



City of Tualatin

www.tualatinoregon.gov

**"NECESSARY PARTIES"
MARKED BELOW**

NOTICE OF APPLICATION SUBMITTAL

- ANNEXATION CONDITIONAL USE PERMIT PLAN TEXT AMENDMENT
 ARCHITECTURAL REVIEW PLAN MAP AMENDMENT OTHER:

CASE/FILE: AR-15-04 (Community Development Dept.: Planning Division)

PROPOSAL	To construct a building addition in the form of a media room and add an entrance canopy to the existing building used as a National Basketball Association (NBA) training facility for the Portland Trail Blazers, raising the total building square footage from 38,686 square ft (sq ft) by 1,085 sq ft to 39,771.
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PROPERTY	Name of Application	TRAIL BLAZERS BUILDING ADDITION		
	<input type="checkbox"/> n/a Street Address	7325 SW Childs Rd		
	Tax Map and Lot No(s).	2S1 24AB 00200		
	Planning District	Office Commercial (CO)	Overlays <input type="checkbox"/>	NRPO <input type="checkbox"/> Flood Plain <input type="checkbox"/>
	Previous Applications	AR-13-03	Additional Applications: none	CIO COMMERCIAL

DATES	Receipt of application	3/06/2015	Deemed Complete	4/03/2015	CONTACT	Name: Colin Cortes
	Notice of application submittal			4/9/2015		Title: Assistant Planner
	Project Status / Development Review meeting			4/16/2015		E-mail: ccortes@ci.tualatin.or.us
	Comments due for staff report			4/23/2015		Phone: 503-691-3024
	Public meeting: <input type="checkbox"/> ARB <input type="checkbox"/> TPC <input checked="" type="checkbox"/> n/a					Notes: You may view the application materials through this City web page: www.tualatinoregon.gov/projects
	City Council (CC)			<input checked="" type="checkbox"/> n/a		

City Staff

- City Manager
- Building Official
- Chief of Police
- City Attorney
- City Engineer
- Community Dev. Director
- Community Services Director
- Economic Dev. liaison
- Engineering Associate*
- Finance Director
- GIS technician(s)
- IS Manager
- Operations Director*
- Parks and Recreation Coordinator
- Planning Manager
- Street/Sewer Supervisor
- Water Supervisor

Neighboring Cities

- Durham
- King City Planning Commission
- Lake Oswego
- Rivergrove PC
- Sherwood Planning Dept.
- Tigard Community Dev. Dept.
- Wilsonville Planning Div.

*Paper Copies

Counties

- Clackamas County Dept. of Transportation and Dev.
- Washington County Dept. of Land Use and Transportation (AR's)
- Washington County LRP (Annexations)

Regional Government

- Metro

School Districts

- Lake Oswego School Dist. 7J
- Sherwood SD 88J
- Tigard-Tualatin SD 23J (TTSD)
- West Linn-Wilsonville SD 3J

State Agencies

- Oregon Dept. of Aviation
- Oregon Dept. of Land Conservation and Development (DLCD) (via proprietary notice)
- Oregon Dept. of State Lands: Wetlands Program
- Oregon Dept. of Transportation (ODOT) Region 1
- ODOT Maintenance Dist. 2A

- ODOT Rail Div.

Utilities

- Republic Services
- Clean Water Services (CWS)
- Comcast [cable]*
- Frontier Communications [phone]
- Northwest Natural [gas]
- Portland General Electric (PGE)
- TriMet
- Tualatin Valley Fire & Rescue (TVF&R)
- United States Postal Service (USPS) (Washington; 18850 SW Teton Ave)
- USPS (Clackamas)
- Washington County Consolidated Communications Agency (WCCCA)

Additional Parties

- Tualatin Citizen Involvement Organization (CIO)
-

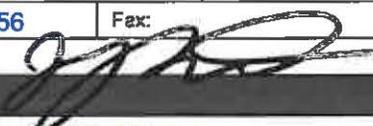
- 1.032: *Burden of Proof*
- 31.071 *Architectural Review Procedure*
- 31.074 *Architectural Review Application Review Process*
- 31.077 *Quasi-Judicial Evidentiary Hearing Procedures*
- Metro Code 3.09.045 *Annexation Review Criteria*
- 32.030 *Criteria for Review of Conditional Uses*
- 33.020 *Conditions for Granting a Variance that is not a Sign or a Wireless Communication Facility*
- 33.022 *Criteria for Granting a Sign Variance*
- 33.024 *Criteria for Granting a Minor Variance*
- 33.025 *Criteria for Granting a Variance*
- 34.200 *Tree Cutting on Private Property without Architectural Review, Subdivision or Partition Approval, or Tree Removal Permit Prohibited*
- 34.210 *Application for Architectural Review, Subdivision or Partition Review, or Permit*
- 34.230 *Criteria (tree removal)*
- 35.060 *Conditions for Granting Reinstatement of Nonconforming Use*
- 36.160 *Subdivision Plan Approval*
- 36.230 *Review Process (partitioning)*
- 36.330 *Review Process (property line adjustment)*
- 37.030 *Criteria for Review (IMP)*
- 40.030 *Conditional Uses Permitted (RL)*
- 40.060 *Lot Size for Conditional Uses (RL)*
- 40.080 *Setback Requirements for Conditional Uses (RL)*
- 41.030 *Conditional Uses Permitted (RML)*
- 41.050 *Lot Size for Conditional Uses (RML)*
- 41.070 *Setback Requirements for Conditional Uses (RML)*
- 42.030 *Conditional Uses Permitted (RMH)*
- 42.050 *Lot Size for Conditional Uses (RMH)*
- 42.070 *Setback Requirements for Conditional Uses (RMH)*
- 43.030 *Conditional Uses Permitted (RH)*
- 43.060 *Lot Size for Conditional Uses (RH)*
- 43.090 *Setback Requirements for Conditional Uses (RH)*
- 44.030 *Conditional Uses Permitted (RH-HR)*
- 44.050 *Lot Size for Conditional Uses (RH-HR)*
- 44.070 *Setback Requirements for Conditional Uses (RH-HR)*
- 49.030 *Conditional Uses (IN)*
- 49.040 *Lot Size for Permitted and Conditional Uses (IN)*
- 49.060 *Setback Requirements for Conditional Uses (IN)*
- 50.020 *Permitted Uses (CO)*
- 50.030 *Central Urban Renewal Plan – Additional Permitted Uses and Conditional Uses (CO)*
- 50.040 *Conditional Uses (CO)*
- 52.030 *Conditional Uses (CR)*
- 53.050 *Conditional Uses (CC)*
- 53.055 *Central Urban Renewal Area – Conditional Uses (CC)*
- 54.030 *Conditional Uses (CG)*
- 56.030 *Conditional Uses (MC)*
- 56.045 *Lot Size for Conditional Uses (MC)*
- 57.030 *Conditional Uses (MUCOD)*
- 60.040 *Conditional Uses (ML)*
- 60.041 *Restrictions on Conditional Uses (ML)*
- 61.030 *Conditional Uses (MG)*
- 61.031 *Restrictions on Conditional Uses (MG)*
- 62.030 *Conditional Uses (MP)*
- 62.031 *Restrictions on Conditional Uses (MP)*
- 64.030 *Conditional Uses (MBP)*
- 64.050 *Lot Size for Permitted and Conditional Uses (MBP)*
- 64.065 *Setback Requirements for Conditional Uses (MBP)*
- 68.030 *Criteria for Designation of a Landmark*
- 68.060 *Demolition Criteria*
- 68.070 *Relocation Criteria*
- 68.100 *Alteration and New Construction Criteria*
- 68.110 *Alteration and New Construction Approval Process*
- 73.130 *Standards*
- 73.160 *Standards*
- 73.190 *Standards – Single-Family and Multi-Family Uses*
- 73.220 *Standards*
- 73.227 *Standards*
- 73.230 *Landscaping Standards*
- 73.300 *Landscape Standards – Multi-Family Uses*
- 73.310 *Landscape Standards – Commercial, Industrial, Public and Semi-Public Uses*
- 73.320 *Off-Street Parking Lot Landscaping Standards*
- 73.470 *Standards*
- 73.500 *Standards*



City of Tualatin

www.tualatinoregon.gov

APPLICATION FOR ARCHITECTURAL REVIEW

Direct Communication to:			
Name: Joshua Peterson		Title: Associate	
Company Name: GBD Architects Inc.			
Current address: 1120 NW Couch St, Suite 300,			
City: Portland		State: OREGON	ZIP Code: 97209
Phone: (503) 224-9656	Fax:	Email: joshuap@gbdachitects.com	
Applicant			
Name: Joshua Peterson		Company Name: GBD Architects Inc.	
Address: 1120 NW Couch St, Suite 300,			
City: Portland		State: OREGON	ZIP Code: 97209
Phone: (503) 224-9656	Fax:	Email: joshuap@gbdachitects.com	
Applicant's Signature: 		Date: March 5, 2015	
Property Owner			
Name: Chris Oxley, Portland Trailblazers			
Address: 7325 SW Childs Road			
City: Tualatin		State: OREGON	ZIP Code: 97224
Phone: (503) 797-9851	Fax:	Email: chris.oxley@trailblazers.com	
Property Owner's Signature: 		Date: March 5, 2015	
(Note: Letter of authorization is required if not signed by owner)			
Architect			
Name: Joshua Peterson, GBD Architects Inc.			
Address: 1120 NW Couch St, Suite 300,			
City: Portland		State: OREGON	ZIP Code: 97209
Phone: (503) 224-9656	Fax:	Email: joshuap@gbdachitects.com	
Landscape Architect			
Name: Ron Peterson, HHPR			
Address: 205 SE Spokane St, Suite 200			
City: Portland		State: OREGON	ZIP Code: 97202
Phone: (503) 221-1131	Fax:	Email: kims@hhpr.com	
Engineer			
Name: Anne Monnier, KPFF			
Address: 111 SW Fifth Avenue, Suite 2500			
City: Portland		State: OREGON	ZIP Code: 97202
Phone: (503) 227-3251	Fax:	Email: kims@hhpr.com	
Project			
Project Title: Trail Blazers Practice Facility Renovation & Addition - Phase II			
Address: 7325 SW Childs Road			
City: Tualatin		State: OREGON	ZIP Code: 97224
Brief Project Description: Renovation of a number of the existing spaces, the addition of a new canopy, and the addition of a new single story space intended as a new media area.			
Proposed Use: The existing building usage will remain the same. Improvements and additions are being done to improve the existing building usage as an NBA training facility for the Portland Trailblazers Basketball staff.			

Value of Improvements: 818,540.00

AS THE PERSON RESPONSIBLE FOR THIS APPLICATION, I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION ABOVE, ON THE FACT SHEET, AND THE SURROUNDING PARTY OWNER MAILING LIST IS CORRECT. I AGREE TO COMPLY WITH ALL APPLICABLE CITY AND COUNTY ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND LAND USE.

Applicant's Signature:



Date: March 5, 2015

Office Use

Case No:	Date Received:	Received by:
Fee: Complete Review (\$115-\$5040):	Receipt No:	
Application Complete as of:	ARB hearing date (if applicable):	
Posting Verification:	6 copies of drawings (folded)	
1 reproducible 8 1/2" X 11" vicinity map	1 reproducible 8 1/2" X 11" site, grading, LS, Public Facilities plan	
Neighborhood/Developer meeting materials		

GENERAL INFORMATION	
Site Address:	7325 SW Childs Road, Tualatin OR 97224
Assessor's Map and Tax Lot #:	Tax Map # 2S1 24AB, Tax Lot No. 200/300
Planning District:	City of Tualatin
Parcel Size:	99,169 SF
Property Owner:	Portland Trail Blazers Inc.
Applicant:	GBD Architects Inc.
Proposed Use:	Maintain existing use - NBA basketball training facility & office

ARCHITECTURAL REVIEW DETAILS	
<input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial	
Number of parking spaces:	41 stalls
Square footage of building(s):	39,767 SF
Square footage of landscaping:	34,663 SF
Square footage of paving:	24,739 SF
Proposed density (for residential):	N/A

For City Personnel to complete:

Staff contact person:

CITY OF TUALATIN FACT SHEET

General

Proposed use: The existing building usage will remain the same. These improvements and additions are only being done to improve and update the existing building usage as an NBA training facility for the Portland Trailblazers basketball team and staff.					
Site area:	2.28 acres	acres	Building footprint:	39,767 SF	sq. ft.
Development area:	1.48 acres	acres	Paved area:	24,739 SF	sq. ft.
	64,506 SF	Sq. ft.	Development area coverage:	65%	%

Parking Existing parking lot to remain as is.

Spaces required (see TDC 73.400) (example: warehouse @ 0.3/1000 GFA) _____ @ _____/1000 GFA = _____ _____ @ _____/1000 GFA = _____ _____ @ _____/1000 GFA = _____ Total parking required: _____ spaces Handicapped accessible = _____ Van pool = _____ Compact = (max. 35% allowed) = _____ Loading berths = _____	Spaces provided: Total parking provided: _____ spaces Standard = _____ Handicapped accessible = _____ Van pool = _____ Compact = _____ Loading berths = _____
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Bicycles Existing covered bicycle parking to remain as is.

Covered spaces required: _____	Covered spaces provided: _____
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Landscaping

Landscaping required: 15% % of dvpt. area 9,676 SF Square feet	Landscaping provided: 54% % of dvpt. area 34,663 SF Square feet
Landscaped parking island area required: _____ %	Landscaped parking island area provided: _____ %

Trash and recycling facility Existing trash & recycling to remain as is.

Minimum standard method: _____ square feet
Other method: _____ square feet

For commercial/industrial projects only

Total building area: 39,767 SF	sq. ft.	2 nd floor: N/A	sq. ft.
Main floor: 39,767 SF	sq. ft.	3 rd floor: N/A	sq. ft.
Mezzanine: N/A	sq. ft.	4 th floor: N/A	sq. ft.

For residential projects only

Number of buildings: _____	Total sq. ft. of buildings: _____	sq. ft.
Building stories: _____		

20086635

Portland Trail Blazers Practice Facility – Phase II – Renovation & Addition
7325 SW Childs Road
Portland, OR 97224

DESIGN NARRATIVE

The existing Trail Blazers Practice Facility was constructed in 1998. In 2013 an addition and remodel of the NW corner of the Facility was completed. This project was focused on improving and updating the player experience and function.

The current renovation/addition project will include the renovation of a number of the exiting spaces, as well as the addition of a program area intended to improve an existing program. This project will be focused on improving and updating the staff experience and function.

The addition will include:

- A new entry canopy
 - The design intent of new entry canopy is to blend into the existing building façade as if it was installed with the original build in 1998. Framed by a steel channel similar in form to the existing canopies on the East and North facades, and supported by angled steel rods, the new entry canopy is intended look as they were designed together. The design intent of the soffit material on the underside of the canopy is intended to mimic the design elements that do and will exist within the facility. This is intended to connect the new canopy with design experience inside of the building.
- A new Media space
 - The design intent of the new Media area is to mimic the existing façade directly both in material and design. With the exception of larger windows to bring more natural light into the space, the new Media area design elements are intended to match the existing building design as close as possible.

Overall, our design intent regarding all exterior additions to the Trail Blazers Practice Facility is to maintain the existing look, improve the existing function, minimize impact on existing landscaping, plant back any and all landscaping elements impacted by construction, and leave the existing off-street parking unchanged and unaffected.

January 30, 2015

RE: Application for Renovation and Addition Project

Dear Property Owner/Neighborhood Representative:

You are cordially invited to attend a meeting on **Wednesday, February 17th at 4:30 pm** at **ClubSport Oregon, 18120 SW Lower Boones Ferry Road Tigard, OR 97224, Conference room**. This meeting shall be held to discuss a proposed project located at 7325 SW Childs Road, Tualatin OR 97224. The proposal is to add a new entry Canopy and add approximately 1000 square feet of interior space to improve and upgrade an existing function.

The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet and discuss this proposal and identify any issues regarding this proposal.

Sincerely,



Josh A. Peterson
Associate, GBD Architects Incorporated

Enclosure: Site Plan

As the applicant for the

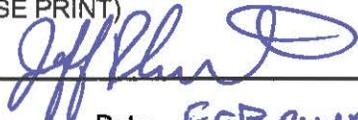
7325 SW CHILDS ROAD - TUALATIN project, I

hereby certify that on this day, FEBRUARY 2, 2015 sign(s) was/were posted on the

subject property in accordance with the requirements of the Tualatin Development Code

and the Community Development Department - Planning Division.

Applicant's Name: JEFF RHINEVAULT
(PLEASE PRINT)

Applicant's Signature: 

Date: FEBRUARY 2, 2015



SW CHILDS RD



NO
PARKING
ANY
TIME



NOTICE

NEIGHBORHOOD /
DEVELOPER MEETING

2/17/2015 4:30 p.m.
18120 SW Lwr Boones Fry Rd
503-224-9656

NOTICE

**NEIGHBORHOOD /
DEVELOPER MEETING**

2/17/2015 4:30 p.m.
18120 SW Lwr Boones Fry Rd
503-224-9656.

**PLAYERS PARKING
ONLY**



20086635

Portland Trail Blazers Practice Facility – Phase II – Renovation & Addition
7325 SW Childs Road
Portland, OR 97224

UNCHANGED OCCUPANCY NARRATIVE

The existing Blazers Practice Facility was constructed in 1998 and remodeled in 2013.

The current renovation/addition project will include the renovation of a number of the existing spaces, as well as the addition of a program area intended to improve an existing program.

The addition will include:

- A new entry canopy
- A new Media space

Together with the new additions, several of the existing spaces will be renovated with revised layouts and upgraded finishes. The renovated spaces will include those spaces that are adjacent to/impacted by the additions noted above as well as:

- The entry lobby
- The existing office spaces
- The assistant coaches office
- The Break Room
- The old Media Room
- The bathrooms at the entry
- The coaches and staff locker rooms

All of the work being done under this renovation/addition project is being done to better the use of the existing practice facility building. The Blazers are not expanding the number of people who will occupy this building. The building will remain occupied by only Blazers players, coaches, and staff members.

The Blazers currently hold press conferences and all other Media related functions within the existing facility. The addition of a larger Media space will allow them to more efficiently and securely host Media outlets throughout their season. It will also allow them to use the existing Media area as designated location for all interns to perform their current tasks and duties.

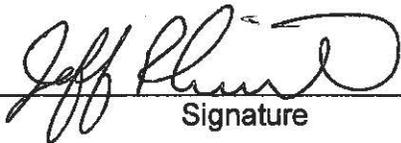
As is stated above, none of the work being completed under this project will increase the number of occupants in the building, nor the number of people coming and going from the building.

**NEIGHBORHOOD/DEVELOPER MEETING
AFFIDAVIT OF MAILING**

STATE OF OREGON)
) SS
COUNTY OF WASHINGTON)

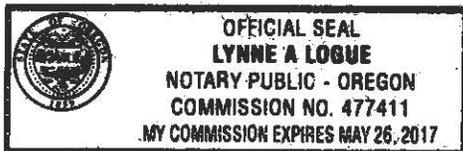
I, JEFF RHINEVAULT, being first duly sworn, depose and say:

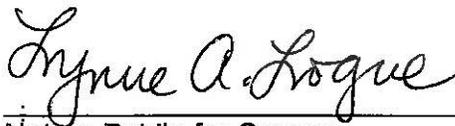
That on the 30th day of JANUARY, 2015, I served upon the persons shown on Exhibit "A," attached hereto and by this reference incorporated herein, a copy of the Notice of Neighborhood/Developer meeting marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail with postage fully prepared thereon.



Signature

SUBSCRIBED AND SWORN to before me this 27th day of February,
2015.





Notary Public for Oregon
My commission expires: May 26, 2017

RE: _____

February 22, 2015

NEIGHBORHOOD/DEVELOPER MEETING NOTES AND SUMMARY

RE: Proposed Project at 7325 SW Childs Road in Tualatin

The property owner/neighborhood representative meeting was held on February 17, 2015 from 4:30 pm to 6:00 pm at Club Sport located at 18120 SW Lower Boones Ferry Road. The purpose of the meeting was to provide a means for surrounding property owners to meet with the applicant to discuss the proposed project and identify any issues regarding this proposal.

The meeting room was set by 4:25 pm. Attendants on behalf of the project applicant included representatives from the design/architect and construction teams, as well as the owners of the proposed project site.

A meeting sign-in sheet of attendees was kept (see Exhibit A). All attendees signed in with the exception of the Club Sport managers/representatives.

Comment sheets were made available (see Exhibit B). None were submitted or received.

The meeting concluded at 6pm

Meeting Notes:

4:20 – Amy Freeman (Venue Organizer) Stopped in to see if the team needed anything as they were setting up.

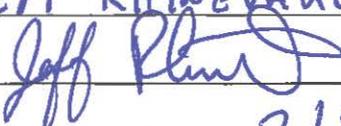
4:30 – Colin Cortes. City of Tualatin Assistant Planner. Walked through project and any developments since last seen. He asked if the team had any questions for him. The team did not have any questions at that time.

4:40 – Jason Schlager (Venue General Manager) Stopped in to express gratitude to the Trail Blazers for choosing their location to hold their Neighborhood Meeting. He expressed the positive relationship that they currently have and wish to maintain with Trail Blazer organization.

4:50 – 6:00 – No Attendees.

6:00 pm – Meeting Concluded.

Applicants Name: JEFF RHINEVAULT

Applicants Signature: 

Date: 2/22/15

EXHIBIT A

LEGAL DESCRIPTION

Parcel I:

A tract of land being a portion of Lot 38 of the plat of TUALATIN VALLEY HOMES, in the City of Tualatin, County of Washington and State of Oregon, more particularly described as follows:

Beginning at a point on the East line of that tract of land referred to as the "First Tract" in that Deed recorded June 8, 1943 in Book 218, Page 457, Washington County Deed Records, which is also on the Northeasterly line of said Lot 38, said true point of beginning being bearing North 89°38'35" East, along the North line of Section 24, Township 2 South, Range 1 West, of the Willamette Meridian, a distance of 858.10 feet and South 00°16'00" East, along the East line of said tract of land referred to as the "First Tract", a distance of 106.50 feet from an aluminum cap the North quarter corner of said Section 24; thence from said point of beginning, South 39°02'30" East along the Northeasterly line of said Lot 38, a distance of 105.43 feet to the West right of way line of Interstate Highway No. 5, as conveyed to the State of Oregon, by and through its State Highway Commission by the Final Judgment entered May 7, 1973, in Suite No. 33-391, Washington County Circuit Court; thence South 16°17'19" West along said West right of way line a distance of 173.78 feet to an angle point in said West right of way line; thence South 11°49'58" West along said West right of way line a distance of 78.76 feet to the East line of said tract referred to as the "First Tract"; thence North 00°16'00" West along the East line of said "First Tract" a distance of 325.79 feet to the point of beginning.

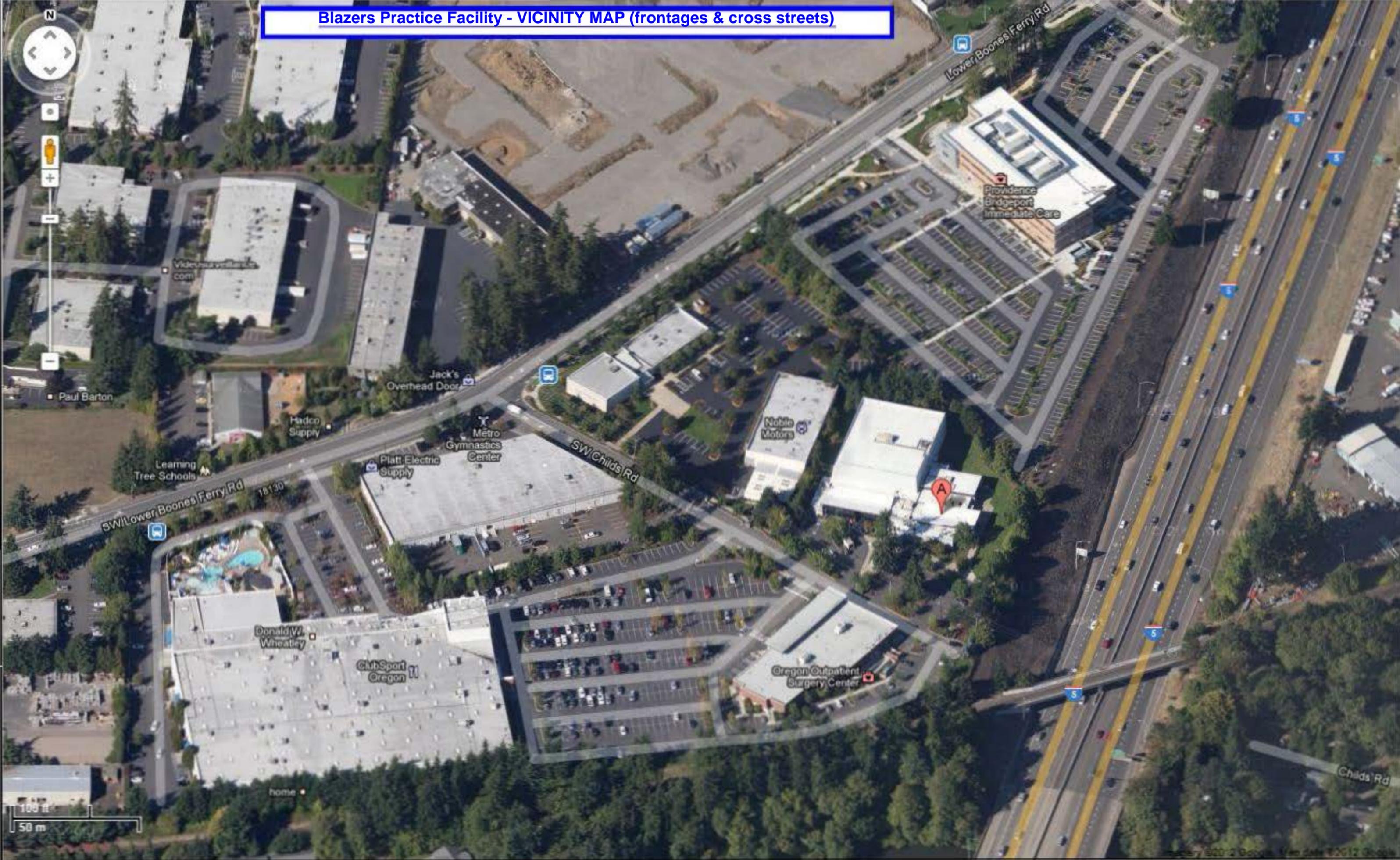
Parcel II:

A tract of land located in the Northeast quarter of Section 24, Township 2 South, Range 1 West, of the Willamette Meridian, in the City of Tualatin, County of Washington and State of Oregon, more particularly described as follows:

Beginning at an iron pipe on the North line of said Section 24, said iron pipe being at the Southeast corner of the Southwesterly 20 foot wide strip of Lot 40 of the plat of TUALATIN VALLEY HOMES, Washington County Plat Records, said iron pipe also bearing North 89°38'35" East a distance of 797.33 feet from an aluminum cap at the North quarter corner of said Section 24; thence from the true point of beginning, South 39°02'30" East along the projection of the Northeasterly boundary of said 20 foot strip a distance of 97.03 feet to the East line of that tract of land referred to as the "First Tract" in that Deed recorded June 8, 1943, in Book 218, Page 457, said Deed Records; thence South 00°16'00" East along the East line of said "First Tract" a distance of 356.55 feet to the West right of way line of Interstate Highway No. 5; thence South 11°49'58" West along said West right of way line a distance of 52.49 feet to the centerline of Southwest Childs Road, this portion having been vacated by City of Tualatin Ordinance No. 841-91, recorded August 16, 1991 as Recorder's Fee No. 91-045127 Deed Records; thence North 52°15'00" West along said centerline a distance of 239.82 feet to the Northwesterly terminus of said vacation of Southwest Childs Road; thence North 37°45'00" East along the Northwesterly terminus of said Childs Road a distance of 20.00 feet to the Northeasterly right of way line of Southwest Childs Road; thence North

52°15'00" West along said Northeasterly right of way line a distance of 100.00 feet; thence North 16°27'09" East a distance of 270.13 feet to the North line of said Section 24; thence North 89°38'35" East along the North line of said Section 24 a distance of 128.02 feet to the point of beginning.

Blazers Practice Facility - VICINITY MAP (frontages & cross streets)



Providence
Bridgeport
Immediate Care

Noble
Motors

Oregon Outpatient
Surgery Center

Club Sport
Oregon

Donald W.
Wheatley

Platt Electric
Supply

Metro
Gymnastics
Center

Hadco
Supply

Jack's
Overhead Door

Videonus
villars.com

Paul Barton

Learning
Tree Schools

Childs Rd

100 ft
50 m

Sensitive Area Pre-Screening Site Assessment

1. **Jurisdiction:** Tualatin

2. **Property Information** (example 1S234AB01400)

Tax lot ID(s): 2S124AB00200

Site Address: 7325 SW Childs Road

City, State, Zip: Tualatin, OR, 97224-7713

Nearest Cross Street: _____

3. **Owner Information**

Name: Chris Oxley

Company: Portland Trail Blazers

Address: One Center Court Street

City, State, Zip: Portland, OR, 97227

Phone/Fax: (503) 797-9851

E-Mail: chris.oxley@trailblazers.com

4. **Development Activity** (check all that apply)

- Addition to Single Family Residence (rooms, deck, garage)
 Lot Line Adjustment Minor Land Partition
 Residential Condominium Commercial Condominium
 Residential Subdivision Commercial Subdivision
 Single Lot Commercial Multi Lot Commercial
 Other _____

5. **Applicant Information**

Name: Josh Peterson

Company: GBD Architects Inc.

Address: 1120 NW Couch St., Suite 300

City, State, Zip: Portland, OR, 97209

Phone/Fax: (503) 224-9656

E-Mail: joshuap@gbdarchitects.com

6. **Will the project involve any off-site work?** Yes No Unknown

Location and description of off-site work _____

7. **Additional comments or information that may be needed to understand your project** _____

Small addition on West side of existing building. Stormwater to be treated in new small planter.

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name Josh Peterson Print/Type Title Associate

ONLINE SUBMITTAL

Date 2/3/2015

FOR DISTRICT USE ONLY

- Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.
- Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- This Service Provider Letter is not valid unless _____ CWS approved site plan(s) are attached.
- The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Reviewed by Laurie Harris Date 02/04/15



10295 SW Ridder Road, Wilsonville, OR 97070
O: 503.570.0626 F: 503.982.9307 republicservices.com

Josh A. Peterson AIA
GBD Architects Inc.
1120 NW couch St.
Suite 300
Portland, Oregon 97209

Re: Trailblazer addition 7325 Childs Rd. Portland OR 97224

Dear Josh;

Thank you, for sending me your site plans for this additional development in Tualatin, for the Portland Trailblazers.

My Company: Republic Services of Clackamas & Washington Counties has the franchise agreement to service this area with the City of Tualatin. We provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

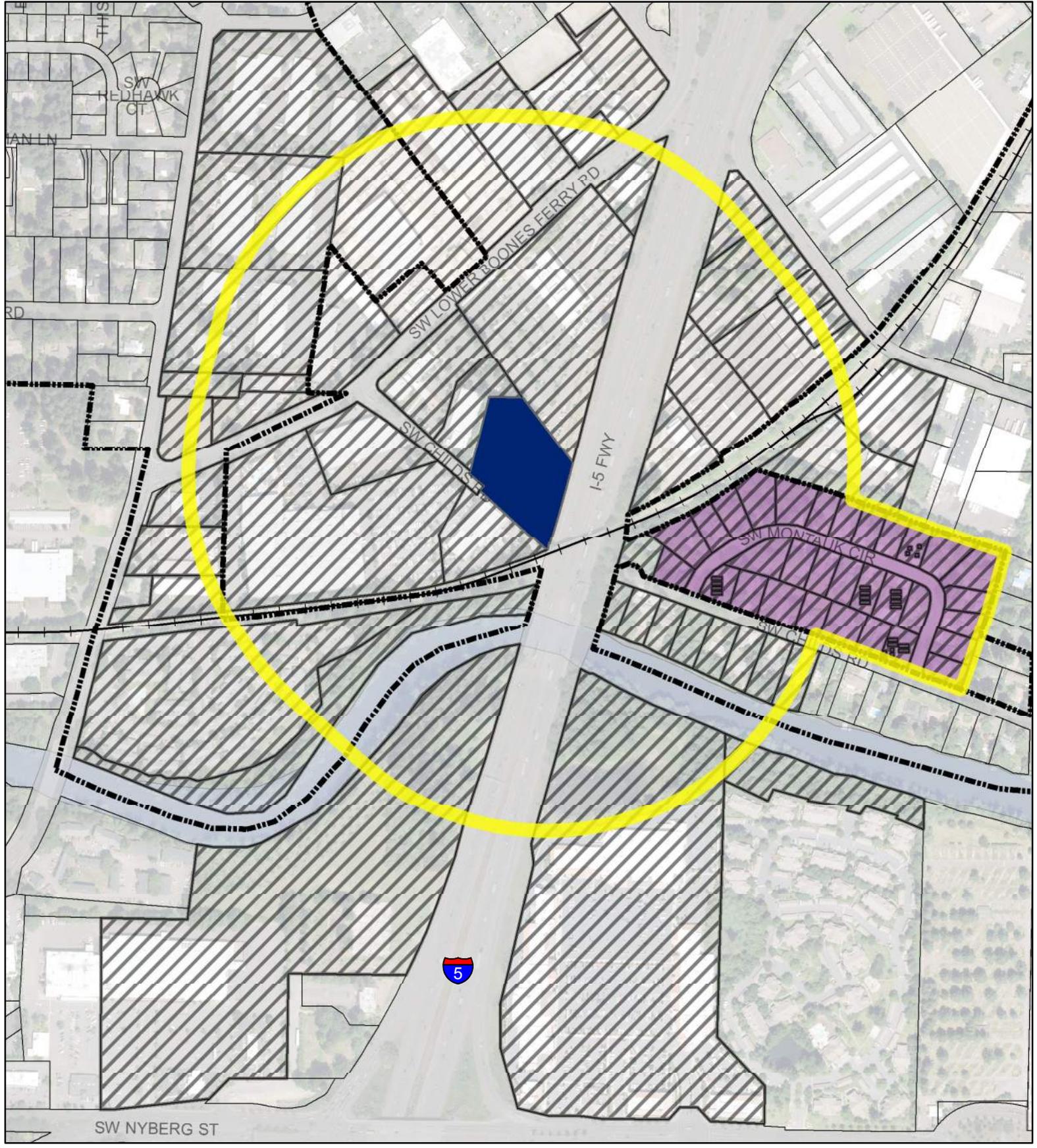
The building additions as drawn will not affect our capabilities to continue to service this site as we presently are.

Thank you Josh; for your help and concerns for our services prior to this project being developed.

Sincerely,

A handwritten signature in blue ink that reads "Frank J. Lonergan".

Frank J. Lonergan
Operations Manager
Republic Services Inc.



1000' Buffer

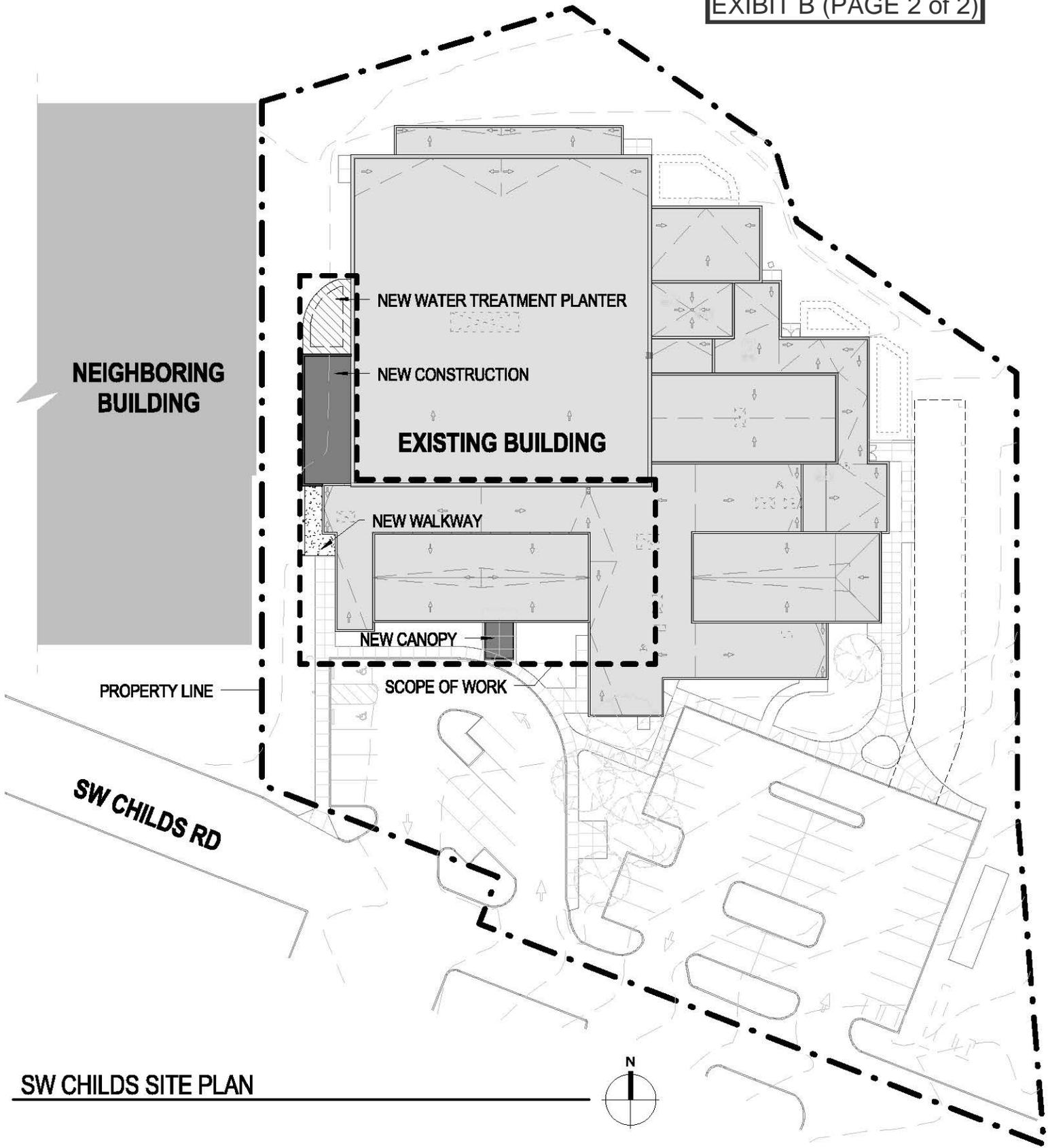


1000' Buffer with Subdivisions



Selected Taxlots





SW CHILDS SITE PLAN

Joshua Peterson

From: Jeff Rhinevault <Jeff.Rhinevault@rosequarter.com>
Sent: Monday, January 5, 2015 1:04 PM
To: Joshua Peterson; Chris Oxley
Cc: Shawni Sullivan; Scott Sisson
Subject: FW: Mailing List
Attachments: MapReceipt_7325SWChildsRd.pdf; MailingBuffer_7325SWChildsRd.pdf; MailingList_7325SWChildsRd.xls

Follow Up Flag: Follow up
Flag Status: Completed

Here is the mailer list for the PF phase II project.

Jeff Rhinevault | Director of Facility Services | RoseQuarter / Rip City Management, LLC.
Direct: 503.797.9716 Main: 503.235.8771 Mobile: 503.793.3647

From: Lynette Sanford [mailto:LSanford@ci.tualatin.or.us]
Sent: Monday, January 05, 2015 11:44 AM
To: Jeff Rhinevault
Subject: FW: Mailing List

Here is the mailing list.

Lynette

From: Tom Scott
Sent: Monday, January 05, 2015 10:32 AM
To: Lynette Sanford
Subject: RE: Mailing List

Here you go Lynette.

Tom Scott | City of Tualatin

From: Lynette Sanford
Sent: Wednesday, December 31, 2014 9:20 AM
To: Tom Scott
Subject: Mailing List

Hi Tom,

Another mailing list request – and they’ve already paid. This is for Jeff Rhinevault/Trailblazers project.

This is for the property at 7325 SW Childs Road, Tigard, OR 97224. Thanks!

Lynette Sanford
Office Coordinator
City of Tualatin | Planning Division

This message has been sent by an employee or official of the City of Tualatin, Oregon. This may be a public record, but may also contain information deemed confidential or privileged by state or federal law and for that reason, exempt from disclosure. **DO NOT COPY OR FORWARD TO UNAUTHORIZED PERSONS.** If the reader of this message is not the intended recipient or the employee/agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution, copying or forwarding of this communication is strictly prohibited. Unauthorized interception of this message may be in violation of the Electronic Communications Privacy Act, 18 U.S.C. If you have received this communication in error, please notify us immediately at helpdesk@ci.tualatin.or.us

Joshua Peterson

From: Joshua Peterson
Sent: Friday, January 30, 2015 2:16 PM
To: 'lsanford@ci.tualatin.or.us'; 'gkirby@ci.tualatin.or.us'
Cc: 'alex.simshaw@gmail.com'; 'stefan@feuerherdtlaw.com'; 'AfamHouse@gmail.com'; 'jbcgmag@comcast.net'; 'jrpride@frontier.com'; 'kaydix@comcast.net'; 'roy@rueckco.com'; 'Alan.jo@frontier.com'; 'lloop@klcorp.com'; 'rachelcarpenterrealty@gmail.com'; 'robertekellogg@yahoo.com'; 'erik@johannesfamily.com'; 'rfco@earthlink.com'; 'jmakarowsky@comcast.net'; 'jon@tualatinlife.com'; 'willie.fisher@gmail.com'; 'jodiskis@gmail.com'; 's.caporale@comcast.net'; 'Gannett@oregonrn.org'; 'scottm@capacitycommercial.com'; 'famtuninstall1@frontier.com'; 'tualatinindustrialcio@gmail.com'
Subject: Neighborhood/developer meeting notice
Attachments: 2015_0130 - City of Tualatin Meeting Notice.pdf

To Whom it May Concern,

We are proposing a small addition/remodel to the existing Trail Blazers Practice Facility that exist at 7325 SW Childs Road, Tualatin OR 97224. In addition to a new Entry Canopy that cantilevers a minimum of 10 ft and a maximum of 15 ft from the existing building edge, we are proposing a small addition (approximately 1000 sq ft) on the West side of the existing gymnasium. This addition will be an improved expansion of the existing area accessed by the Media for controlled interaction with Trail Blazers players and coaches.

Attached you should find a PDF of our Neighborhood/Developer meeting notice that has been sent out to all owners within the subject mailing area. This PDF states the Date, Location, and Time of the Neighborhood Meeting where we will discuss our proposal with all interested parties.

We look forward to working with the City of Tualatin and the Community of Tualatin moving forward.

Thank You,

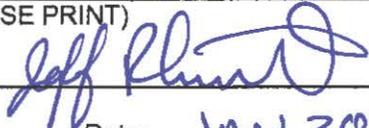
JOSH A PETERSON, AIA

Associate
LEED AP

GBD Architects Incorporated
1120 NW Couch St., Suite 300 Portland, OR 97209
Tel. (503) 224-9656 www.gbdarchitects.com

As the applicant for the 7325 SW CHILDS ROAD - TUALATIN
project, I hereby certify that on this day, JANUARY 30, 2015 notice of the
Neighborhood / Developer meeting was mailed in accordance with the requirements of the
Tualatin Development Code and the Community Development Department - Planning
Division.

Applicant's Name: JEFF RHINEVAULT
(PLEASE PRINT)

Applicant's Signature: 

Date: JAN 30, 2015

GBD

TRAIL BLAZERS PRACTICE FACILITY PHASE II

7325 SW CHILDS ROAD
PORTLAND, OREGON 97224

PORTLAND TRAIL BLAZERS

AR SUBMITTAL TO CITY OF TUALATIN
05 MARCH, 2016

PROJECT TEAM

CLIENT / OWNER

Portland Trail Blazers
1 Center Court Street
Portland, OR 97227
Office: (503)797-9716
Contact: Jeff Rhinevault
jeff.rhinevault@rosequarter.com

ARCHITECTS

GBD Architects
1120 NW Couch Street, Suite 300
Portland, OR 97209
Office: (503)224-9856
Contact: Joshua Peterson
joshuap@gbdarchitects.com

STRUCTURAL

KPFF Consulting Engineering
111 SW 8th Ave, Suite 2500
Portland, OR 97204
Office: (503)307-5209
Contact: Anne Monnier
anne.monnier@kpff.com

MECHANICAL

TBD (Design/Build)

CIVIL

HHPR Engineering
205 SE Spokane Street, Suite 200
Portland, OR 97202
Office: (503)221-1131
Contact: Ron Peterson
ron@hhpr.com

LIGHTING CONSULTANT

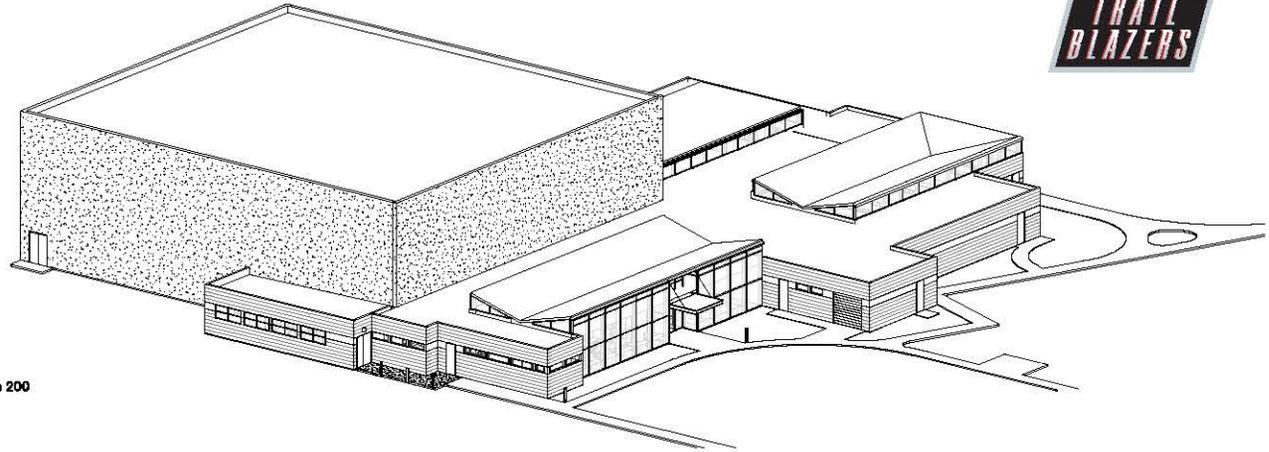
Biella Lighting
Portland, OR
Office: (503) 519-9803
Contact: Michael Larsen
larsen@biellalighting.com

CONTRACTOR

JR Abbott Construction
1490 SE 8rd Ave, Suite 150
Portland, OR 97214
Office: (503) 213-4033
Contact: Kevin Merriman
kevinm@jrabbott.com

ELECTRICAL

TBD (Design/Build)



SCALED DOWN 31%

SHEET INDEX

000	COVER SHEET
001	ASSIGNATION & SYMBOLS
002	SHEET INDEX & GENERAL INFORMATION
003	GENERAL NOTES
004	CONSTRUCTION PLAN
005	SMOKE AND REDUCED CONTAINMENT PLAN
006	DIMENSIONAL NOTES AND DETAILS
LANDSCAPE	
101	SKETCH LANDSCAPE PLANNING PLAN
ARCHITECTURE	
102	SITE PLAN - ROOF PLAN
103	FLOOR PLAN
104	SECTION ELEVATIONS
105	DETAILS
106	REFLECTED CEILING PLAN

GENERAL NOTES

- ALL WORK SHALL COMPLY TO APPLICABLE BUILDING CODES AND ORDINANCES, AS MODIFIED FOR THIS BUILDING BY EXCEPTIONS OR ORDINANCE VARIATIONS OF THE CITY OF TUALATIN. IN CASE OF CONFLICT BETWEEN THE METHODS OR REQUIREMENTS OF INSTALLATION OF MATERIALS SPECIFIED ON THIS DRAWING AND THE REQUIREMENTS OF THE LAW OR ORDINANCE, THE LAW OR ORDINANCE SHALL PREVAIL UNLESS OTHERWISE SPECIFIED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR UNRECORDED CONDITIONS OR EVENTS WHICH HAVE BEEN DISCOVERED FROM A THOROUGH EXAMINATION OF THE SITE. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE CORRECTNESS OF ACTIVE OR DISCONTINUED DRAWING FROM INFORMATION AVAILABLE AT THE TIME.
- NOTIFY THE LAND-TRAIL IN WRITING, OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- PROVIDE ALL LABEL, TRANSPORTATION, EQUIPMENT, AND SERVICES NECESSARY TO PERFORM WORK SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- EXIST AND EXISTING LIGHTING SYSTEMS ARE TO BE MAINTAINED TO MEET THE IRC AND PRESCRIPTIVE LIGHTING PATH (IRC 304.4).
- MAINTAIN EXISTING BUILDING FIRE AND LIFE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO SMOKE/FIRE DETECTION SYSTEMS, FIRE DETECTION SYSTEMS, SMOKE EXHAUST SYSTEMS AND EMERGENCY ALARMATION SYSTEMS.
- REFER TO BUILDING CODE EXCEPTIONS ON RECORD WITH THE CITY OF TUALATIN FOR SMOKE AND FILL BUILDING VARIATIONS TO LOCAL ORDINANCES.
- THE DESIGN OF ALL BRASS AND SUPPORTS FOR CEILING MECHANICAL AND ELECTRICAL ITEMS AND PARTITIONS IS THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR/CONCRETE TO MEET BUILDING CODE REQUIREMENTS.
- PROVIDE CEILING BRASS AND FIRE STOPPING FOR SMOKE/FIRE ALARMATION SYSTEMS IN CONFORMANCE WITH REQUIREMENTS OF CITY OF TUALATIN FOR BRASS ONLY.
- PROVIDE MEMBERS OF BUILT WALL RETURN AT BOSS OF ALL NEW DOOR OPENINGS.
- PAINT FULL EXTENT OF WALLS AT ALL LOCATIONS WHERE PICTORIAL WORK HAS BEEN DONE.
- FOR BRASSWORK AND/OR FINISH FLOOR OF WALL, REMOVE SPECIFICATIONS, SPECIES, FUNCTIONAL DETAILS, ETC. SEE --- AND INTERIOR BRASSWORK.
- FOR TYPICAL, SEE THESE HEIGHTS OF TYPICAL PARTITIONS, ACCESSORIES, AND OTHER EQUIPMENT SEE SHEET ---.
- FOR WALL TYPES SEE SHEET ---.
- FOR WOODLAND INTERIOR WALLS PARTITION AND BRASS ---.
- INTERIOR PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- THIS BUILDING TO BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
- FURNISHED FLOOR ELEVATION CHANGES AT EACH SIDE OF DOORS TO BE NO MORE THAN 3/4".
- NO MECHANICAL, ELEC PENETRATIONS ARE PERMITTED EXCEPT THOSE SERVING THE EXISTING ENCLOSED TYPICAL EXISTING ENCLOSED WALLS OR CEILING.
- PROVIDE FIRE RESISTANT ENCLAVE MEETING THE REQUIREMENTS OF THE CODES AND AS AUTHORIZED BY ALL APPLICABLE REGULATORY AGENCIES, PERMITS, ORDINANCES, SPECIFICATIONS, ETC. AT ALL FIRE RATED CEILING PARTITIONS AND CEILING.
- ROOMS AND CEILING PARTITIONS ON DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY.
- CONTRACTOR SHALL COORDINATE ALL OTHER FURNISHED ITEMS AND PROVIDE ALL REQUIRED MECHANICAL AND ELECTRICAL CONNECTIONS INCLUDING BUSHINGS.
- ROOM FINISH PLAN SHALL NOT BE TAKEN AS COMPLETE BY EXCEPTIONS FOR ALL INTERIOR ROOM MATERIALS. HOWEVER, IT SHALL BE SUBJECT TO THE EXTENT OF THE CONTRACTOR'S DESIGN. THE CONTRACTOR SHALL CHECK THE ROOM FINISH PLAN WITH ARCHITECTURAL AND ENGINEER FOR ANY DISCREPANCIES NOT COVERED BY THIS SET OF SHEETS.
- THE CONTRACTOR SHALL VERIFY ALL TYPES OF ALL OPENINGS AND ROOMS CUTS THROUGH WALLS, CEILING, AND FLOOR FOR DUCTS, PIPES, CONDUITS, CABLES AND EQUIPMENT, AND SHALL VERIFY SIZE AND LOCATION BEFORE PROCEEDING WITH WORK.
- REFER TO SPECIFICATIONS FOR ACCESS DOORS AND COMPLY WITH MEDICAL CONTRACTOR FOR EXACT LOCATIONS OF ACCESS REQUIRED BY THESE WORK. ACCESS SHALL BE PROVIDED FOR ALL OPERATIONAL VENTILATION, DAMPER CONTROLS, FIRE DAMPER LANDSCAPE, ELECTRICAL, PLUMBING, ETC. COORDINATION IS APPROVED IN LOCATIONS ACCORDING TO DRAWING PRIOR TO INSTALLATION.
- SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR MECHANICAL, NOTES AND DETAILS.

DEMOLITION - GENERAL NOTES

- REMOVE STRUCTURES TO BELIEF UNDETERMINED AND BECAUSE UNLESS NOTED OTHERWISE ON DRAWINGS, PERFORM NO DEMOLITION THAT MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- EXISTING WORK SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL EXISTING FROM DAMAGE THAT MAY OCCUR DURING DEMOLITION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL EXISTING AREAS TO REMAIN THAT HAVE BEEN DAMAGED DUE TO IMPROPER PROTECTION.
- MAINTAIN 100% REPAIR OR COVERAGE, DURING DEMOLITION.
- DAMAGE/REPAIR REMOVED MATERIALS, WHEREVER POSSIBLE. COORDINATE WITH OWNER REMOVED ITEMS PRIOR TO DEMOLITION.
- IN ALL ROOMS BEING DEMOLISHED, REMOVE ALL EXISTING MIRROR, PICTURE, MIRROR, HOOKS, EQUIPMENT, ETC., LEFT BEHIND FROM PRODUCTION LINE, FROM ALL WALLS, DOORS, DUCK FRAMES, AND CEILING. SCHEDULE FOR COVERING POTENTIAL HOLES.

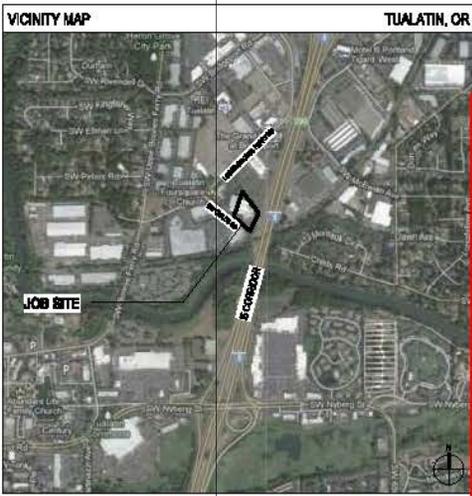
CONSTRUCTION - GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL PARTITIONS TERMINATE AT UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED.
- THE CEILING/SUSPENSION SYSTEM SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE IRC 203.5 SECTION.
- EXISTING AND NEWWORK TO BE PROTECTED BY SYSTEMS INDICATED ARE FOR INFORMATION ONLY. THESE SYSTEMS ARE IN A CONTINGENCY CONDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE NECESSARY PERMITS. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL EQUIPMENT, BOTH EXISTING AND NEW. DESIGN SHALL BE PROVIDED TO ARCHITECT FOR REVIEW PRIOR TO SUBMITTAL FOR PERMIT.
- MAINTAIN 100% REPAIR OR COVERAGE, DURING CONSTRUCTION.
- ALL WALLS, DOORS, FLOOR, CEILING WITHIN THE NOTED DEMOLITION AREAS ARE TO BE PICTORED, PLASTERED, GROUTED AND PREPARED READY FOR THE NEW FINISH SPECIFIED.
- REMOVE AND PROVIDE NEW BKT BRASS, AND EMERGENCY BARRING LIGHTING SYSTEM IN CONFORMANCE WITH CITY FIRE MARSHAL REQUIREMENTS.
- REMOVE ALL PENETRATIONS THROUGH FLOOR/WALLS WITH RATED ASSEMBLIES AS REQUIRED TO MAINTAIN THE INTEGRITY OF FLOOR/WALL ASSEMBLY SYSTEMS. SEE THESE DRAWINGS FOR DETAILED CONSTRUCTION DETAIL INFORMATION.

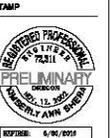
DEFERRED SUBMITTALS

THE FOLLOWING SYSTEMS ARE SUBJECT TO DEFERRED SUBMITTALS IN ACCORDANCE WITH IRC 407:

1. FIRE ALARM SYSTEM
2. FIRE ALARM PARTITION
3. ACCESSIBLE LOW VOLTAGE
4. SECURITY SYSTEM



SCALED DOWN 31%



REF: 4/16/2013

CONSULTANT
Heper Hoop Peterson Rightell Inc.
 1000 NE Oregon Street, Suite 200
 Portland, Oregon 97232

PROJECT
TBPF PHASE II
 7325 SW CHURCH RD
 PORTLAND, OR 97224

CLIENT
PORTLAND TRAIL BLAZERS

Notice of Extended Payment Provisions: The contractor will allow the owner to make payment within 90 days after the date a billing or invoice is submitted. Notice of Alternate Billing Cycle: The contractor will allow the owner to make the submission of billings or invoices for billing cycles other than 90-day cycles. Billings or invoices for the contract shall be submitted as follows. Each contractor must comply with the day of the specified month.

REVISIONS

DATE
FEBRUARY 28, 2016

PROJECT NUMBER
2008835

SCALE

SHEET TITLE
GRADING/PAVING AND ESB PLAN

C201

EROSION CONTROL NOTES

TEMPORARY EROSION CONTROL:
 THE CONSTRUCTION NOTES AND DETAILS SHOWN ON THIS PLAN SET REFLECT RECOMMENDED PROCEDURES AS PER THE CITY OF TUALATIN REQUIREMENTS. CONTRACTOR TO VERIFY WITH INSPECTOR.
 IT IS THE INTENT OF THESE PLANS TO SHOW POSSIBLE APPLICATIONS OF RECOMMENDED PROCEDURES IN THE EVENT THAT EROSION CONTROL IS NEEDED. ALL RECOMMENDED PROCEDURES ARE DEPENDENT ON CONSTRUCTION METHODS, STAGING, SITE CONDITIONS, WEATHER, AND SCHEDULING. THE PROCEDURES SHOWN ON THE PLANS ARE NOT INTENDED TO BE INCLUSIVE OF ALL THE PROTECTION REQUIRED IN AN AREA AT A PARTICULAR INSTANT. THEY SHOULD BE USED AS A GUIDELINE ONLY.

ALTERNATIVE METHODS OF EROSION CONTROL MAY BE USED IF THEY ARE APPROVED BY THE ENGINEER AND MEET THE S.C.S. UNIVERSAL SOIL LOSS EQUATION CRITERIA.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROL OF SEDIMENT TRANSPORT WITHIN PROJECT LIMITS DURING CONSTRUCTION. IF AN INSTALLED EROSION CONTROL SYSTEM DOES NOT ADEQUATELY CONTAIN SEDIMENT ON SITE, THEN THE EROSION CONTROL MEASURES MUST BE FIELD ADJUSTED BY THE CONTRACTOR AS NECESSARY.

PERMANENT EROSION CONTROL:
 TEMPORARY EROSION CONTROL METHODS MUST REMAIN AND BE MAINTAINED UNTIL PERMANENT EROSION CONTROL METHODS ARE IN PLACE AND OPERATIONAL. VEGETATION ON ALL EMBANKMENTS AND DISTURBED AREAS SHOULD BE REESTABLISHED AS SOON AS CONSTRUCTION IS COMPLETED.

ADDITIONAL INTERIM MEASURES WILL INCLUDE, AT A MINIMUM, INSTALLATION OF HAY BALE SEDIMENT BARRIERS OR SILT FENCES AS PER DETAIL SHOWN ON THIS SHEET. THESE MEASURES WILL BE INSTALLED ALONG ALL EXPOSED EMBANKMENT AND CUT SLOPES TO PREVENT SEDIMENT TRANSPORT.

EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED. THE COUNTY MAY AT ANY TIME ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.

ALL PROVISIONS FOR EROSION CONTROL SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO PRIMARY EXCAVATION OCCURRING.

LEGEND & ABBREVIATIONS

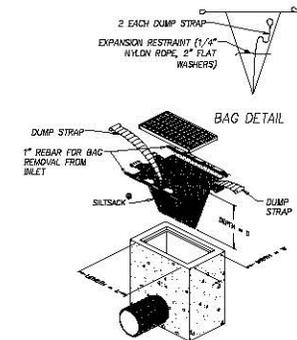
- 32.00 FINISH GRADE
- 2.0% APPROXIMATE SLOPE
- DRAINAGE FLOW ARROW
- CONCRETE SIDEWALK
4" CONCRETE WITH 4" AGGREGATE BASE
- GRAVEL PATH
4" CRUSHED ROCK ON COMPACTED SUBGRADE WITH WOOD HEADER BOARD
- STORMWATER PLANTING
SEE SHEET C101

GRADING NOTES

STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
 CONTRACTOR SHALL ADJUST ALL CATCH BASINS, CLEANOUTS, VAULTS, ETC. THAT ARE AFFECTED BY CONSTRUCTION AND/OR FILL TO FINISH GRADE.

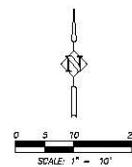
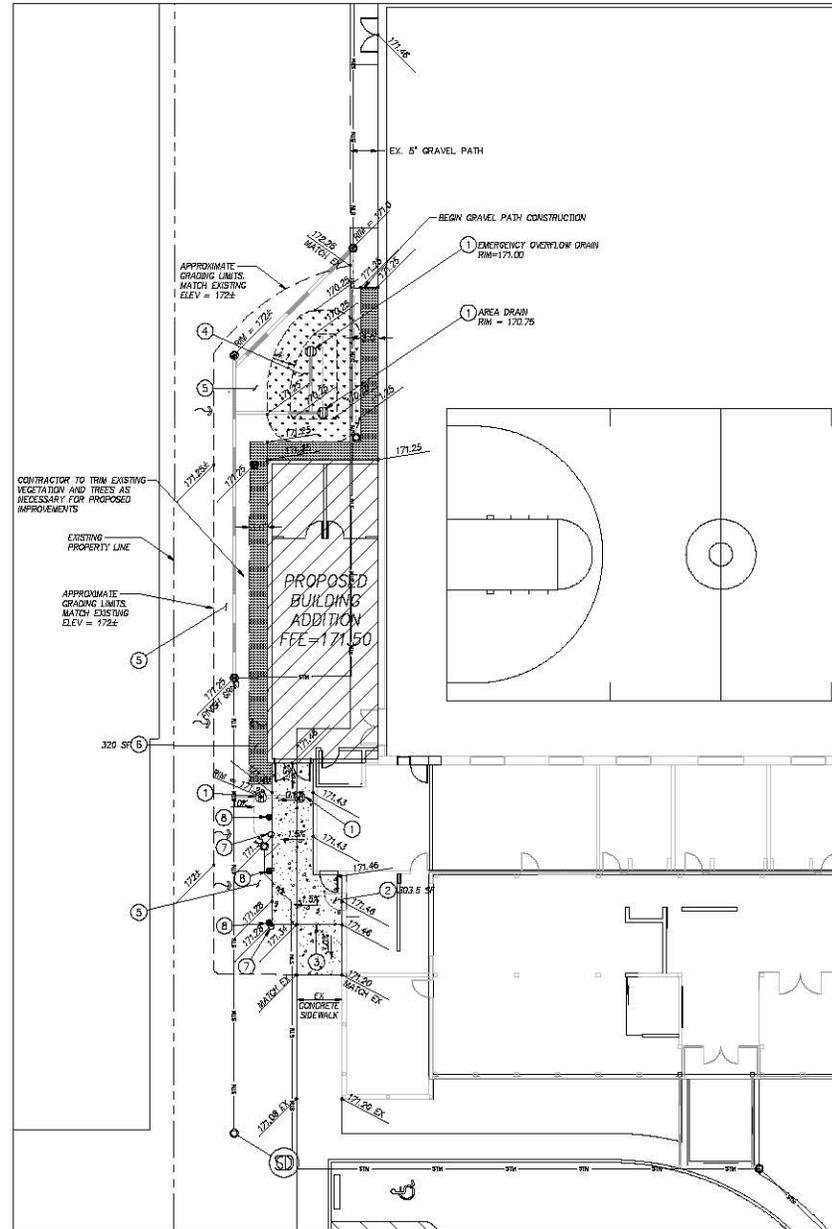
CONSTRUCTION NOTES:

1. INSTALL INLET SEDIMENT CONTROL PER DETAILS THIS SHEET.
2. CONSTRUCT CONCRETE SIDEWALK / DOOR LANDING. FIELD VERIFY POSITIVE DRAINAGE AWAY FROM BUILDING 1.5% MAXIMUM SLOPE.
3. MATCH EXISTING SIDEWALK GRADES. FIELD VERIFY 2.00% MAXIMUM CROSS SLOPE, 3.00% MAXIMUM RUNNING SLOPE.
4. CONSTRUCT 12" DEEP FLOW THROUGH PLANTER WITH 4:1 MAXIMUM SIDESLOPES. SEE DETAIL SHEET C101. SEE PLANTING NOTES SHEET C201.
5. RESTORE DISTURBED AREA TO MATCH EXISTING LANDSCAPING.
6. CONSTRUCT GRAVEL PATH ADJACENT TO BUILDING.
7. REMOVE EXISTING BOLLARD.
8. PROPOSED BOLLARD. SEE ARCHITECTURAL PLANS FOR DETAILS.



REGULAR FLOW ONLY DO NOT USE HIGH FLOW INSERT BAGS.

"SILT SOCK" INLET PROTECTION FOR ALL CATCH BASINS
 N.T.S.



SCALED DOWN 31%

Notice of Estimated Payment Provision: The contract will allow the owner to make payment within 30 days after the date a bill of materials is submitted. Public of Alternative Billing Cycle: This contract will allow the owner to make the submission of bill of materials to bill within 60 or 90-day cycle. Billing or estimates for this contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

REVISIONS

DATE
 MARCH 05, 2015

PROJECT NUMBER
 20086633

SCALE
 As indicated

SHEET TITLE
 SITE PLAN -
 ROOF PLAN

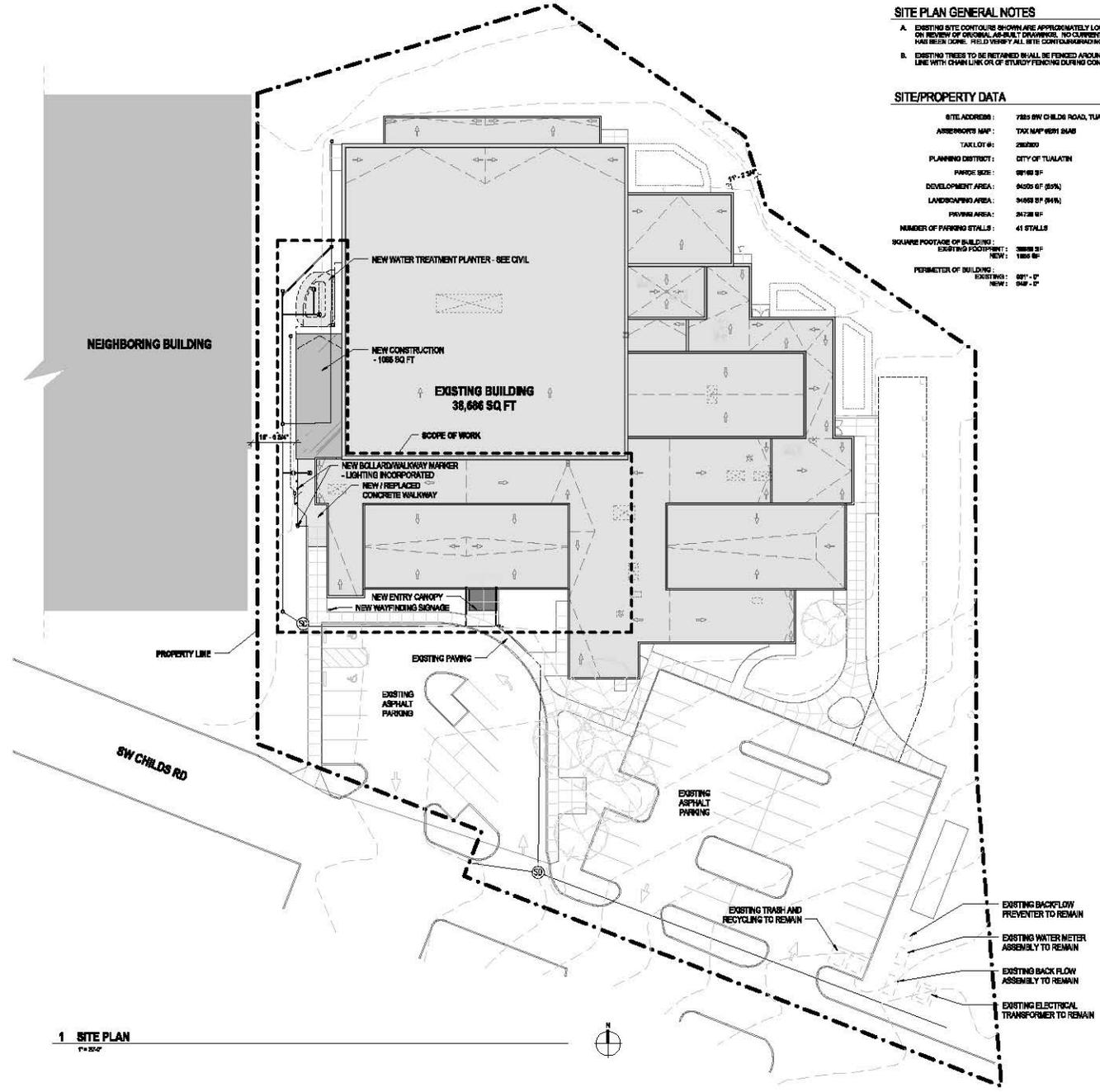
A001

SITE PLAN GENERAL NOTES

- A. EXISTING SITE CONTOURS SHOWN ARE APPROXIMATELY LOCATED BASED ON REVIEW OF ORIGINAL AS-BUILT DRAWINGS. NO CURRENT SURVEY HAS BEEN DONE. FIELD VERIFY ALL SITE CONTOUR/BOUNDARY CHANGES.
- B. EXISTING TREES TO BE RETAINED SHALL BE FENCED AROUND THE TREE LINE WITH CHAIN LINK OR STURDY FENCING DURING CONSTRUCTION.

SITE/PROPERTY DATA

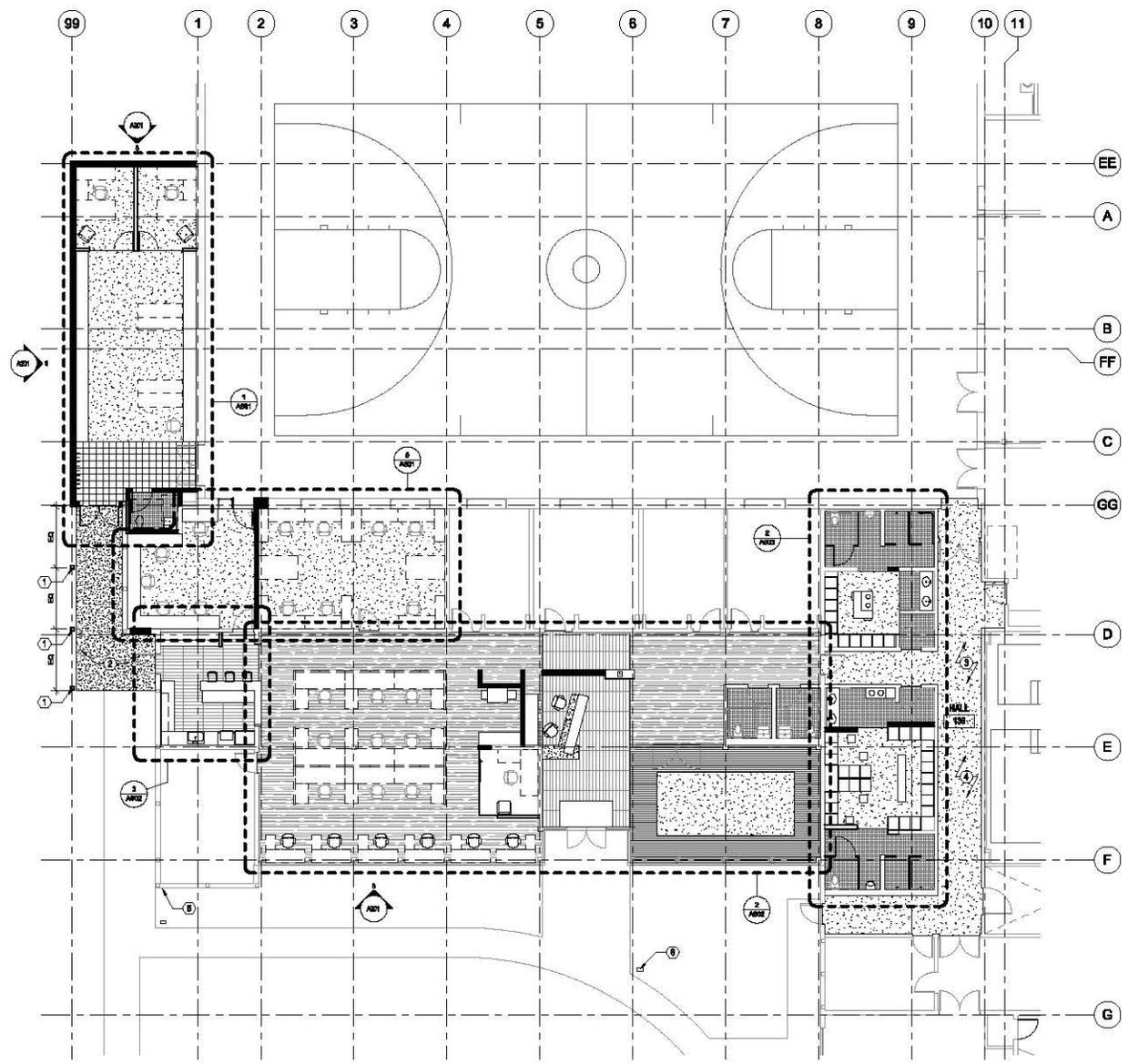
SITE ADDRESS:	7305 SW CHILDS ROAD, TUALATIN, OR 97224
ASSESSORS MAP:	TAX MAP 6091 SH45
TAX LOT #:	260200
PLANNING DISTRICT:	CITY OF TUALATIN
PARCEL SIZE:	98'48" 9"
DEVELOPMENT AREA:	9420 SF (9.5%)
LANDSCAPING AREA:	3465 SF (3.4%)
PERMITS AREA:	24728 SF
NUMBER OF PARKING STALLS:	41 STALLS
SQUARE FOOTAGE OF BUILDING:	EXISTING FOOTPRINT: 3860 SF NEW: 1065 SF
PERIMETER OF BUILDING:	EXISTING: 681' - 0" NEW: 649' - 0"



1 SITE PLAN
T-300

SCALED DOWN 31%

SCALED DOWN 31%



1 FLOOR PLAN
 1/8" = 1'-0"

GENERAL PLAN NOTES

- A. SEE ENLARGED PLANS FOR ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE SHEET 000 FOR FIRE RATED CONSTRUCTION LOCATIONS

PLAN REFERENCE NOTES

- ① NEW BOLLARDS WITH PATH LIGHTING INCORPORATED - MATCH EXISTING
- ② NEW CONCRETE SIDEWALK TO MATCH EXISTING
- ③ NEW CARPET - VERIFY EXTENT WITH OWNER AND ARCHITECT
- ④ PATCH & PAINT WALLS AS NEEDED
- ⑤ NEW WATERPROOFING STORAGE - SEE ELEVATION
- ⑥ NEW ADDRESS SIGNAGE

STAMP

PROJECT
 TBPFF PHASE II
 7888 SW CHILDS RD
 PORTLAND, OR 97224

CLIENT
 PORTLAND TRAIL
 BLAZERS

Notes of Estimated Payment Provision: The contract will allow the owner to make payment within 30 days after the date a 100% of estimate is submitted. Notice of Abandonment: The contract will allow the owner to suspend the submission of 100% of estimate or withdrawal in 10-day period after 30-day notice. Changes or additions for the contract shall be submitted as follows: Each individual month ending on the last day of the applicable month.

REVISIONS

DATE
 MARCH 06, 2015

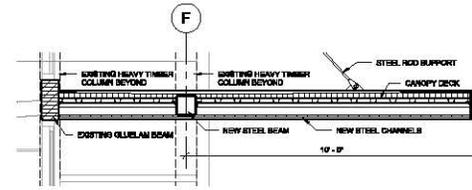
PROJECT NUMBER
 20080628

SCALE
 1/2" = 1'-0"

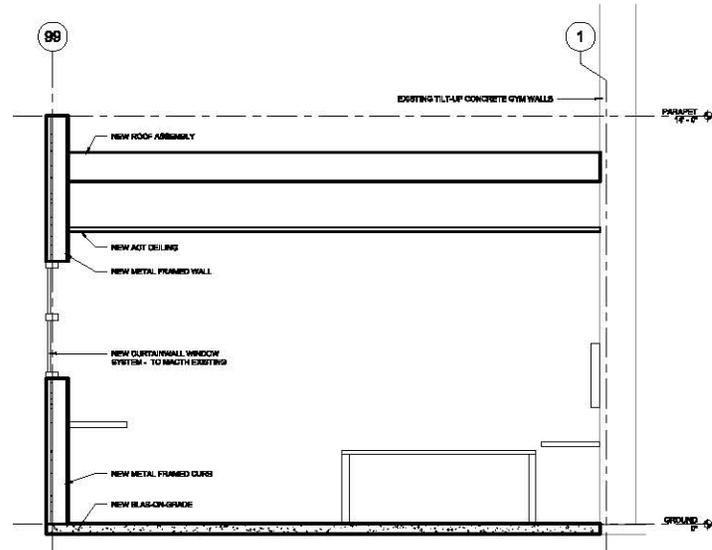
SHEET TITLE
 SECTIONS

A301

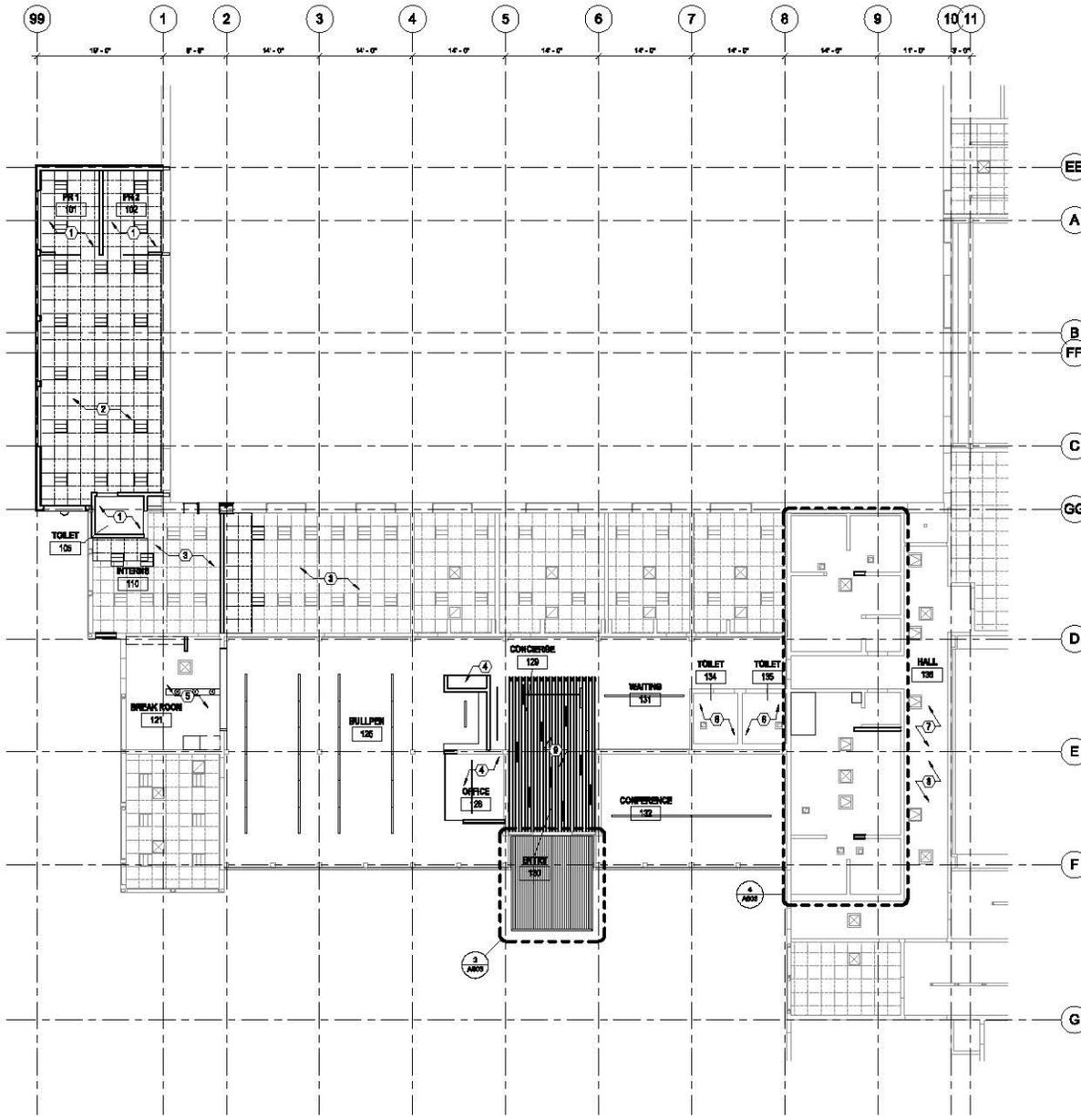
SCALED DOWN 31%



2 SECTION @ ENTRY CANOPY
 1/2" = 1'-0"



1 SECTION @ MEDIA AREA
 1/2" = 1'-0"



1 REFLECTED CEILING PLAN
W-1W

GENERAL RCP NOTES

- A. SEE ENLARGED PLANS FOR MISSING ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE LIGHTING PLANS FOR LAYOUT AND FIXTURE TYPES - VERIFY LAYOUT, ZONES, AND CONTROLS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION
- C. SEE SHEET BOOK FOR FIRE RATED CONSTRUCTION LOCATIONS

RCP REFERENCE NOTES

- ① NEW GYPSUM CEILING
- ② NEW ACT CEILING
- ③ MODIFY, REPAIR, OR REPLACE EXISTING ACT CEILING
- ④ NEW GYPSUM CEILING CLOUD
- ⑤ PATCH, REPLACE, OR REPAIR EXISTING GYPSUM CEILING
- ⑥ REPAINT EXISTING ACT CEILING
- ⑦ REPLACE EXISTING LIGHTING WITH NEW LED FIXTURES
- ⑧ PATCH & PAINT AS NEEDED
- ⑨ NEW WOOD BOFFIT ELEMENTS - SEE SECTION

GBD

GBD Architects, Incorporated
 1120 NW Couch Rd.
 Ste. 300
 Portland, OR 97209
 TEL 503 224-4888
 2004757840001
 08/2 © 2014

STAMP

PROJECT
TBPF PHASE II
 7388 SW CHILDS RD
 PORTLAND, OR 97224

CLIENT
PORTLAND TRAIL BLAZERS

Notes of Estimated Payment Provision: The contract will allow the owner to make payment within 30 days after the date of 100% of estimate is submitted. Notice of Abandonment Waiver: This contract will allow the owner to require the submission of 100% of estimate or 100% of estimate for 10-day work after 100-day work. Interest or penalties for the amount not submitted as follows: Each calendar month ending on the last day of the applicable month.

SCALED DOWN 31%

REVISIONS

DATE
 MARCH 06, 2015

PROJECT NUMBER
 20098638

SCALE
 As Indicated

SHEET TITLE
 REFLECTED CEILING PLAN

A701

AR-15-04

To lessen the bulk of the notice of application and to address privacy concerns, this sheet substitutes for the photocopy of the mailing labels. A copy is available upon request.

GBD

TRAIL BLAZERS PRACTICE FACILITY PHASE II

7325 SW CHILDS ROAD
PORTLAND, OREGON 97224

PORTLAND TRAIL BLAZERS

AR SUBMITTAL TO CITY OF TUALATIN
05 MARCH, 2015

PROJECT TEAM

CLIENT / OWNER

Portland Trail Blazers
1 Center Court Street
Portland, OR 97227
Office: (503)797-9716
Contact: Jeff Rhinevault
jeff.rhinevault@rosequarter.com

ARCHITECTS

GBD Architects
1120 NW Couch Street, Suite 300
Portland, OR 97209
Office: (503)224-9656
Contact: Joshua Peterson
joshuap@gbdarchitects.com

STRUCTURAL

KPFF Consulting Engineering
111 SW 5th Ave, Suite 2500
Portland, OR 97204
Office: (503)307-5209
Contact: Anne Monnier
anne.monnier@kpff.com

MECHANICAL

TBD (Design/Build)

CIVIL

HHPR Engineering
205 SE Spokane Street, Suite 200
Portland, OR 97202
Office: (503)221-1131
Contact: Ron Peterson
ron@hhpr.com

LIGHTING CONSULTANT

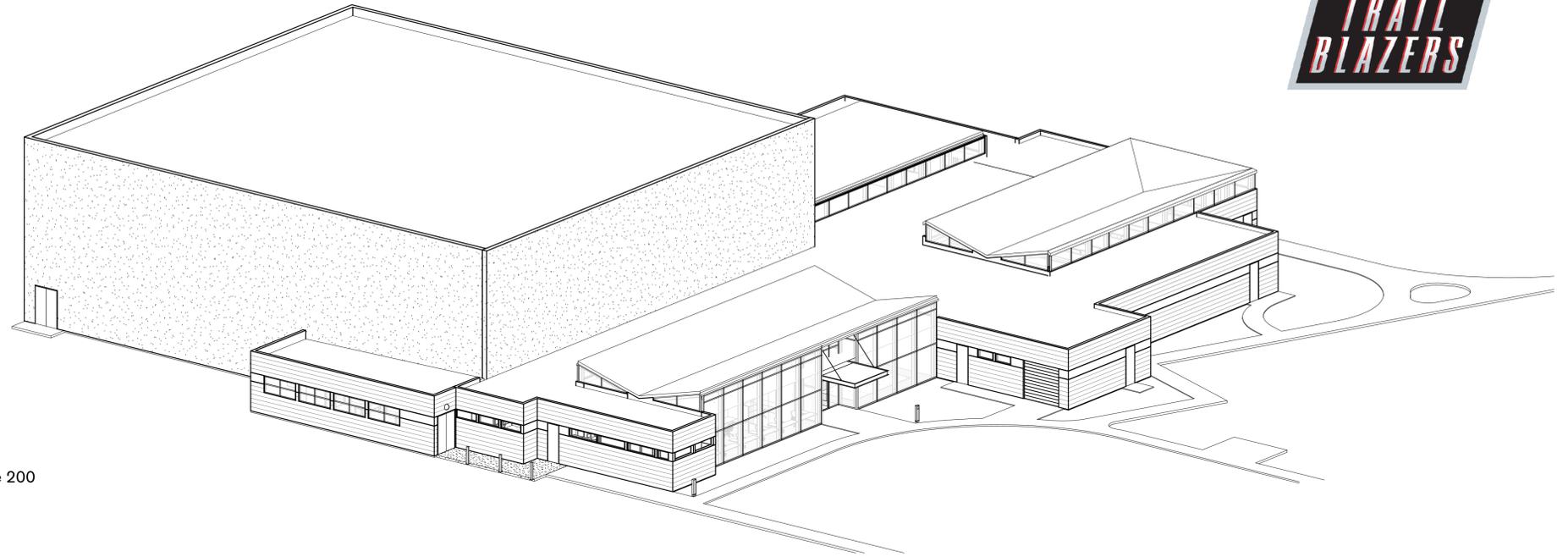
Biella Lighting
Portland, OR
Office: (503) 519-9803
Contact: Michael Larsen
larsen@biellalighting.com

CONTRACTOR

JR Abbott Construction
1430 SE 3rd Ave, Suite 150
Portland, OR 97214
Office: (503) 213-4033
Contact: Kevin Merriman
kevinlm@jrabbott.com

ELECTRICAL

TBD (Design/Build)



STAMP



CONSULTANT



PROJECT

TBPF PHASE II
 7325 SW CHILDS RD
 PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL BLAZERS

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

REVISIONS

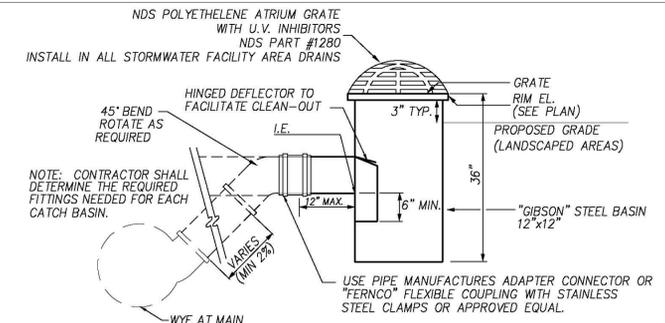
DATE
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PROJECT NUMBER
 20086635

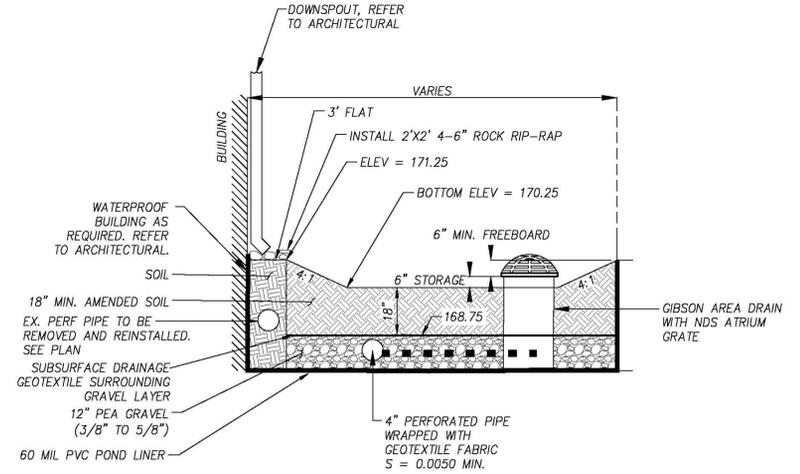
SCALE

SHEET TITLE
 STORMWATER PLAN

C101



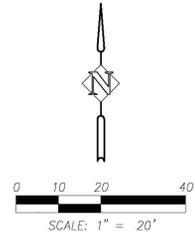
"GIBSON" AREA DRAIN w/ NDS ATRIUM GRATE DETAIL
 N.T.S.



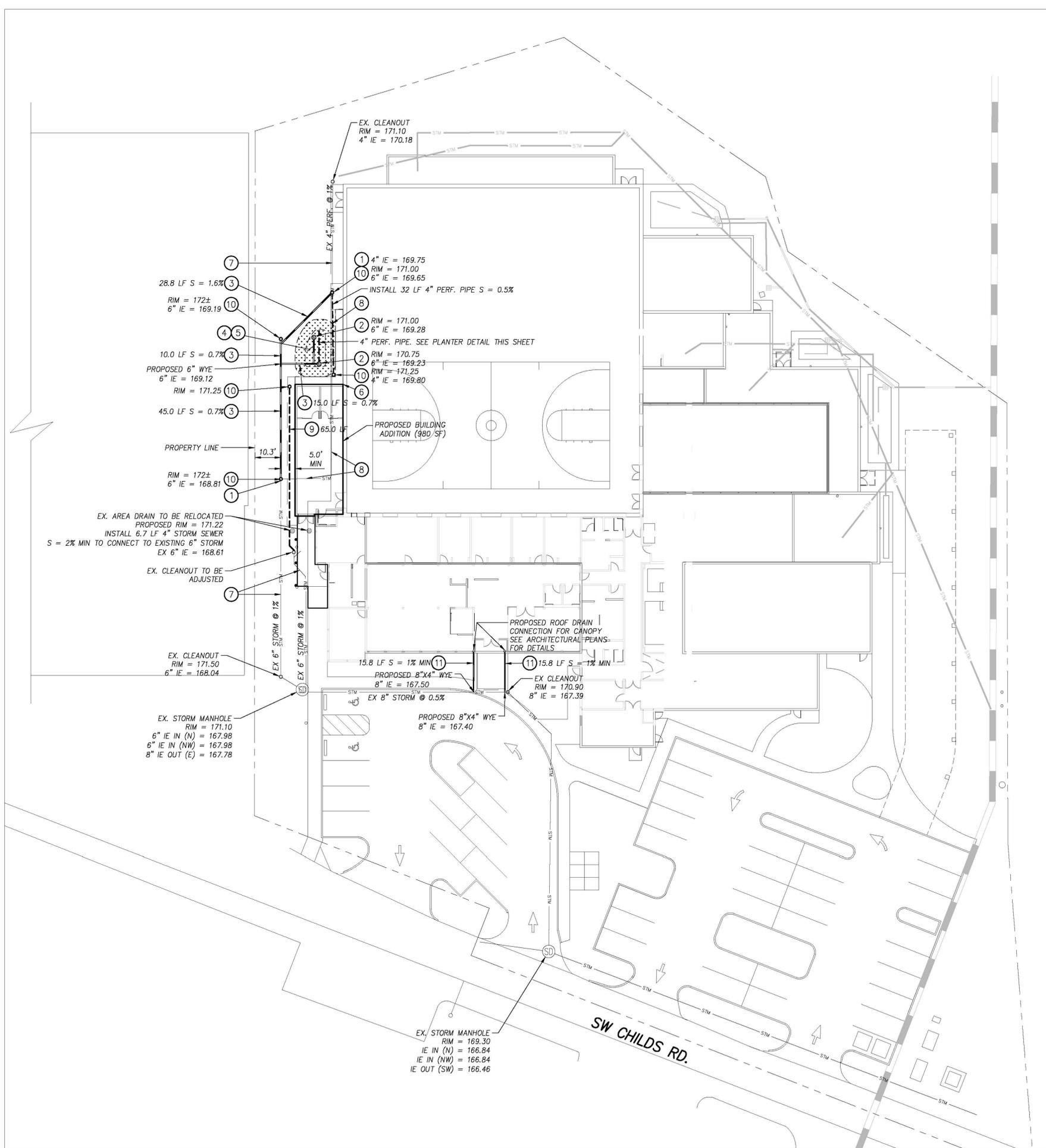
FLOW THROUGH PLANTER DETAIL
 N.T.S.

CONSTRUCTION NOTES:

- 1 CONNECT TO EXISTING 6" STORM LINE. CONTRACTOR TO POT-HOLE AND VERIFY ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
- 2 INSTALL AREA DRAIN WITH ATRIUM GRATE, PER DETAIL THIS SHEET. FIELD VERIFY RIM ELEVATION AND LOCATION.
- 3 INSTALL 6" STORM PIPE. SEE PIPE BEDDING AND BACKFILL DETAIL SHEET C301. FIELD VERIFY ALIGNMENT AND ADJUST AS NECESSARY.
- 4 CONSTRUCT FLOW THROUGH PLANTER (104 SF BOTTOM AREA, 6" DEPTH) SEE DETAIL THIS SHEET LIDA SIZING = 9%.
- 5 PROVIDE PLANTS PER PLANT SCHEDULE FOR 316 SF FLOW THROUGH PLANTER. ENSURE TREATMENT AREA REQUIREMENTS ARE MET WITH 1/2 GALLON MINIMUM SIZE HERBACEOUS PLANTS. SEE PLANTING AND STORMWATER FACILITY NOTES C301.
- 6 PLACE ROCK AT DOWNSPOUT LOCATION PER DETAIL SHEET C301. FIELD VERIFY DOWNSPOUT LOCATIONS.
- 7 NOTE! EXISTING STORM SYSTEM. LOCATION SHOWN IS APPROXIMATE AND BASED OFF AVAILABLE AS-BUILTS. CONTRACTOR TO REVIEW AS-BUILTS AND FIELD VERIFY UTILITY RUNS PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT EXISTING DRAINAGE PATTERNS AND RE-ROUTE AS REQUIRED.
- 8 CONTRACTOR REMOVE AND RELOCATE EXISTING STORM SYSTEM AROUND STORMWATER FACILITY, BUILDING FOOTPRINT AND PROPOSED WORK AS REQUIRED. CONTRACTOR TO FIELD VERIFY LOCATION AND FIELD FIT. COORDINATE ELEVATIONS / LOCATIONS WITH PROPOSED STORM SYSTEM PRIOR TO CONSTRUCTION.
- 9 INSTALL 4" PERFORATED PIPE. SEE FOUNDATION DRAIN DETAIL SHEET C301. CONNECT TO EXISTING STORM SEWER.
- 10 INSTALL CLEANOUT PER DETAIL SHEET C301.
- 11 INSTALL 4" STORM PIPE. SEE PIPE BEDDING AND BACKFILL DETAIL SHEET C301. FIELD VERIFY ALIGNMENT AND ADJUST AS NECESSARY.



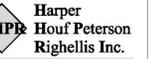
NOTE: PROPOSED STORMWATER MANAGEMENT FACILITIES REQUIRE IRRIGATION. CONTRACTOR TO CONNECT TO EXISTING IRRIGATION SYSTEM. SCOPE OF WORK IS DESIGN / BUILD. CONTRACTOR TO FIELD VERIFY.



STAMP



CONSULTANT



PROJECT

TBPF PHASE II

7325 SW CHILDS RD
 PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL
 BLAZERS

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 20 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month.

REVISIONS

DATE
 FEBRUARY 23, 2015

PROJECT NUMBER
 20086635

SCALE

SHEET TITLE
 GRADING/PAVING
 AND ESC PLAN

C201

LEGEND & ABBREVIATIONS

- 32.00 FINISH GRADE
- 2.0% APPROXIMATE SLOPE
- DRAINAGE FLOW ARROW
- CONCRETE SIDEWALK
4" CONCRETE WITH 4" AGGREGATE BASE
- GRAVEL PATH
4" CRUSHED ROCK ON COMPACTED SUBGRADE WITH WOOD HEADER BOARD
- STORMWATER PLANTING
SEE SHEET C101

GRADING NOTES

STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS UNLESS OTHERWISE NOTED

CONTRACTOR SHALL ADJUST ALL CATCH BASINS, CLEANOUTS, VAULTS, ETC. THAT ARE AFFECTED BY CONSTRUCTION AND/OR FILL TO FINISH GRADE

CONSTRUCTION NOTES:

- 1 INSTALL INLET SEDIMENT CONTROL PER DETAILS THIS SHEET.
- 2 CONSTRUCT CONCRETE SIDEWALK / DOOR LANDING. FIELD VERIFY POSITIVE DRAINAGE AWAY FROM BUILDING 1.5% MAXIMUM SLOPE.
- 3 MATCH EXISTING SIDEWALK GRADES, FIELD VERIFY. 2.00% MAXIMUM CROSS SLOPE, 5.00% MAXIMUM RUNNING SLOPE.
- 4 CONSTRUCT 12" DEEP FLOW THROUGH PLANTER WITH 4:1 MAXIMUM SIDESLOPES. SEE DETAIL, SHEET C101. SEE PLANTING NOTES SHEET C301.
- 5 RESTORE DISTURBED AREA TO MATCH EXISTING LANDSCAPING.
- 6 CONSTRUCT GRAVEL PATH ADJACENT TO BUILDING.
- 7 REMOVE EXISTING BOLLARD
- 8 PROPOSED BOLLARD. SEE ARCHITECTURAL PLANS FOR DETAILS.

EROSION CONTROL NOTES

TEMPORARY EROSION CONTROL:

THE CONSTRUCTION NOTES AND DETAILS SHOWN ON THIS PLAN SET REFLECT RECOMMENDED PROCEDURES AS PER THE CITY OF TUALATIN REQUIREMENTS, CONTRACTOR TO VERIFY WITH INSPECTOR.

IT IS THE INTENT OF THESE PLANS TO SHOW POSSIBLE APPLICATIONS OF RECOMMENDED PROCEDURES IN THE EVENT THAT EROSION CONTROL IS NEEDED. ALL RECOMMENDED PROCEDURES ARE DEPENDENT ON CONSTRUCTION METHODS, STAGING, SITE CONDITIONS, WEATHER, AND SCHEDULING. THE PROCEDURES SHOWN ON THE PLANS ARE NOT INTENDED TO BE INCLUSIVE OF ALL THE PROTECTION REQUIRED IN AN AREA AT A PARTICULAR INSTANT. THEY SHOULD BE USED AS A GUIDELINE ONLY.

ALTERNATIVE METHODS OF EROSION CONTROL MAY BE USED IF THEY ARE APPROVED BY THE ENGINEER AND MEET THE S.C.S. UNIVERSAL SOIL LOSS EQUATION CRITERIA.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROL OF SEDIMENT TRANSPORT WITHIN PROJECT LIMITS DURING CONSTRUCTION. IF AN INSTALLED EROSION CONTROL SYSTEM DOES NOT ADEQUATELY CONTAIN SEDIMENT ON SITE, THEN THE EROSION CONTROL MEASURES MUST BE FIELD ADJUSTED BY THE CONTRACTOR AS NECESSARY.

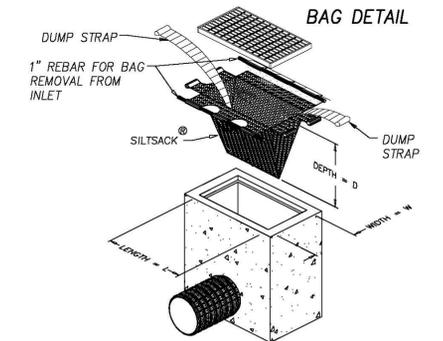
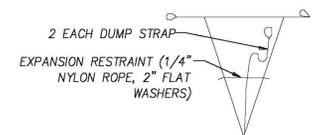
PERMANENT EROSION CONTROL:

TEMPORARY EROSION CONTROL METHODS MUST REMAIN AND BE MAINTAINED UNTIL PERMANENT EROSION CONTROL METHODS ARE IN PLACE AND OPERATIONAL. VEGETATION ON ALL EMBANKMENTS AND DISTURBED AREAS SHOULD BE REESTABLISHED AS SOON AS CONSTRUCTION IS COMPLETED.

ADDITIONAL INTERIM MEASURES WILL INCLUDE, AT A MINIMUM, INSTALLATION OF HAY BALE SEDIMENT BARRIERS OR SILT FENCES AS PER DETAIL SHOWN ON THIS SHEET. THESE MEASURES WILL BE INSTALLED ALONG ALL EXPOSED EMBANKMENT AND CUT SLOPES TO PREVENT SEDIMENT TRANSPORT.

EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED. THE COUNTY MAY AT ANY TIME ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.

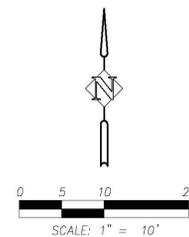
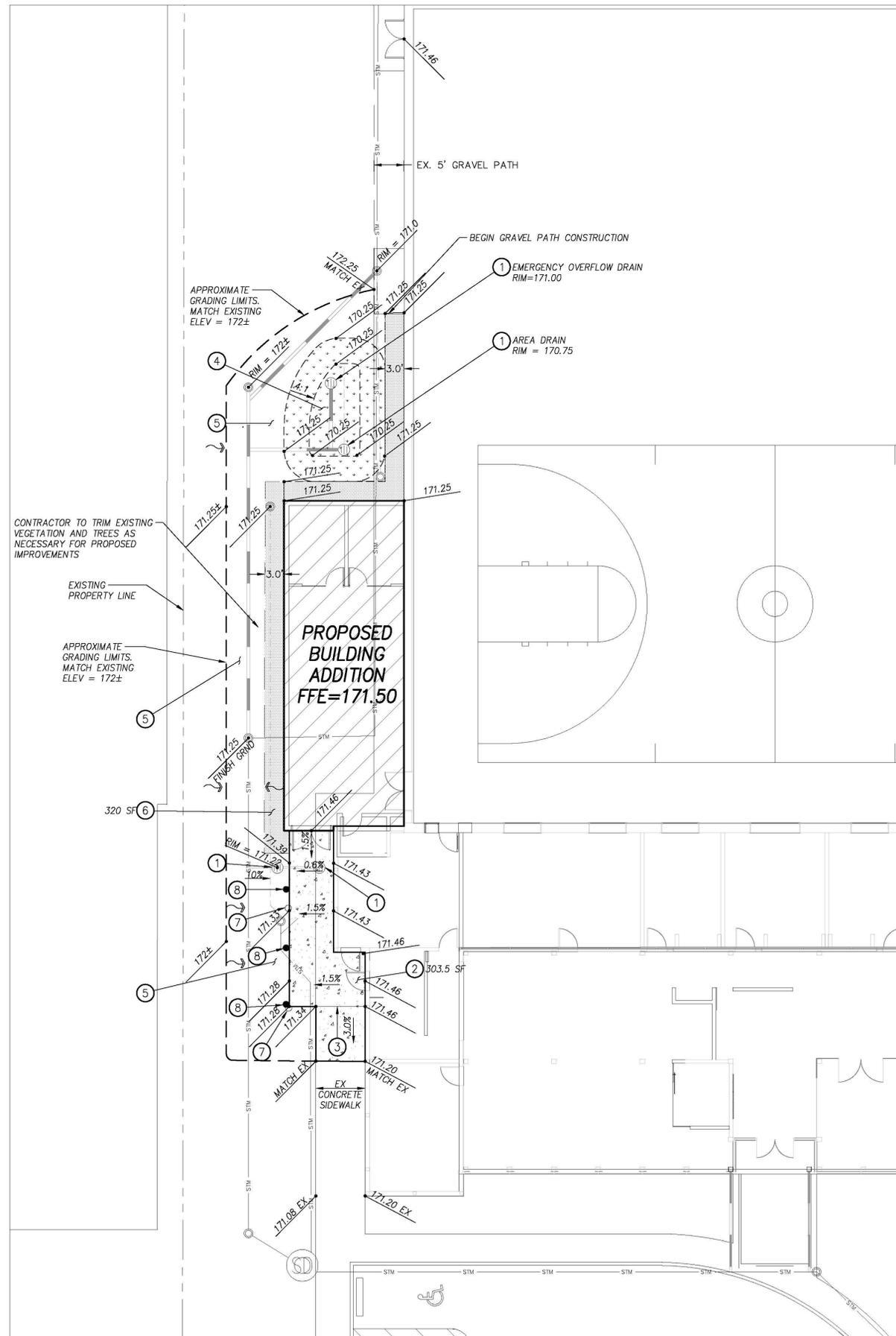
ALL PROVISIONS FOR EROSION CONTROL SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO PRIMARY EXCAVATION OCCURRING.



REGULAR FLOW ONLY DO NOT USE HIGH FLOW INSERT BAGS.

"SILT SOCK" INLET PROTECTION FOR ALL CATCH BASINS

N.T.S.



GENERAL NOTES

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL CONSTRUCTION WITH OWNER AND OWNER'S FACILITIES DEPARTMENT. CONTRACTOR TO PROVIDE OWNER WITH AN ACCESS PLAN THAT FACILITATES 24 HOUR EMERGENCY, VEHICLE, AND PEDESTRIAN ACCESS.

WORK SHALL CONFORM WITH THE CITY OF TUALATIN STANDARDS, CLEANWATER SERVICES, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM PLUMBING CODE (UPC). IT IS CONTRACTOR'S RESPONSIBILITY TO ENSURE WORK IS PERFORMED IN COMPLIANCE WITH LOCAL CODE AND REGULATIONS.

THE CONTRACTOR SHALL PROVIDE ALL WORK ILLUSTRATED ON THE DRAWINGS AND ALL INCIDENTAL WORK CONSIDERED NECESSARY TO COMPLETE THE PROJECT IN A MANNER ACCEPTABLE TO THE OWNER INCLUDING MITIGATING CONFLICTS WITH EXISTING UTILITIES, CONNECTING EXISTING UTILITIES TO PROPOSED FACILITIES, AND FIELD VERIFYING EXISTING UTILITIES PRIOR TO PROJECT COMPLETION.

THE CONTRACTOR SHALL KEEP AN APPROVED AND UPDATED SET OF DRAWINGS ON THE PROJECT SITE AT ALL TIMES. THE CONTRACTOR SHALL KEEP A SET OF PLANS MARKED UP WITH AS-BUILT CONDITIONS AND CHANGES FOR FUTURE AS-BUILT RECORD DRAWINGS.

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND /OR FIELD SURVEYS. THE ENGINEER, CITY, AND UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS. THE ENGINEER MAKES NO GUARANTEE, OR WARRANTY, THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, WHETHER ACTIVE OR ABANDONED. THE CONTRACTOR IS RESPONSIBLE TO POT-HOLE AND VERIFY CRITICAL UTILITY CROSSINGS AND CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IN A TIMELY MANNER IF CONFLICTS ARISE. CONTRACTOR ASSUMES ALL RISK AND SCHEDULE DELAYS IF THE CONTRACTOR DOES NOT POT-HOLE PRIOR TO CONSTRUCTION AND COORDINATE WITH ENGINEER.

THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OR ORS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 BUSINESS-DAY HOURS PRIOR TO EXCAVATING, BORING, OR POTHOLING. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OF ALIGNMENT CONFLICTS.

THE CONTRACTOR SHALL EXPOSE AND VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL CONNECT AND/OR MATCH EXISTING UTILITIES AND PROPOSED IMPROVEMENTS IN CONFORMANCE WITH THE INTENT OF THESE PLANS TO PROVIDE COMPLETE AND FULLY OPERATIONAL SYSTEMS.

PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THESE DRAWINGS, SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AS INCIDENTAL TO THE CONTRACT.

GENERAL SITE PREPARATION:

CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL UNSUITABLE MATERIAL, DEBRIS, EXISTING PAVEMENT, AND ORGANIC MATERIAL WITHIN THE PROJECT LIMITS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.

PRIOR TO BEGINNING CONSTRUCTION, ALL AREAS OF THE SITE THAT WILL RECEIVE FOUNDATIONS, STRUCTURAL FILL, FLOOR SLABS, OR PAVEMENT SHOULD BE STRIPPED OF TOP SOIL, ROOTS, UNSUITABLE FILLS, I.E. EXCAVATED TO NON-ORGANIC, NATIVE UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.

COMPACTION REQUIREMENTS:

ON-SITE FILL = 95% MIN. (ASTM D 698) MAX. LIFT 8"
 GRANULAR FILL = 95% MIN. (ASTM D 698) MAX. LIFT 12"
 TRENCH BACKFILL = 95% MIN. (ASTM D 698)

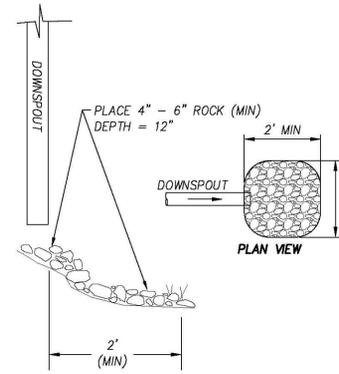
RECYCLED MATERIAL FILL = 95% MIN. (ASTM D 698)
 TOP 6" OF FLOOR SLAB SUBGRADE = 98% MIN. (ASTM D 698)
 ALL EXCESS MATERIAL INCLUDING BOULDERS SHALL BE HAULED OFF SITE UNLESS AGREED TO BY OWNER AND COORDINATED WITH ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE TO HAUL OFF TO LEGAL DUMP SITE AND OBTAIN ALL NECESSARY PERMITS.

EXCAVATOR SHALL PLACE TOPSOIL AND ROUGH GRADE IN PLANTERS AND LANDSCAPING AREAS.

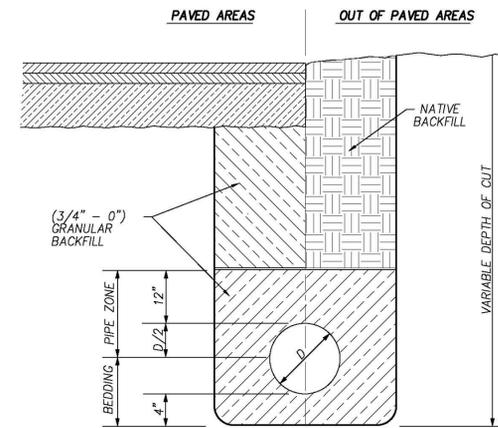
PLANTING AND MAINTENANCE PLAN

ALL WORK SHALL BE IN CONFORMANCE WITH APPENDIX A OF CLEAN WATER SERVICES STANDARDS AND SPECIFICATIONS AND ANY APPLICABLE PERMITS ISSUED BY CLEAN WATER SERVICES AND/OR CITY OF TUALATIN. PLANT NAMES INDICATED COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURE NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO NAME AND LEGIBLY TAGGED.

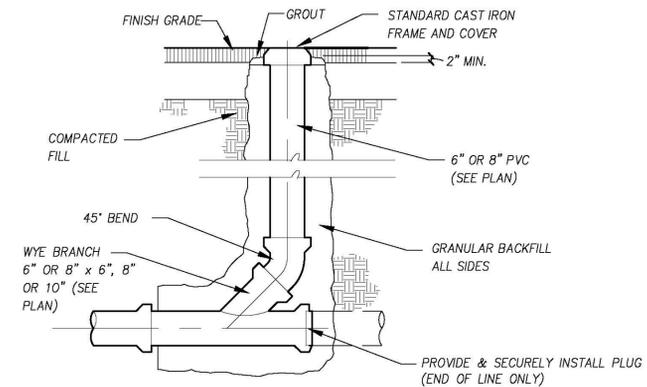
1. PROVIDE QUANTITY OF PLANT MATERIAL AS NOTED ON PLANT SCHEDULE.
2. MEASUREMENTS, CALIPER, BRANCHING, GRADING QUALITY, BALLING AND BURLAPPING SHALL FOLLOW THE AMERICAN STANDARD OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
3. PLANT MATERIAL AND LOCATIONS SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT OR QUALIFIED ECOLOGIST PRIOR TO INSTALLATION IN ACCORDANCE WITH CWS STANDARDS.
4. MAINTENANCE IS TO INCLUDE REGULAR VISITS BY THE OWNER OR OWNER'S REPRESENTATIVE AT LEAST MONTHLY TO THE PROJECT SITE FOR THE PURPOSE OF WEEDING, SUPPLEMENTAL WATERING, AND OTHER ITEMS NECESSARY TO MAINTAIN PLANTED AREAS IN A HEALTHY CONDITION. WEEDING IS TO CONSIST ONLY OF CLEARED AND MULCHED AREAS MAINTAINED AROUND EACH WOODY PLANT, AND REMOVAL OF EXOTIC SPECIES SUCH AS BLACKBERRIES, SCOT'S BROOM, OR OTHERS AS DETERMINED FROM THE RESORTED OR CREATED WETLAND AREAS.
5. CONTRACTOR SHALL INSTALL AN APPROVED TEMPORARY IRRIGATION SYSTEM IN STORMWATER FACILITY AREAS TO WATER THE PLANT MATERIAL AS NECESSARY TO MAINTAIN THE PLANTS IN A THRIVING CONDITION. FACILITY WILL BE CHECKED BY OWNER OR OWNER'S REPRESENTATIVE TWO (2) TIMES A YEAR (JUNE 15 AND SEPTEMBER 30) FOR DEBRIS, RESTRICTION AND SEDIMENT. PROVIDE DOCUMENTATION TO THE OWNER AND CLEAN WATER SERVICES
6. CONTRACTOR TO CONNECT PROPOSED IRRIGATION SYSTEM TO EXISTING SITE IRRIGATION SYSTEM. NEW SYSTEM IS BIDDER DESIGN, CONTRACTOR TO FIELD VERIFY CONNECTION POINT TO EXISTING SYSTEM PROTECTED BY DDC. EXISTING DDC IS NEAR EASTERNMOST FACILITY DRIVEWAY ENTRANCE.
7. OWNER IS RESPONSIBLE FOR MAINTENANCE OF VEGETATION FOR A MINIMUM OF TWO (2) YEARS AFTER FACILITY HAS BEEN INSPECTED AND DEEMED COMPLETE.
8. ALL TREES AND SHRUBS IN THE STORMWATER FACILITY AREAS SHALL RECEIVE 3" OF WOOD MULCH AND WOOD STAKES WITH PAINT BLAZES FOR MONITORING PURPOSES.
9. HERBACEOUS PLANT MATERIALS IN THE STORMWATER FACILITY AREAS SHALL NOT RECEIVE MULCH
10. NO TREE, SHRUB HERBACEOUS PLANT OR SEEDED AREAS WITHIN THE STORMWATER FACILITY AREAS, SHALL RECEIVE FERTILIZER.
11. THE FACILITIES SHALL BE DEEMED ACCEPTABLE TO BEGIN THE MAINTENANCE PERIOD WHEN PLANT GROWTH AND DENSITY MATCHES THE ENGINEERS DESIGN AS SHOWN ON THE APPROVED PLANS AND ALL OTHER REQUIREMENTS HAVE BEEN MET. THE ENGINEER MUST CERTIFY THE FACILITY TO BE FUNCTIONAL IN ACCORDANCE WITH THE APPROVED PLAN DESIGN TO BEGIN THE 2 YEAR MAINTENANCE PERIOD.



DOWNSPOUT OUTFALL DETAIL
N.T.S.



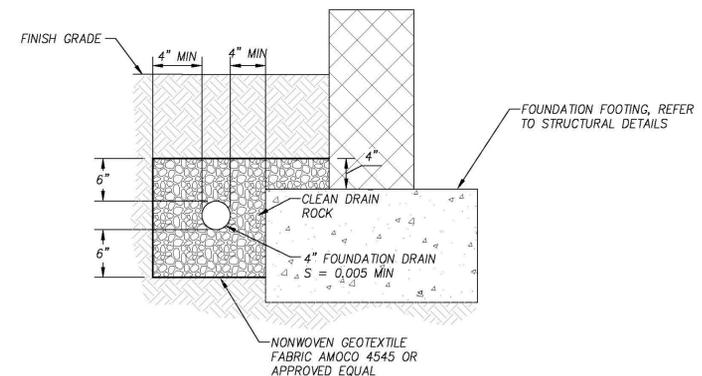
PIPE BEDDING AND BACKFILL DETAIL
N.T.S.



NOTE: CAST IRON FRAME AND COVER SHALL BE VALLEY IRON & STEEL CO. NO.'S 202 (6") OR 203 (8") OR APPROVED EQUAL.

NOTE: INSTALL CLEANOUTS AS SHOWN ON PLAN, AND PER PLUMBING CODE WHERE REQUIRED

STANDARD CLEANOUT
N.T.S.



FOUNDATION DRAIN DETAIL
N.T.S.

STORM SEWER

STORM SEWER PIPE AND PERFORATED PIPE SHALL BE PVC 3034 SDR35, OR APPROVED EQUAL. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TUALATIN STANDARD SPECIFICATIONS.

ADJUST MANHOLES, CLEAN OUT AND AREA DRAIN RIMS TO FINISH GRADE.

ALL RAIN DRAIN PIPING INSTALLED WITHIN 5.0 FEET OF A BUILDING TO BE SCHEDULE 40 PVC-D.W.V. PIPING OR APPROVED EQUAL.

MISC. UTILITIES

ELECTRICAL, TELEPHONE, GAS, AND TV SERVICE SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY. COORDINATE LOCATION WITH OWNER AND ENGINEER.

CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY TO ENSURE THE ADJUSTMENT OR RELOCATION OF EXISTING PEDESTALS AND UTILITY PADS TO MATCH FUTURE GRADES.

STORMWATER FACILITY NOTES

AMENDED TOPSOIL IN STORMWATER FACILITIES SHALL BE COMPOSED OF, 1 PART ORGANIC COMPOST, 1 PART GRAVELLY SAND AND 1 PART PLANTING TOPSOIL.

DRAINAGE GEOTEXTILE SHALL BE WOVEN OR NONWOVEN GEOTEXTILE FILTER FABRIC OF PP OR POLYESTER FIBERS, OR COMBINATION OF BOTH. FLOW RATES TO RANGE FROM 110 TO 330 GPM PER SQ FT WHEN TESTED ACCORDING TO ASTM D4491.



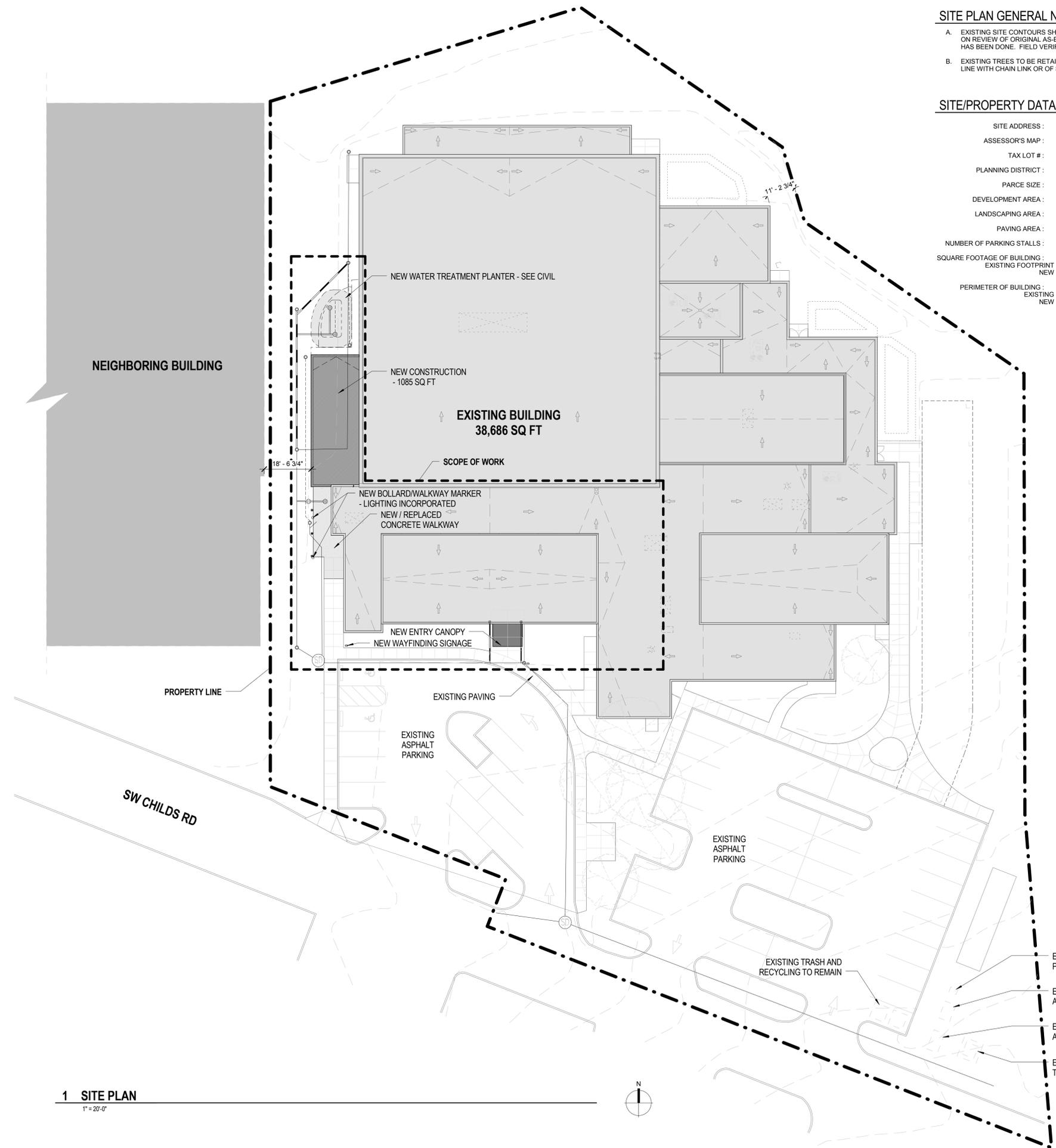
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SITE PLAN GENERAL NOTES

- A. EXISTING SITE CONTOURS SHOWN ARE APPROXIMATELY LOCATED BASED ON REVIEW OF ORIGINAL AS-BUILT DRAWINGS. NO CURRENT SURVEY HAS BEEN DONE. FIELD VERIFY ALL SITE CONTOUR/GRADING CHANGES.
- B. EXISTING TREES TO BE RETAINED SHALL BE FENCED AROUND THE DRIP LINE WITH CHAIN LINK OR OF STURDY FENCING DURING CONSTRUCTION.

SITE/PROPERTY DATA

SITE ADDRESS :	7325 SW CHILDS ROAD, TUALATIN, OR 97224
ASSESSOR'S MAP :	TAX MAP #2S1 24AB
TAX LOT # :	200/300
PLANNING DISTRICT :	CITY OF TUALATIN
PARCE SIZE :	99169 SF
DEVELOPMENT AREA :	64505 SF (65%)
LANDSCAPING AREA :	34663 SF (54%)
PAVING AREA :	24739 SF
NUMBER OF PARKING STALLS :	41 STALLS
SQUARE FOOTAGE OF BUILDING :	
EXISTING FOOTPRINT :	38686 SF
NEW :	1085 SF
PERIMETER OF BUILDING :	
EXISTING :	931' - 0"
NEW :	945' - 0"



1 SITE PLAN
 1" = 20'-0"

STAMP

PROJECT

TBPF PHASE II

7325 SW CHILDS RD
 PORTLAND, OR 97224

CLIENT

PORTLAND TRAIL
 BLAZERS

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REVISIONS

DATE

MARCH 05, 2015

PROJECT NUMBER

20086635

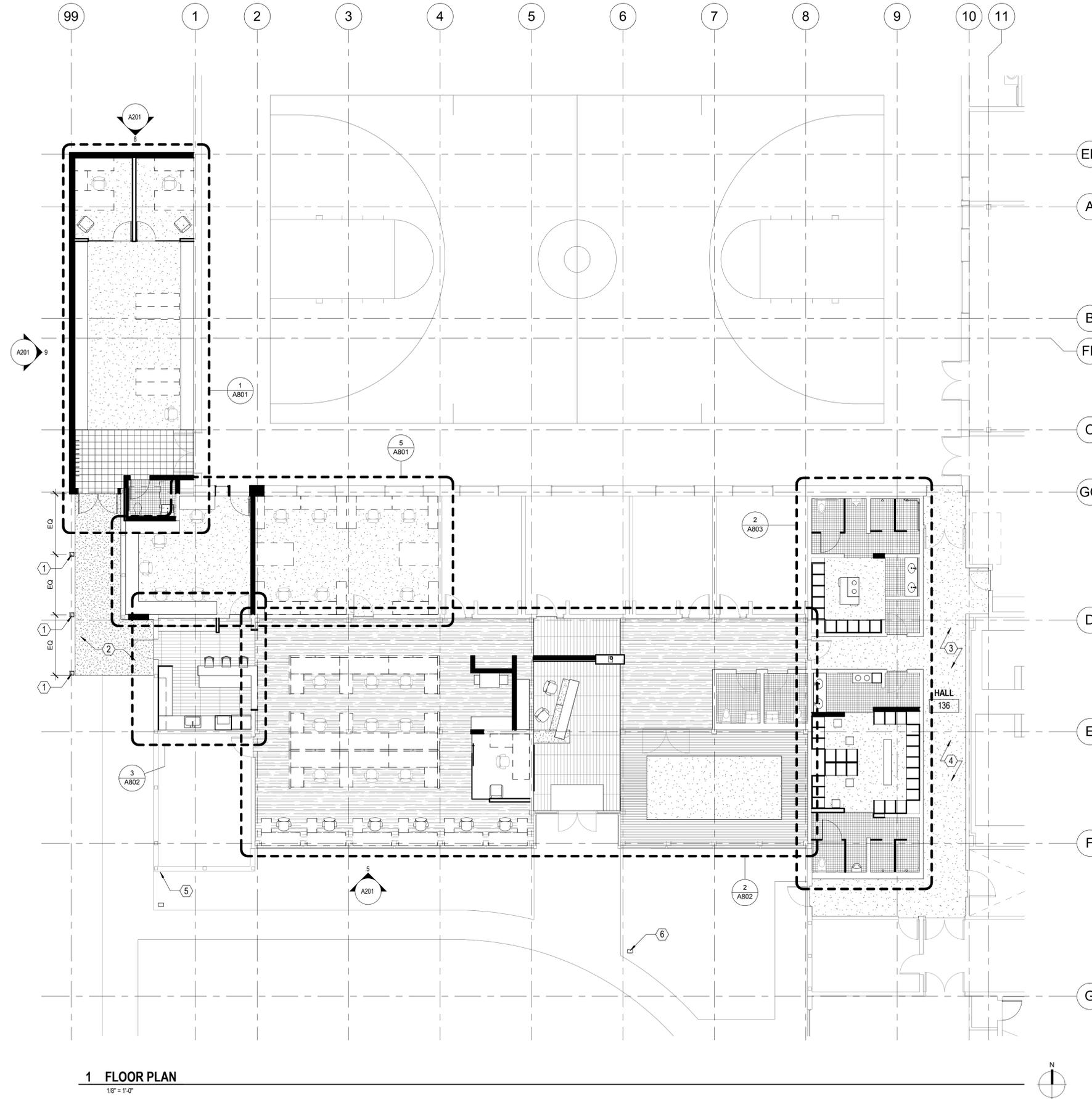
SCALE

As indicated

SHEET TITLE

SITE PLAN -
 ROOF PLAN

A001



GENERAL PLAN NOTES

- A. SEE ENLARGED PLANS FOR ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE SHEET GXXX FOR FIRE RATED CONSTRUCTION LOCATIONS

PLAN REFERENCE NOTES

- 1 NEW BOLLARDS WITH PATH LIGHTING INCORPORATED - MATCH EXISTING
- 2 NEW CONCRETE SIDEWALK TO MATCH EXISTING
- 3 NEW CARPET - VERIFY EXTENT WITH OWNER AND ARCHITECT
- 4 PATCH & PAINT WALLS AS NEEDED
- 5 NEW WAYFINDING SIGNAGE - SEE ELEVATION
- 6 NEW ADDRESS SIGNAGE

1 FLOOR PLAN
 1/8" = 1'-0"

STAMP

PROJECT
TBPF PHASE II
 7325 SW CHILDS RD
 PORTLAND, OR 97224

CLIENT
PORTLAND TRAIL BLAZERS

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SHEET TITLE
FLOOR PLAN

A101

GENERAL EXTERIOR ELEVATION NOTES

A. UNLESS NOTED OTHERWISE, ALL NEW EXTERIOR BUILDING MATERIALS TO MATCH EXISTING.



WSQ LED
Architectural Wall Sconce

Specifications

Lighting:
Height: 21.5" (547mm)
Width: 21.5" (547mm)
Depth: 1.5" (38mm)

Optional Back Box (BBW)
Height: 21.5" (547mm)
Width: 21.5" (547mm)
Depth: 1.5" (38mm)

Introduction
The sleek, Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with logical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting without the use of a back box or remote gear, so installers maintain their aesthetic integrity. The WSQ LED is ideal for replacing existing 36-120W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information

Model	Finish	Material	Weight	Notes	Lead Time
WSQ-1	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-2	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-3	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-4	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-5	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-6	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-7	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-8	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-9	White	Aluminum	1.5 lbs	Standard	2-3 Weeks
WSQ-10	White	Aluminum	1.5 lbs	Standard	2-3 Weeks

Emergency Battery Operation

1. The WSQ LED is designed to operate in emergency mode for up to 90 minutes. The battery backup is fully charged and ready to operate at all times. The battery backup is fully charged and ready to operate at all times. The battery backup is fully charged and ready to operate at all times.

ETC140-GB LED + Linear spread lens
611-4014 + 611-8048



Description
ETC140-GB LED (ETC) fixture. Suitable for flush installation in concrete or masonry. Other general mounted into masonry with brackets using 3/8" vertical BSF and 3/8" horizontal screws. Special effects can be achieved with beam lens, flood lens, or color filter.

Beam Type
symmetrical, very narrow beam

Lamp Type
24 LED (24x0.00000)

Color Type
selectable gear

Standard Luminaire Flux (lm)

LED Luminaire	108.5 lm
LEDs	24
Total Lumens	2581.8 lm
T _a	85 °C

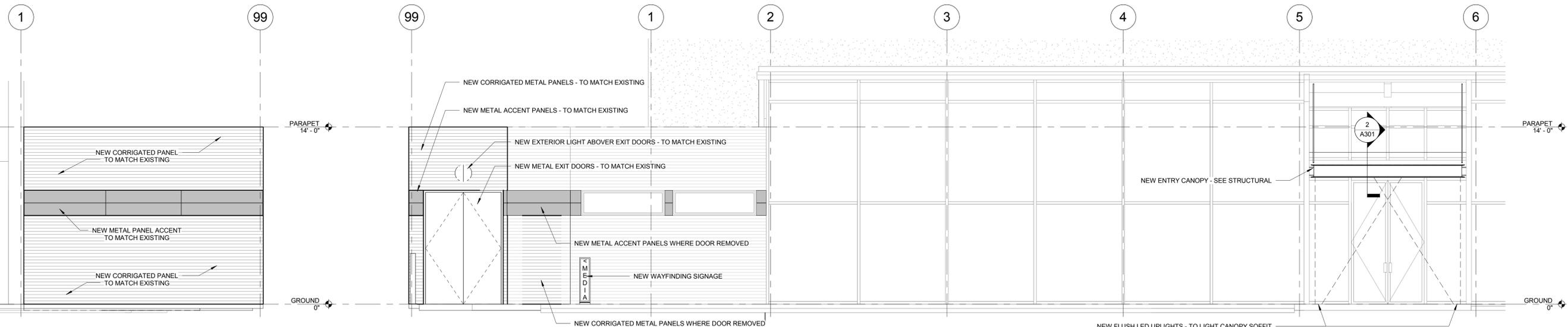
Rated Luminaire Flux (lm)

LED Luminaire	83.8 lm
Total Lumens	2072.8 lm
T _a	25 °C

Rated Input Power
20 W

7 EXISTING BUILDING PHOTOS - EXTERIOR MATERIAL COLORS AND LIGHTING CUTS

1 1/2" = 1'-0"

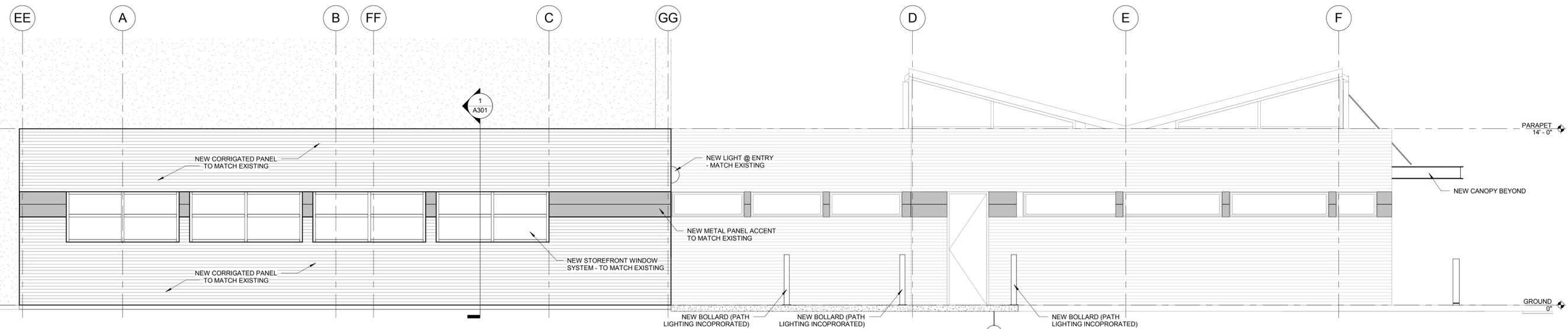


8 EXTERIOR ELEVATION - NORTH

1/4" = 1'-0"

5 EXTERIOR ELEVATION - SOUTH

1/4" = 1'-0"



9 EXTERIOR ELEVATION - WEST

1/4" = 1'-0"



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gbdarchitects.com
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SHEET TITLE
EXTERIOR ELEVATIONS

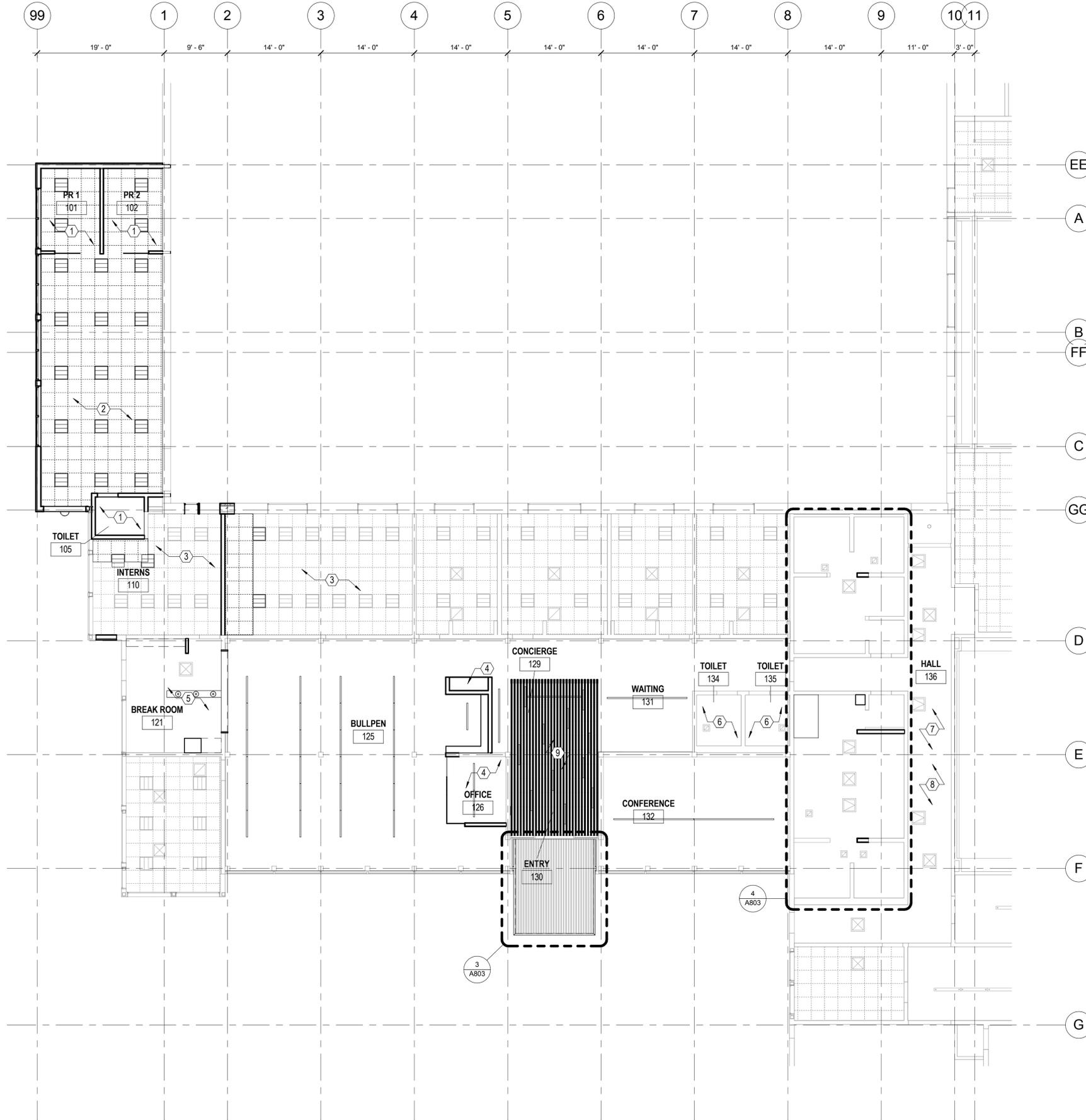
A201

GENERAL RCP NOTES

- A. SEE ENLARGED PLANS FOR MISSING ROOM NUMBERS AND ADDITIONAL INFORMATION
- B. SEE LIGHTING PLANS FOR LAYOUT AND FIXTURE TYPES - VERIFY LAYOUT, ZONES, AND CONTROLS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- C. SEE SHEET GXXX FOR FIRE RATED CONSTRUCTION LOCATIONS

RCP REFERENCE NOTES

- ① NEW GYPSUM CEILING
- ② NEW ACT CEILING
- ③ MODIFY, REPAIR, OR REPLACE EXISTING ACT CEILING
- ④ NEW GYPSUM CEILING CLOUD
- ⑤ PATCH, REPLACE, OR REPAIR EXISTING GYSUM CEILING
- ⑥ REPAINT EXISTING ACT CEILING
- ⑦ REPLACE EXISTING LIGHTING WITH NEW LED FIXTURES
- ⑧ PATCH & PAINT AS NEEDED
- ⑨ NEW WOOD SOFFIT ELEMENTS - SEE SECTION



1 REFLECTED CEILING PLAN
 1/8" = 1'-0"

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SHEET TITLE
 REFLECTED CEILING PLAN

A701