underway:

- **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you haven't already, please sign up for email updates [here](#). For upcoming meetings, please view the project [calendar](#).

If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: [Herb Koss](#)
To: [Alice Cannon](#); [Cindy Hahn](#)
Cc: [Aquilla Hurd-Ravich](#); [Sherilyn Lombos](#); [Bateschell, Miranda](#)
Subject: RE: Basalt Creek
Date: Monday, September 07, 2015 8:33:56 AM

Alice

I saved this email and thought I should contact you to see what your schedules may be. My Sept is filling up, but if I know the best day and if am or pm works best I would be happy to try and accommodate your schedules.

I am sure you will find the Stafford tour interesting. If you have not visited the Basalt area that is interesting too.

Herb Koss

From: Alice Cannon [mailto:Acannon@ci.tualatin.or.us]
Sent: Friday, August 14, 2015 2:16 PM
To: Herb Koss; Cindy Hahn
Cc: Aquilla Hurd-Ravich; Sherilyn Lombos; Bateschell, Miranda
Subject: RE: Basalt Creek

Mr. Koss:

Thanks for the note. Sorry for the delayed response. August is a tough month to schedule something like this with so many people out enjoying vacations with their families before school begins.

I am out for a few days myself beginning next week but will be back the week of August 24. Perhaps we can visit the two areas in September. I will be back in about 10 days.

Thanks again for the invitation.

Alice

Alice Cannon
Assistant City Manager
City of Tualatin | Community Development
503.691.3018 | acannon@ci.tualatin.or.us | www.tualatinoregon.gov

From: Herb Koss [mailto:herb@kossred.com]
Sent: Tuesday, August 04, 2015 10:39 AM
To: Cindy Hahn
Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda
Subject: RE: Basalt Creek

Cindy

Thank you for your email. I happened to run into Lou Ogden this am and he confirmed that I have some time on the actual zoning issues.

When we spoke yesterday I suggested that I provide a tour of Stafford along with a side trip to the land I own in the Basalt Creek area. Most are probably very familiar with Basalt Creek, but not Stafford.

The County and Metro have now retained the services of a mediator to help resolve the remand on Stafford. As I mentioned to you I think crossing the Tualatin River would offer some opportunities for more housing for employers and their employees working in Tualatin, retirement communities, 55+ housing (single Level), etc.

Again I would like to know who would be interested in a Stafford Tour and a side trip to Grahams Ferry where 124th ends?

The Stafford tour takes 1.5 hours.

My time is fairly flexible.

Sincerely
Herb Koss 503 730 2431

From: Cindy Hahn [<mailto:CHAHN@ci.tualatin.or.us>]
Sent: Monday, August 03, 2015 5:07 PM
To: Herb Koss
Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda
Subject: RE: Basalt Creek

Hi Herb,

As we discussed, I have copied Aquilla Hurd-Ravich, Planning Manager, and Alice Cannon, Assistant City Manager, on this email so they are aware that you called about Basalt Creek. Aquilla's phone is 503-691-3028 and Alice's is 503-691-3018. If you arrange a site visit of your property as you discussed with Sherilyn Lombos, City Manager, either Aquilla or Alice may be interested in participating.

I have also copied Miranda Bateschell, Long Range Planning Manager, at the City of Wilsonville who is managing the Basalt Creek project on their end so she is aware of your interest.

Our City Council will receive a briefing on the latest alternative for a jurisdictional boundary and potential land uses at work session on August 24. The public is welcome to attend, however, Council

does not take public comment during the meeting. Materials will post on the City website one week before the meeting (on August 17). Work session usually starts at 5:00 pm at the Juanita Pohl Center. Please check the agenda in advance to see if there is a change to the start time as occurs occasionally.

Thank you for your interest in this project and please let me know if I can be of further assistance.

Cindy

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: Herb Koss [<mailto:herb@kossred.com>]
Sent: Wednesday, July 08, 2015 3:44 PM
To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com
Subject: RE: Basalt Creek

Aquilla

Would it be helpful if I had a planner draw up some options for our land?

Herb

From: Aquilla Hurd-Ravich [<mailto:AHURD-RAVICH@ci.tualatin.or.us>]
Sent: Wednesday, July 08, 2015 9:48 AM
To: Herb Koss; Cindy Hahn; LouOgden; Lou.ogden@juno.com
Subject: RE: Basalt Creek

Dear Mr. Koss,

We appreciate you coming by yesterday to share your input on the future of your property. We will take these comments into consideration as we move forward.

Thank you,

Aquilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [<mailto:herb@kossred.com>]
Sent: Wednesday, July 08, 2015 7:38 AM
To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com
Subject: FW: Basalt Creek

Dear Cindy and Aquilla

Thank you for taking your time to meet with me today. First of all I sincerely hope that the land that my LLC owns is annexed into Tualatin vs Wilsonville. As I pointed out the 10 acres that our LLC owns is the corner of 124th and Grahams Ferry (the north east corner). I have highlighted it on the attached map. My preference would be a boundary a shown on Option 1 or a boundary that I would call option 3.

I have always thought that a natural boundary line would be 124th, however I have not taken into consideration the sewer service that may alter that desire.

I did drive by the proposed commercial site and looked at the grades. If the commercial was located on our property it would necessitate a cut . The one site next to Tonquin Road would need to be filled.

My personal desire is to have most of our land designated residential with the potential of our corner being commercial although a commercial designation is not important to me.

As we discussed I believe that with a parkway road (124th) a higher density residential zone would be a good transition from 124th and allow for a lower density as development occurs to the North. The commercial activity to the south of our land can be buffered with appropriate landscaping.

Is their time for me to have a planner draw up some more detailed plans for our 10 acres and how it would work in concert with the property to our north. I would be happy to do so if time permits.

Again thanks for meeting with me on such a short notice.

Sincerely
Herb Koss

Herb Koss | Owner & Broker
Koss Real Estate Development and Investment Co.
22400 Salamo Rd. Suite 106, West Linn, OR 97068
herb@kossred.com | (503)730-2431

From: [Aquilla Hurd-Ravich](#)
To: [G. Lucini](#)
Cc: [Cindy Hahn](#); [Bateschell, Miranda](#)
Subject: RE: Basalt Creek Concept Planning
Date: Thursday, September 10, 2015 9:53:17 AM

Grace,

Thank you so much for help spreading the word about the work session on Monday night.

Going forward we will strive to present information in a way that clearly communicates what land uses are envisioned on individual lots. As I mentioned during our phone call, after a boundary is decided and each begins working on adoption we will develop more detailed information about land uses on individual lots. I appreciate the points you made below and we will take all those into consideration as we move forward.

Thanks again,

Aquilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: G. Lucini [mailto:grluci@gmail.com]
Sent: Wednesday, September 09, 2015 8:03 PM
To: Aquilla Hurd-Ravich
Subject: Basalt Creek Concept Planning
Importance: Low

Hi Aquilla,

As you asked, I sent out a group email to notify my neighbors of the Public Meeting on Basalt Creek Concept Planning which was just placed on the Tualatin City Council Work Session for Monday September 14th. Thank you for your interest in attempting to notify the public of this newly scheduled meeting.

We also discussed my request to have property lines placed on the proposed Concept Planning Maps to assist property owners as well as City Councilors understand the potential implications of suggested land use planning.

This need for more specific information on lot lines and land use recommendations comes into play as exemplified by properties located between SW Boones Ferry Road and Grahams Ferry Road. Many of us have our homes on the eastern portion of our lots, and currently undeveloped but potentially useable property on the west side of the wetlands of Basalt Creek.

The City Councils have stated concerns about tax lots having one land use zoning throughout an entire tax lot.

It is unclear if this goal of one land use zoning will be applied to my property tax lot and those of my neighbors on SW Boones Ferry Road.

Pervious concept plans which have been presented to both City Councils appear to have:

1. Either mixed land use zoning on my property- residential on the east side; transitional

industrial on the west side and natural area in the middle, or

2. Land use of residential on the east, natural area in the middle, and residential on the west? On the west side- Would residential back directly up to transitional industrial? Will there be vehicular access to the west side of the lot?
3. The combined aggregate of useable property on the west side of the natural area from multiple property owners adds up to multiple acers.
4. This aggregate of properties on the west side of the Natural Area contains lush forested habitat some of which is relatively level.

Having easily defined property lots included in the proposed Concept Plans would assist in identifying what issues we have to address when the plans are presented for discussion.

If there is more specific information the project staff has--- as to how the west side of the Basalt Creek Canyon natural area will be zoned within the Concept Planning (i.e. the west side of my property) - can it be forwarded to me.

Thank you again for today's phone call.

Grace

From: [Herb Koss](#)
To: [Cindy Hahn](#)
Subject: RE: Basalt Creek Concept Planning Project - Updated September Notice of Upcoming Public Meetings
Date: Friday, September 11, 2015 3:00:09 PM
Attachments: [image001.png](#)

Thank you letting me know Cindy. I was planning on attending.
Herb Koss

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]

Sent: Friday, September 11, 2015 2:48 PM

To: JWLuci@gmail.com; (Balfour.Linfield@gmail.com); (donherbstpainting@hotmail.com); (jmolen@hotmail.com); (lloyd@meiselrockproducts.com); (rdwa2014@yahoo.com); Abe Turki; abooloori@outlook.com; acharris1972@yahoo.com; Adam Butts (adameb77@gmail.com); akilstrom@pamplinmedia.com; Alan Aplin (aaplin@kerrcontractors.com); Albert Levit (levitreherg@frontier.com); Alice Cannon; Andrew Young (andrew.young@nwnatural.com); andrew_hagman@hotmail.com; Anne Kennedy (annekennedy604@gmail.com); Aquilla Hurd-Ravich; arrowjc@comcast.net; Art Sasaki (Art_Sasaki@msn.com); arva41@gmail.com; Barry Leeuwen; bastinado@e-z.net; 'bateschell@ci.wilsonville.or.us'; bberger22@hotmail.com; bbierwagen@parametrix.com; bburns@burnsbros.com (bburns@burnsbros.com); Ben Altman (baltman@sfadg.com); Ben Bryant; BerBruk@aol.com; Bob Galati; bob.kanyer@sterling.net; bob_bramel@hotmail.com; Brian Barker; Brian Clopton (brian@cloptonexcavating.com); Brian Harper; Brian Kelley (brian.kelley@nwnatural.com); Brian May (bmay@republicservices.com); Brian Sherrard (brian.sherrard@tvfr.com); brian.wilkinson@hdrinc.com; Brick Obye (brick@brixpaving.com); Bryan Cosgrove; Cameron Grile; Carrie Pak (PakC@CleanWaterServices.org); Cassandra Ulven; Catherine Holland; cathysnyder@frontier.com; Cheryl Dorman; Christine Bazant; christinebazant@gmail.com; Cindy Hahn; cindy_luczko@co.washington.or.us; Clark & Steph Eisert; Colin Cortes; coreyz@newdoorrealty.net; corie_peterson@hotmail.com; Craig Smith; csbrune@yahoo.com; cynthia_ray@comcast.net; d.deelee@frontier.com; Dan Nebergall (citywidedan@gmail.com); danretz@gmail.com; Dave Selby (dave@shawwest.com); david@marksmetal.com; david@rpherman.com; dbg71@yahoo.com (dbg71@yahoo.com); Deane Leverett; Delia Wilson (dwilson@archdpdx.org); Devon Dobek; Diana Pompe; dohurtad@hevanet.com; Doris Wehler (daweher@gmail.com); Doug Seely; DRuckman@republicservices.com; dustin.cooley@hdrinc.com; Dwayne.Cain@pgn.com; Ed Truax; edkcnw@comcast.net; elwyn@frontier.com; enjus@oregonian.com; Eric Mende; Eric Postma (espostma@comcast.net); Eric Williams; Erica Smith; erlapp@comcast.net; Ernie Brown; findley@pbworld.com; Francis Marta (fmarta@aol.com); FrankBubenik; Frank Bubenik; Gail, Jon; Gary Nebergall (citywts@comcast.net); gcwalbert@gmail.com; gdaa@aol.com; george.ledoux1@frontier.com; Ginger Aarons-Garrison; Gordon Root (gordon@staffordlandcompany.com); Gordon Root (gordonroot@aol.com); Grace Lucini; Greg Anderson; Hannah Childs (HannahChildsVoice@gmail.com); Hartzog, Brenda; heisburtonc@yahoo.com; Herb Koss; herbk43@comcast.net; icecreamkid49@comcast.net; j_guerra_sr@hotmail.com; jackie_brin@comcast.net; Jake Bartman; James Jensen (kyljnsn@yahoo.com); james.gregory@hdrinc.com; james.paris@gmail.com; Jamie Morgan-Stasny; Jan Giunta (jan.giunta@gmail.com); Jan Peterson; janet.robertson@stmaryspdx.org; janice.stripling@gmail.com; Jared Summers; jasonrmitchell@yahoo.com; jchapman@legendhomes.com; jeaniestuvick@comcast.net; Jeff DeHaan (jeffdehaan@hayscompanies.com); Jeff Fuchs; jeff@crandallgroup.com; Jennifer Stephens; jenniferallen72@yahoo.com; Jerald Postema; Jerry Greenfield (jer.greenfield@gmail.com); Jerry Greenfield (jerrygreenfield@gmail.com); Jerry Palmer; jerrysharp@frontier.com; Jim Clark (jlclark@bpa.gov); Jim Evans; Jim Haynes; Jim Odoms (jimodoms@comcast.net); jmfairtaldo@comcast.net; Joe Monego (jamonego@gmail.com); Joelle Davis; John@decosta-properties.com; jobjuly12@gmail.com; jonathan.soll@oregonmetro.gov; joseph_davis@mentor.com; Josh Gregory; jpaul@skbcos.com; jsjeldavis@yahoo.com; jtmoffett@bpa.gov; Judy Clopton (bj12clop@aol.com); Julia Hajduk; Julie Fitzgerald (fitzgerald@ci.wilsonville.or.us); Karen Alvstad; Karen Savage (Karen_savage@co.washington.or.us); Karen Savage (karensavage725@yahoo.com); Kate Greenfield; kathilamm@gmail.com; Kathryn Duffy; Kathy Re; Katie Mangle; kaydix@comcast.net; Kimberly Haughn; Kraushaar, Nancy; Kristen Kibler; kristinasapsign@gmail.com; kurt@mohportland.com; kurtkreitzer@yahoo.com; Larry Oakes (larryoakes53@yahoo.com); lashbrook@ci.wilsonville.or.us; Laura Doll (oregonhealthy@yahoo.com); Leila Aman (leila@frego.com);

linda@tualatinchamber.com; lisa@shamburgheating.com; lloen@comcast.net ; loren@tualatinhills.org; Lou Ogden; lougyrl@gmail.com ; Ischelsky@westlakeconsultants.com; Marissa Houlberg; Mark Brown; Mark Fryburg; Marta McGuire (marta.mcguire@gmail.com); Martha Fritzie (mfritzie@clackamas.us); Marvin Mast; Mathew Scheidegger; matt.bihn@oregonmetro.gov; Matthew Keenen (mkeenen@capacitycommercial.com); mehdiasanaei@yahoo.com; melissa.hunting@pgn.com ; mglavalo@gmail.com; Michael Houlberg; Mike Cataldo; mike.anders@lennar.com ; miked@paceengrs.com ; Monique Beikman; Morgan Will; mthornton@westlakeconsultants.com ; naciabonilla@metlandgroup.com ; Nancy Grimes; natashas.wchs@gmail.com ; Neamtzu, Chris; Nic Herriges; Nick Storie; Nick Veroski; nique@earthlink.com ; nrdull@gmail.com (nrdull@gmail.com); oregonminda@yahoo.com ; OREGONREALTOR@HOTMAIL.COM ; oregonsapp@msn.com ; pamwilliams917@msn.com ; Pastor Roger Levasa; patricelans@gmail.com ; Paul Hennon; Paul Morrison; Paul R. Hribernick; paulpenning@gmail.com ; pdxpeggysue@gmail.com ; Peter Hurley (pkhurley1@gmail.com); Phil Johanson; Phyllis Millan (phyllmikey@frontier.com); Piseth Pich (piseth.pich@tvfr.com); pjvv@comcast.net ; plucarm@gmail.com ; pternan@nwpipe.com ; raffaelycathy@gmail.com ; Randy & Karen Alvstad; Randy McLeod (randymcleod54@hotmail.com); Rappold, Kerry; reyneufeld@gmail.com ; rgood@livebsl.com ; rgoodrich@obec.com ; Rich Mueller; Richard Goddard (richardgoddard2010@gmail.com); richardm@trimet.org; Robert Fagliano (rfagliano@sherwood.k12.or.us); Robert Kellogg; Robert Kellogg; rodneymg@gmail.com ; Ron Kief; roni.winters@fnf.com; rotramel@pbworld.com ; rrostamizadeh@gmail.com ; rudiopass@yahoo.com ; Russell Knoebel; ruvcrusin76@gmail.com ; rwshull@ymail.com ; Ryan OBrien; sarahpf81@gmail.com ; sbizon@msn.com; Scott Platt; Scott Starr (scottstarr97070@gmail.com); scott.mitton1@gmail.com; scottgj@comcast.net; sgb90210@aol.com ; Sherilyn Lombos; Sherman Leitgeb (Sherman@EquityOregon.com); simon@springall.com ; snjplatt@msn.com; sonya@frego.com; spiff88@gmail.com; ssummers@allstate.com; Stacy Rumgay (staceyr@europa.com); stenstrd@gmail.com ; Stephan Lashbrook (lashbrook@ridesmart.com); Stephen Roberts; Steve Adams (adams@ci.wilsonville.or.us); Steve Anderson; Steve Parr; Steve Titus; stevewinegar@frontier.com; Stu Peterson; Susie Stevens; Susie Stevens (stevens@ci.wilsonville.or.us); suziq612@aol.com ; tanyastricker@earthlink.net; terri.wortman@gmail.com; tgc205@comcast.net ; tiffany.delgado@pgn.com ; Tim Davis; Tim Knapp (mayor@ci.wilsonville.or.us); Tim Marshall; Timothy Wilson (timothy.j.wilson@odot.state.or.us); Tod Shattuck (tod.shattuck@pgn.com); Todd Hickok; Todd Perimon; Tom Mills (millst@trimet.org); Tom Pessemier; Tom Re; toni.stanhope@fnf.com ; troy.gagliano@pgn.com ; tualatincitizens@gmail.com; Vander Prideaux; vceserani@yahoo.com ; vicbartruff@creeksidebiblechurch.org ; vinjefam@gmail.com ; Wade Brooksby; whitlee.preim@mail.house.gov ; wilcocka@gmail.com; William Beers (beers.william@gmail.com); Willie Fisher; willisjt@hotmail.com; wk@wkellington.com ; wlcollett@aim.com ; Woodley, Tim (Woodleyt@wlwv.k12.or.us); Zander Prideaux

Subject: Basalt Creek Concept Planning Project - Updated September Notice of Upcoming Public Meetings

Importance: High



Greetings,

Continued discussion by the Tualatin City Council about boundary and land use options has been **postponed** from the September 14, 2015 work session to the October 12, 2015 work session. This is a follow up conversation to the discussion held during the August 24, 2015 work session.

Upcoming Presentations:

- **Tualatin Planning Commission:** September 17, 6:30 pm, Juanita Pohl Center (meeting materials posted September 10) – Project Update
- **POSTPONED Tualatin City Council (Work Session):** October 12 (postponed from September 14), 5:00pm, Juanita Pohl Center (*You will be notified if this date changes.*)

Underway:

- **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you haven't already, please sign up for email updates [here](#). For upcoming meetings, please view the project [calendar](#).

If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

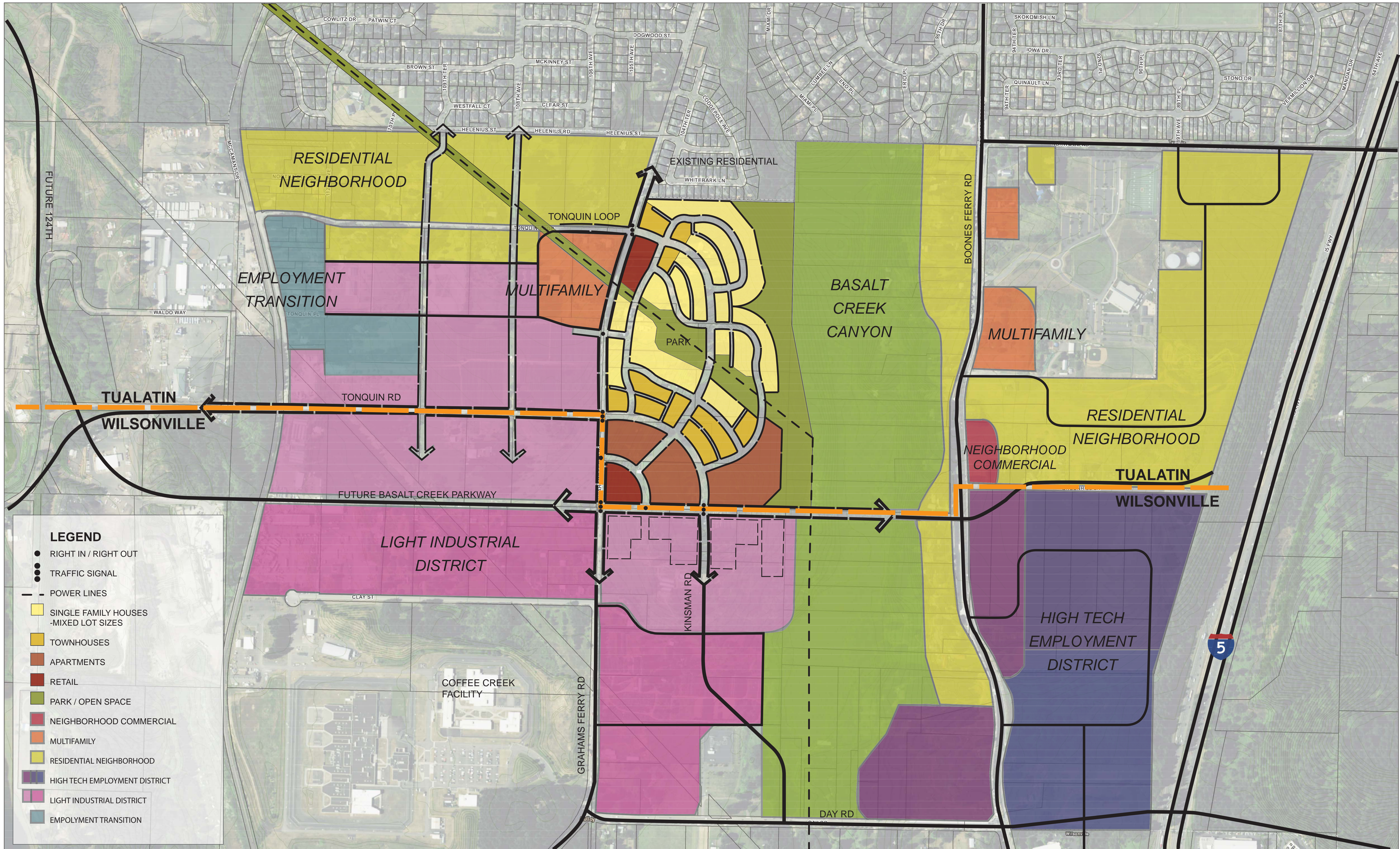
Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: [Herb Koss](#)
To: [Cindy Hahn](#)
Date: Friday, September 11, 2015 3:25:15 PM
Attachments: [17713 - South Tualatin Neighborhood -Option 4 09-09-15.pdf](#)

Herb Koss | Owner & Broker
Koss Real Estate Development and Investment Co.
22400 Salamo Rd. Suite 106, West Linn, OR 97068
herb@kossred.com | (503)730-2431



LEGEND

- RIGHT IN / RIGHT OUT
- TRAFFIC SIGNAL
- POWER LINES
- SINGLE FAMILY HOUSES - MIXED LOT SIZES
- TOWNHOUSES
- APARTMENTS
- RETAIL
- PARK / OPEN SPACE
- NEIGHBORHOOD COMMERCIAL
- MULTIFAMILY
- RESIDENTIAL NEIGHBORHOOD
- HIGH TECH EMPLOYMENT DISTRICT
- LIGHT INDUSTRIAL DISTRICT
- EMPLOYMENT TRANSITION



From: [Herb Koss](#)
To: [Cindy Hahn](#)
Subject: FW: BASALT CREEK PLANING DISTRICT
Date: Friday, September 11, 2015 3:28:43 PM
Attachments: [17713 - Basalt Creek Parkway - Cross Section.pdf](#)
[17713 - South Tualatin Neighborhood -Option 4 09-09-15.pdf](#)

THE FIRST MESSAGE WAS TOO LARGE AND BOUNCED BACK TO ME. I AM SENDING THE BASALT CREEK PARKWAY CROSS SECTION VIA SEPARATE EMAIL. I am assuming that the attachments were the problem.

From: Herb Koss
Sent: Friday, September 11, 2015 2:47 PM
To: Louogden; council@ci.tualatin.or.us; chahn@ci.tualatin.or.us; ahurd-ravich@ci.tualatin.or.us; Sherilyn Lombos; Bateschell, Miranda (bateschell@ci.wilsonville.or.us); 'mayor@ci.wilsonville.or.us'
Cc: 'John Fregonese'
Subject: FW: BASALT CREEK PLANING DISTRICT

I you feel that I have missed anyone that this should be forwarded to I would appreciate your assistance. I believe that I have copied all of the council members. I also did not know who I should forward to in Wilsonville. I did send this to Miranda Bateschell and Mayor Knapp

PLEASE LET ME KNOW IF THE ATTACHMENTS DO NOT OPEN

Subject: FW: BASALT CREEK PLANING DISTRICT

Dear Mayor Ogden, Council Members and Tualatin Staff:

Please find attached a modified plan that was prepared by Mr. Don Hanson a senior planner with Otak. After several site visits I decided that I would retain the services of a professional planner to help prepare a 4th option for the Basalt Creek planning area. I realize that the plan that Otak has prepared is a step above the general planning done on most of the Basalt Creek area, but we felt the opportunity to create a great neighborhood was an important element to show on the plan and how it fits into the remainder of the planning area.

I am the managing member of the LLC that owns the land on the Northeast Corner of Grahams Ferry and the proposed Basalt Creek Parkway. One of the attachments with this email illustrates the potential transition between the light industrial use and a residential zone. Other buffers including setbacks and landscaping are often used, but in this case the parkway is a great buffer and transition between land uses.

The option 4, which we call South Tualatin Neighborhood shows the ability to create a great neighborhood. The plan demonstrates how housing densities can transition from the lower densities that match existing neighborhoods to the north to higher densities at the south end where there is an interface with employment lands.

The topography of the site illustrated by the Otak plan utilizes the sloped topography. A visit to the Basalt Creek Planning area and viewing the land from Tonquin Road from West to the East clearly shows that a housing zone is a much better use of the land. Residential land uses are shown on the Otak plan where there is more varied topography because a residential use can be easily adapted to the slopes. Employment/Light Industrial Land uses require fairly level ground to accommodate large flat buildings and site improvements that can accommodate truck loading and circulation.

Two retail pockets are shown in locations that are easy to walk to for both residents and workers in the district.

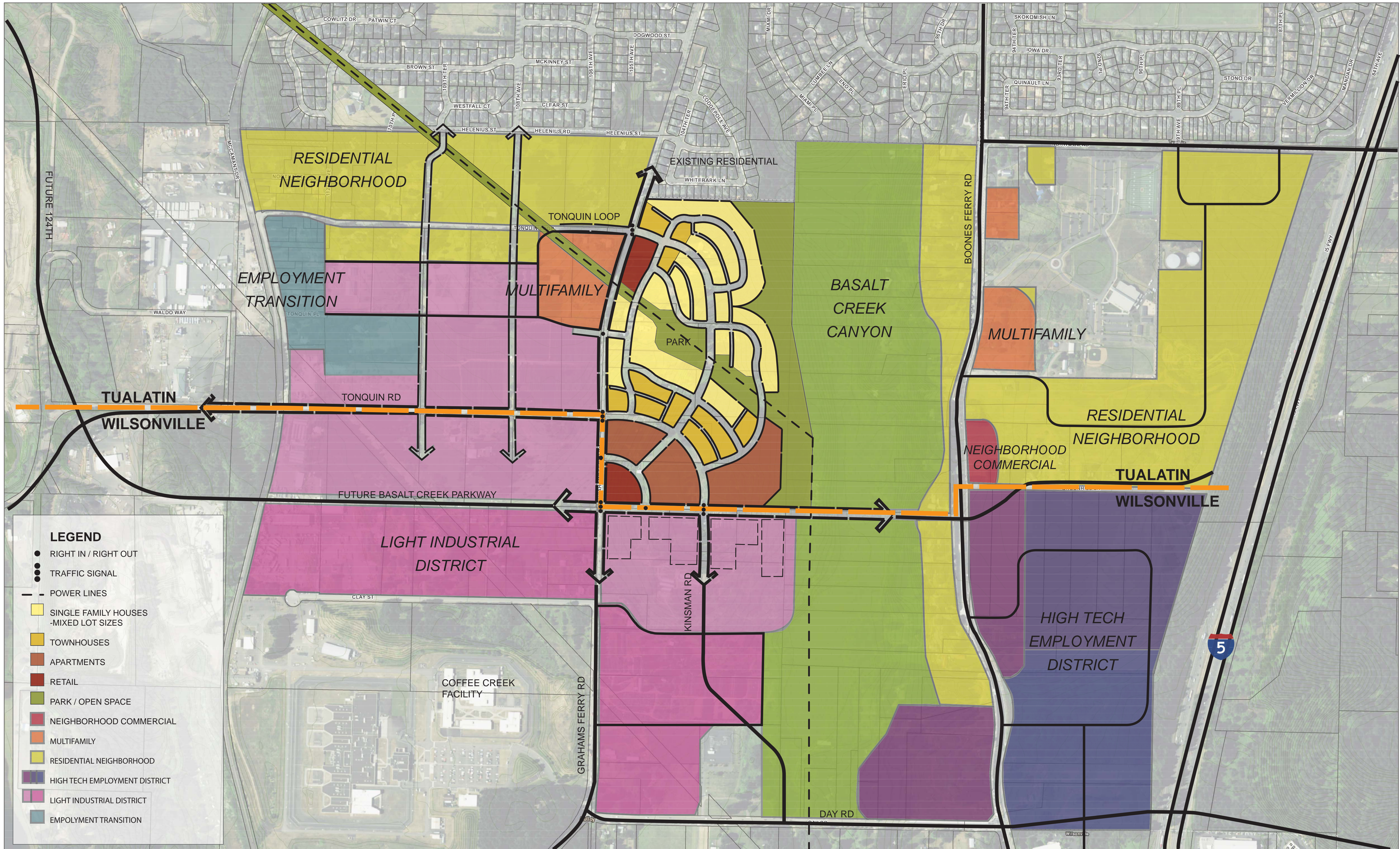
The power line happens to be an amenity for pedestrians and bikers and is connected to the Basalt Creek Canyon, which will include bike and pedestrian trails.

I believe that the city boundaries shown are logical--- along collector streets with a clear delineation. Both cities get a fair balance of land. Wilsonville benefits from the High Tech Zoning and Tualatin benefits from a modest increase in Light Industrial Zoning to Tonquin Road.

I sincerely hope that the plan is modified to include what I consider to be an opportunity to create a great neighborhood as illustrated by the attached plan.

Sincerely

Herb Koss
Managing Member of Sherwood Grahams Ferry LLC
503 730 2431



LEGEND

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- MULTIFAMILY
- RESIDENTIAL NEIGHBORHOOD
- HIGH TECH EMPLOYMENT DISTRICT
- LIGHT INDUSTRIAL DISTRICT
- EMPLOYMENT TRANSITION



From: [Herb Koss](#)
Subject: FW: Map for Lou and TCC Staff
Date: Saturday, October 03, 2015 8:26:17 PM
Attachments: [17713 - South Tualatin Neighborhood -Option 4 09-09-15.pdf](#)
[17713 - Basalt Creek Parkway - Cross Section.pdf](#)

I apologize if this email is a duplicate. I had some bounce back when the first email was sent.

From: Herb Koss [<mailto:herb@kossred.com>]
Sent: Thursday, September 10, 2015 5:21 PM
To: Herb Koss
Subject: FW: Map for Lou and TCC Staff

Dear Mayor Ogden, Tualatin City Council Members and Planning Staff

As you are aware I have been concerned with the both the boundary decisions and the land use on the property that I am the managing member of the LLC that owns the Land on the Northeast Corner of Grahams Ferry Road and the new Basalt Creek Parkway.

When the first Boundary Options came out known as Option 1 and Option 2 the land that we own was in the City Limits of Tualatin. **That is our desire.** Boundary option 3 altered the line and now our land would be in the City of Wilsonville.

I decided to retain the use of a land use planning firm whom I had worked with for many years. The firm is Otak and the head planner is Don Hanson. Don and I have worked together for many years and I wanted someone to assist us with a plan that we felt would be the most successful for all stakeholders. I have attached the plan which we call the South Tualatin Option 4 plan along with a cross section of the Basalt Creek Parkway as an illustration of a buffer between light industrial and a residential use.

The plan that Otak has prepared is an opportunity to create a great neighborhood. Housing densities can transition from lower densities that match the existing neighborhoods to the north to higher densities at the south end where there is an interface with employment lands. The edge between the two uses can be specifically designed to minimize the impacts.

The attached plan takes advantage of the more varied topography because the residential zoning is easily adapted to slopes. A visit to the site viewing the area from the west to the east on Tonquin Road identifies the slope issues.

Employment/Light Industrial land uses require even slopes for large flat buildings

and site improvements that accommodate truck loading and circulation.

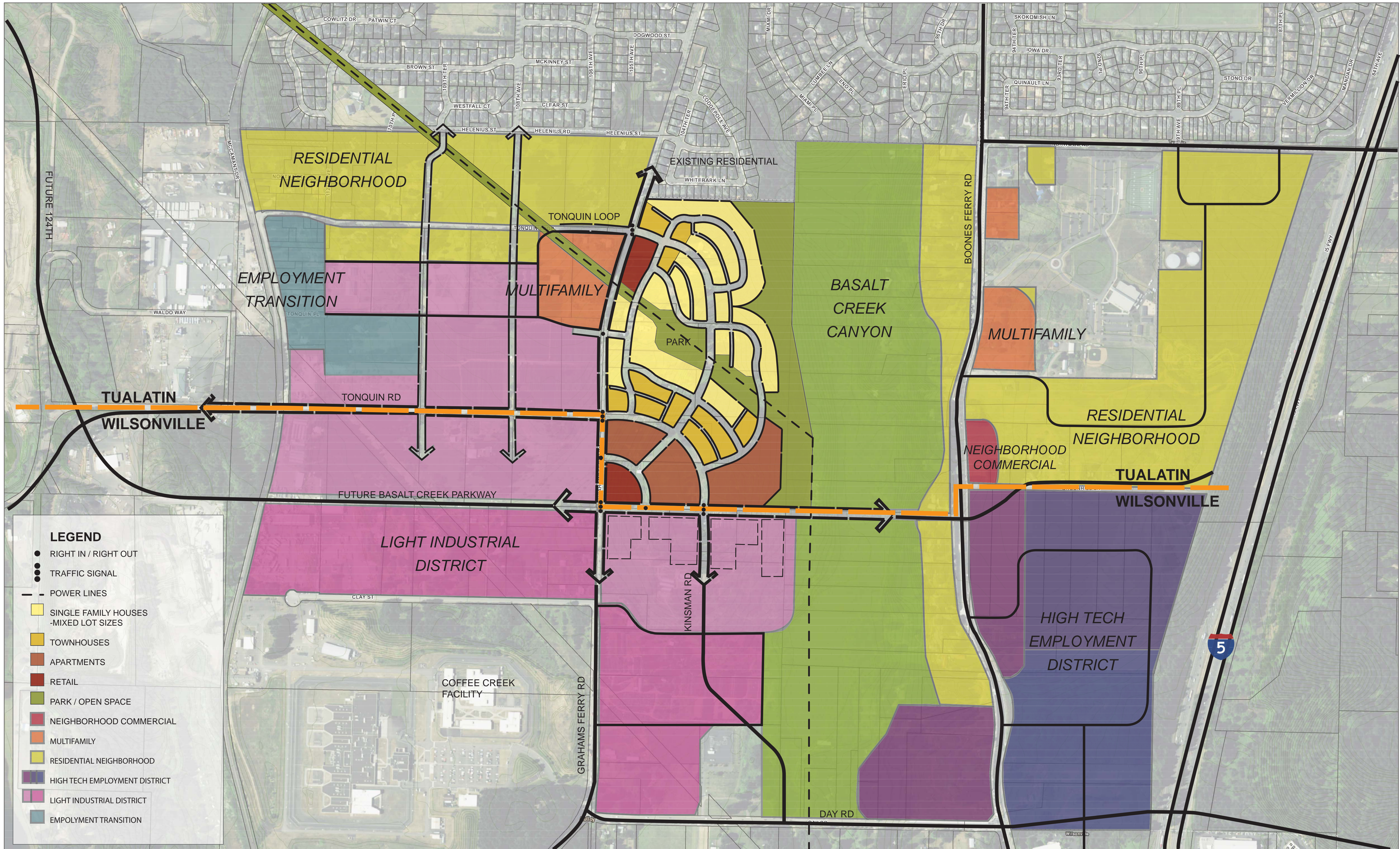
The Otak plan includes two pockets of retail locations that are easy to walk to for both residents and workers in the district.

It is also interesting that the Power Line is an amenity for pedestrians and bikers and flows well into the Basalt Creek Canyon area which will no doubt have a trail system within its boundaries.

Finally the City Boundary is logical, along collector streets with a clear delineation. Both cities get the right balance of land uses. Wilsonville benefits from the High Tech zone and Tualatin obtains a slight edge on Light Industrial uses.

My hope are that these points are helpful in determining the final planning map for the Basalt Creek area. If you have any questions of me or our land planner from Otak Mr. Don Hanson please let me know.

Sincerely
Herb Koss



LEGEND

- RIGHT IN / RIGHT OUT
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- TOWNHOUSES
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- HIGH TECH EMPLOYMENT DISTRICT
- LIGHT INDUSTRIAL DISTRICT
- EMPLOYMENT TRANSITION



JOHN W. LUCINI
GRACE N. LUCINI
23677 SW Boones Ferry Road Tualatin, OR 97062
503 692 9890
GrLuci@gmail.com

CITY OF TUALATIN
RECEIVED
OCT 26 2015
ENGINEERING &
BUILDING DEPARTMENT

Wednesday, October 21, 2015

VIA ELECTRONIC MAIL AND REGULAR MAIL

BASALT CREEK CONCEPT PLANNING IGA

City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

City of Tualatin
18880 SW Martinazzi Ave.
Tualatin, OR 97062

RE: Basalt Creek Concept Planning – Water Run-off/ Storm Drainage

To Whom It May Concern:

As the Basalt Creek Concept Planning process continues to develop a Fourth Option for proposal to the City Councils of both Wilsonville and Tualatin, we would like to take this opportunity to provide to the cities and project staff additional information regarding water runoff problems which have negatively impacted our property.

While members of the Basalt Creek Concept Planning project staff were performing an on-site inspection of the area and our property on June 3, 2015, we commented upon the recent flooding which occurred during a rain storm on May 18, 2015 which significantly affected us and our property. During the meeting we provided project members copies of photos taken at the time of the flooding- some of which are included with this letter.





In order to gain more information about the flooding which we experienced on May 18th, we obtained the services of Liberte Environmental Associates, Inc.. After a great deal of research and investigation, Dave La Liberte P.E., produced a report, *"Review of SW Boones Ferry Road Drainage Report- Recent Related Design and Construction from about 2009 into 2015 in Washington County, Oregon"*. A copy of this report is attached.

It appears the genesis of most of the water which caused the flooding does not originate from our property.

We have also retained the services of attorney Karl G. Anuta to assist us in navigating a resolution of these drainage issues.

We bring this information to you -as you continue to do concept planning for this area. It is important that project staff, and those who will ultimately be making the final decisions as to development, zoning and necessary infrastructure, be aware of a condition which now exists regarding water runoff within the area ---and the potential for significant future drainage problems onto our property. It is hoped project staff will consider and include within their plans provisions for the reduction of peak flows and for the retention of drainage flow upstream (which will assist with the rehydration of the local aquifers as well as reduction of drainage volume off site).

We hope this information will be of assistance to you in the Basalt Creek Concept Planning process.

Regards,

John Lucini
John Lucini

Grace M. Lucini
Grace Lucini

Attachments:

"Review of SW Boones Ferry Road Drainage Report- Recent Related Design and Construction from about 2009 into 2015 in Washington County, Oregon" by Liberte Environmental Associates, Inc., August 2015

Letter- Karl G. Anuta- October 2015, "Basalt Creek Planning Area Storm Water Run Off Issues"

CC: Cindy Hahn, City of Tualatin (via Electronic Mail)
Aquilla Hurd-Ravich, City of Tualatin (via Electronic Mail)
Alice Cannon, City of Tualatin (via Electronic Mail)
Jeff Fuchs, PE, City of Tualatin (via Electronic Mail)

Miranda Bateschell, City of Wilsonville (via Electronic Mail)
Nancy Karushaar, City of Wilsonville (via Electronic Mail)
Chris Neamtzu, City of Wilsonville (via Electronic Mail)
Steve R. Adams P.E., City of Wilsonville (via Electronic Mail)

KARL G. ANUTA

LAW OFFICE OF KARL G. ANUTA, P.C.

735 SW FIRST AVENUE, 2ND FLOOR

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(503) 827-0320

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TRIAL ATTORNEY

LICENSED IN

OREGON & WASHINGTON

E-MAIL

KGA@INTEGRA.NET

October 20, 2015

VIA REGULAR MAIL

City of Wilsonville
297997 SW Town Center Loop E
Wilsonville, Oregon 97070

City of Tualatin
18880 SW Martinazzi Ave
Tualatin, Oregon 97062

**Re: Basalt Creek Planning Area
Storm Water Run Off Issues**

To Whom It May Concern:

This office has been retained by John and Grace Lucini to assist them with drainage and water run off issues at their residence located in unincorporated Washington County at 23677 SW Boones Ferry Rd, Tualatin, Oregon 97062. The property is within the Basalt Creek concept planning area.

I write just to advise (or in some cases remind) you that the Lucinis have earlier this year had significant storm water flooding or drainage issues on their property. As the City of Wilsonville and the City of Tualatin proceed with planning for the surrounding area, you should keep in mind that further development upslope from the Lucini's will most likely produce further compacted or impervious surfaces. That will likely increase the stormwater run off in the vicinity. That will potentially affect the Lucini's property.

When you develop concept plans, or consider development approvals, be sure that those plans fully address the handling of drainage and storm water run off so that the stormwater flows do not harm or burden down slope and downstream neighbors (which includes but is not limited to the Lucini's). It would not be fair, appropriate, or lawful for either City to allow or approve development that causes additional storm water flows to run onto or over Lucini (or any down slope/stream neighboring) property in a way that causes or potentially causes damage.

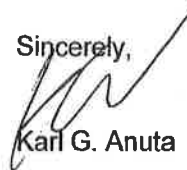
The Lucinis have obtained the services of LaLiberte Environmental Associates Inc., to investigate the cause of the most recent flooding of their property, that occurred during a rain storm on May 18, 2015. Enclosed is a report from LEA, Inc., addressing the causes of that flooding, which appear to be associated with the recent re-development and movement of Boons Ferry Road in Washington County.

City of Wilsonville
City of Tualatin
October 20, 2015

We provide copies of this report simply as a reminder to the Cities that there needs to be **careful** planning and **careful and accurate** analysis, before any development is approved or undertaken. Failure to do so can create significant problems, both for neighboring landowners and taxpayers, and for any local government that does not properly take into account the potential effects on those neighbors/taxpayers.

We trust you will take these concerns into account, when doing your future planning in and around this same area. If you have any questions, or you wish to tour the Lucini property, please feel free to contact them directly.

Sincerely,

A handwritten signature in black ink, appearing to read 'Karl G. Anuta', is written over the word 'Sincerely,'.

Karl G. Anuta

KGA/ev
Enclosures

Review of SW Boones Ferry Road Drainage Report
Recent Related Design and Construction from about 2009 into 2015
in Washington County, Oregon

Prepared for
John and Grace Lucini
23677 SW Boones Ferry Road
Washington County
Postal Address: Tualatin, Oregon

Prepared by
Dave LaLiberte
Principal Engineer
Liberte Environmental Associates, Inc.
Wilsonville, Oregon



August 3, 2015

1. Summary

This review shows that Washington County's Drainage Report¹ for the Boones Ferry Road widening project does not substantially follow the Clean Water Services (CWS 2007)² standards for storm and surface water discharges. However, the Drainage Report states that it is adhering to CWS 2007.³

- not in CWS Boundary

Significant changes to the road culvert and basin upstream of the Lucini property⁴ have been conducted and supported by Washington County as part of its Boones Ferry Road Improvement Project construction. These changes have caused increased downstream flooding and erosion impacting the Lucini property, other properties and the Basalt Creek wetlands that drain to the Coffee Lake Creek wetlands. Flooding and erosion on the Lucini property, from a post construction rainfall on May 18, 2015, can be seen in Photos A1 through A7 contained in Appendix A of this review.

It is of great concern that flooding was caused by a storm much less in total volume than the critical 25-year design storm used in the Drainage Report for conveyance facilities. It is alarming that future full build-out conditions, which are conditions in the Concept Plan phase for the Cities of Wilsonville and Tualatin⁵, have received no evaluation in the Drainage Report. More flooding and erosion on the Lucini property are the likely outcomes of increased discharges from upstream.

Erosion control measures, required in the CWS&COW 2008 planning document⁶, are neglected for the Lucini property and other affected downstream properties including receiving wetlands. Drainage basin areas significantly impacted by the Road Improvement construction equipment activity and material storage are associated with vegetation removal, grading, leveling, soil compaction, gravel roads and pads, and other factors affecting the road project. These basin alterations were not restored to pre-construction drainage conditions. The degradation of the upstream watershed, above the Lucini property and draining to the road culvert, was not identified in the Drainage Report.

¹ Drainage Report (2013), Storm Drainage Report – SW Boones Ferry Road (SW Day Road to SW Norwood Road), by MacKay Sposito for Washington County, Capital Project Management (CPM), Final January 31, 2013.

² CWS (2007), *Design and Construction Standards for Sanitary Sewer and Surface Water Management*, for Clean Water Services (CWS), Hillsboro, Oregon, June 2007.

³ CWS 2007, Page 2, Sec. 2.0 - Design Criteria, Subsection 2.1 – Stormwater Management Requirements.

⁴ John and Grace Lucini property, 23677 SW Boones Ferry Road, Washington County, Postal Address: Tualatin, OR.

⁵ COW&COT (2015), *Basalt Creek Concept Plan*, City of Wilsonville (COW) and City of Tualatin (COT), on-going as of June 2015.

⁶ CWS&COW (2008), *Erosion Prevention and Sediment Control – Planning and Design Manual*, by CWS, City of Wilsonville (COW) and other jurisdictions.

This review has focused necessarily on CWS 2007 storm and surface water standards. When requirements of the adjacent and downstream jurisdiction of the City of Wilsonville (COW 2014) are compared, the discrepancies of the Drainage Report and the constructed outfall to the Lucini property raise still more issues.^{7,8} For example, both CWS 2007 and COW 2014 require a Downstream System that is lacking in the evaluation for stormwater discharging from the County's outfall. Moreover, the proposed and now constructed 83-foot long culvert is over twice the length of the original pipe because it must pass through fill area that once provided stormwater storage above the Lucini property. Two new inlet catchbasins, rather than the one old original catchbasin, are used to collect more stormwater to send to the extended culvert.

The COW 2014 standards cannot be met because the Drainage Report performed no downstream system drainage analysis for the Lucini property. As discussed in this review, other failures exist for the County's road culvert when it is compared to potential COW 2014 requirements.

By not practicing due diligence, the County has failed to accurately evaluate existing and future conditions for the basin above the road culvert, which drains to the Lucini property causing flooding and erosion. This review concludes that the problems of flooding and erosion on the Lucini property can only be resolved by stormwater storage and detention upstream of the County's road culvert, which is the primary cause of the problem.

⁷ City, of Wilsonville (COW 2014), Stormwater & Surface Water Design and Construction Standards, Section 3 – Public Works Standards, Community Development Department, as revised September 2014.

⁸ City of Wilsonville (COW 2015), Stormwater Retrofit Plan, NPDES MS4 Support, June 2015.

1. Problem Statement

This report provides a review of the Drainage Report related to recent design and construction of the SW Boones Ferry Road widening project that dates from approximately 2009 into 2015 as conducted by Washington County, Oregon.

The recent Boones Ferry Road widening has significantly disrupted and altered the drainage areas above the Lucini property.⁹ This has resulted in increased flooding on the property because the local drainage is overwhelmed by increased storm flows emanating from the Boones Ferry Road project. Photos of the May 18, 2015 storm flood event can be seen in Appendix A – Photos A1 through A7.¹⁰

The County did not perform the required downstream system analysis of the conveyance elements receiving flow, and passing through the property, from the project. Nor did the Drainage Report evaluate full build-out conditions upstream of the road culvert, which will cause future increased flooding and erosion on the property.

Alterations in the drainage occurred when portions of the adjacent subbasins to the road construction were filled, blocking storm flows from entering the road alignment. Excess flows are now sent directly to increased capacity inlets draining the subbasin (see Appendix B – Photos B1 and B2).¹¹ This drainage from pre-development areas is now being routed to new and expanded stormwater inlets discharging excess stormwater directly onto the property. As shown in Photo B3, the culvert outlet capacity is also enlarged and lower-friction plastic pipe used. Compare the newly cleared and expanded outlet area with that of the old pipe outlet area in Appendix C – Photo C2.¹²

The analysis used to evaluate drainage in the project basin did not take into account the degradation of historical and natural stormwater storage in the subbasins above the property. Nor did the drainage evaluation perform a hydraulic analysis of the culvert that drains a portion of the Boones Ferry Road project onto the property.

The precipitation data that was relied upon in the Drainage Report, which includes the CWS design storm distribution chart, is based on a weather stations that did not record the storm event that flooded the property.

Storm water quality conditions for storm discharges from the road widening project onto the Lucini property were degraded with apparent high suspended solids (see Appendix A - Photos A1 and A7). Flood waters from the road project caused deposition of large amounts of sediment onto the property's lawn, walkways, lower driveway and other areas (see Photos A4 through A7).

⁹ Herein, the "Lucini property" is known as the "property".

¹⁰ Appendix A photos taken by John and Grace Lucini, May 18, 2015.

¹¹ Appendix B photos by Dave LaLiberte (LEA) on May 26, 2015.

¹² Appendix C photos by Grace Lucini on December 20, 2012.

3. Background

This report provides a review of the Drainage Report related to recent design and construction of the Boones Ferry Road Improvement Project that dates from approximately 2009 into 2015 as conducted by Washington County, Oregon.¹³ The road alignment from Day Road on the south to Norwood Road on the north is characterized as the Boones Ferry Road project throughout this document.¹⁴

For estimating storm flow rates emanating from the project, the Drainage Report follows the primary document, *Design and Construction Standards for Sanitary Sewer and Surface Water Management* for Clean Water Services (CWS 2007).¹⁵ The Drainage Report cites the *Low Impact Development Approaches Handbook* (CWS 2009) for storm water quality design issues.¹⁶

The *Stormwater & Surface Water Design and Construction Standards*¹⁷ for the City of Wilsonville (COW 2014) is referenced herein. Being downstream, Wilsonville subsequently receives the uncontrolled stormflows from the Boones Ferry Road project via the Lucini property. Wilsonville's stormwater and surface water requirements are very similar to the CWS 2007 standards, which were intended for use by the County in the Drainage Report. Consequently, the problems inherent in the Drainage Report, disregarding key elements of the CWS 2007, have their corresponding defects in Wilsonville's storm and surface water standards as contained in COW 2014.

Problems relate to the lack of a Downstream System evaluation for the property, hydraulic design criteria omissions, discharge of uncontrolled stormflows into sensitive wetland areas, failure to implement Low Impact Development Approaches (LIDA) and potentially other problems.

The *Stormwater Retrofit Plan* (COW 2015) relating to the City of Wilsonville NPDES Municipal Separate Storm Sewer System (MS4) permit is also referenced herein.¹⁸ A number of significant issues arise when the Boones Ferry Road drainage impact is compared to potential Wilsonville storm permit requirements. Issues include the need to use regional facilities and Low Impact Development (LID) practices to achieve pollutant reduction, implementation of peak flow reduction controls, instream erosion and potential future erosion issues, target erosion problems at culvert outfalls and other stormwater permit related concerns.

¹³ Drainage Report (2013).

¹⁴ Herein, the "SW Boones Ferry Road project" refers to the road alignment from SW Day Road on the south to SW Norwood Road on the north.

¹⁵ CWS 2007, *Design and Construction Standards for Sanitary Sewer and Surface Water Management*, for Clean Water Services (CWS), Hillsboro, Oregon, June 2007.

¹⁶ CWS 2009, *Low Impact Development Approaches Handbook*, for Clean Water Services (CWS), Hillsboro, Oregon, July 2009.

¹⁷ City of Wilsonville (COW 2014), *Stormwater & Surface Water Design and Construction Standards*, Section 3 – Public Works Standards, Community Development Department, as revised September 2014.

¹⁸ City of Wilsonville (COW 2015), *Stormwater Retrofit Plan*, NPDES MS4 Support, June 2015.

4. Synopsis of Significant Issues

Significant issues related to the Drainage Report include:

a) *Inconsistent Drainage Report* – The report indicates it is relying upon CWS 2007 for storm flow evaluation methodology which requires a “Review of Downstream System”.¹⁹ However, no Downstream System review exists in the Drainage Report for the County’s storm water culvert flow across the Lucini property. Despite supposed lower stormflows being reported in the Drainage Report²⁰, the storm inlet capacity for the culvert has been substantially increased. Stormflows are now conveyed to the storm inlets, and hence onto the property, much more rapidly than prior to the Boones Ferry Road widening project. This problem will worsen in the future because the Drainage Report and construction design did not take into account the future effects of full build-out conditions.

In addition, the culvert storm flow capacity is increased from about 1.5 cubic-feet-per-second before the project to about 6.6 cfs after the project.²¹ This is an increase in stormflow capacity of 440 percent from the old drainage system to the new. Moreover, the drainage design results in a headwater to culvert pipe diameter (HW/D) ratio of 5, which is substantially greater than the ratio of 2 called out in the CWS 2007 standards. This produces very active stormflows with high velocity discharge from the culvert pipe. These stormflows are highly erosive to the downstream drainage system. With increased stormflows, degradation of water quality from intensified erosion and increased suspended solids is a high risk factor (see Photos A1 and A7).

The CWS 2007 rainfall depths for the design storms used in the Drainage Report rely upon data from the *Precipitation-Frequency Atlas of the Western United States*.²² Four (4) close National Weather Service (NWS) stations reporting rainfall depths used for the design storms are at Hillsboro, McMinnville, Portland and Salem. Three of these stations recorded no more than a trace amount of precipitation for May 18, 2015 although flooding was caused in the Boones Ferry Road vicinity. The remaining station at McMinnville recorded only a small amount of precipitation at 0.13 inches over two hours. This precipitation data comparison shows that the drainage design of the road project is inadequate to protect the property because it lacks buffering benefits of stormwater storage and detention.

¹⁹ CWS 2007, see Chapter 2, Page 12 under the 2.04.2 subsection heading “3. Review of Downstream System”, i.e., this is subsection 2.04.2.3.

²⁰ See Drainage Report on Page 11, Table under heading 5.5 - Hydrologic Analysis Results. Specifically, see the table results for Discharge Location 15L that indicates a reduction in stormflows.

²¹ Manning’s equation is used to calculate the storm flow capacity. See Linsley and Franzini, *Water Resources Engineering* (1979). See also White, *Fluid Mechanics* (1986). Note that “cfs” is cubic-feet-per-second.

²² NOAA 1973, *Precipitation-Frequency Atlas of the Western United States*, National Oceanic and Atmospheric Administration (NOAA) and National Weather Service (NWS), NOAA Atlas 2, Volume X – Oregon, 1973.

There is significant risk that the much greater duration and rainfall volume design storms, e.g., the 24-hour storms for the 10- 25- and 100-year recurring events, will cause still more dangerous flooding. Without the buffering effects of stormflow control using detention storage, the road project cannot protect properties from storms substantially less than the design storm volumes. Recall that the Design Report is theoretically based on the CWS 2007 surface and stormwater standards. Photos of flooding on the property, for an actual storm comprising far less total rainfall volume than the design storms in the Drainage Report, are shown in Appendix A – Photos A1 through A7.

b) *Loss of Natural and Previously Existing Upstream Detention.* This can be seen when comparing previously existing ground elevations with final ground elevations shown in County's 100 percent complete Drawing Sheet 24A in Appendix D.²³ Natural and historical storm water detention and storage in the upstream subbasin have been substantially reduced by about 72 percent in this profile section alone.

Road widening construction extends north and south of the County's culvert on the upstream (east) side. This has the effect of filling storage depressions, increasing impervious areas through construction activities, blocking stormflows and rapidly funneling increased discharges into the culvert emptying onto the property.

c) *Effects of Increased Stormflows Disregarded.* Washington County altered subbasins upstream of the property causing more flow to be directed into the culvert discharging to the property from the widened road project. Compare existing and proposed hydrology maps from the Drainage Report excerpted in Appendix E.²⁴

It can be seen in Appendix E – Drawing HYD1 that the stormwater subbasin 17S, upstream of the culvert 15L discharging to the property, has been significantly altered. This is apparent when comparing the constructed project as proposed with its new subbasin 56S consisting significantly of road widening fill. This new subbasin blocks and funnels increased storm flows from the altered subbasin 17S, which is now called 59S.

The County is required to evaluate future full build-out conditions in the subbasin above the property but the effects of these increased flows is completely neglected in the Drainage Report.

d) *Stormwater Requirements are not Applied with Due Diligence.* Washington County's approach to drainage requirements was intended to be based on design standards identified in CWS 2007. However, the County did not practice due diligence and did not perform a Downstream System evaluation as necessary for consistency with CWS 2007.²⁵ No complete assessment of the drainage through the property was undertaken for the culvert discharge emanating from the Boones Ferry Road widening project.

²³ See also Sheet No. 24 (Construction Notes for Sheet No. 24A).

²⁴ See Drawing Sheet Title HYD1 (existing conditions hydrology) on PDF Page 35 of 152; and Sheet Title HYD2 (proposed conditions hydrology) on PDF Page 36 of 152.

²⁵ CWS 2007, see Chapter 2, Page 12 under the 2.04.2 subsection heading "3. Review of Downstream System", i.e., this is subsection 2.04.2.3.

Comparisons between CWS 2007 and potential COW 2014 stormwater standards are provided in Section 5 –Detailed Issues as they are significant.

The criteria cited in CWS 2007, states that “Peak runoff rates shall not exceed pre-development rates”²⁶ but the County did not carry out an accurate comparison of historical, existing and proposed stormflows to make this determination for the discharge passing through its road culvert.

The Drainage Report did not assess the flood impact on stormwater quality for sensitive wetlands downstream of the culvert including the property, the wetlands surrounding Basalt Creek and the Coffee Lake Creek wetlands. These sensitive areas lie in unincorporated Washington County and the City of Wilsonville.

The Drainage Report did not employ LIDA in relation to the road culvert discharging onto the property. The catchment above the culvert was substantially altered as part of the road widening project resulting in elimination of existing and natural stormwater storage, enlarged impervious area and increased peak runoff. Stormflow inlet capacity to the culvert was substantially increased, which is inconsistent with the LIDA priority in CWS 2007 to “minimize stormwater runoff”.²⁷

A number of significant issues arise when the Boones Ferry Road drainage impact is compared to potential Wilsonville stormwater permit requirements. For this comparison, the *Stormwater Retrofit Plan* (COW 2015) that relates to the City of Wilsonville NPDES Municipal Separate Storm Sewer System (MS4) permit is referenced herein.²⁸

²⁶ CWS 2007, see Chapter 4, Page 6, subsection 4.03.3, under item “b”.

²⁷ CWS 2007, Chapter 4, Page 17, subsection 4.07.1, “Low Impact Development Approaches (LIDA)” 2nd sentence under “Purpose”.

²⁸ COW 2015, *Stormwater Retrofit Plan*, NPDES MS4 Support.

5. Detailed Issues

There are a number of significant problems affecting the Lucini property because of the road widening project. These issues follow from the previous Section 4 - Synopsis of Significant Issues and are discussed in detail below.

a.) Inconsistent Drainage Report

Important causes of Drainage Report inconsistencies are discussed in this section. Under the Drainage Report assumptions that storm runoff flows are reduced²⁹, the culvert storm flow capacity is inconsistently increased by about 440 percent. Moreover, the storm inlet capacity in the altered subbasin above the property is substantially increased. Natural and historical storm water detention and storage in the upstream subbasin have been extensively reduced by about 72 percent in the stormwater inlet section alone.³⁰ This elimination of stormwater storage is also carried out throughout the subbasin. Flows are now conveyed to the storm inlets, and hence onto the property, much more rapidly than prior to the widening project. Moreover, although CWS 2007 standards require evaluation of full build-out conditions for the subbasin above the property, this condition has been alarmingly omitted in the Drainage Report.

Review of Downstream System was Not Performed by the County

No downstream system review was performed for the property receiving County stormflows. The Drainage report indicates it is relying upon CWS 2007 for storm flow evaluation methodology which requires a "Review of Downstream System". However, no Downstream System review exists in the Drainage Report for the County's storm water culvert flow across the property.

Stormflows to the Lucini Property are Increased, not Decreased

The Drainage Report assumes that, because some acreage above the Lucini property is reduced, the stormflow rates to the property are also reduced. Flow rates are actually increased over those reported, however. This is because the Drainage Report disregards basic hydrologic components, such as increased storm water conveyance and loss of storm water storage, that increase peak storm water flow rates. The report also neglects the effects of increased runoff from future development. The Drainage Report fails to acknowledge these defects increasing the risk of flooding on the property.

New Road Culvert has Increased Capacity Inconsistent with Supposed Reduced Flows

The culvert storm flow capacity is increased from about 1.5 cubic-feet-per-second to about 6.6 cfs.³¹ This is an increase in stormflow capacity of 440 percent from the old drainage system to the new. This is a contradictory condition because, storm flows are

²⁹ See Drainage Report on Page 11, Table under heading 5.5 - Hydrologic Analysis Results. Specifically, see the table results for Discharge Location 15L that indicates a reduction in stormflows.

³⁰ For the road widening project, see the County's 100 percent complete Drawing Sheet 24A. See also Sheet No. 24 (Construction Notes for Sheet No. 24A). These drawing sheets are also contained in Appendix D of this review.

³¹ Manning's equation is used to calculate the storm flow capacity of the old concrete pipe ($n=0.013$, pipe flowing half full) and the new plastic pipe ($n=0.009$, pipe flowing full). See Linsley and Franzini, Water Resources Engineering (1979). Note that "cfs" is cubic-feet-per-second.

claimed to be reduced, but the County is increasing storm flow capacity of the culvert draining the upstream subbasin.

CWS 2007 limits the height of water (headwater) above the culvert invert elevation:³²

b. Hydraulic Design

1. Culverts will be designed to safely pass the 25-year flow.

2. Headwater [HW]

A) For new culverts 18 inches in diameter or less, the maximum allowable design storm event **headwater elevation (measured from the inlet invert) shall not exceed two times the pipe diameter [D]** or three times the pipe diameter with a seepage collar unless an exception is approved by the District or City. [Bold by LEA]

The “two [2] times the pipe diameter” CWS 2007 requirement is because greater ratios bring about very high flow velocities discharging from the culvert. This results in supercritical stormflows, which cause adverse conditions including hydraulic jump and excessive erosion.

The 100 percent design drawing³³ shows that the HW/D ratio is over 5 to 1, which is substantially greater than the 2 to 1 ratio identified in CWS 2007.

Flooding problems at the Lucini property are additionally aggravated because existing and future development conditions were disregarded in the Drainage Report. As CWS 2007 standards require:³⁴

5.05 Storm Conveyance Design Considerations

5.05.1 Design for Full Build Out

Storm drainage facilities shall be designed and constructed to accommodate all future full build-out flows generated from upstream property.

The Drainage Report made no attempt to evaluate the full build-out stormflow conditions that will affect the property. Increased discharges from future development, through the County’s road culvert, will result in worse flooding than presently exists.

New Storm Inlet Capacity has been Increased Inconsistent with Supposed Reduced Flows

The storm inlet capacity has been substantially increased. Stormflows are now conveyed to the storm inlets, and hence onto the property, much more rapidly than prior to the Boones Ferry Road widening project. This is a contradictory condition setup in the Drainage Report because, storm flows are claimed to be reduced, but the County is increasing the storm flow capacity of the inlets draining the upstream subbasin.

³² CWS 2007, Page 18 in Chapter 5, Section 5.07.6 – Culverts (Storm Only), see item b. Hydraulic Design.

³³ See Sheet No.179 of 274 of the 100 percent drawings, this is drawing labeled 24A – Storm Outfall #5: Plan and Profile. The headwater (HW) for the new culvert design is top of catch basin (CB) elevation 335.62 feet minus the culvert pipe invert elevation of 330.61, which equals 5.01 feet. Thus, the HW/D ratio is 5.01 for the 1-foot diameter (D) culvert pipe. That is a 5 to 1 ratio.

³⁴ CWS 2007, Chapter 5, Page7, see 1st paragraph in section 5.05.

Stormwater Quality is Reduced

The Drainage Report inaccurately estimates stormflows draining to the property and hence under-predicts suspended solids loadings. This is inconsistent with the report's claim that stormwater quality conditions and concentrations are in compliance with standards. With increased stormflows, degradation of water quality from increased suspended solids is a high risk factor (see Photos A1 and A7).

Design Storm Precipitation Data versus Actual Rainfall

The Drainage Report used the CWS 2007 design storm for designing the Boones Ferry Road drainage. The CWS 2007 relies upon precipitation data from regional NWS stations at Hillsboro, McMinnville, Portland and Salem. However, while the NWS stations showed only trace amounts of precipitation, the amount of rainfall causing flooding in the Boones Ferry Road vicinity was significant. Other nearby areas such as Tualatin and King City reported flooding.³⁵ Reports of rainfall amounts as part of the storm included Sherwood at 0.7 inches.³⁶ This amount characterizes instantaneous and hourly rainfall intensity for periods corresponding to the peak rainfall. At the time of the flooding on the property, the NWS stations reported only trace amounts with the exception that McMinnville recorded a small amount at 0.13 over a two hour period.

b.) Loss of Natural and Previously Existing Upstream Detention

Natural and historical storm water detention and storage in the upstream subbasin have been drastically reduced. Storm water flows that once slowly found their way from the adjacent subbasin onto the Boones Ferry Road alignment are now excluded, by the fill from the widened roadway, and are routed directly into the culvert draining to the property. Comparing the previously existing ground elevations with the final ground elevations. See Drawing Sheet 24A that is the Plan and Profile for Storm Outfall #5.³⁷

Erosion control measures, required in the CWS&COW 2008 planning document³⁸, are neglected for the Lucini property and other affected downstream properties including receiving wetlands. Drainage basin areas significantly impacted by the Road Improvement construction equipment activity and material storage are associated with vegetation removal, grading, leveling, soil compaction, gravel roads and pads, and other factors affecting the road project. These basin alterations were not restored to pre-construction drainage conditions. The degradation of the upstream watershed, above the Lucini property and draining to the road culvert, was not identified in the Drainage Report.

³⁵ KPTV, Thousands Lose Power as Storm Brings Thunder, Lightning to Metro Area, FOX 12 Meteorologists, May 18, 2015

³⁶ FOX12 Weather Blog, 11 pm: Storms in SW Metro Only, from Meteorological Assimilation Data Ingest System (MADIS), for May 18, 2015.

³⁷ For Sheet No. 24A, see also Sheet No. 24. These drawings are Sheet Nos. 178 and 179 (of 274 total drawings) contained in the County's 100% plan submittal.

³⁸ CWS&COW (2008), *Erosion Prevention and Sediment Control – Planning and Design Manual*.

c.) Effects of Increased Stormflows Disregarded

Washington County altered subbasins upstream of the Lucini property causing more flow to be directed into the culvert discharging to the property from the widened road project. Compare existing and proposed hydrology maps from the Drainage Report excerpted in Appendix E.³⁹

It can be seen in Appendix E – Drawing HYD1 that the stormwater subbasin 17S, upstream of the culvert 15L discharging to the property, has been significantly altered. This is apparent when comparing the constructed project as proposed with its new subbasin 56S consisting of road widening fill. This new subbasin blocks and funnels increased storm flows from the altered subbasin 17S, which is now called 59S.

For the existing condition subbasin 17S shown on Sheet HYD1, the original 40-foot long 12-inch diameter culvert drains through the property to the wetlands surrounding Basalt Creek. This culvert is identified as Discharge Location 15L on Sheet HYD1 for the original condition hydrology. Subbasin 17S and adjacent subbasins have seen notable development in the form of retaining walls, road fill, construction activity, extensive gravel pads, driveways and access roads, and other activities that increase impervious surfaces.

For the proposed condition subbasin 59S shown on Sheet HYD2, the proposed and now constructed 83-foot long 12-inch diameter culvert is over twice the length of the original pipe intended to drain through the property. The altered culvert (55L in Sheet HYD2) that drains subbasin 59S has expanded inlet flow capacity as exhibited by the two new catch basins identified and shown on Drawing Sheet 24A in Appendix D.⁴⁰

d.) Stormwater Requirements are not Applied with Due Diligence

Washington County's approach to drainage requirements was intended to be based on design standards identified in CWS 2007. However, the County did not perform a Downstream System evaluation as necessary for consistency with CWS 2007.⁴¹ No complete assessment of the drainage through the property was undertaken for the culvert discharge emanating from the Boones Ferry Road widening project.

Stormwater Standards are Similar for Clean Water Services and Wilsonville

Wilsonville's stormwater management standards are very similar to CWS 2007. Both CWS and Wilsonville stormwater standards have comparable requirements for Downstream System evaluation for areas receiving drainage from the road project (see COW 2014 standards in Section 301.11.02 under "5. Review of Downstream System"). Additional comparisons between CWS 2007 and COW 2014 stormwater standards are provided throughout this subsection.

³⁹ See Drawing Sheet Title HYD1 (existing conditions hydrology) on PDF Page 35 of 152; and Sheet Title HYD2 (proposed conditions hydrology) on PDF Page 36 of 152.

⁴⁰ For Sheet No. 24A, see also Sheet No. 24. These drawings are Sheet Nos. 178 and 179 (of 274 total drawings) contained in the County's 100% plan submittal.

⁴¹ CWS 2007, see Chapter 2, Page 12 under the 2.04.2 subsection heading "3. Review of Downstream System", i.e., this is subsection 2.04.2.3.

Hydraulic Design Criteria

The criteria cited in CWS 2007, states that “Peak runoff rates shall not exceed pre-development rates”⁴² but the County did not carry out an accurate comparison of historical, existing and proposed stormflows to make this determination for the discharge passing through its road culvert. The COW 2014 design standards in Section 301.11.02 also limit peak flow rates between pre and post development:⁴³

10. Flow Control Requirement: The duration of peak flow rates from post-development conditions shall be less than or equal to the duration of peak flow rates from pre-development conditions for all peak flows between 42% of the 2-year storm peak flow rate up to the 25-year peak flow rate, based on a 2- through 25-year, 24-hour return storm. Specifically, the 2-year post-development runoff rates shall not exceed 42% of the 2-year predevelopment runoff rates; the 10- and 25-year post-development runoff rates shall not exceed the respective 10- and 25-year predevelopment runoff rates.

Discharges to Sensitive Areas

The Drainage Report did not assess the flood impact on stormwater quality for sensitive wetlands downstream of the culvert including the Lucini property, the wetlands surrounding Basalt Creek and the Coffee Lake Creek wetlands. These sensitive areas lie in unincorporated Washington County and the City of Wilsonville.

Flood conditions, as identified in this review, adversely affect storm water quality on the property as well as the downstream drainage comprised of sensitive areas. Storm flood flows, laden with suspended solids and potentially other associated chemical concentrations, reduce water quality entering the sensitive wetland areas surrounding Basalt Creek. This wetland complex subsequently drains into the Coffee Lake Wetlands and Coffee Lake Creek⁴⁴ in the City of Wilsonville. The CWS 2007 standards require:⁴⁵

c. Discharges to sensitive areas shall maintain the hydro period and flows of pre-development site conditions to the extent necessary to protect the characteristic functions of the sensitive area.

The Drainage Report does not allow for protecting sensitive areas downstream of the road culvert and Lucini property. No Downstream System evaluation was conducted.

The COW 2014 in Section 301.11.02 - Stormwater Management Facility Design Standards under “a. Purpose” also indicates conditions where stormwater management facilities are required because of increased stormwater runoff and pollution:⁴⁶

a. Purpose

New development and other activities that create new impervious surfaces or increase the amount of stormwater runoff or pollution leaving the site are required to construct or fund

⁴² CWS 2007, see Chapter 4, Page 6, subsection 4.03.3, under item “b”.

⁴³ COW 2014, see Section 301.11.02 - Stormwater Management Facility Design Standards, Page 68, paragraph under “10. Flow Control Requirement”.

⁴⁴ Sections of Coffee Lake Creek in Wilsonville are also known as Seely Ditch.

⁴⁵ CWS 2007, see Chapter 4, Page 9, subsection 4.05.4 for Water Quality Treatment Requirements, under “Design Considerations” item c.

⁴⁶ COW 2014, see Section 301.11.02 - Stormwater Management Facility Design Standards, Page 62, paragraph under “a. Purpose”

permanent stormwater management facilities to reduce contaminants entering the stormwater and surface water system.

Omission of Low Impact Development Approaches

The Drainage Report claims to follow CWS 2007 that recommends Low Impact Development Approaches (LIDA).⁴⁷

Generally, the first priority for LIDA is to minimize stormwater runoff generated from urban development to reduce hydrologic impacts.

The County did not employ LIDA in relation to the road culvert discharging onto the property. The catchment above the culvert was substantially altered as part of the road widening project resulting in elimination of existing and natural stormwater storage, enlarged impervious area and increased peak runoff. Stormflow inlet capacity to the culvert was substantially increased inconsistent with the LIDA priority in CWS 2007 to “minimize stormwater runoff”. Channel area downstream of the road culvert was opened up and vegetation removed increasing the reducing time to peak flows and increasing stormflow capacity onto the property.

Similarly, COW 2014 in Section 301.11.02 under “d. Design Criteria” indicates stormwater conditions for Low Impact Development (LID) under item “2”:⁴⁸

2. The goal is to prioritize the use of LID facilities to the MEP [Maximum Extent Practicable] to mimic the natural stormwater runoff conditions of the pre-developed site and recharge the groundwater. The City’s strategy to meet this goal is to incorporate LID principles in site planning and facility design.

Potential Impact of Wilsonville’s Retrofit Plan

A number of significant issues arise when the Boones Ferry Road drainage impact is compared to potential Wilsonville stormwater permit requirements. For this comparison, the *Stormwater Retrofit Plan* (COW 2015) that relates to the City of Wilsonville NPDES Municipal Separate Storm Sewer System (MS4) permit is referenced herein.⁴⁹

⁴⁷ CWS 2007, Chapter 4, Page 17, subsection 4.07.1, “Low Impact Development Approaches (LIDA)” 2nd sentence under “Purpose”.

⁴⁸ COW 2014, Section 301.11.02 - Stormwater Management Facility Design Standards, Page 64, under “d. Design Criteria” see item “2”.

⁴⁹COW 2015, *Stormwater Retrofit Plan*, NPDES MS4 Support.

Regional Facility Needed. Issues include the need to use regional facilities and LID practices to achieve pollutant reduction. As stated in the retrofit plan (bold by LEA):⁵⁰

The City's SMP [Stormwater Master Plan, May 2012] references stormwater policies that comprise the **major objectives for the City's stormwater retrofit strategy**. The stormwater policies help support the selection, prioritization, and installation of CPs for improved water quality. Relevant policies and implementation measures are listed below.

- EXP-5: The City of Wilsonville shall use a combination of regional and onsite facilities to achieve the recommended pollution reduction outlined in this Stormwater Master Plan.
 - Implementation Measure EXP-5a: **Locate regional facilities downstream of existing development where suitable to protect existing wetland and riparian areas.**
- LID-1: The City shall **prioritize the implementation of Low Impact Development (LID) techniques and habitat-friendly development practices throughout the City for new development, redevelopment, and retrofitting of existing development.**

The lack of upstream detention to reduce peak storm flows discharging to the property is a significant problem with the constructed road widening project. A regional facility intended to rectify historical errors in stormflow control affecting the property is supported by the retrofit plan.

Peak Stormflow Reduction Controls. The retrofit plan states the need to:⁵¹

Implement recently adopted stormwater design standards [COW 2014] for new and redevelopment projects that promote infiltration of stormwater and address peak flow control, volume reduction, and flow duration.

Peak stormflow controls were not implemented for the culvert discharging onto the Lucini property.

Stormflow Erosion Assessment. Instream erosion and potential future erosion issues are another concern of the retrofit plan, which identifies the need to:⁵²

- Complete the hydromodification assessment for Boeckman Creek, Coffee Lake Creek, and applicable tributaries. The assessment will include verification of current instream erosion issues, areas with high future erosion potential, and evaluation of the feasibility of retrofit projects (including those identified in the SMP).

Because of the lack of stormflow control upstream of the property, and the likelihood of substantial development in the catchment areas draining to the road culvert, a high future erosion potential exists downstream of the road project into the wetlands surrounding Basalt Creek and draining subsequently into Coffee Lake Creek.

Erosion Prevention and Control. The retrofit plan calls for targeting erosion problems at culvert outfalls:⁵³

⁵⁰ Ibid, Page 2, subsection 2.1 Stormwater Policies, 1st and 2nd bulleted items.

⁵¹ Ibid, Page 3, subsection 2.3 Water Quality Programs, 2nd bulleted item.

⁵² Ibid, Page 4, last bulleted item in subsection 2.3 Water Quality Programs.

⁵³ Ibid, Page 6, 1st and 3rd paragraphs in subsection 3.4 Erosion Prevention and Control.

The City's SMP includes a number of projects that target erosion problems at outfalls and along the stream corridors. Areas of active erosion are assumed to be, in part, due to the increase or excess stormwater runoff volumes discharging through the outfall or in the stream channel. Active erosion areas result in the transport of excess sediment loads into the stream channel, increasing turbidity and reducing instream water quality. Sediment loads can occlude stream beds and impact fish and other stream habitats. Erosion at outfalls can also lead to site and slope stability issues.

Also,

Preferred Stormwater Retrofit Strategy

The preferred strategy to prevent erosion is to retrofit outfalls with known and active erosion problems. For instream erosion issues, targeted channel excavation and restoration activities, including planting and vegetation enhancement to reduce scour potential, shall be conducted. The project identification efforts (see Section 4.1) and the project prioritization efforts (see Section 4.2) include water quality retrofit projects that incorporate erosion prevention.

The culvert that outfalls onto the Lucini property from the road widening project has caused significant flooding and erosion on the property as shown in the Photos A1 through A7 in Appendix A of the review.

Appendices

Appendix A

Flood Photos of the Lucini Property Taken During May 18, 2015 Storm Event

Appendix A: Downstream System Carrying Stormflows from the SW Boones Ferry Road Widening Project (Photos by John and Grace Lucini)
Excessive flood flows on May 18, 2015 overwhelm the Lucini property

Photo A1. Storm flood waters directed to the Lucini property from Boones Ferry Road.



Photo A2. Channel conveying Boones Ferry Road drainage across the Lucini property.



Photo A3. The junction for the channel and driveway pipe are overwhelmed and flood waters drain into the front yard toward the house.



Photo A4. Flooding storm water ultimately found its way into the lower driveway area.



Photo A5. The front lawn drained its flood waters into the walkway and porch in front of the house.



Photo A6. The front walkway steps drain into the lower driveway and garage area.

Photo A7. Flooding stormwater ultimately found its way into the lower driveway and garage area.



Appendix B

Photos of the Road Widening Project Inlets and Outlet Taken May 26, 2015
Affecting the Lucini Property

Appendix B: New Storm Drainage Facilities Upstream of the Property
(Photos taken by Dave LaLiberte of LEA on May 26, 2015)
Drains Adjacent Subbasins to the East of the Widened Road Alignment

Photo B1. New Stormwater Inlet #1 (North).



Photo B2. New Stormwater Inlet #2 (South).



Photo B3. New culvert outlet upstream of the Lucini property. This view looks east toward Boones Ferry Road.



Photo B4. Looking northerly at the widened road. Note the retaining wall and raised gravel areas draining to the culvert. The curb on the east edge of the road (on right) now blocks the adjacent catchment stormflow. This photo was taken by LEA on July 16, 2015.

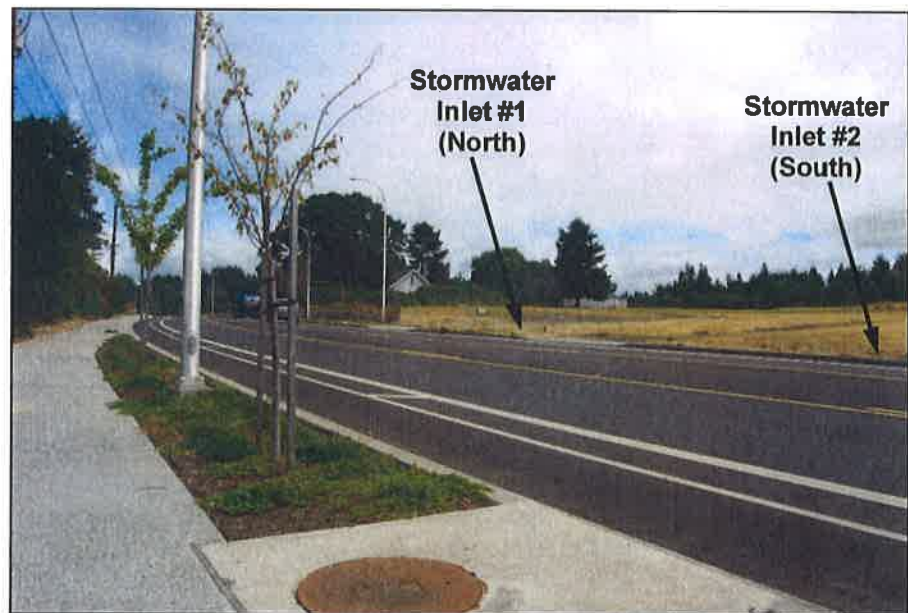
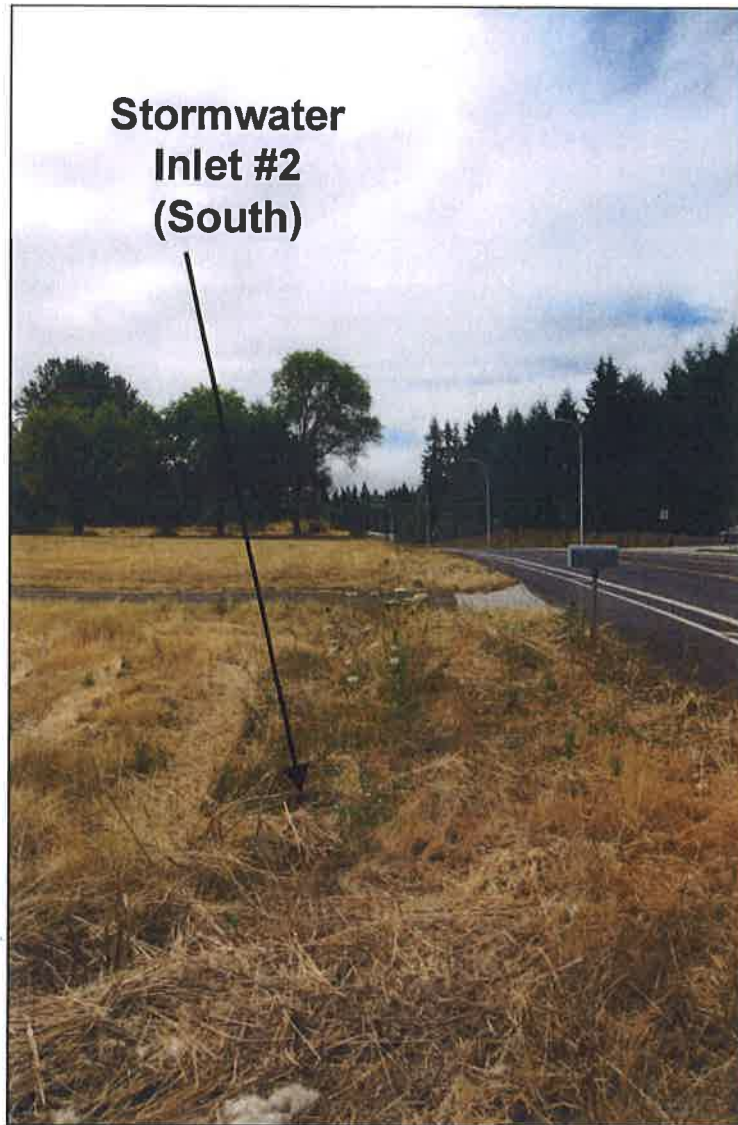


Photo B5. Looking southerly at widened road. The new stormwater Inlet #2 (South) is in the foreground. The curbing on the east edge of the road (on left) now blocks the adjacent catchment stormflow and redirects it to the culvert discharging to the Lucini property. This photo was taken by LEA on July 16, 2015.



Appendix C

Photos Prior to Road Widening Project Taken December 20, 2012

Appendix C: Original Drainage of Storm Water from SW Boones Ferry Road (Photos taken by John & Grace Lucini on Dec. 20, 2012)
Adjacent Subbasins to the East Drain into the Road Alignment

Photo C1. Drainage from the original Boones Ferry Road (December 2012). Looking northerly with ponding on the eastern (right) portion of the road. The white fence line of the Lucini property can be seen in the distance in the upper left of the photo, i.e., looking to the northwest.



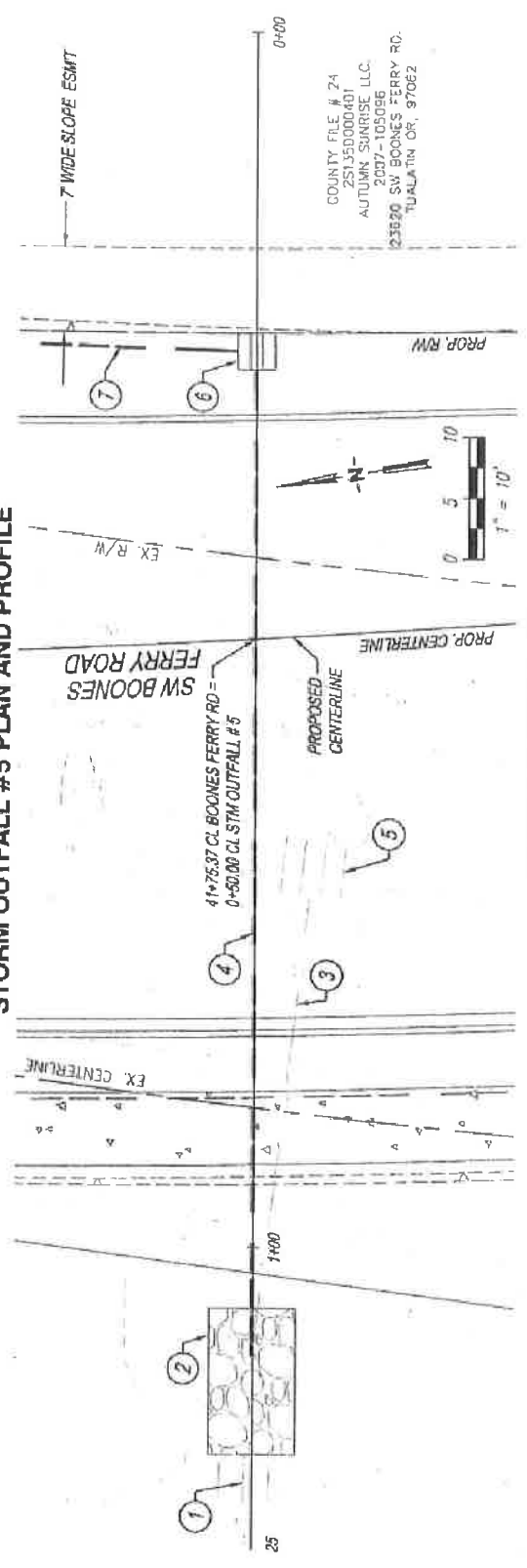
Photo C2. At top of photo is the original Washington County culvert outlet under Boones Ferry Road discharging to the west (December 2012). This is an old concrete pipe. The pipe at the lower-left portion of the photo is the plastic pipe draining onto the Lucini property.



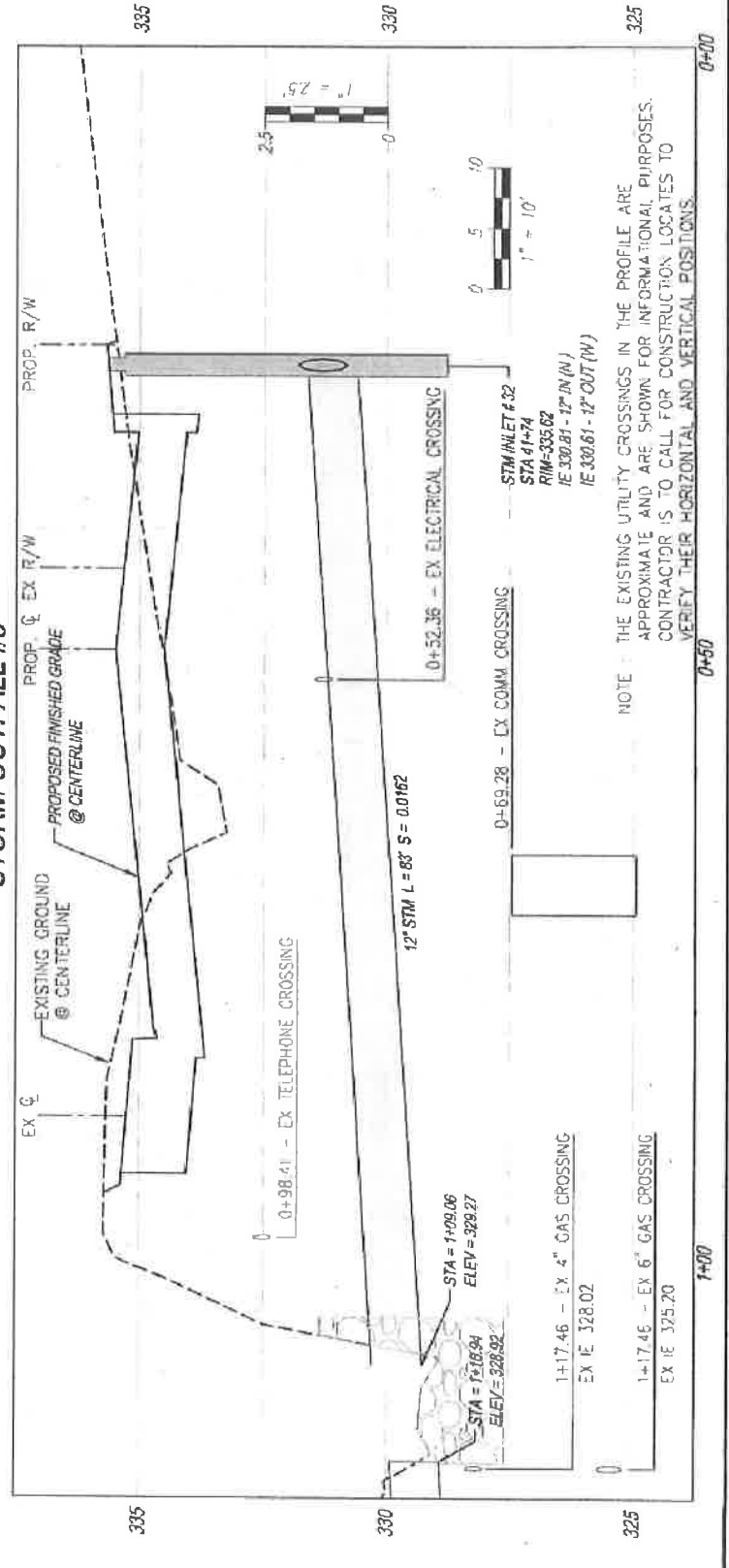
Appendix D

Drawing Profile of Boones Ferry Road Culvert Affecting the Lucini Property
From 100% Plan Submittal by Washington County

STORM OUTFALL #5 PLAN AND PROFILE



STORM OUTFALL #5



NOTE: THE EXISTING UTILITY CROSSINGS IN THE PROFILE ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES. CONTRACTOR IS TO CALL FOR CONSTRUCTION LOCATES TO VERIFY THEIR HORIZONTAL AND VERTICAL POSITIONS.



DEPARTMENT OF LAND USE & TRANSPORTATION
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NO. REVISIONS

SW DAY RD TO SW NORMOOD RD
WASHINGTON COUNTY
STORM OUTFALL #5
PLAN AND PROFILE

PROJECT NUMBER: 100096
SHEET NO: 179 OF 274
SHEET FILE: 24A

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CONSTRUCTION NOTES

THIS SHEET TO FACE SHT. 24A

- 1 EX 12" CMP STM IE=328.92
- 2 ODOT CLASS 50 RIPRAP PAD
8' LONG x 7' WIDE x 1.5' DEEP
PLUS 1" ABOVE PIPE CROWN
- 3 EX 12" CONC PIPE L=40' S=0.0166
- 4 12" STM SEWER L=63' S= 0.0162
- 5 EX OB
TOG 334.21
IE 329.94-12" OUT (W)
- 6 STM CB #32 (DITCH INLET)
@ STA 41+24 (24' RT)
TC 335.62
IE 330.81 - 12" IN (W)
IE 330.61 - 12" OUT (W)
- 7 12" STM L=77' S= 0.0101



DEPARTMENT OF LAND USE & TRANSPORTATION
ENGINEERING

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SW BOONES FERRY RD.
SW DAT RD. TO SW NORWOOD RD.
WASHINGTON COUNTY

CONSTRUCTION NOTES

PROJECT NUMBER
100096

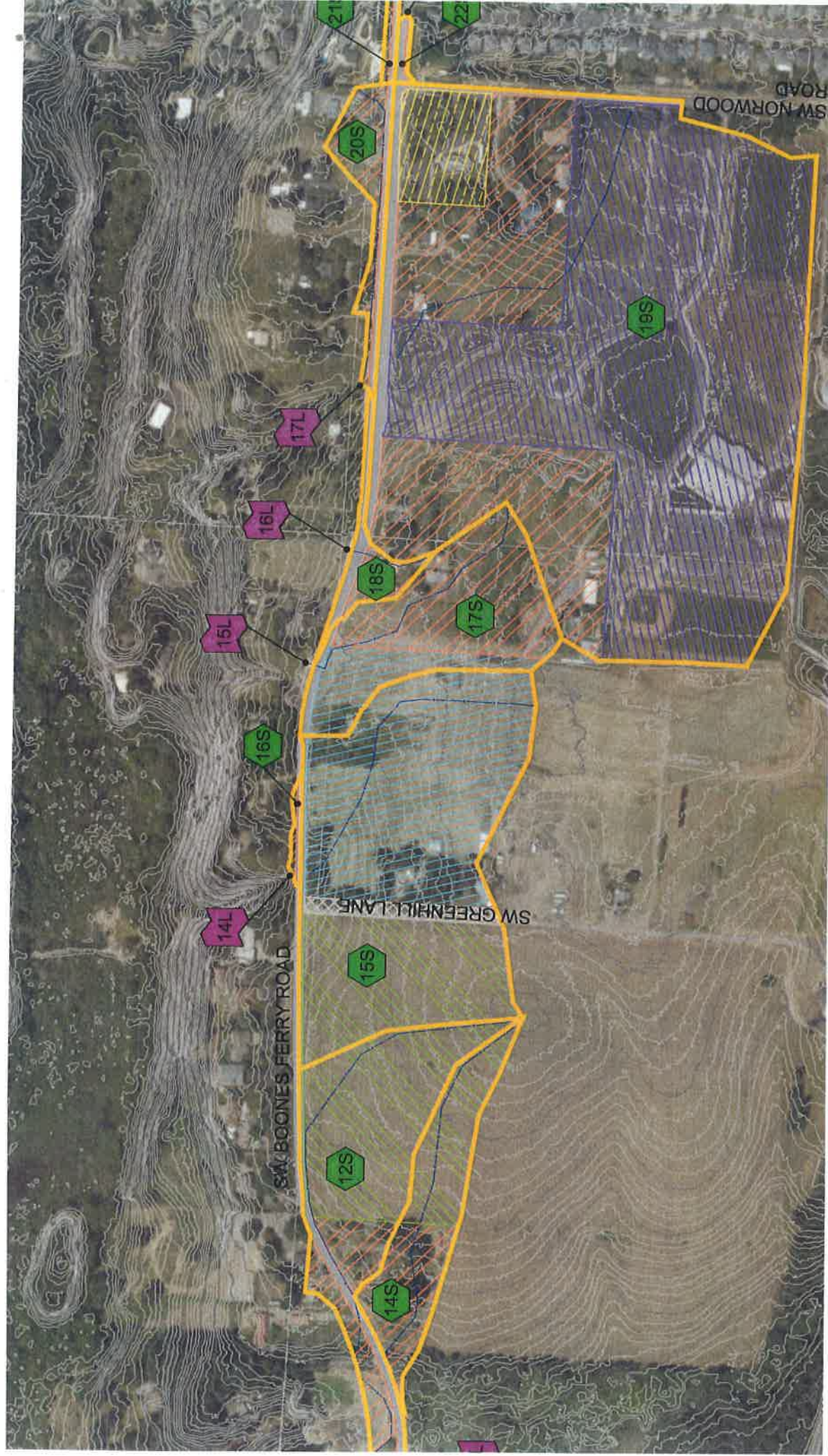
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178 of 274

SHEET REC.
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Appendix E

Hydrologic Maps from the Drainage Report
Drawings HYD1 (existing, PDF page 35/152) and HYD2 (proposed, PDF page 36/152)



ARGE TION	PRIMARY SITE CONVEYANCE	DOWNSTREAM RECEIVING ENTITY	CONTRIBUTING SUBBASINS
	GUTTER FLOW	EXISTING STORM DRAIN (CITY OF WILSONVILLE)	10S
	GUTTER FLOW	EXISTING STORM DRAIN (CITY OF WILSONVILLE)	11S
	MISC SURFACE FLOW	EXISTING DRAW, WEST	12S
	MISC SURFACE FLOW	EXISTING DRAW, SOUTHEAST	13S, 14S
	CULVERT(S)	EXISTING RAVINE, WEST	15S, 16S
	CULVERT(S)	EXISTING PIPE CONVEYANCE WEST	17S

From: [G Lucini](#)
To: [Aquilla Hurd-Ravich](#); [Cindy Hahn](#); [Bateschell, Miranda](#)
Subject: Basalt Creek Concept Planning - Questions
Date: Monday, December 07, 2015 6:02:07 PM

Hi Aquilla, Cindy, and Miranda,

Hope you all had a good Thanksgiving,

I am trying to keep up to date on to the Basalt Creek Projects.

I thought there was going to be a Joint Cities Meeting for the Basalt Creek Concept Planning scheduled for Dec. 16th. Since I don't see this listed on either Council's calendar, nor posted on the BasaltCreek.com website- has it been postponed?

Either way- it might be helpful if the appropriate information was posted on BasaltCreek.com—since this is a very busy time of year for many people. It would also help avoid confusion between the November Basalt Creek Concept Plan Information Update Letter which announced the Dec. 16th meeting--- and the lack of any mention on the BasaltCreek.com website- or either City's website.

I also wanted to let you know about the environmental studies which are beginning for evaluating the Grahams Ferry to Boones Ferry Connector.

As you may know, ODOT received funding for studies, and started to do preliminary on site evaluations.

On 11-23-15 Russell Knoebel brought a group by the house. According to Russell,
"The County is scheduled to hire a consultant in the next few months to start environmental work on this project.
At this point ODOT would like to have their environmental experts take a look at the area to determine the environmental concerns for the area"

In addition to Russell there were the following people who attended the onsite:

Renus Kelfkens WA County Project Manager renus_kelfkens@co.washington.or.us 503 846 7808

Michele Thom, Region 1 Local Agency Liaison – Michele.R.THOM@odot.state.or.us

Melissa Hogan, Regional Environmental Coordinator – Melissa.J.HOGAN@odot.state.or.us

Thomas McConnell, Environmental Project Manager -
Thomas.E.MCCONNELL@odot.state.or.us

This causes me to ask:

- Should the environmental evaluation indicate difficulties with the location of the Grahams Ferry Road and Boones Ferry Road Connector (as currently situated near the Greenhill Lane intersection) how will this impact the Basalt Creek Concept Planning being done by Wilsonville and Tualatin?
- Hasn't the location of the Connector been an assumed criteria and a basis upon which most

of the concept planning pivots upon?

- Will agreements made within the next couple of months between Tualatin and Wilsonville and prior to the findings of the environmental assessment be reasonable? Appropriate?
- Will the same situation exist regarding the location of the connector ---prior to the receipt of basic geotechnical assessments?

Looking forward to hearing from you.

Grace

From: [G Lucini](#)
To: [Aquilla Hurd-Ravich](#)
Subject: Storm Water on Lucini Property # 1st of 3
Date: Monday, December 14, 2015 10:49:14 PM
Attachments: [2015 12-7 Outfall #5 Looking west towards Lucini-email.mp4](#)
[2015 12-7 North side of driveway-downstream conduit- Labled.jpg](#)
[2015 12-13 Water Level Behind House After Rains.JPG](#)

Hi Aquilla,

Received your phone message when we returned home this evening.

We appreciate your concern in checking on the conditions of the water runoff coming on to our property after the rain storms this last week.

We weren't flooded this week, but there is a significant volume and velocity of water coming onto our property.

I attempted to send a batch of photos and videos in an email, but due to size limitations at Tualatin City email addresses the email bounced back. I will send 3 smaller batches.

Photos may provide one of the best methods to share the drainage flows which come onto our property. John took a few photos and videos on Monday 12-7-5 which are attached.

I think you can understand our continued concerns.

Thanks for your concern.

John and I plan to attend the Joint Cities Meeting on Basalt Creek Concept Planning on Wed. It sounds from your last email that we will not see you there. Hopefully we will see you next time. Hope you have an enjoyable holiday.

Grace





**North side driveway-
downstream from conduit**

12-7-2015

