



City of Tualatin

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NOTICE OF DECISION

On March 22, 2016 the City of Tualatin approved with conditions AR 15-0025 for Cracker Barrel Restaurant located at 7665 SW Nyberg St (Tax Lot: 2S124AD3100).

This staff level decision will be final after 14 calendar days from the date of this mailing unless a written request for review is received by the **Community Development Department – Planning Division at 18880 SW Martinazzi Avenue, Tualatin, OR 97062 before 5:00 p.m.** The appeal must be submitted on the City Request for Review (i.e. Appeal) form with all the information requested, as required by TDC 31.075, and signed by the appellant. Only those persons who submitted comments during the notice period may submit a request for review. The plans and appeal forms are available at the Planning Counter. The appeal forms must include reasons, the appeal fee and meet the requirements of Section 31.076 of the Tualatin Development Code.

Date notice mailed: 3/23/2016

Date a Request for Review must be filed: 4/6/2016

File: AR-15-0025



City of Tualatin

www.tualatinoregon.gov

March 22, 2016

ARCHITECTURAL REVIEW FINDINGS AND DECISION

**** APPROVAL WITH CONDITIONS ****

Case #: AR-15-0025
Project: Cracker Barrel at Nyberg Rivers
Location: [7665 SW Nyberg St.](#) (Tax Lot 2S1 24AD 3100)
Applicant: LD Reeves and Associates, Inc.; Loretta Reeves, 1889 Manzana Ave, Punta Gorda, FL 33950
Project Contact: DOWL; Read Stapleton, rstapleton@dowl.com; 720 SW Washington St, Ste 750, Portland, OR 97205 (971) 280-8641

TABLE OF CONTENTS

I.	INTRODUCTION	2
II.	CONDITIONS OF APPROVAL	3
III.	FINDINGS	5
A.	Previous Related Land Use Actions:	5
B.	Planning Districts and Adjacent Land Uses:	5
C.	Lot Sizes:	5
D.	Setback Requirements:	6
E.	Structure Height:	6
F.	Access:	7
G.	Site Planning:	7
H.	Structure Design:	12
I.	Mixed Solid Waste and Source Separated Recyclables Storage Areas:	12
J.	Landscaping:	15
K.	Tree Removal:	18

Arrangements can be made to provide these materials in alternative formats such as large type or audio recording. Please contact the Planning Division at 503-691-3026 and allow as much lead time as possible.

L. Grading:..... 19

M. Bicycle Parking, Off-Street Parking and Loading:..... 19

N. Loading Berths: 22

O. Access:..... 23

P. Signs: 23

Q. Time Limit on Approval:..... 23

IV. APPEAL..... 25

I. INTRODUCTION

Cracker Barrel, represented by LD Reeves and Associates, proposes to construct a 10,112 sq ft restaurant and porch within the newly constructed Nyberg Rivers commercial center at 7665 SW Nyberg Street, Tualatin, Oregon. The property is owned by Tuala Northwest LLC. The lot is 22.7 acres, while the development area associated with this project is 0.38 acres or 16,700 sq ft. The property is zoned CC – Central Commercial, the building will include a porch feature, sidewalks with connections to existing pathways, landscaping, and a trash enclosure.

The subject site is located within the existing Nyberg Rivers commercial center (AR 13-07 approved in 2013) and will tie into existing infrastructure. The front building elevation will face south toward a plaza area with firepit and small parking area. The building will tie into a 2-inch domestic water line at the southeast corner of the building, along with a 6-inch fire water and FDC connection in the same location. Sanitary will connect to the building along the northeast corner, where there is a proposed grease interceptor and 4-inch line to serve the building. Aside from the overall Nyberg Rivers storm water system, there is one additional catch basin that will connect to the system. That catch basin is located in the northeast portion of the site, just south of the fire pit.

Public access is taken from SW Nyberg Street, a Major Arterial according to the City of Tualatin Transportation System Plan (TSP) and Figure 11-1 in the Tualatin Development Code. There is a bike lane along the site’s frontage. Secondary access is also provided off of SW Barngrover Way and SW Seneca Street.

The applicant attended a pre-application conference for this project with the City of Tualatin on March 4, 2015. A neighborhood/developer meeting was held on June 25, 2015 where ten people were in attendance. Attendees commented on parking issues and on the building’s exterior and landscaping. Mailing labels, invitation letter, affidavit of mailing, certification of posting, and meeting sign-in sheet are attached to this application as Exhibit 102. The application was submitted October 13, 2015 and deemed complete on January 15, 2016.

Notice was mailed to owners of property within 1,000 feet (ft) of the subject site, and to owners of property in any residential subdivision within 1,000 feet (ft) of the subject site on February 4, 2016, pursuant to Tualatin Development Code (TDC) 31.064(1). Staff did not receive written comments during the comment period that ended February 18, 2016.

For reference “subject site” or “subject project” means any proposed or required work directly associated with the Cracker Barrel development. “Subject property” means the tax lot on which Cracker Barrel will be developed.

II. CONDITIONS OF APPROVAL

Based on the Findings and Conclusions presented, AR-15-0025 is approved, subject to the following Architectural Review conditions of approval:

PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- AR-1 All further submittals shall be sent in one complete and full set. No piecemeal submittals will be accepted. Submittals prior to building permit shall contain one plan set, with one table of contents that includes all pages submitted. All plan set pages and documents shall be numbered in accordance with table of contents. All plan submittals must be on 24 x 36 inch paper. All submittals shall be stapled or bound together down the length of the bound side. Please do not use binder or paper clips. The entire set will be reviewed at one time. A narrative shall be included and will address each condition of approval. Each applicant narrative response shall include how the condition is being addressed and on what revised plan page the condition is shown to be met in drawn form. Each resubmittal will start a new 2-week minimum review period by staff.
- AR-2 Prior to obtaining a building permit, the applicant shall submit two revised plan sets – plan size and ledger (11 x 17) – for review and approval to the Planning Division with the following changes:
- AR-3 Applicant shall construct building with a variety of architecture features as shown on the submitted elevations to ensure the building will retain visual appeal with variations in texture and massing. Features include: batten siding, metal coping, landscaped trellis, and stone veneer base and chimney. TDC 73.050
- AR-4 Applicant shall submit revised site plans to provide bicycle access north of the trash enclosure to the bike parking area and install access according to revised plans. TDC 73.160(1)(d)
- AR-5 Applicant shall submit revised landscaping plans that note shrubs in parking areas must not exceed 30 inches in height and tree canopies must not extend below 8 ft measured from grade. TDC 73.160(3)(e)
- AR-6 Applicant shall submit revised landscape plans that fully screen the north, east, and south side of the transformer at time of planting and install landscaping according to revised plans. TDC 73.160(4)(a)
- AR-7 Applicant shall submit revised plans prior to issuance of building permit that demonstrate the proposed parapet adequately screens conceptual roof top units. TDC 73.160(4)(a)
- AR-8 The applicant shall revise site plans to provide adequate room for evergreen landscape screening and bike parking requirements as defined in TDC 73.370(1)(q). Landscape plans shall be revised to illustrate evergreen plants around the walls of the recycling and trash

enclosure, excluding the gate or entrance openings. Applicant shall install these facilities to the revised plans. TDC 73.227(6)(b)(iii)

AR-9 Applicant shall provide an irrigation plan prior to on-site work. TDC 73.280

AR-10 Applicant shall revise landscape plan to provide additional screening or amenity on the north elevation and provide approved groundcover and shrubs or a bioswale landscaping in strip along east elevation. Applicant shall install landscaping according to revised plans. TDC 73.310(1)

Notes:

- The applicant must submit sign permit applications separately from this AR for any proposed signage.
- All building exterior improvements approved through the Architectural Review Process must be continually maintained, including necessary painting and repair, so as to remain substantially similar to original approval through the Architectural Review Process, unless subsequently altered with Community Development Director's approval. TDC 73.100(2)
- All landscaping approved through architectural review (AR) must be continually maintained, including necessary watering, weeding, pruning and replacement, in a manner substantially similar to that originally approved by the AR decision, unless subsequently altered with Community Development Director's approval. TDC 73.100(1)
- Site landscaping and street trees shall be maintained to meet the vision clearance requirements of TDC 73.400(16).
- The site development and uses must comply with the noise limits of TDC 63.051(1).
- The plan size (24 x 36 inches) and ledger (11 x 17 inches) plan sets must be folded, not rolled.
- The plan sets for the Planning Division must contain sheets relevant to AR conditions of approval while also not being a full building permit set. For example, because the Planning Division needs no erosion control or roof framing plan sheets, exclude them.
- Following Planning Division approval of revised plans and when the constructed site is ready, the applicant must contact the Planning Division for a site inspection in order to obtain a certificate of occupancy (CO). This inspection is separate from inspection(s) done by the Building Division. Staff recommends scheduling a Planning inspection at least three business days in advance of the desired inspection date.

III. FINDINGS

Reviewing this application in terms of the Tualatin Development Code ([TDC](#)) and other ordinances, the following findings are relevant. All references are to sections in the TDC unless otherwise noted.

A. Previous Related Land Use Actions:

- Architectural Review AR13-07 (Nyberg Rivers: 300,000 sq ft shopping center improvements including two building pads)
- Master Plan MP 13-01 (Nyberg Rivers Master Plan: Commercial redevelopment project of 26 acre site)

B. Planning Districts and Adjacent Land Uses:

The subject property is located in the [Central Commercial \(CC\) Planning District](#) where retail, professional, and other services usually found downtown are permitted pursuant to TDC [53.020](#).

Adjacent planning districts and land uses are clockwise:

N: CO LA Fitness, Tualatin River
E: CG Interstate-5
S: CC Red Robin, Fred Meyer beyond SW Nyberg Road
W: CC Cabela's, Pieology, Home Goods

C. Lot Sizes:

53.070

Central Urban Renewal Area - Lot Sizes.

Except for lots for public utility facilities, natural gas pumping stations and wireless communication facilities which shall be established through the Subdivision, Partition or Lot Line Adjustment process, and excepting any lot in the Core Area Parking District where TDC 53.070(1)-(5) apply, the minimum lot size in the Central Urban Renewal District shall conform to the lot sizes described on [Map 9-3](#):

(1) Except for mixed use developments, and common-wall dwellings on separate lots:

- (a) The minimum lot area shall be 5,000 square feet.
- (b) The minimum average lot width shall be 40 feet.
- (c) The minimum lot width at the street shall be 40 feet.
- (d) For flag lots, the minimum lot width at the street shall be sufficient to comply with at least the minimum access requirements in TDC 73.400(8) - (12).
- (e) The minimum lot width at the street shall be 35 feet on a cul-de-sac street.

(2) For mixed use developments, and common-wall dwellings on separate lots:

(a) Lot areas, widths and frontages shall be determined through the Architectural Review Process.

(b) Frontage on a public street shall not be required when access via easements is provided in accordance with TDC 73.400.

(3) The minimum lot width at the street shall be 40 feet.

(4) For flag lots, the minimum lot width at the street shall be sufficient to comply with at least the minimum access requirements in TDC 73.400(8) - (12).

(5) The minimum lot width at the street shall be 40 feet on a cul-de-sac street.

Applicant's Response: As shown on the Site Plan (Sheet C2.0), the proposed building will be located on an existing legal lot identified as Tax Lot 2S124A003100. This lot encompasses a large portion of Nyberg Rivers and is 22.7 acres. All of the dimensions for lot size meet the minimum lot size requirements listed above, and were approved under AR-13-07 for the Nyberg Rivers Shopping Center.

Staff notes the plan meets the requirement.

D. Setback Requirements:

53.080

- (1) Front yard. Except as provided by TDC 53.090(2)(a), zero to 20 feet, as determined through the Architectural Review process.**
- (2) Side yard. Except as provided by TDC 53.090(2)(a), zero to 20 feet, as determined through the Architectural Review process.**
- (3) Rear yard. Zero to 15 feet, as determined through the Architectural Review process.**
- (4) Corner lot yards. Zero to 20 feet for a sufficient distance to provide adequate sight distance for vehicular and pedestrian traffic at an intersection, as determined through the Architectural Review process.**
- (5) Off-street parking and vehicular circulation areas shall be set back a minimum of 5 feet from any public right-of-way or property line, except as approved through the Architectural Review process.**
- (6) No fence shall be constructed within 5 feet of a public right-of-way, except that in residential and mixed use residential developments within the Central Design District the minimum fence setback shall be determined through Architectural Review, with no minimum requirement.**

As shown on the Site Plan (Sheet C2.0), the location of the restaurant building pad meets all setback requirements listed above. The front yard faces south to the fire pit and parking area where there is an approximately ten ft wide landscape buffer between the porch area and parking area, as scaled by staff. The west elevation faces inward toward a drive aisle and the central parking area. There is a six ft sidewalk and landscaped area along the base of the building to achieve an approximate nine ft setback from the building to the drive aisle. The rear yard setback is defined as the north elevation of the building that faces LA Fitness. The existing off-street parking and vehicular circulation areas are setback at least 15 ft to meet the setback requirements. The east elevation of the building faces the Interstate-5 right of way and is setback approximately four ft from the property line by a stormwater trench. No new fencing is proposed as part of this application.

Staff notes the plan meets the requirement.

E. Structure Height:

53.090

- (1) Except for flagpoles displaying the flag of the United States of America, either alone or with the State of Oregon flag which shall not exceed 100 feet in height above grade, and except as provided in TDC 53.090(2), (3) and (4), the maximum height for a structure is 45 feet.**

As noted on the building elevation included in Exhibit 101, the proposed building height of the south facing elevation (including parapet) is 19 ft with side and rear parapet elevations that reach a maximum height of 16.86 ft. Additionally the sign parapets have a maximum height of 23 ft. A singular stone chimney is shown to be 30 ft above the finished floor elevation. Staff notes the requirement has been met.

Note: Signs are not permitted as part of this application.

F. Access:

53.100

Except as provided below, no lot shall be created without provision for access to the public right-of-way in accordance with [TDC 73.400](#) and [TDC Chapter 75](#). Such access may be provided by lot frontage on a public street, or via permanent access easement over one or more adjoining properties, creating uninterrupted vehicle and pedestrian access between the subject lot and the public right-of-way. Lots and tracts created to preserve wetlands, greenways, Natural Areas and Stormwater Quality Control Facilities identified by [TDC Chapters 71, 72, Figure 3-4](#) of the Parks and Recreation Master Plan and the Surface Water Management Ordinance, [TMC Chapter 3-5](#), as amended, respectively, or for the purpose of preserving park lands in accordance with the Parks and Recreation Master Plan, may not be required to abut a public street.

The subject site is a development on a larger lot. Primary access into Nyberg Rivers is provided by SW Nyberg Street (Major Arterial), with secondary access from SW Barngrover Way and SW Seneca Street. A 30 ft wide drive aisle within Nyberg Rivers provides access to the subject site. Staff notes the plan meets the requirement.

G. Site Planning:

73.050 Criteria and Standards

- (1) In exercising or performing his or her powers, duties, or functions, the Community Development Director shall determine whether there is compliance with the following:**
- (a) The proposed site development, including the site plan, architecture, landscaping, parking and graphic design, is in conformance with the standards of this and other applicable City ordinances insofar as the location, height, and appearance of the proposed development are involved;**
 - (b) The proposed design of the development is compatible with the design of other developments in the general vicinity; and**
 - (c) The location, design, size, color and materials of the exterior of all structures are compatible with the proposed development and appropriate to the design character of other developments in the vicinity.**

The Nyberg Rivers project has been designed so that all buildings have four-sided architecture. The shopping center is a 360-degree shopping center, meaning there is no “back” or “rear” of the shopping center. Interstate-5 is on the east of the shopping center, SW Nyberg Street is on the south, City Offices and SW Martinazzi Avenue is on the west, and the Tualatin River Greenway is on the north. The applicant has provided elevations that demonstrate the proposed restaurant’s architectural features will include: batten siding, metal coping, green screen, and stone veneer base and chimney. These features will compliment the surrounding development. Staff has conditioned the applicant to provide a variety of architecture features

as shown on the submitted elevations to ensure the building will retain visual appeal with variations in texture and massing.

Condition of Approval: Applicant shall construct the building with a variety of architecture features as shown on the submitted elevations to ensure the building will retain visual appeal with variations in texture and massing. Features include: batten siding, metal coping, landscaped trellis, and stone veneer base and chimney.

31.060 Definitions

Accessway. A non-vehicular, paved pathway designed for pedestrian and bicycle use and providing convenient linkages between a development and adjacent residential and commercial properties and areas intended for public use such as schools, parks, and adjacent collector and arterial streets where transit stops or bike lanes are provided or designated. An accessway is not a sidewalk.

Bikeway. Any street, road, path or way open to bicycle travel regardless of whether such facilities are designated for the preferential use of bicycles or are to be shared with other transportation modes.

Walkway. A pedestrian facility which provides a paved surface for pedestrian circulation within a development. A walkway may be shared with bicycles and may cross vehicle areas.

73.160 The following standards are minimum requirements for commercial, industrial, public and semi-public development and it is expected that development proposals shall meet or exceed these minimum requirements.

(1) Pedestrian and Bicycle Circulation.

(a) For commercial, public and semi-public uses:

(i) a walkway shall be provided between the main entrance to the building and any abutting public right-of-way of an arterial or collector street where a transit stop is designated or provided. The walkway shall be a minimum of 6 feet wide and shall be constructed of concrete, asphalt, or a pervious surface such as pavers or grasscrete, but not gravel or woody material, and be ADA compliant, if applicable;

The larger Nyberg Rivers commercial site abuts a transit line on the western property line at SW Martinazzi Avenue. However the subject site is located on the southeasterly corner of Nyberg Rivers and does not directly abut a transit line. This requirement is not applicable.

(ii) walkways shall be provided between the main building entrances and other on-site buildings and accessways. The walkways shall be a minimum of 6 feet wide and shall be constructed of concrete, asphalt, or a pervious surface such as pavers or grasscrete, but not gravel or woody material, and be ADA compliant, if applicable;

(iii) walkways through parking areas, drive aisles, and loading areas shall be visibly raised and of a different appearance than the adjacent paved vehicular areas;

The proposed restaurant and subject site are a part of the Nyberg Rivers commercial center and will tie into the overall pedestrian and bicycle circulation network. The on-site walkways connect to the existing circulation network to provide access between the main building entrance and the abutting Nyberg Street. All proposed walkways are a minimum of six ft wide

and constructed of concrete. Walkways through parking areas are striped to differentiate these areas from the adjacent paved vehicular areas.

Staff notes that raised walkways are not proposed on the north face of the building, as loading is proposed in this area.

(iv) accessways shall be provided as a connection from the development's internal bikeways and walkways to all of the following locations that apply: abutting arterial or collector streets upon which transit stops or bike lanes are provided or designated; abutting undeveloped residential or commercial areas; adjacent undeveloped sites where an agreement to provide an accessway connection exists; and to abutting publicly-owned land intended for general public use, including schools;

This criteria has been met through AR 13-07 Nyberg Rivers Shopping Center.

(v) fences or gates which prevent pedestrian and bike access shall not be allowed at the entrance to or exit from any accessway.

No fences or gates are proposed as part of this project.

(vi) bikeways shall be provided which link building entrances and bike facilities on the site with the adjoining public right-of-way and accessways.

As mentioned previously, the site will tie into Nyberg River's existing circulation network. The on-site bikeways will provide access between the building entrance, bicycle parking near the building's northeast corner, abutting Nyberg Street bike lane, and the Tualatin River Greenway. Staff notes this requirement has been met.

(vii) Outdoor Recreation Access Routes shall be provided between the development's walkway and bikeway circulation system and parks, bikeways and greenways where a bike or pedestrian path is designated.

The proposed sidewalks and crosswalks will connect to the Tualatin River Greenway path northwest of the subject site. Overall site circulation and connections to the Greenway were reviewed and approved in AR-13-07 for the Nyberg Rivers Shopping Center. Staff notes this requirement has been addressed.

(c) Curb ramps shall be provided wherever a walkway or accessway crosses a curb.

Applicant's Response: As shown on the Site Plan (Sheet C2.0), curb ramps are provided wherever a walkway or accessway crosses a curb.

Staff notes that bike parking is proposed behind the trash enclosure located on the northeast corner of the subject site. Staff has conditioned the applicant to provide bicycle access to the proposed bike parking area.

Condition of Approval: Applicant shall submit revised site plans to provide bicycle access north of the trash enclosure to the bike parking area and install access according to revised plans.

(d) Accessways shall be a minimum of 8 feet wide and constructed in accordance with the Public Works Construction Code if they are public accessways, and if they are

private accessways they shall be constructed of asphalt, concrete or a pervious surface such as pervious asphalt or concrete, pavers or grasscrete, but not gravel or woody material, and be ADA compliant, if applicable.

The proposed sidewalks on site will connect to the existing Nyberg Rivers accessway that is 12-foot wide to connect to the Tualatin River Greenway Recreational Path and SW Nyberg Street.

(2) Drive-up Uses

Applicant's Response: The use proposed does not include a drive-up facility. This section does not apply.

(3) Safety and Security

(a) Locate windows and provide lighting in a manner which enables tenants, employees and police to watch over pedestrian, parking and loading areas.

Applicant's Response: As shown on the building elevations provided, all windows are located to provide natural lighting which enables employees and patrons to watch over pedestrian and parking areas

Staff notes that there are blocks of windows provided for each building face. This requirement has been met.

(b) In commercial, public and semi-public development and where possible in industrial development, locate windows and provide lighting in a manner which enables surveillance of interior activity from the public right-of-way.

Applicant's Response: As shown on the building elevations provided, all windows and lighting are located to enable surveillance of interior activity from the adjacent drive aisles and parking areas.

Staff notes the applicant has submitted a photometric plan (Sheet ES1). This requirement has been met.

(c) Locate, orient and select on-site lighting to facilitate surveillance of on-site activities from the public right-of-way without shining into public rights-of-way or fish and wildlife habitat areas.

Applicant's Response: As shown on the photometric plan (Sheet ES1), all on-site lighting allows for surveillance of on-site activities from adjacent drive aisles and parking areas without shining lights into the adjacent SW Nyberg Street.

Staff notes the Tualatin River is located approximately 825 ft north of the subject site, behind LA Fitness. This requirement is met.

(d) Provide an identification system which clearly locates buildings and their entries for patrons and emergency services.

Applicant's Response: Signage will be provided to clearly mark the primary building access for both patrons and emergency services.

This standard is will be met through the building permit process.

(e) Shrubs in parking areas must not exceed 30 inches in height. Tree canopies must not extend below 8 feet measured from grade.

Applicant's Response: As shown on the Landscape Plan provided in Exhibit H, existing shrubs in parking areas do not exceed 30-inches in height and tree canopies do not extend below 8-feet measured from grade.

Staff notes that Douglas Spirea is proposed near the parking area located to the south. As these shrubs reach a mature height of six ft, staff is conditioning the applicant to provide landscaping that meets the vision clearance requirement near parking.

Condition of Approval: Applicant shall submit revised landscaping plans that note shrubs in parking areas must not exceed 30 inches in height and tree canopies must not extend below 8 ft measured from grade.

73.160(4)(a) On and above grade electrical and mechanical equipment such as transformers, heat pumps and air conditioners shall be screened with sight obscuring fences, walls or landscaping.

Applicant's Response: As shown on the Landscape Plan (Sheet L1.0), transformer screening is shown on the north and east side of the transformer, mostly in the form of retained or replanted Oregon grape. The west and south sides of the transformer are not proposed for landscaping in order to meet maintenance access requirements.

Staff notes that the applicant is proposing the use of shrubs that grow up to 3 ft tall in order to screen the transformer. Applicant shall be conditioned to provide adequate landscaping to fully screen the transformer on the north, east, and south side at time of planting.

No rooftop equipment is shown on the proposed elevations. Parapet shall screen any roof top units. Applicant is conditioned to submit revised plans with conceptual roof top units to conform with screening requirement.

Condition of Approval: Applicant shall submit revised landscape plans that fully screen the north, east, and south side of the transformer at time of planting and install landscaping according to revised plans.

Condition of Approval: Applicant shall submit revised plans prior to issuance of building permit that demonstrate the proposed parapet adequately screens conceptual roof top units.

73.160(4)(b) Outdoor storage, excluding mixed solid waste and source separated recyclables storage areas listed under TDC 73.227, shall be screened with a sight obscuring fence, wall, berm or dense evergreen landscaping.

Staff notes trash enclosure plans have been provided (Sheet D-1). The plans show a walled trash enclosure that is constructed of batten siding, metal coping, and stone veneer base to match the proposed restaurant.

73.160(5) The Federal Americans with Disabilities Act (ADA) applies to development in the City of Tualatin. Although TDC, Chapter 73 does not include the Oregon Structural Specialty Code's (OSSC) accessibility standards as requirements to be reviewed during the Architectural Review process, compliance with the OSSC is a requirement at the Building Permit step. It is strongly recommended all materials submitted for Architectural Review show compliance with OSSC.

The applicant has demonstrated compliance with ADA standards on the Site Plan (Sheet C2.0). This standard will be met through the building permit process.

H. Structure Design:

73.220(1)

- (a) Locate, orient and select on-site lighting to facilitate surveillance of on-site activities from the public right-of-way or other public areas.**
- (b) Provide an identification system, which clearly identifies and locates buildings and their entries.**
- (c) Shrubs in parking areas shall not exceed 30 inches in height, and tree canopies must not extend below 8 feet measured from grade, except for parking structures and underground parking where this provision shall not apply.**

Staff discussed similar requirements in reviewing compliance with 73.160(3) above.

I. Mixed Solid Waste and Source Separated Recyclables Storage Areas:

73.227(2) Minimum Standards Method

(a)(i) The storage area requirement is based on the area encompassed by predominant use(s) of the building (e.g., residential, office, retail, wholesale/ warehouse/ manufacturing, educational/institutional or other) as well as the area encompassed by other distinct uses. If a building has more than one use, and that use occupies 20 percent or less of the gross leasable area (GLA) of the building, the GLA occupied by that use shall be counted toward the floor area of the predominant use(s). If a building has more than one use and that use occupies more than 20 percent of the GLA of the building, then the storage area requirement for the whole building shall be the sum of the area of each use.

The site is proposed to be a commercial restaurant use and is 10,112 sq. ft.

73.227(2)(a)(v) Commercial, industrial, public and semi-public developments shall provide a minimum storage area of 10 square feet plus:

Office - 4 square feet/1000 square feet gross leasable area (GLA);

Retail - 10 square feet/1000 square feet GLA;

Wholesale/Warehouse/Manufacturing - 6 square feet/1000 square feet GLA;

Educational and institutional - 4 square feet/1000 square feet GLA;

and other - 4 square feet/1000 square feet GLA.

Applicant’s Response: Based on the retail commercial requirements for storage areas, the minimum requirement is 112 sq. ft. of storage area. As shown on the Site Plan (Sheet C2.0) and Trash Enclosure Details (Sheets D-1 and D-2), the proposed trash enclosure area will be designed to accommodate mixed solid waste and source separated recyclable storage areas. The proposed area is 288 sq. ft.

Trash Enclosure Requirements		
Use	Trash Enclosure (SF)	
	Required	Provided
Retail	101.12	
	10	
Total	111.12	288

Staff notes that the total GLA of the building, (10,112 sq ft x 10 ft/1000 ft) + 10 sq ft = 111.12 sq ft. The planned trash enclosure area is approximately 288 sq ft. The proposal meets the requirement.

(5) Franchised Hauler Review Method. The franchised hauler review method provides for a coordinated review of the pro-posed site plan by the franchised hauler serving the subject property. This method can be used when there are unique conditions associated with the site, use, or waste stream that make compliance with any of the three other methods impracticable....

Applicant’s Response: The trash enclosure plans was submitted to Republic Services and a letter of authorization dated July 2, 2015 verifies that the enclosure meets the dimensional and access requirements for the hauler.

Staff notes that the applicant has already shown that the proposal meets the minimum standards method. Nonetheless, the franchise haulers review is good assurance of a practical design and accessibility by the hauler.

73.227(6)(a) Location Standards

(iv) Exterior storage areas shall not be located within a required front yard setback or in a yard adjacent to a public or private street.

(v) Exterior storage areas shall be located in central and visible locations on the site to enhance security for users.

(vi) Exterior storage areas can be located in a parking area, if the proposed use provides parking spaces required through the Architectural Review process.

(vii) Storage areas shall be accessible for collection vehicles and located so that the storage area will not obstruct pedestrian or vehicle traffic movement on site or on public streets adjacent to the site. Storage areas shall be accessible for collection vehicles and located so that the storage area will not obstruct pedestrian or vehicle traffic movement on site or on public streets adjacent to the site.

Applicant’s Response: The trash enclosure is located to the north of the building, in an area separated from the adjacent parking stalls and outside any required setback or yard. The trash enclosure plan was submitted to Republic Services and a letter of authorization verifies that the enclosure meets the dimensional and access requirements for the hauler, including signature on the proposed plan for the trash enclosure.

73.227(6)(b) Design Standards

(iii) Exterior storage areas shall be enclosed by a sight obscuring fence or wall at least 6 feet in height. In multi-family, commercial, public and semi-public developments evergreen plants shall be placed around the enclosure walls, excluding the gate or entrance openings. Gate openings for haulers shall be a minimum of 10 feet wide and shall be capable of being secured in a closed and open position. A separate pedestrian access shall also be provided in multi-family, commercial, public and semi-public developments.

Applicant's Response: As shown on the Site Plan and building elevations, the proposed trash enclosure area is dimensioned at approximately 24 ft wide by 12 ft deep, with walls 10 ft tall. Two sets of approximately 5 x 8 ft access doors are provided on the west side of the enclosure. The enclosure is constructed with 8" split-face CMU walls and the doors are provided with locking mechanisms in the form of drop rods. The base of the enclosure is designed with a stone fascia to improve overall aesthetic quality of the structure. The structure is also covered with a roof with wood trim. Access to the enclosure is provided by a separate access door and an adjacent pedestrian walkway.

Staff notes the proposed walls are scaled to 8 ft high and that the roof is scaled to 12.5 ft in the front and 10 ft in the rear. No evergreen screening for the trash enclosure is proposed. Staff has conditioned the applicant to meet this requirement.

Condition of Approval: The applicant shall revise site plans to provide adequate room for evergreen landscape screening and bike parking requirements as defined in TDC 73.370(1)(q). Landscape plans shall be revised to illustrate evergreen plants around the walls of the recycling and trash enclosure, excluding the gate or entrance openings. Applicant shall install these facilities to the revised plans.

73.227(6)(c) Access Standards

(i) Access to storage areas can be limited for security reasons. However, the storage areas shall be accessible to users at convenient times of the day, and to hauler personnel on the day and approximate time they are scheduled to provide hauler service.

(ii) Storage areas shall be designed to be easily accessible to hauler trucks and equipment, considering paving, grade, gate clearance and vehicle access. A minimum of 10 feet horizontal clearance and 8 feet vertical clearance is required if the storage area is covered.

(iii) Storage areas shall be accessible to collection vehicles without requiring backing out of a driveway onto a public street. If only a single access point is available to the storage area, adequate turning radius shall be provided to allow vehicles to safely exit the site in a forward motion.

Applicant's Response: Access to the enclosure is provided by an existing parking lot, as well as an adjacent pedestrian walkway connecting the enclosure with the restaurant. The front of the trash enclosure is 12.5 ft high, while the rear is 10 ft high. The front is accessed with two sets of doors, each set at approximately 12 ft wide. The interior of the enclosure is lit. The trash enclosure plan was submitted to Republic Services and a letter of authorization is provided to verify that the enclosure meets the dimensional and access requirements for the hauler, including signature on the proposed plan for the trash enclosure.

Staff notes the roof is 12.5 ft high in the front and 10 ft high in the rear. The requirement has been met.

J. Landscaping:

73.240(3) The minimum area requirement for landscaping for uses in CO, CR, CC, CG, ML and MG Planning Districts shall be fifteen (15) percent of the total area to be developed, except within the Core Area Parking District, where the minimum area requirement for landscaping shall be 10 percent. When a dedication is granted on the subject property for a greenway or natural area, the minimum area requirement for landscaping may be reduced by 2.5 percent from the minimum area requirement as determined through the AR process.

Applicant's Response: The approved Nyberg Rivers Master Plan (AR-13-17) included the restaurant pad associated with this application within its development boundary. The overall commercial development represented in the Master Plan, including the proposed restaurant site, exceeds the 15% minimum landscape area requirement. Therefore, the landscaping area proposed for the restaurant development is consistent with the master plan approval, for which the City has acknowledged compliance with the 15% minimum landscaping requirement.

As shown on the Landscape Planting Plan (Sheet L1.0), the overall landscape percentage provided for the proposed developed area is 4%.

Staff notes that the overall commercial center landscaping was reviewed and approved through AR13-07. The Nyberg Rivers site includes 27% landscaping which exceeds this requirement. The subject site will increase the commercial center landscaping from approximately 6.22 acres to 6.24 acres.

(9) Yards adjacent to public streets, except as described in the Hedges Creek Wetlands Mitigation Agreement, TDC 73.240(7), shall be planted to lawn or live groundcover and trees and shrubs and be perpetually maintained in a manner providing a park-like character to the property as approved through the Architectural Review process.

Applicant's Response: The yard adjacent to the Interstate-5 right-of-way is planted to be lawn with live groundcover, trees, and shrubs to create a park-like character. This area will also be planted with additional landscaping to provide screening between the trash enclosure area and areas to the east of the site.

Staff observes that this area is noted as being existing and not a part of this project on the Landscape Planting Plan. This area was landscaped as part of AR 13-07.

73.240(11) Any required landscaped area shall be designed, constructed, installed, and maintained so that within three years the ground shall be covered by living grass or other plant materials. (The foliage crown of trees shall not be used to meet this requirement.) A maximum of 10% of the landscaped area may be covered with unvegetated areas of bark chips, rock or stone.

Applicant's Response: All proposed landscape areas are designed and will be constructed and installed so that all ground will be covered by living grass and/or plant material within three years of installation.

Staff notes that Massachusetts Kinnickinnick and Rockspray Cotoneaster, will be planted in one gallon containers as the predominant ground cover. This is sufficient to meet the intent of the requirement.

73.250 Tree Preservation.

(1) Trees and other plant materials to be retained shall be identified on the landscape plan and grading plan.

(2) During the construction process:

(a) The owner or the owner's agents shall provide above and below ground protection for existing trees and plant materials identified to remain.

(b) Trees and plant materials identified for preservation shall be protected by chain link or other sturdy fencing placed around the tree at the drip line.

There are twenty trees within the ODOT right-of-way that are identified and marked for preservation on the tree preservation plan.

73.260 Tree and Plant Specifications

(1)(a) Deciduous shade and ornamental trees shall be a minimum one and one-half inch (1½") caliper measured six inches (6") above ground, balled and burlapped. Bare root trees will be accepted to plant during their dormant season. Trees shall be characteristically shaped specimens.

(1)(b) Coniferous trees shall be a minimum five feet (5') in height above ground, balled and burlapped. Bare root trees will be acceptable to plant during their dormant season. Trees shall be well branched and characteristically shaped specimens.

(1)(c) Shrubs. Evergreen and deciduous shrubs shall be at least one (1) to five (5) gallon size. Shrubs shall be characteristically branched. Side of shrub with best foliage shall be oriented to public view.

(1)(d) Groundcovers shall be fully rooted and shall be well branched or leafed. English ivy (Hedera helix) is considered a high maintenance material, which is detrimental to other landscape materials and buildings and is therefore prohibited.

Applicant's Response: The Landscape Plan provided (Sheet L1.0) includes a legend that specifies the species size and caliper of all the proposed new plant material.

Staff notes the Landscape Plan lists:

(a) Jaquemonti Birch (3" cal) which meets the requirement

(b) Hogan Western Cedar (6' ht) which meets the requirement

(c) A variety of one to five gallon shrubs including: Douglas Spiraea, Wood's Rose, and Parney Cotoneaster which meets the requirement

(d) Massachusetts Kinnickinnick and Rockspray Cotoneaster which meet the requirement.

73.280 Irrigation System Required

Except for townhouse lots, landscaped areas shall be irrigated with an automatic underground or drip irrigation system.

Applicant's Response: All landscape areas shown on the Landscape Plan (Sheet L1.0) will be irrigated with an automatic drip irrigation system.

Condition of Approval: Provide an irrigation plan prior to on-site work.

Section 73.290 Re-vegetation in Unlandscaped Areas

(1) Where vegetation has been removed or damaged in areas not affected by the landscaping requirements and that are not to be occupied by structures or other improvements, vegetation shall be replanted.

The applicant has included a note on the Grading Plan (Sheet C4.0) stating plants affected by grading will be hand dug, stockpiled, and replanted once grading is complete. This standard is met.

(2) Plant materials shall be watered at intervals sufficient to ensure survival and growth for a minimum of two growing seasons.

The applicant has included a note on the Landscaping Plan (Sheet L1.0) stating landscape areas shall have a complete underground automatic irrigation system with full head to head coverage. This standard is met.

(3) The use of native plant materials is encouraged to reduce irrigation and maintenance demands.

Native plants including: Douglas Spiraea, Woods' Rose, and Pacific Ninebark are proposed for use throughout the landscaped areas (Sheet L1.0). This standard is met.

(4) Disturbed soils should be amended to an original or higher level of porosity to regain infiltration and stormwater storage capacity.

The applicant has included a note on the Grading Plan (Sheet C4.0) stating plants topsoil is to be restored to exposed cut and fill areas to provide a suitable based for seeding and planting. This standard is met.

73.310(1) A minimum 5-foot-wide landscaped area must be located along all building perimeters, which are viewable by the general public from parking lots or the public right-of-way, excluding loading areas, bicycle parking areas and pedestrian egress/ingress locations. Pedestrian amenities such as landscaped plazas and arcades may be substituted for this requirement. This requirement shall not apply where the distance along a wall between two vehicle or pedestrian access openings (such as entry doors, garage doors, carports and pedestrian corridors) is less than 8 feet.

Staff notes that this requirement is satisfied on the south face of the building where the applicant is proposing a 10 ft wide landscaped area and porch area. The applicant has proposed 3.5 wide landscape strip on the west building face with one green screen proposed as amenity substitution. No landscaping is shown on the north or east building faces. A loading area and bicycle parking area is located to the north, excluding this requirement for the north elevation. Three green screens are proposed on the east elevation that faces I-5. No further landscaping is proposed on the eastern elevation. To meet this requirement staff has conditioned the applicant to provide additional landscape amenities.

Condition of Approval: Applicant shall revise landscape plan to provide additional screening or amenity on the north elevation and provide approved groundcover and shrubs or a bioswale landscaping landscaping in strip along east elevation. Applicant shall install landscaping according to revised plans.

73.310(2) Areas exclusively for pedestrian use that are developed with pavers, bricks, etc., and contain pedestrian amenities, such as benches, tables with umbrellas, children’s play areas, shade trees, canopies, etc., may be included as part of the site landscape area requirement.

Staff notes that the applicant is proposing a porch area on the south side of the building and that the building faces an existing pedestrian plaza with firepit that is a part of the larger Nyberg Rivers development.

73.310(3) All areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas or undisturbed natural areas shall be landscaped.

Applicant’s Response: All areas within the limit of work that are not occupied by buildings, parking spaces, drive aisles, pedestrian area or undisturbed natural areas are planned to be landscaped with new plantings. The landscape plan includes both deciduous and coniferous trees, shrubs and groundcover to occupy all remaining areas not summarized above.

Staff notes this requirement has been met.

73.340(1) A clear zone shall be provided for the driver at ends of on-site drive aisles and at driveway entrances, vertically between a maximum of 30 inches and a minimum of 8 feet as measured from the ground level, except for parking structures and underground parking, where this provision shall not apply.

It has been noted that the applicant is to maintain vegetation to these specifications.

73.340 Off-Street Parking Lot and Loading Area Landscaping - Commercial... Uses

The criteria under this section was approved and constructed with AR-13-07 for the Nyberg Rivers Shopping Center.

73.360 Off Street Parking Lot Landscaping Islands- Commercial... Uses

The criteria under this section was approved and constructed with AR-13-07 for the Nyberg Rivers Shopping Center.

K. Tree Removal:

73.050(4) As part of Architectural Review, the property owner may apply for approval to cut trees in addition to those allowed in TDC 34.200. The granting or denial of a tree-cutting permit shall be based on the criteria in TDC 34.230.

34.230 The Community Development Director shall consider the following criteria when approving, approving with conditions, or denying a request to cut trees.

- (1) **The Community Development Director may approve a request to cut a tree when the applicant can satisfactorily demonstrate that any of the following criteria are met:**
- (a) **The tree is diseased, and**
 - (i) **The disease threatens the structural integrity of the tree; or**
 - (ii) **The disease permanently and severely diminishes the aesthetic value of the tree; or**
 - (iii) **The continued retention of the tree could result in other trees being infected with a disease that threatens either their structural integrity or aesthetic value.**
 - (b) **The tree represents a hazard, which may include but not be limited to:**
 - (i) **The tree is in danger of falling;**
 - (ii) **Substantial portions of the tree are in danger of falling.**
 - (c) **It is necessary to remove the tree to construct proposed improvements based on Architectural Review approval, building permit, or approval of a Subdivision or Partition Review.**

All tree removal for the subject site was approved through AR-13-07 and has already occurred. Staff notes that the applicant has submitted a Tree Preservation Plan (Sheet C3.0).

L. Grading:

73.270(1) After completion of site grading, topsoil is to be restored to exposed cut and fill areas to provide a suitable base for seeding and planting.

The applicant has included a note on the Grading Plan (Sheet C4.0) stating plants topsoil is to be restored to exposed cut and fill areas to provide a suitable base for seeding and planting. This standard is met.

73.270(4) Impervious surface drainage shall be directed away from pedestrian walkways, dwelling units, buildings, outdoor private and shared areas and landscape areas except where the landscape area is a water quality facility.

Site infrastructure was approved and installed through AR-13-07. The storm drainage system has been designed so water is directed away from walkways, buildings and landscape areas (not intended for storm water detention or water quality), which meets the requirement.

M. Bicycle Parking, Off-Street Parking and Loading:

73.370(1)

- (n) **Bicycle parking facilities shall either be lockable enclosures in which the bicycle is stored, or secure stationary racks, which accommodate a bicyclist's lock securing the frame and both wheels.**
- (o) **Each bicycle parking space shall be at least 6 feet long and 2 feet wide, and overhead clearance in covered areas shall be at least 7 feet, unless a lower height is approved through the Architectural Review process.**
- (r) **Required bicycle parking shall be located in convenient, secure, and well lighted locations approved through the Architectural Review process.**
- (s) **Bicycle parking facilities may be provided inside a building in suitable secure and accessible locations.**
- (u) **Bicycle parking areas and facilities shall be identified with appropriate signing as specified in the *Manual on Uniform Traffic Control Devices (MUTCD)* (latest edition). At a minimum, bicycle parking signs shall be located at the main entrance and at the location of the bicycle parking facilities.**

Bicycle parking for the entire Nyberg Rivers site was reviewed and approved through AR-13-07. The Cracker Barrel site was determined to provide a trash enclosure with 12 hanging bike racks. The applicant has demonstrated that 12 hanging bike racks will be provided on the Dumpster Enclosure Plan (Sheet D-1). Bicycle parking is proposed to be covered and signage is noted on the submitted Site Plan. This requirement has been met.

Off-Street Vehicle Parking:

73.370(2)(a): The following are the minimum and maximum requirements for off-street motor vehicle parking in the City...

USE	MINIMUM REQUIREMENT	MAXIMUM REQUIREMENT	BICYCLE REQUIREMENT	PERCENTAGE COVERED
(iii) Shopping center (over 100,000 sq. ft. of gross floor area)	4.1 spaces per 1,000 sq. ft. of gross floor area	Zone A: 5.1 spaces per 1,000 sq. ft. gross floor area Zone B: 6.2 spaces per 1,000 sq. ft. gross floor area	0.50 space per 1,000 sq. ft. of gross floor area	50

The overall Nyberg Rivers commercial center parking requirements were determined based on a shopping center use under AR-13-07. Parking for the site is existing with 1,316 stalls total throughout Nyberg Rivers. While there was one public comment recorded regarding a lack of parking at certain shops in Nyberg Rivers, there are approximately 75 existing parking stalls near the proposed Cracker Barrel. No additional parking is being proposed as part of this application.

73.380

(1) Off-street parking lot design shall comply with the dimensional standards set forth in Figure 73-1 of this section.

Applicant's Response: All existing standard parking stalls associated with this development are dimensioned at 9' wide by 19' long to meet the dimensional standards set forth in Figure 73-1.

(2) Parking stalls for sub-compact vehicles shall not exceed 35 percent of the total parking stalls required by Section 73.370(2). Stalls in excess of the number required by TDC 73.370(2) can be sub-compact stalls.

Applicant's Response: All existing compact parking stalls associated with this development are dimensioned at 7.7' wide by 16' long to meet the compact parking dimensional standards.

(3) Off-street parking stalls shall not exceed eight continuous spaces in a row without a landscape separation.

Applicant's Response: As shown on the attached Site Plan (Sheet C2.0), no section of parking stalls exceed eight continuous stalls in a row without a landscape separation.

(4) Parking lot drive aisles shall be constructed of asphalt or concrete, including pervious concrete. Parking stalls shall be constructed of asphalt or concrete, or a pervious surface such as pavers or grasscrete, but not gravel or woody material. Drive aisles and parking stalls shall be maintained adequately for all-weather use and drained to avoid water flow across sidewalks.

Applicant's Response: All parking lot drive aisles are constructed of asphalt.

(6) Artificial lighting, which may be provided, shall be deflected to not shine or create glare in a residential planning district, an adjacent dwelling, street right-of-way in such a manner as to impair the use of such way or a Natural Resource Protection Overlay District, Other Natural Areas identified in Figure 3-4 of the Parks and Recreation Master Plan, or a Clean Water Services Vegetated Corridor.

Applicant's Response: All existing and proposed lighting will deflect to the interior of the site to limit shine or glare into adjacent properties and street right-of-ways.

No residential uses are located adjacent to the subject site. However the applicant has submitted cut sheets for four styles of full-cut off or fully-shielded light fixtures.

73.380(7) Groups of more than 4 parking spaces shall be so located and served by driveways that their use will require no backing movements or other maneuvering within a street right-of-way other than an alley.

The existing parking meets the requirement.

(8) Service drives to off-street parking areas shall be designed and constructed to facilitate the flow of traffic, provide maximum safety of traffic access and egress, and maximum safety for pedestrians and vehicular traffic on the site.

Applicant's Response: All parking areas associated with this development will be served by an existing drive aisle located on the west side of the building and parking areas. This drive aisle was constructed as a part of the Nyberg Rivers commercial center.

(9) Parking bumpers or wheel stops or curbing shall be provided to prevent cars from encroaching on the street right-of-way, adjacent landscaped areas, or adjacent pedestrian walkways.

Applicant's Response: All parking adjacent to landscaped areas and pedestrian walkways feature curbs to prevent cars from encroaching into the landscaping and pedestrian pathways.

(10) Disability parking spaces and accessibility shall be provided in accordance with applicable federal and state requirements.

Four ADA compliant parking spaces are provided at the south side of the building as shown on the Site Plan (Sheet C2.0).

(11) On-site drive aisles without parking spaces, which provide access to parking areas with regular spaces or with a mix of regular and sub-compact spaces, shall have a

minimum width of 22 feet for two-way traffic and 12 feet for one-way traffic. On-site drive aisles without parking spaces, which provide access to parking areas with only sub-compact spaces, shall have a minimum width of 20 feet for two-way traffic and 12 feet for oneway traffic.

Applicant's Response: The on-site drive aisle located west of the building and parking area does not have associated parking spaces and is 30 ft wide to meet the minimum requirement.

**N. Loading Berths:
73.390**

(1) The minimum number of off-street loading berths for commercial, industrial, public and semi-public uses is as follows:

<u>Square Feet of Floor Area</u>	<u>Number of Berths</u>
5,000 - 25,000	1

Applicant's Response: The proposed floor area of the commercial building is 10,112 sq ft. Therefore, one (1) loading berth is required. The loading berth is located on the north side of the building as shown on Sheet C2.0.

(2) Loading berths shall conform to the following minimum size specifications:

(b) Commercial uses - 12' x 25'

(c) Berths shall have an unobstructed height of 14'

(d) Loading berths shall not use the public right-of-way as part of the required off-street loading area.

Applicant's Response: The dimensions of the loading berth are 16 ft wide by 75 ft long, thereby meeting the minimum size specification of 12 ft by 25 ft for commercial uses. Staff notes the requirement has been met.

(3) Required loading areas shall be screened from public view from public streets and adjacent properties by means of sight-obscuring landscaping, walls or other means, as approved through the Architectural Review process.

Applicant's Response: The loading area is screened from public view by sight-obscuring landscaping as shown on Sheet L1.0. Landscape trees along the northeast corner of the site screen the loading area from views from the I-5 public right-of-way. The development area is part of tax lot 3100, and the loading berth is not visible from properties adjacent to tax lot 3100.

Staff notes that the loading area will be visible from LA Fitness and Cabela's. Additionally, the proposed landscape screening on the northeast corner consists of Tall Oregon Grape Holly and provides some screening from the I-5 corridor. There is an existing landscaped parking island adjacent to the proposed loading berth area. A green screen is proposed on the north side of the building, west of the loading area. The applicant has been conditioned to provide an additional green screen on this elevation in 73.310(1).

Condition of Approval: Applicant shall revise landscape plan to provide an additional green screen on the north elevation [and provide approved groundcover and shrubs in strip along east elevation]. Applicant shall install landscaping according to revised plans.

O. Access:

73.400

(1) The provision and maintenance of vehicular and pedestrian ingress and egress from private property to the public streets as stipulated in this Code are continuing requirements for the use of any structure or parcel of real property in the City of Tualatin. Access management and spacing standards are provided in this section of the TDC and TDC Chapter 75. No building or other permit shall be issued until scale plans are presented that show how the ingress and egress requirement is to be fulfilled. If the owner or occupant of a lot or building changes the use to which the lot or building is put, thereby increasing ingress and egress requirements, it shall be unlawful and a violation of this code to begin or maintain such altered use until the required increase in ingress and egress is provided.

Applicant's Response: Ingress and egress from private property to the public streets were addressed and designed as a part of the Nyberg Rivers commercial center. This proposed development connects to the existing internal drive aisles that then connect to the ingress/egress at SW Nyberg Street, a public street.

Staff notes that the existing drive aisles were reviewed and approved through AR 13-07. The 30 ft wide drive aisle is shared with Red Robin to the south and LA Fitness to the north. Delivery trucks also use this drive aisle to navigate to loading areas within the commercial center.

(16) Vision Clearance Area.

(c) Vertical Height Restriction - Except for items associated with utilities or publicly owned structures such as poles and signs and existing street trees, no vehicular parking, hedge, planting, fence, wall structure, or temporary or permanent physical obstruction shall be permitted between 30 inches and 8 feet above the established height of the curb in the clear vision area (see [Figure 73-2](#) for illustration).

Staff has included a note on this decision that site landscaping and street trees shall be maintained to meet the vision clearance requirements of 73.400(16).

P. Signs:

Except code required signs for street number, disabled parking and car/vanpool, no signs are proposed by this application and none are approved. The applicant shall submit separate [sign permit](#) applications for any future signage.

Q. Time Limit on Approval:

73.056 Architectural Review approvals shall expire after two years unless:

- (1) A building, or grading permit submitted in conjunction with a building permit application, has been issued and substantial construction pursuant thereto has taken place and an inspection performed by a member of the Building Division; or**
- (2) The Architectural Review (AR) applicant requests in writing an extension and the City approves it. If the Community Development Director and City Engineer or their designees approved the AR. then the Community Development Director and City Engineer shall decide upon the extension request. If the Architectural Review Board (ARB) approved the AR. then the ARB shall decide upon the extension request. The**

applicant shall provide notice of extension request to past recipients of the AR notice of application and post a sign pursuant to TDC 31.064. Before approving an extension, the deciding party shall find the request meets these criteria:

- (a) The applicant submitted a written extension request prior to the original expiration date.**
- (b) There have been no significant changes in any conditions, ordinances, regulations or other standards of the City or applicable agencies that affect the previously approved project so as to warrant its resubmittal for AR.**
- (c) If the previously approved application included a special study, the applicant provided with the extension a status report that shows no significant changes on the site or within the vicinity of the site. A letter from a recognized professional also would satisfy this criterion if it states that conditions have not changed after the original approval and that no new study is warranted.**
- (d) If the AR applicant neglected site maintenance and allowed the site to become blighted, the deciding party shall factor this into its decision.**
- (e) The deciding party shall grant no more than a single one-year extension for an AR approval.**
- (f) If the Community Development Director and City Engineer or their designees are the deciding party, then they shall decide within thirty (30) days of receipt of the request. If the ARB is the deciding party, then the ARB shall decide within sixty (60) days of receipt of the request. If the deciding party fails to decide within the applicable time period, the decision shall default to approval.**

IV. APPEAL

The Architectural Review portion of this decision will be final after 14 calendar days on **April 7, 2016** unless a written appeal is received by the **Community Development Department – Planning Division at 18880 Martinazzi Avenue, Tualatin, Oregon 97062 before 5:00 p.m., April 6, 2016.** **The appeal must be submitted on the City appeal form with all the information requested provided thereon and signed by the appellant.** The plans and appeal forms are available at the Tualatin Library and at the Community Development Department – Planning Division offices. Appeals of a staff Architectural Features decision are reviewed by the Architectural Review Board (ARB).

Submitted by:



Erin Engman
Temporary Assistant Planner

Issued by:



Aquilla Hurd-Ravich
Planning Manager

Attachments:

- 101. Site Plans and Elevations
- 102. Additional Application Materials
- 103. Agency Comments: CWS, TVF&R

CRACKER BARREL - TUALATIN

PREPARED FOR:
LD. REEVES AND ASSOCIATES, INC.
CITY OF TUALATIN, OREGON
SW NYBERG STREET, TUALATIN, OREGON 97062
DEVELOPMENT REVIEW

PROJECT TEAM

DEVELOPER

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SURVEYOR

CARDNO
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ARCHITECT

DESIGN AND ENGINEERING, INC.
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1645 WESTGATE CIRCLE
BRENTONWOOD, TN 37027
PHONE: (615) 370-1779
FAX: (615) 370-9108

DATUM:

WASHINGTON COUNTY BENCHMARK NO. 922
A 3" BRASS DISK SET IN CONCRETE CURB AT THE
SOUTHEAST CORNER OF THE INTERSECTION OF SW
BOONES FERRY ROAD AND SW TUALATIN ROAD.
ELEVATION = 122.154'

BASIS OF BEARINGS:

BASIS OF BEARINGS S 00°01'11" W ALONG THE EAST LINE OF
SUBJECT PROPERTY WAS DERIVED PER PARTITION PLAT NO.
1998-133. ALSO RECORDED AS DOCUMENT #98118946

UNDERGROUND ACCURACY STATEMENT

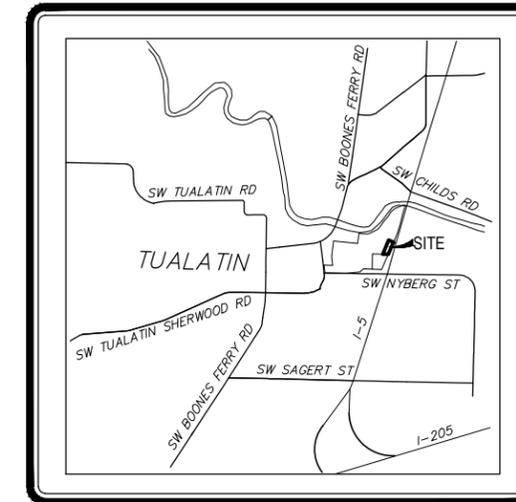
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED
FROM FIELD SURVEY INFORMATION AND EXISTING
DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT
THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH
UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT
LOCATION INDICATED, ALTHOUGH WE CERTIFY THAT THEY
ARE LOCATED AS ACCURATELY AS POSSIBLE FROM
INFORMATION AVAILABLE. DUE TO THE HAZARDOUS NATURE
AND APPLICABLE OSHA REQUIREMENTS REGARDING
CONFINED SPACES, IT IS CARDNO POLICY TO NOT SEND
FIELD STAFF INTO UTILITY MANHOLES TO RETRIEVE DEPTH
AND SIZE INFORMATION. INFORMATION SHOWN HEREON IS
SUBJECT TO AN UNCERTAINTY IN ACCURACY DEPENDING ON
DEPTH, SIZE, FLOW, AND CONSTRUCTION OF MANHOLES.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE
UNDERGROUND UTILITY LINES.

SITE INFORMATION:

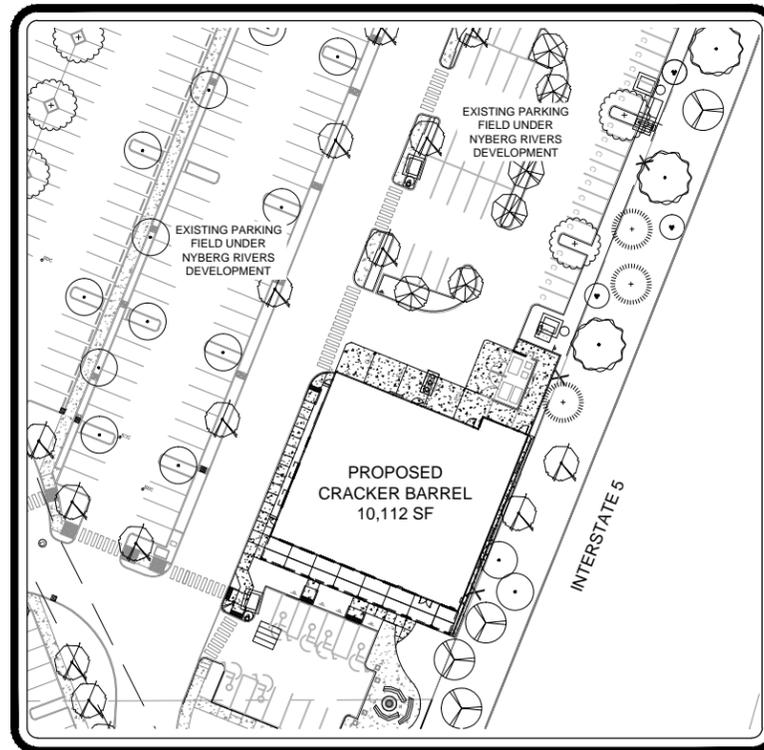
LOCATED WEST OF I-5 AND NORTH OF NYBERG STREET.
LOCATED IN NE QUARTER OF SECTION 24, TOWNSHIP 2
SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF
TUALATIN, WASHINGTON COUNTY, OREGON.

SHEET INDEX

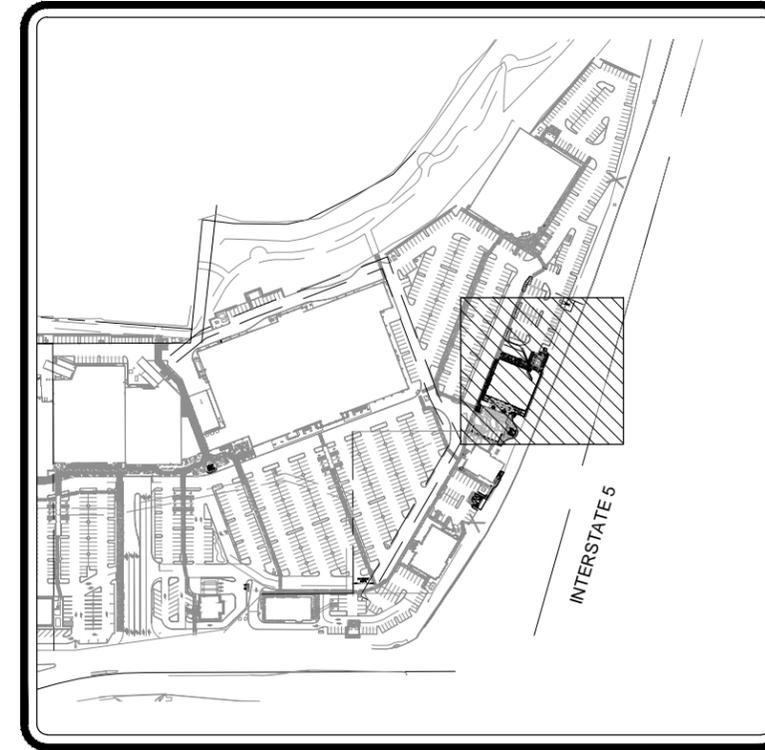
CIVIL ENGINEERING PLANS	
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C0.2	OVERALL PROJECT PLAN
C1.0	EXISTING CONDITIONS PLAN
C2.0	SITE PLAN
C3.0	TREE PRESERVATION PLAN
C3.1	TREE TABLE
C4.0	GRADING PLAN
C4.1	GRADING ENLARGEMENTS
C5.0	UTILITY PLAN
C6.0	DETAILS
C6.1	DETAILS
C6.2	DETAILS
C6.3	DETAILS
LANDSCAPE PLANS	
L1.0	LANDSCAPE PLAN
ARCHITECTURAL PLANS	
001	SOUTH-WEST ELEVATION (FULL COLOR)
002	NORTH-EAST ELEVATION (FULL COLOR)
003	SOUTH-NORTH ELEVATION
004	WEST-EAST ELEVATION
D-1	DUMPSTER ENCLOSURE
D-1	DUMPSTER ENCLOSURE (FULL COLOR)
D-2	DUMPSTER ENCLOSURE
LIGHTING PLANS	
ES1	PHOTOMETRIC PLAN
ES2	LIGHTING CUT SHEETS
ES3	LIGHTING CUT SHEETS



VICINITY MAP
SCALE: NTS



SITE
SCALE: NTS



KEY MAP
SCALE: NTS

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU
TO FOLLOW RULES ADOPTED BY THE
OREGON UTILITY NOTIFICATION CENTER.
THOSE RULES ARE SET FORTH IN OAR
952-001-0010 THROUGH OAR
952-001-0090. YOU MAY OBTAIN
COPIES OF THE RULES BY CALLING THE
CENTER.
(NOTE: THE TELEPHONE NUMBER FOR
THE OREGON UTILITY NOTIFICATION
CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.

Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS	
M-F 7am-6pm	503-226-4211 Ext.4313
AFTER HOURS	503-226-4211
PGE	503-464-7777
QWEST	1-800-573-1311
CITY BUREAU OF MAINTENANCE	503-823-1700
CITY WATER	503-823-4874
VERIZON	1-800-483-1000



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TUALATIN, OREGON
COVER SHEET

PROJECT 21503970
DATE 01/11/2016

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SHEET

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GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A CITY BUSINESS LICENSE IS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE LOCATIONS, DEPTH, AND DESCRIPTION OF EXISTING UTILITIES SHOWN WERE COMPILED FROM AVAILABLE RECORDS AND/OR SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA. OREGON LAW REQUIRES THAT THE RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER BE FOLLOWED. THOSE RULES ARE SET FORTH IN OAR 852-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER OR ACCESSING VIA INTERNET AT WWW.STATE.OR.US/GOVERNME.HTM CALL BEFORE YOU DIG - PORTLAND METRO AREA 503-246-6899.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED UTILITIES USING MATERIALS AND METHODS APPROVED BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.
- ALL WATERLINE CROSSINGS SHALL BE IN CONFORMANCE WITH OAR CHAPTER 333. THE CITY MAY REQUIRE MORE STRINGENT STANDARDS. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND CITY OF TUALATIN ENGINEERING STAFF 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION AND 24 HOURS BEFORE RESUMING WORK AFTER SHUTDOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING A SATURDAY, SUNDAY, OR HOLIDAY.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL, AND OTHER MATERIAL IN THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT "REDLINE DRAWINGS" TO
- PROJECT ENGINEER FOR PREPARATION OF RECORD DRAWINGS. "REDLINE DRAWINGS" DOCUMENT ALL DEVIATIONS AND REVISIONS TO THE APPROVED PLANS; THEY ALSO RECORD A DESCRIPTION OF CONSTRUCTION MATERIALS ACTUALLY USED (PIPE MATERIAL, ETC.). FROM THE INFORMATION CONTAINED FROM THESE REDLINE DRAWINGS, AS WELL AS ANY NOTES RECORDED BY THE PROJECT ENGINEER, THE PROJECT ENGINEER SHALL PREPARE AND SUBMIT RECORD DRAWINGS (ON 4 MIL MYLAR). RECORD DRAWINGS ARE REQUIRED FOR ANY PUBLIC IMPROVEMENTS, AS WELL AS FOR ANY (PUBLIC OR PRIVATE) STORM WATER QUANTITY OR QUALITY CONTROL FACILITY. CITY ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS ARE TIED TO THE SUBMITTAL OF THESE RECORD DRAWINGS. CAD GENERATED PLANS SHALL ALSO HAVE ELECTRONIC RECORD DRAWINGS SUBMITTED TO THE CITY IN COMPLIANCE WITH THE DIGITAL MAPPING REQUIREMENTS. CONTRACTOR SHALL ERRECT AND MAINTAIN TRAFFIC CONTROL PER THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", PART VI, CONSTRUCTION AND MAINTENANCE, AS ADOPTED AND MODIFIED BY ODOT. SHOULD WORK BE IN AN EXISTING PUBLIC RIGHT OF WAY THAT ARE OPEN TO TRAFFIC, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE CITY, COUNTY, STATE, AND PORT PERSONNEL FOR APPROVAL. APPROVALS SHALL BE OBTAINED PRIOR TO START OF WORK. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE
- WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, APPLICABLE AGENCY REQUIREMENTS AND OTHER WORK AS NECESSARY TO PROVIDE A COMPLETE PROJECT.
- THERE SHALL BE NO ALTERATION OR VARIANCE FROM THE APPROVED PLANS. THE MINIMUM SUBMITTAL REQUIREMENTS FOR PLAN REVISIONS ARE AS FOLLOWS; PLAN REVISIONS SHALL BE SUBMITTED ON AN 8 1/2" X 11" SHEET (MINIMUM), PLAN REVISION SHALL BE WET STAMPED AND SIGNED BY PROJECT ENGINEER, ANY REQUIRED ENGINEERING CALCULATIONS, OR OTHER AGENCY APPROVALS, SHALL BE INCLUDED WITH THE SUBMITTAL REVISION. UPON APPROVAL OF THE SUBMITTED REVISIONS, THE CITY ENGINEER SHALL AFFIX AN APPROVED STAMP TO THE REVISED PLAN SKETCH AND THE PLAN SHALL BE RETURNED TO THE PROJECT ENGINEER. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO DISTRIBUTE THE APPROVED PLAN REVISION TO ALL PARTIES TO WHOM THE ORIGINAL APPROVED PLANS WERE ISSUED. ALL APPROVED REVISION SHALL BE AFFIXED TO THE CONSTRUCTION FIELD PRINTS (ALSO KNOWN AS THE CONTRACTOR'S "REDLINE DRAWINGS").
- CONTRACTOR SHALL PROVIDE EFFECTIVE EROSION PROTECTION TO INCLUDE, BUT NOT LIMIT TO, GRADING, DITCHING, HAY BALES, SILT FENCING, AND SEDIMENT BARRIERS TO MINIMIZE EROSION AND IMPACT TO ADJACENT PROPERTY. SEE EROSION AND SEDIMENT CONTROL NOTES AND PLAN.
- OPEN TRENCHES SHALL BE STRICTLY LIMITED TO A MAXIMUM OF 100 LINEAR FEET WITHIN STREET RIGHT-OF-WAY UNLESS LIMITED TO A LESSER AMOUNT BY PERMIT. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS TO ALL AFFECTED PROPERTIES.
- ANY PAVEMENT DISTORTION CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE TEMPORARILY REPAIRED SAME DAY OF OCCURRENCE (OR IN A TIME PERIOD AGREED TO WITH THE CITY INSPECTOR), USING COLD OR HOT AC MIX. OWNER/CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REPAIRED AREAS UNTIL CITY FINAL ACCEPTANCE IS GRANTED.
- IF GROUND WATER SPRINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE PROJECT ENGINEER. THE PROJECT ENGINEER SHALL DIRECT THE CONTRACTOR TO TAKE MEASURES TO ENSURE THAT WATER IS NOT CONVEYED THROUGH THE UTILITY TRENCHES AND THE NATURAL FLOW PATH OF THE SPRING IS ALTERED AS LITTLE AS PRACTICABLE. THE PROJECT ENGINEER SHALL SUBMIT A REPORT SUMMARIZING THE FINDING TO THE CITY. IMPACTS AND MITIGATION SHALL BE ADDRESSED FOR THE CITY APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE
- THE START OF WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE PLANS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTED TO THE PROJECT ENGINEER FOR CLARIFICATION OR CORRECTION. ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY, PORT OF PORTLAND, OR PROJECT
- ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS AND PROJECT CONTRACT DOCUMENTS.
- PROJECT PLANS SHALL ALWAYS HAVE AN ENGINEER OF RECORD PERFORMING THE FUNCTION OF PROJECT ENGINEER. IF THE PROJECT ENGINEER IS CHANGED DURING THE COURSE OF THE WORK, THE CITY SHALL BE NOTIFIED IN WRITING AND THE WORK SHALL BE STOPPED UNTIL REPLACEMENT ENGINEER HAS AGREED TO ACCEPT THE RESPONSIBILITY OF THE PROJECT ENGINEER. THE NEW PROJECT ENGINEER SHALL PROVIDE WRITTEN NOTICE OF ACCEPTING PROJECT RESPONSIBILITY TO THE CITY WITHIN 72 HOURS OF ACCEPTING THE POSITION AS PROJECT ENGINEER. 21. THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION. EXCAVATORS MUST COMPLY WITH THE PROVISIONS OF ORA 757.541 THRU 757.571.

GRADING AND EROSION CONTROL CONSTRUCTION NOTES

- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT, ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

WATER CONSTRUCTION NOTES

- ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF TUALATIN STANDARD CONSTRUCTION SPECIFICATIONS & DRAWINGS AND THE UNIFORM PLUMBING CODE.
- MECHANICAL JOINT FITTINGS SHALL CONFORM TO AWWA C110 AND SHALL BE OF A CLASS AT LEAST EQUAL TO THAT OF THE ADJACENT PIPE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY PRESSURE AND LEAKAGE TESTS ON ALL WATER LINES PER CITY OF TUALATIN STANDARDS.
- ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED PER CITY OF TUALATIN STANDARDS.
- PRIOR TO BEING PLACED IN SERVICE, THE WATER LINES AND SERVICES SHALL BE FLUSHED, STERILIZED, AND TESTED, ALL IN ACCORDANCE WITH CITY OF TUALATIN STANDARDS AND THE UNIFORM PLUMBING CODE BY THE CONTRACTOR.
- TUALATIN VALLEY WATER DISTRICT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WATER LINE CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30" COVER OVER THE WATER LINE.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- WATERLINE SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE FROM SEWER LINE AT ALL TIMES.

PRIVATE UTILITY CONSTRUCTION NOTES

- CUSTOMER IS RESPONSIBLE FOR ALL TRENCH, CONDUIT, VAULTS, PADS, AND ROAD CROSSINGS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 36" COVER OVER CONDUITS.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITIES PRIOR TO CONSTRUCTION OR EXCAVATION.
- ALL CONDUIT MUST BE INSPECTED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO BACKFILL.
- ALL CONDUIT SHALL BE PVC SCHEDULE 40.
- ALL CONDUIT SWEEPS SHALL BE A MIN OF 48" RADIUS.
- 3' OF HORIZONTAL CLEARANCE IS REQUIRED FROM ALL WATER, SEWER, GAS, AND IRRIGATION LINES.
- A 1/4" PULL ROPE RATED FOR 500 LBS. SHALL BE INSTALLED IN EACH CONDUIT BY CONTRACTOR.
- ALL RUNS EXCEEDING 150' IN LENGTH REQUIRE FIBER SWEEPS.

STORM DRAINAGE CONSTRUCTION NOTES

- ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE REQUIREMENTS OF THE UNIFORM PLUMBING CODE, AND THE APPLICABLE REQUIREMENTS OF THE CITY OF TUALATIN.
- NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. (EXCEPT IN AREAS WHERE DIP IS SPECIFIED). THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
- RIM ELEVATIONS OF MANHOLES AND CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE. FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
- ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.
- CHANGES IN DIRECTION OF DRAINAGE PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
- INLET AND OUTLET CONNECTIONS SHALL BE MADE BY THE USE OF A FLEXIBLE COMPRESSION JOINT NO CLOSER THAN 12" AND NO FURTHER THAN 36" FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINT SHALL BE EMBEDDED IN THE MANHOLE BASE. MANHOLES SHALL HAVE A SMOOTH, UNIFORM WATERWAY WITH CHANGES OF DIRECTION MADE WITH THE APPROPRIATE SWEEP OFFSET AS PER THE OREGON PLUMBING SPECIALTY CODE. OPEN-GRATE LIDS WILL NOT BE ALLOWED ON ANY MANHOLE.

SANITARY SEWER CONSTRUCTION NOTES

- SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF TUALATIN, PORT OF PORTLAND, ODOT AND THE UNIFORM PLUMBING CODE. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC PIPE CONFORMING TO ASTM SPECIFICATION D3034 (SDR-35), UNLESS NOTED OTHERWISE.
- NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS AND DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES. LATERALS SHALL BE INSTALLED AT A MIN. 2% SLOPE UNLESS NOTED ON THE PLANS
- HYDROSTATIC AND AIR TESTING OF SANITARY LINES AND MANHOLES SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- FINISHED RIM ELEVATIONS OF CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE. FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
- PIPE BEDDING AND BACKFILL SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS.
- SANITARY SEWER CLEANOUT CONSTRUCTION SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF TUALATIN STANDARDS.
- A MINIMUM OF TWO FEET (2) HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER LINES AND SANITARY AND STORM MANHOLES. ALL CONSTRUCTION MUST MEET DEQ AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
- ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.

GENERAL DEMOLITION NOTES

- NOTIFY ENGINEER FIVE (5) BUSINESS DAYS BEFORE COMMENCEMENT OF WORK.
- LOCATION OF EXISTING UTILITIES ARE BASED UPON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF GRADING (1-800-332-2344).
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF OSHA.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY ALL APPROPRIATE CODES, LAWS AND REGULATIONS THAT GOVERN CONSTRUCTION WITHIN THE CITY OF TUALATIN.
- THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO CONSTRUCTION DOCUMENTS AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION. CONCEALED CONSTRUCTION WITHOUT THE REQUIRED EXPOSURE SHALL BE SUBJECT TO INSPECTION AT THE CONTRACTOR'S EXPENSE.
- SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND WHAT IS REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON GRADED SLOPES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.
- DEMOLISH/REMOVAL NOT SPECIFICALLY LISTED, BUT REQUIRED TO COMPLETE SITE/UTILITY AND GRADING PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE AND RECYCLED/DISPOSED OF ACCORDING TO LOCAL REGULATIONS.

REV	DATE	DESCRIPTION



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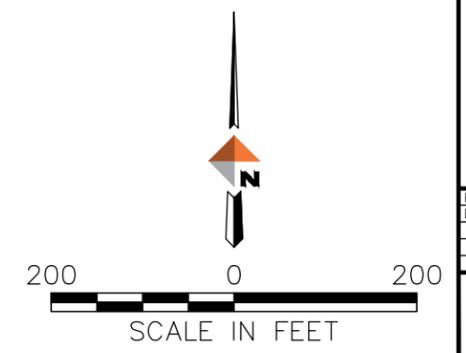
CRACKER BARREL - NYBERG RIVERS
 TUALATIN, OREGON
 GENERAL NOTES

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
 MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503970
 DATE 01/11/2016

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REV	DATE	DESCRIPTION	BY



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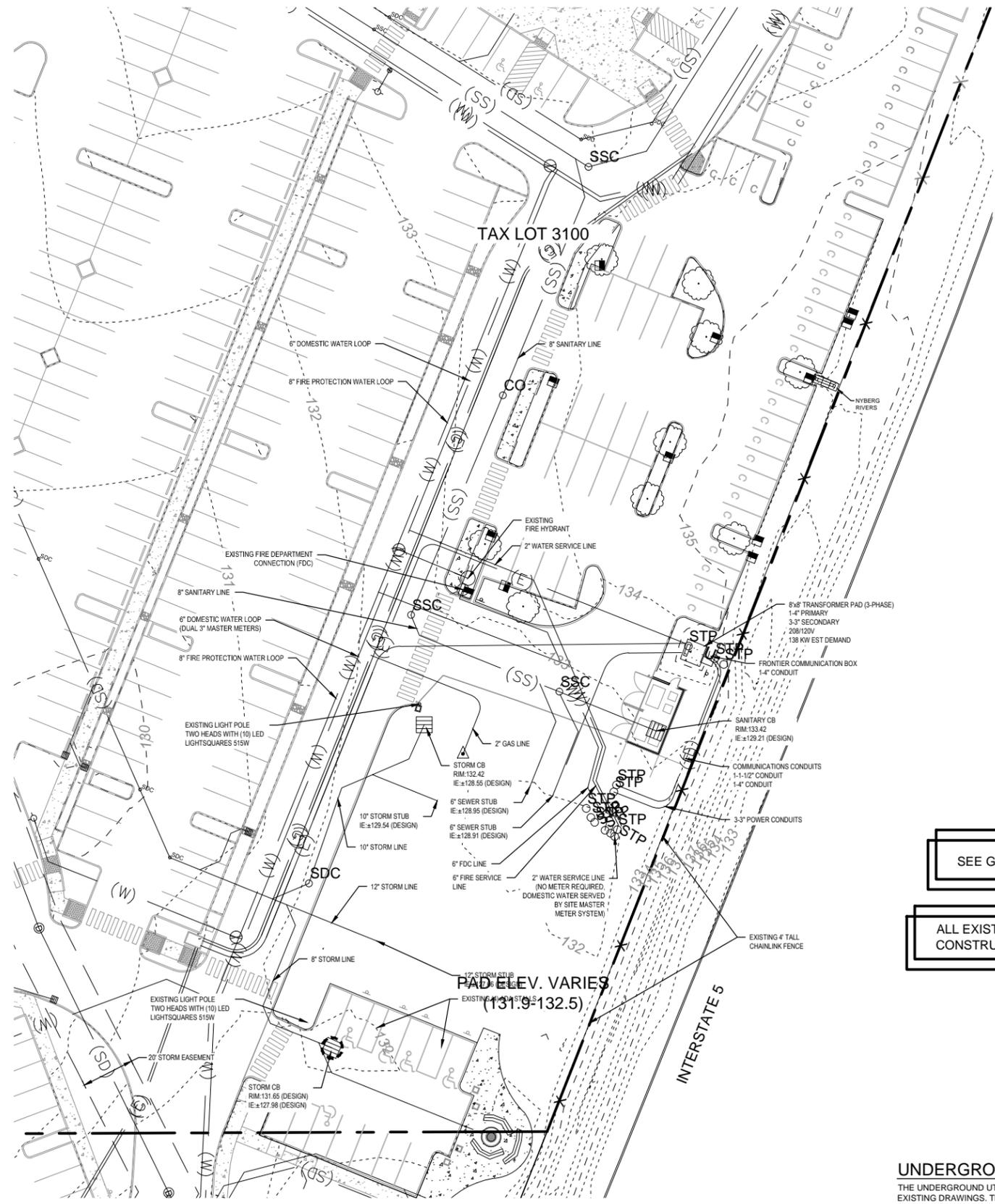


CRACKER BARREL - NYBERG RIVERS
 TUALATIN, OREGON
OVERALL PROJECT PLAN
 SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
 MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT 21503970
 DATE 01/11/2016

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C0.2



EXISTING TREE PROTECTION

1. PROVIDE TEMPORARY FENCING, BARRICADES, AND GUARDS AS NECESSARY OR REQUIRED TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT.
 - A. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH YELLOW FLAGGING TAPE AND PROTECTED BY BARRIER FENCING PLACED NO LESS THAN 10 HORIZONTAL FEET FROM THE OUTSIDE EDGE OF THE TRUNK IN ALL DIRECTIONS OR BENEATH THE TREE DRIPLINE, WHICHEVER IS GREATER. CLUSTERS OF TREES MAY BE PROTECTED BY CONTINUOUS FENCING FOLLOWING THE SAME GUIDELINES.
 - B. REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN-LINK OR RED VINYL MESH, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
 - C. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
2. PROTECT ROOT SYSTEMS OF TREES TO REMAIN FROM FLOODING, EROSION, OR EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND COMPACTION. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIP LINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL OR LIQUIDS, AND CONTINUAL PUDDLING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
3. MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCESS. AFFECT ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
4. DO NOT CHANGE THE EXISTING GRADE BENEATH DRIPLINE OF TREES TO REMAIN.
5. ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIPLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
6. ENCROACHMENT UPON ANY IDENTIFIED PRESERVED TREES MUST OCCUR UNDER THE DIRECTION OF A QUALIFIED ARBORIST TO ASSURE THE HEALTH NEEDS OF THE TREES WITHIN THE PRESERVED AREA CAN BE MET.

LANDSCAPE

CONTRACTOR TO PROTECT ALL EXISTING PLANTINGS WITHIN THE ODOT RIGHT-OF-WAY. ANY PLANTS AFFECTED BY THE PROPOSED GRADING PLAN WILL BE HAND DUG, STOCKPILED, AND REPLANTED IN THEIR ORIGINAL LOCATIONS ONCE GRADING IS COMPLETE.

EXISTING TREES & GRADING

NO GRADING ACTIVITIES WILL ALLOW PRESERVED TREE ROOTS TO REMAIN EXPOSED PER TDC 73.250(2)(f).

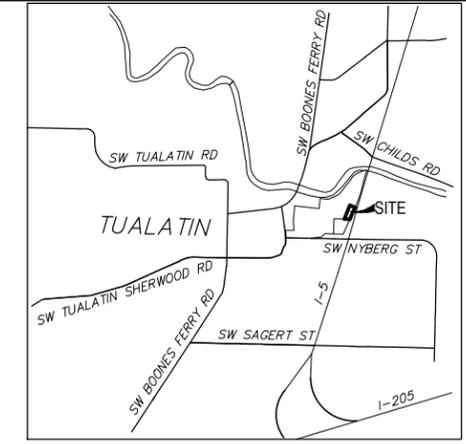
SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

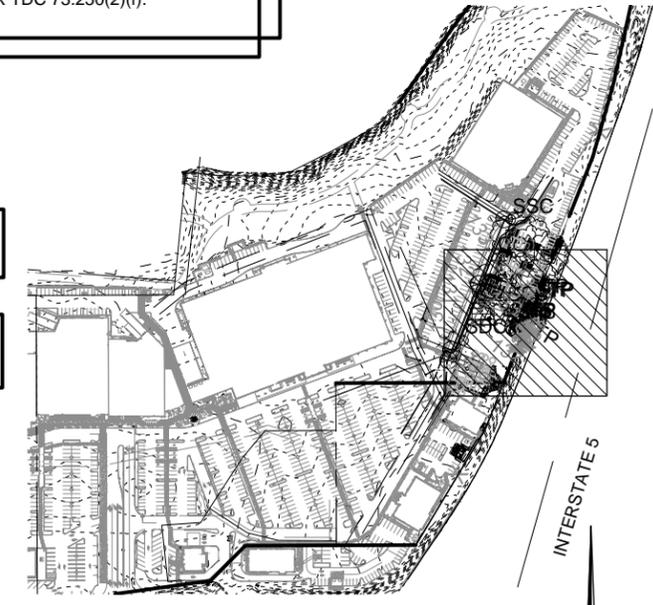
UNDERGROUND ACCURACY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH WE CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. DUE TO THE HAZARDOUS NATURE AND APPLICABLE OSHA REQUIREMENTS REGARDING CONFINED SPACES, IT IS CARDNO POLICY TO NOT SEND FIELD STAFF INTO UTILITY MANHOLES TO RETRIEVE DEPTH AND SIZE INFORMATION. INFORMATION SHOWN HEREON IS SUBJECT TO AN UNCERTAINTY IN ACCURACY DEPENDING ON DEPTH, SIZE, FLOW, AND CONSTRUCTION OF MANHOLES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

Attachment 101



- LEGEND**
SCALE: NTS
- - - - - EXISTING BOUNDARY LINE
 - - - - - EXISTING RIGHT-OF-WAY LINE
 - - - - - FENCE LINE, TYPE AS NOTED
 - - - - - STORM DRAINAGE LINE
 - - - - - SANITARY SEWER LINE
 - - - - - UNDERGROUND WATER LINE
 - - - - - UNDERGROUND ELECTRICAL LINE
 - - - - - INDICATES DATA FROM AS BUILT INFORMATION
 - - - - - EXISTING CURB LINE
 - - - - - EXISTING CONCRETE SURFACE
 - CATCH BASIN - TRAPPED TYPE
 - FIRE HYDRANT
 - FIRE DEPARTMENT CONNECTION
 - WATER VALVE
 - IRRIGATION CONTROL BOX
 - SHOEBOX LIGHT (SINGLE)
 - ELECTRIC JUNCTION BOX
 - UNKNOWN CLEANOUT
 - STAND PIPE
 - UNKNOWN UTILITY VAULT
 - SIGN POST
 - DECIDUOUS TREE
 - PROPOSED INLET PROTECTION



KEY MAP
SCALE: NTS



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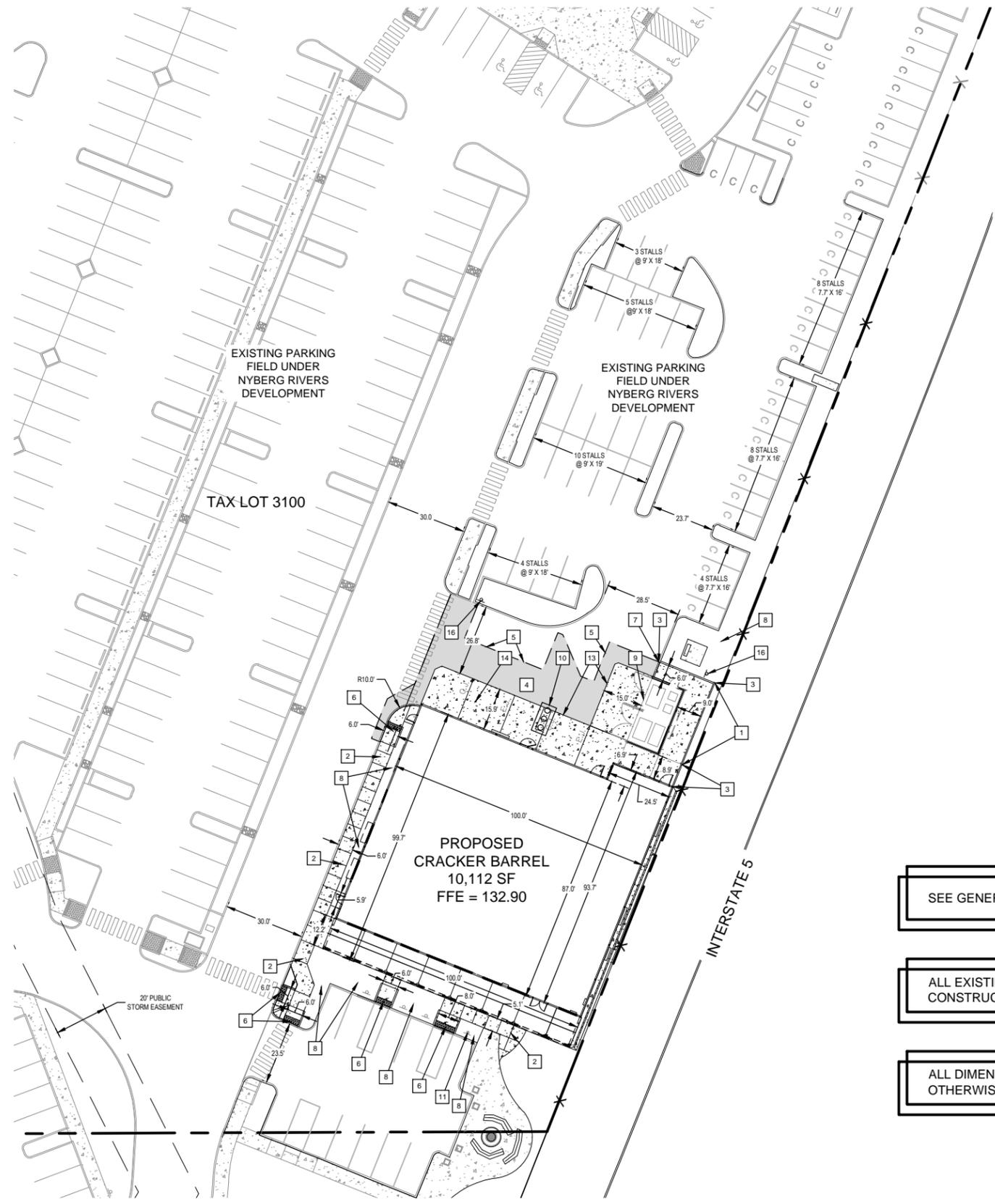
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
EXISTING CONDITIONS PLAN

PROJECT 21503970
DATE 01/11/2016

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C1.0

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON



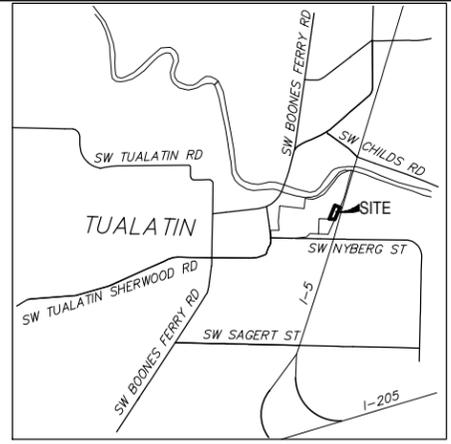
SITE CONSTRUCTION NOTES

- 1 PROPOSED STANDARD 6" EXPOSURE CONCRETE CURB. REFER TO CURB DETAIL ON SHEET C6.0.
- 2 PROPOSED STANDARD CONCRETE SIDEWALK. REFER TO SIDEWALK DETAIL ON SHEET C6.0.
- 3 PROPOSED TALL CONCRETE CURB. TRANSITION CURB TO 6" EXPOSURE. SEE GRADING PLAN FOR ELEVATIONS. SEE TALL CURB DETAIL ON SHEET C6.0.
- 4 PROPOSED HEAVY TRAFFIC ASPHALT CONCRETE PAVEMENT SECTION. MATCH EXISTING ASPHALT PAVEMENT. SAND SEAL PAVEMENT JOINT. REFER TO ASPHALT PAVEMENT SECTION DETAIL ON SHEET C6.0.
- 5 SAWCUT EXISTING PAVEMENT FOR CLEAN EDGE.
- 6 PROPOSED ADA RAMP. CURB RAMP SHALL MEET ADA STANDARDS. REFER TO ACCESSIBLE SIDEWALK RAMP DETAIL ON SHEET C6.1.
- 7 MATCH EXISTING CURB.
- 8 PROPOSED LANDSCAPING. REFER TO LANDSCAPE PLAN.
- 9 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ENCLOSURE.
- 10 GREASE INTERCEPTOR LOCATION. COORDINATE WITH MEP PLANS
- 11 INSTALL ADA WHEELCHAIR USER SIGN, COMPLETE WITH ADA SIGN, VAN ACCESSIBLE SIGN, AND WHEELCAHIR USER SIGN, REFER TO SIGN DETAIL ON SHEET C6.1.
- 12 PROPOSED ADA USER SIGN. SEE DETAILS ON SHEET C6.1.
- 13 PROPOSED CONCRETE IMPACT SLAB. REFER TO DETAIL ON SHEET C6.0.
- 14 PROPOSED CONCRETE LOADING AREA. SEE CONCRETE SECTION ON SHEET C6.0.
- 15 REPAIR EXISTING THERMOPLASTIC CROSSWALK STRIPING. SEE DETAIL ON SHEET C6.1.
- 16 PROPOSED BICYCLE PARKING RIGHT SIGN. SEE DETAIL ON SHEET C6.1

SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.

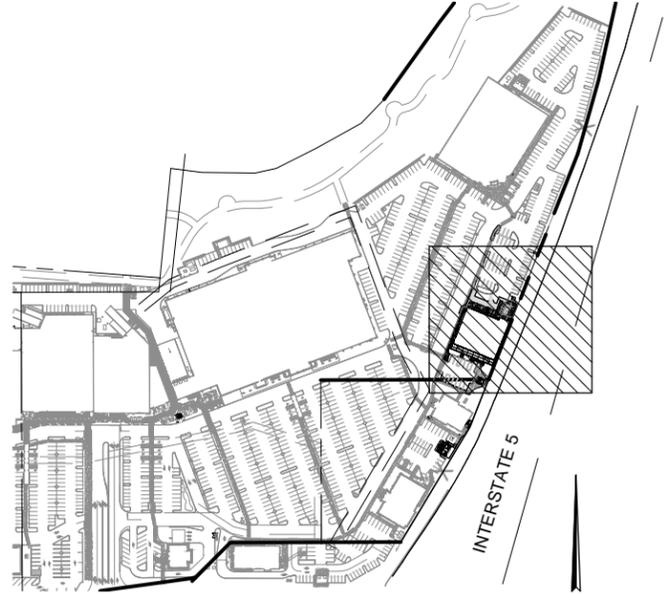
ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.



LEGEND

- - - - - EXISTING BOUNDARY LINE
- - - - - EXISTING RIGHT-OF-WAY LINE
- - - - - FENCE LINE, TYPE AS NOTED
- - - - - STORM DRAINAGE LINE
- - - - - SANITARY SEWER LINE
- - - - - UNDERGROUND WATER LINE
- - - - - UNDERGROUND ELECTRICAL LINE
- - - - - INDICATES DATA FROM AS BUILT INFORMATION
- - - - - EXISTING CURB LINE
- - - - - PROPOSED CONCRETE LINE
- - - - - PROPOSED BUILDING LINE
- - - - - PROPOSED TRASH ENCLOSURE WALL
- - - - - EXISTING CONCRETE SURFACE
- - - - - PROPOSED CONCRETE SURFACE
- - - - - PROPOSED TACTILE WARNING DOMES
- - - - - CATCH BASIN - TRAPPED TYPE
- - - - - FIRE HYDRANT
- - - - - FIRE DEPARTMENT CONNECTION
- - - - - WATER VALVE
- - - - - IRRIGATION CONTROL BOX
- - - - - SHOEBOX LIGHT (SINGLE)
- - - - - ELECTRIC JUNCTION BOX
- - - - - UNKNOWN CLEANOUT
- - - - - STAND PIPE
- - - - - UNKNOWN UTILITY VAULT
- - - - - SIGN POST
- - - - - DECIDUOUS TREE



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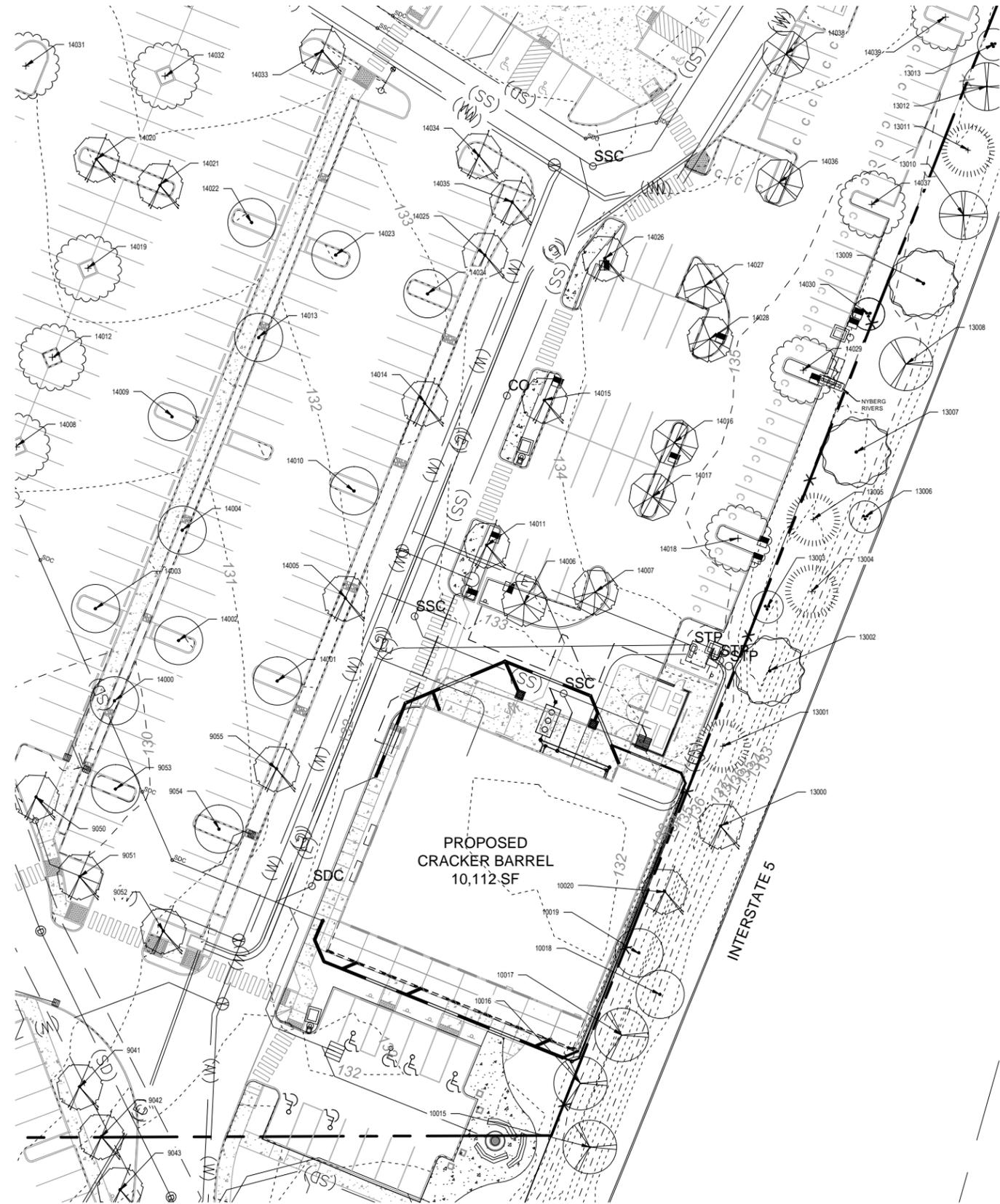


CRACKER BARREL - NYBERG RIVERS
 TUALATIN, OREGON
 SITE PLAN

PROJECT 21503970
 DATE 01/11/2016

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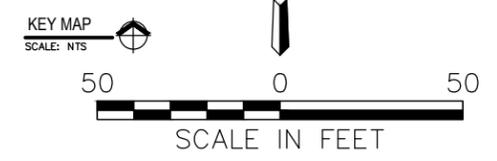
C2.0



LEGEND

---	132	- EXISTING MINOR CONTOUR
---	130	- EXISTING MAJOR CONTOUR
---	131	- PROPOSED MINOR CONTOUR
---	130	- PROPOSED MAJOR CONTOUR
---		- PROPERTY LINE
---		- LOT LINE
---		- EXISTING STORM LINE
---		- PROPOSED STORM PRIVATE LINE
⊙		- EXISTING STORM MANHOLE
⊙		- EXISTING STORM CATCH BASIN
⊙		- PROPOSED STORM MANHOLE
⊙		- PROPOSED STORM CATCH BASIN
⊙		- PROPOSED STORM CLEAN OUT
---		- EXISTING EASEMENT
---		- EXISTING SANITARY LINE
---		- PROPOSED SANITARY PRIVATE LINE
⊙		- EXISTING SANITARY MANHOLE
⊙		- PROPOSED SANITARY CATCH BASIN
⊙		- PROPOSED SANITARY CLEAN OUT
⊙		- PROPOSED GREASE INTERCEPTOR
---	W	- EXISTING FIRE WATER LINE
---	DW	- EXISTING DOMESTIC WATER LINE
⊙		- EXISTING FIRE HYDRANT
⊙		- EXISTING WATER METER
⊙		- EXISTING WATER VAULT
⊙		- EXISTING WATER VALVE
⊙		- EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.

REFER TO SHEET C2.1 FOR TREE TABLE WITH TREE NUMBER, COMMON NAME, SPECIES NAME, DBH, AND CONDITION INFORMATION



REV	DATE	DESCRIPTION



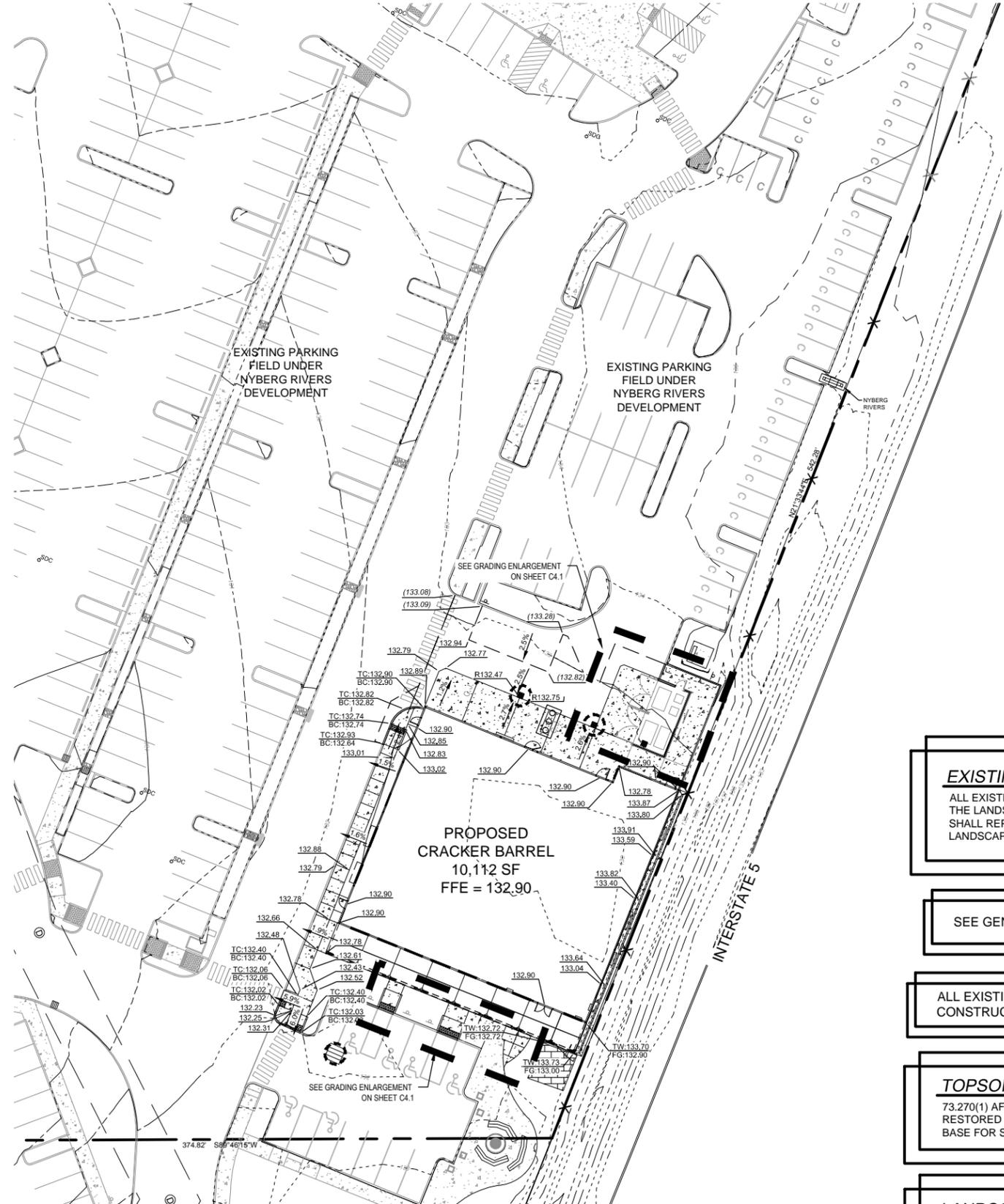
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TUALATIN, OREGON
TREE PRESERVATION PLAN

PROJECT 21503970
DATE 01/11/2016

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EXISTING TREE PROTECTION

1. PROVIDE TEMPORARY FENCING, BARRICADES, AND GUARDS AS NECESSARY OR REQUIRED TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT.
 - A. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH YELLOW FLAGGING TAPE AND PROTECTED BY BARRIER FENCING PLACED NO LESS THAN 10 HORIZONTAL FEET FROM THE OUTSIDE EDGE OF THE TRUNK IN ALL DIRECTIONS OR BENEATH THE TREE DRIFLINE, WHICHEVER IS GREATER. CLUSTERS OF TREES MAY BE PROTECTED BY CONTINUOUS FENCING FOLLOWING THE SAME GUIDELINES.
 - B. REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN-LINK OR RED VINYL MESH, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
 - C. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
2. PROTECT ROOT SYSTEMS OF TREES TO REMAIN FROM FLOODING, EROSION, OR EXCESSIVE WETTING RESULTING FROM DEWATERING OPERATIONS AND COMPACTION. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIP LINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL OR LIQUIDS, AND CONTINUAL PUDDLING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
3. MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCEEDS. AFTER ALL ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
4. DO NOT CHANGE THE EXISTING GRADE BENEATH DRIFLINE OF TREES TO REMAIN.
5. ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIFLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
6. ENCROACHMENT UPON ANY IDENTIFIED PRESERVED TREES MUST OCCUR UNDER THE DIRECTION OF A QUALIFIED ARBORIST TO ASSURE THE HEALTH NEEDS OF THE TREES WITHIN THE PRESERVED AREA CAN BE MET.

GRADING AND EROSION CONTROL NOTES

POSITIVE DRAINAGE TO BE MAINTAINED AWAY FROM BUILDINGS AT ALL TIMES.

ALL PROPOSED GRADES TO MATCH INTO EXISTING GRADES ON SURROUNDING STREETS, PROPERTIES, AND SENSITIVE AREAS.

INSTALL INLET SEDIMENT PROTECTION ON ALL EXISTING AND NEW INLETS WHEN INSTALLED. INLET SEDIMENT PROTECTION TO BE MAINTAINED FOR THE DURATION OF ALL CONSTRUCTION ACTIVITIES.

SEDIMENT FENCE TO BE PLACED AND MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE SITE.

ALL ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ALL FACILITIES TO BE UPGRADES AS NEEDED FOR STORM EVENTS.

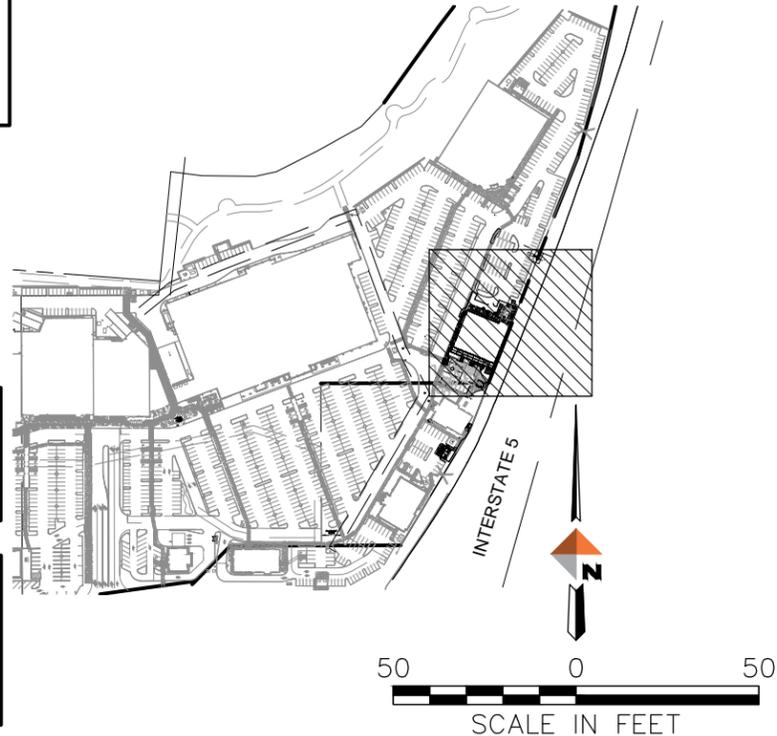
ALL EROSION AND SEDIMENT CONTROL FACILITIES WILL BE CONSTRUCTED PRIOR TO ANY CLEARING AND GRADING ACTIVITIES.

EXISTING TREES TO BE PROTECTED OR RETAINED SHALL BE FENCED AROUND THE DRIP LINE WITH CHAIN LINK OR OTHER STURDY FENCING DURING CONSTRUCTION.

LEGEND

- - - - - 132 - - - - - EXISTING MINOR CONTOUR
- - - - - 130 - - - - - EXISTING MAJOR CONTOUR
- - - - - 131 - - - - - PROPOSED MAJOR CONTOUR
- - - - - 130 - - - - - PROPOSED MINOR CONTOUR
- — — — — PROPERTY LINE
- - - - - LOT LINE
- ⊙ - - - - - EXISTING STORM MANHOLE
- - - - - - EXISTING STORM CATCH BASIN
- - - - - - PROPOSED STORM CATCH BASIN
- - - - - - PROPOSED STORM CLEAN OUT
- - - - - EXISTING EASEMENT
- ⊙ - - - - - EXISTING SANITARY MANHOLE
- ⊙ - - - - - PROPOSED SANITARY CLEAN OUT
- ⊙ - - - - - PROPOSED GREASE INTERCEPTOR
- ⊙ - - - - - EXISTING FIRE HYDRANT
- ⊙ - - - - - EXISTING FIRE DEPT. CONNECTION
- ⊙ - - - - - EXISTING WATER VALVE IN METER BOX
- ⊙ - - - - - EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.
- (133.03) - - - - - EXISTING SPOT ELEVATION
- (R133.03) - - - - - EXISTING RIM ELEVATION
- (TC:133.50) - - - - - EXISTING TOP AND BOTTOM OF CURB ELEVATIONS
- (BC:133.00) - - - - - EXISTING TOP AND BOTTOM OF CURB ELEVATIONS
- S133.05 - - - - - PROPOSED SPOT ELEVATION
- R134.00 - - - - - PROPOSED RIM ELEVATION
- TC:133.50 - - - - - PROPOSED TOP AND BOTTOM OF CURB ELEVATIONS
- BC:133.00 - - - - - PROPOSED TOP AND BOTTOM OF CURB ELEVATIONS
- L134.00 - - - - - PROPOSED LANDSCAPE ELEVATION
- (2.5%) - - - - - EXISTING SLOPE ARROW
- 2.2% - - - - - PROPOSED SLOPE ARROW
- [Brick Pattern] - - - - - EROSION CONTROL SLOPE MATTING
- - - - - PROPOSED LIMITS OF WORK
- - - - - PROPOSED INLET PROTECTION
- - - - - PROPOSED BIOFILTER BAG PROTECTION

- EXISTING LANDSCAPE**
ALL EXISTING PLANT MATERIALS WILL BE PROTECTED IN PLACE BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL REPLACE ANY AREA WITH LIKE SPECIES TO RESTORE EXISTING LANDSCAPE TO PRE-CONSTRUCTION CONDITIONS.
- SEE GENERAL CONSTRUCTION NOTES ON SHEET C0.1.
- ALL EXISTING CURB TO BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.
- TOPSOIL**
73.270(1) AFTER COMPLETION OF SITE GRADING, TOPSOIL IS TO BE RESTORED TO EXPOSED CUT AND FILL AREAS TO PROVIDE A SUITABLE BASE FOR SEEING AND PLANTING.
- LANDSCAPE**
CONTRACTOR TO PROTECT ALL EXISTING PLANTINGS WITHIN THE ODOT RIGHT-OF-WAY. ANY PLANTS AFFECTED BY THE PROPOSED GRADING PLAN WILL BE HAND DUG, STOCKPILED, AND REPLANTED IN THEIR ORIGINAL LOCATIONS ONCE GRADING IS COMPLETE.



REV	DATE	DESCRIPTION

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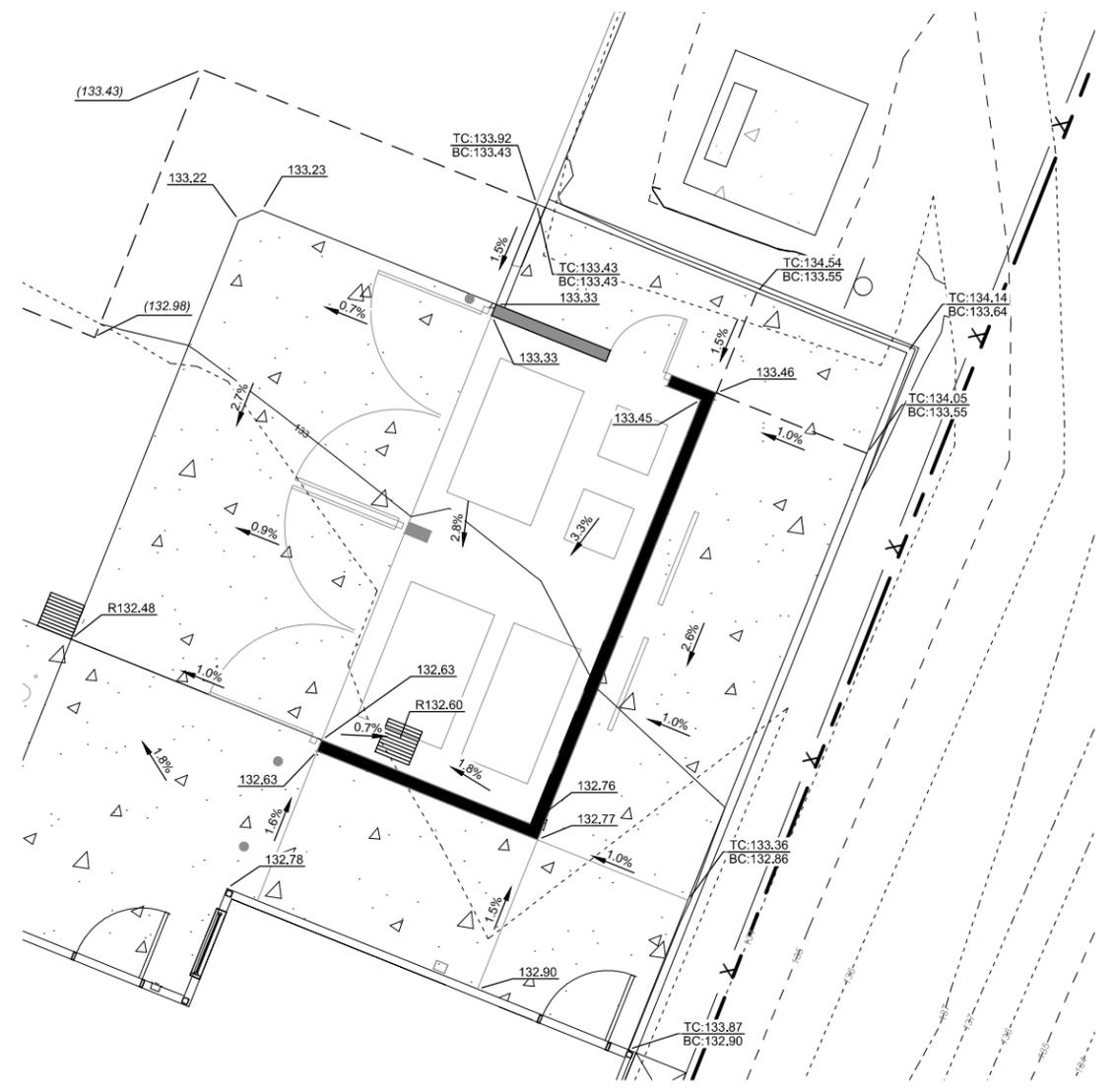
Cracker Barrel
Old Country Store

CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
GRADING PLAN

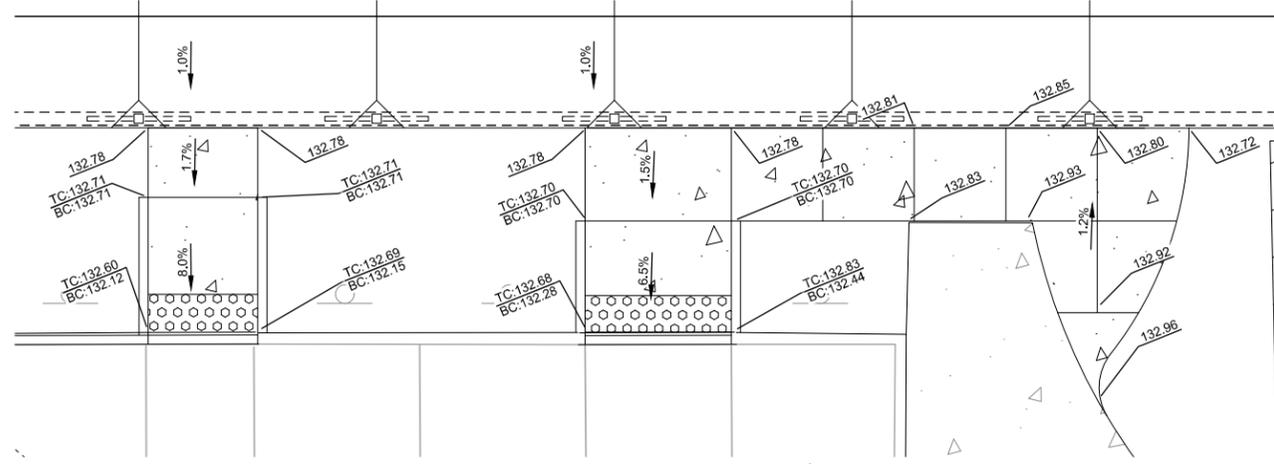
SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
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PROJECT	21503970
DATE	01/11/2016
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o:\122\Transition\21509370\Civil\DD\ACAD-0937-DD-GRADING ENLARGEMENT-11x17.dwg PLOT DATE 2016-01-14 21:26 SAVED DATE 2016-01-14 20:53 USER: rholverson
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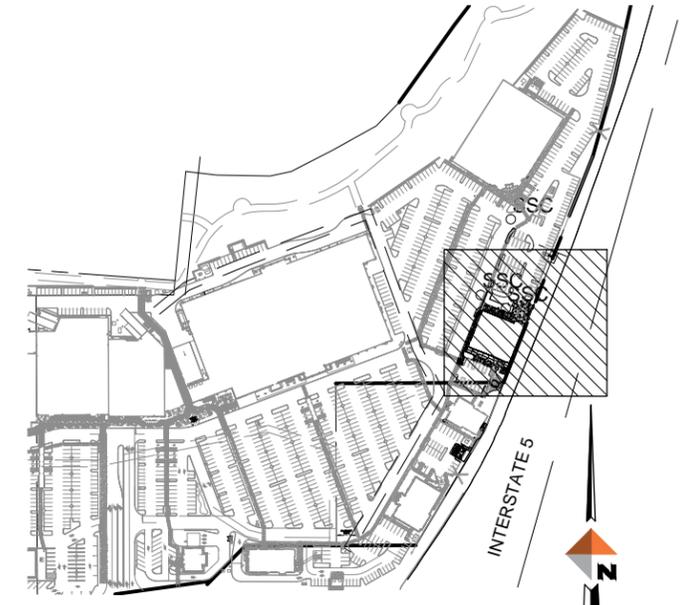


GRADING ENLARGEMENT
SCALE: 1"=5'



GRADING ENLARGEMENT
SCALE: 1"=5'

LEGEND	
--- 132	- EXISTING MINOR CONTOUR
--- 130	- EXISTING MAJOR CONTOUR
--- 131	- PROPOSED MINOR CONTOUR
--- 130	- PROPOSED MAJOR CONTOUR
---	- PROPERTY LINE
---	- LOT LINE
○	- EXISTING STORM MANHOLE
■	- EXISTING STORM CATCH BASIN
■	- PROPOSED STORM CATCH BASIN
○	- PROPOSED STORM CLEAN OUT
---	- EXISTING EASEMENT
○	- EXISTING SANITARY MANHOLE
○	- PROPOSED SANITARY CLEAN OUT
○	- PROPOSED GREASE INTERCEPTOR
○	- EXISTING FIRE HYDRANT
○	- EXISTING FIRE DEPT. CONNECTION
○	- EXISTING WATER VALVE IN METER BOX
○	- EXISTING TREE TO BE PROTECTED IN PLACE WITH FENCING AROUND THE DRIP LINE.
(133.03)	- EXISTING SPOT ELEVATION
(R133.03)	- EXISTING RIM ELEVATION
(TC:133.50) (BC:133.00)	- EXISTING TOP AND BOTTOM OF CURB ELEVATIONS
S133.05	- PROPOSED SPOT ELEVATION
R134.00	- PROPOSED RIM ELEVATION
TC:133.50 BC:133.00	- PROPOSED TOP AND BOTTOM OF CURB ELEVATIONS
L134.00	- PROPOSED LANDSCAPE ELEVATION
(2.5%)	- EXISTING SLOPE ARROW
2.2%	- PROPOSED SLOPE ARROW
■	- PROPOSED SLOPE CONTROL MATTING
○	- DECIDUOUS TREE
---	- PROPOSED LIMITS OF WORK
---	- PROPOSED INLET PROTECTION



50 0 50
SCALE IN FEET

REV	DATE	DESCRIPTION	BY



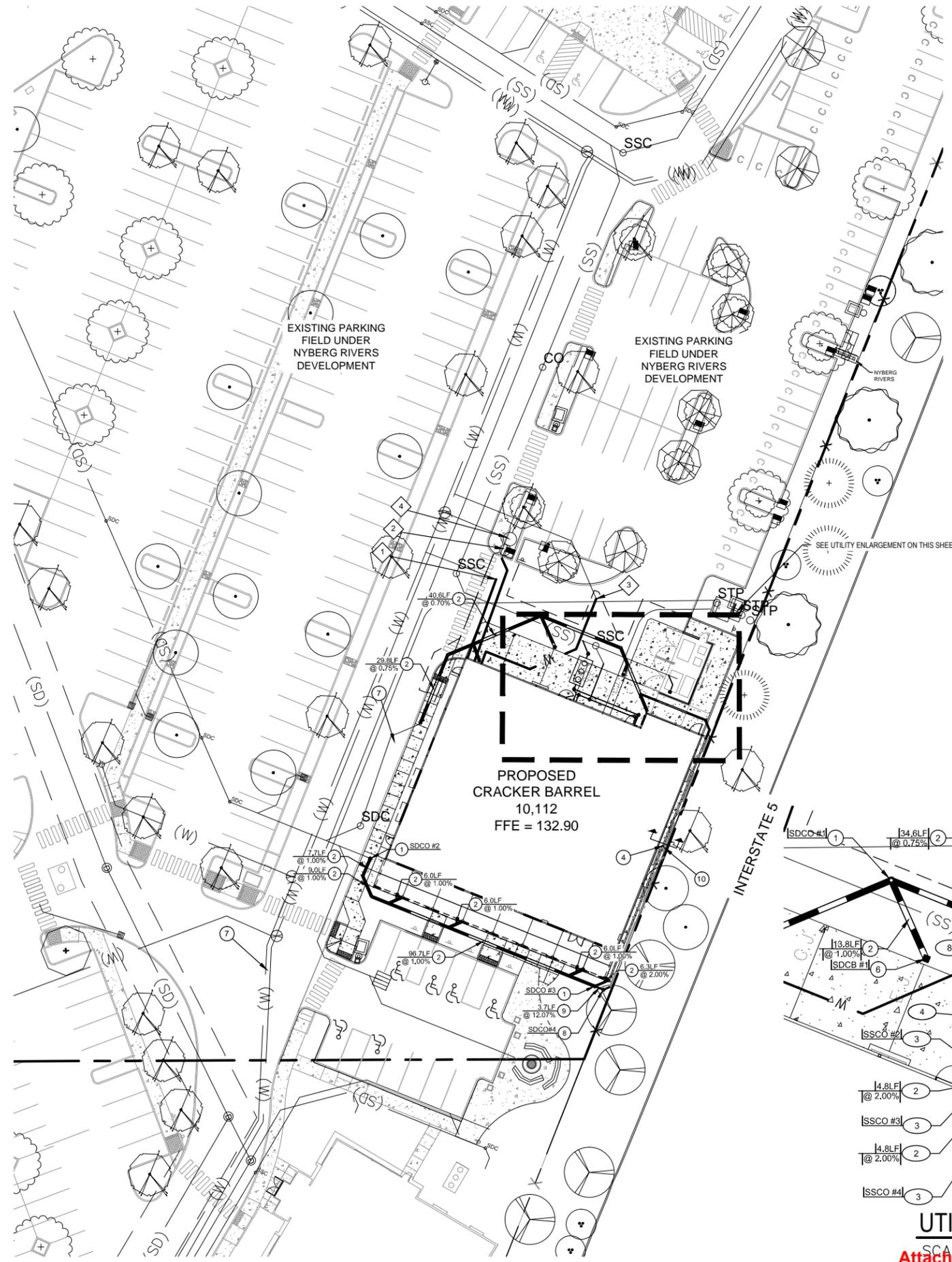
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GRADING ENLARGEMENTS

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 MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

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SANITARY SEWER CONSTRUCTION NOTES

- 1 PROPOSED 4" PVC SANITARY LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 2 PROPOSED 6" PVC SANITARY LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 3 PROPOSED SANITARY CLEANOUT.
- 4 PROPOSED 1900 GAL GREASE INTERCEPTOR. SEE GREASE INTERCEPTOR DETAIL ON SHEET XXXX.
- 5 PROPOSED SANITARY BUILDING CONNECTION. SEE PLAN FOR INVERT ELEVATION.
- 6 CONNECT PROPOSED SANITARY SEWER LINE TO EXISTING PUBLIC SANITARY SEWER LINE.
- 7 PROPOSED SANITARY SEWER AREA DRAIN.
- 8 CONNECT PROPOSED SANITARY SEWER TO EXISTING SANITARY LINE.

STORM CONSTRUCTION NOTES

- 1 PROPOSED CLEANOUT.
- 2 PROPOSED 10" STORM LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 3 PROPOSED ROOF DRAIN CONNECTION. SEE PLAN FOR INVERT ELEVATION.
- 4 PROPOSED STORM TRENCH DRAIN. SEE SHEET C6.2 FOR DETAIL.
- 5 PROPOSED 6" STORM LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 6 PROPOSED STORM DRAIN CATCH BASIN. SEE SHEET C6.2 FOR DETAIL.
- 7 CONNECT TO EXISTING STORM LINE. CONTRACTOR TO VERIFY LOCATION AND INVERT PRIOR TO CONSTRUCTION.
- 8 PROPOSED STORM BACKWATER VALVE SEE DETAIL ON SHEET C6.2. IE OUT: 128.28
- 9 PROPOSED 4" STORM LINE. SEE PLAN FOR LENGTH AND SLOPE.
- 10 PROPOSED PERFORATED PIPE PER ARCHITECTURAL AND STRUCTURAL FOUNDATION PLANS.

WATER CONSTRUCTION NOTES

- 1 CONNECT TO EXISTING 6" FIRE WATER LINE. INSTALL 34 LF OF 6" CL52 DUCTILE IRON PIPE TO BUILDING.
- 2 CONNECT TO EXISTING FDC LINE. INSTALL 48 LF OF 6" CL52 DUCTILE IRON PIPE TO BUILDING.
- 3 CONNECT TO EXISTING 2" DOMESTIC WATER LINE. INSTALL 66 LF OF 2" COPPER DOMESTIC WATER LINE.
- 4 EXISTING FIRE HYDRANT TO REMAIN.

POWER CONSTRUCTION NOTES

- 1 PROPOSED POWER BUILDING CONNECTION.

LEGEND

- 132 --- EXISTING MINOR CONTOUR
- 130 --- EXISTING MAJOR CONTOUR
- 131 --- PROPOSED MINOR CONTOUR
- 130 --- PROPOSED MAJOR CONTOUR
- --- PROPERTY LINE
- --- LOT LINE
- EXISTING STORM MANHOLE
- EXISTING STORM CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING EASEMENT
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPT. CONNECTION
- EXISTING WATER VALVE IN METER BOX

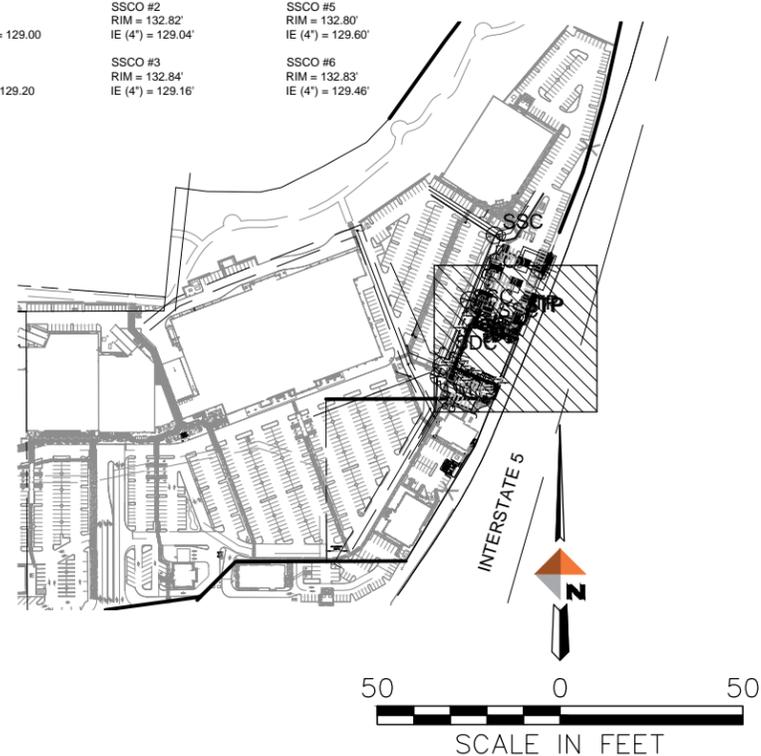
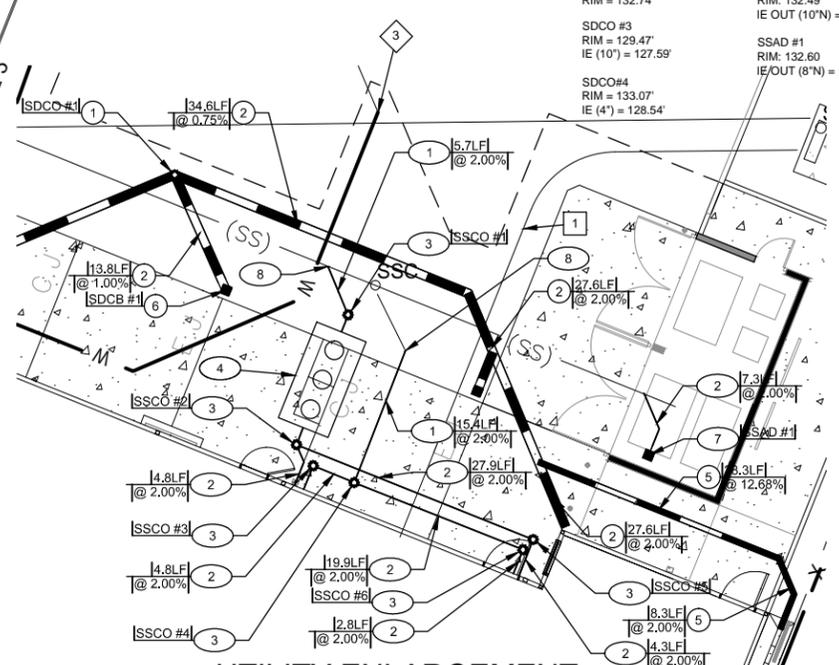
CONTRACTOR TO VERIFY ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

ALL PRIVATE STORM AND SANITARY CONNECTION ARE TO BE MADE WITH WYE FITTINGS UNLESS OTHERWISE NOTED.

SEE GENERAL UTILITY CONSTRUCTION NOTES ON SHEET C0.1.

CLEANOUT DATA CATCH BASIN DATA CLEANOUT DATA

SDCO #	RIM	IE	SDCB #	RIM	IE OUT	SSCO #	RIM	IE
SDCO #1	132.72'	127.41'	SDCB #1	132.47	127.55	SSCO #1	132.66'	128.67'
SDCO #2	132.74'		SDCB #2	132.49	129.00	SSCO #2	132.82'	129.04'
SDCO #3	129.47'	127.59'	SSAD #1	132.60	129.20	SSCO #3	132.84'	129.16'
SDCO #4	133.07'	128.54'				SSCO #4	132.84'	129.06'
						SSCO #5	132.80'	129.60'
						SSCO #6	132.83'	129.46'



REV	DATE	DESCRIPTION



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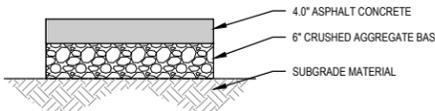
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Portland, Oregon 97205
(971) 280-8641



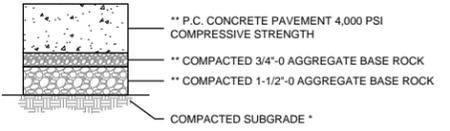
CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
PUBLIC UTILITY FACILITY PLAN

PROJECT 21503970
DATE 01/11/2016

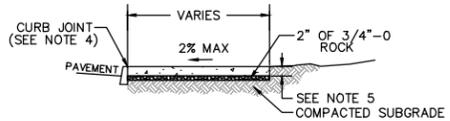
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HEAVY ASPHALT PAVEMENT SECTION
 *REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS

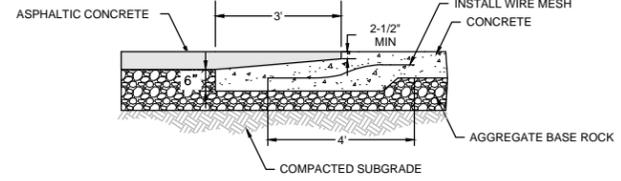


LOADING DOCK HEAVY CONCRETE PAVEMENT SECTION
 * SEE GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE BASE, COMPACTION, ETC. REQUIREMENTS.



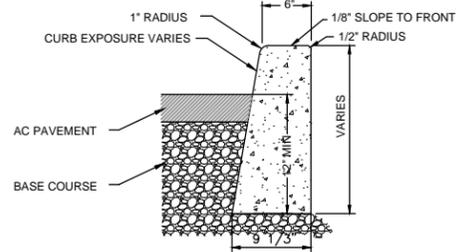
- NOTES:**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS, SLUMP RANGE OF 1-1/2" TO 3".
 - PANELS TO BE 5 FEET LONG.
 - EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
 - FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MIN. 1/2 INCH RADIUS.
 - SIDEWALK SHALL HAVE A MIN. THICKNESS OF 6 INCHES IF IT IS INTENDED AS A PORTION OF A DRIVEWAY, OTHERWISE SIDEWALK SHALL HAVE A MIN. THICKNESS OF 4 INCHES.
 - DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PLASTIC PIPE AT 2% SLOPE. CONTRACTION JOINT TO BE PLACED OVER PIPE.
 - FINISH WITH BROOM AND EDGE ALL JOINTS.

STANDARD SIDEWALK DETAIL
 NOT TO SCALE



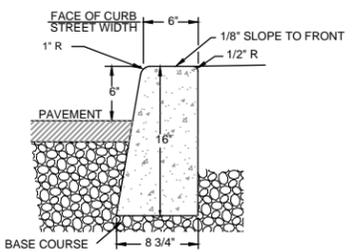
- NOTES:**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS

IMPACT SLAB DETAIL
 NOT TO SCALE



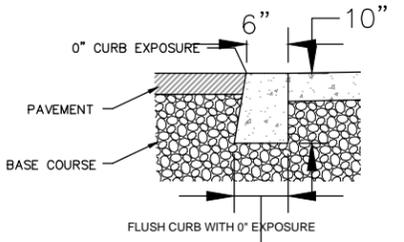
STANDARD TALL CONCRETE CURB DETAIL
 NOT TO SCALE

- NOTES:**
- FOR DESIGN SPEEDS GREATER THAN 40 MPH THE EMERGENCY MOUNTABLE CURB SHALL BE USED.
 - CONCRETE TO HAVE A BREAKING STRENGTH OF 3,000 PSI AFTER 28 DAYS.
 - EXPANSION JOINTS.
 - TO BE PROVIDED:
 - AT EACH POINT OF TANGENCY OF THE CURB.
 - AT EACH COLD JOINT.
 - AT EACH SIDE OF INLET STRUCTURES.
 - AT EACH END OF DRIVEWAYS.
 - AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
 - MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
 - CONTRACTION JOINTS.
 - SPACING TO BE NOT MORE THAN 15 FEET.
 - THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES.
 - BASE ROCK TO BE 2'-0" OR 3/4'-0" COMPACTED TO 95% OF ASTM 1557 AND SHALL BE TO SUBGRADE OR 4" IN DEPTH, WHICHEVER IS GREATER.



STANDARD 6" EXPOSURE CURB
 NOT TO SCALE

- NOTES:**
- CONCRETE TO HAVE A BREAKING STRENGTH OF 4000 PSI AFTER 28 DAYS.
 - EXPANSION JOINTS.
 - TO BE PROVIDED:
 - AT EACH POINT OF TANGENCY OF THE CURB.
 - AT EACH COLD JOINT.
 - AT EACH SIDE OF INLET STRUCTURES.
 - AT EACH END OF DRIVEWAYS.
 - AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
 - MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
 - CONTRACTION JOINTS.
 - SPACING TO BE NOT MORE THAN 15 FEET.
 - THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES
 - BASE ROCK TO BE 3/4'-0" COMPACTED TO GEOTECHNICAL REPORT RECOMMENDATION AND SHALL BE TO SUBGRADE, STREET STRUCTURE, OR 4" IN DEPTH, WHICHEVER IS GREATER.



FLUSH (0" EXPOSURE) CURB
 NOT TO SCALE

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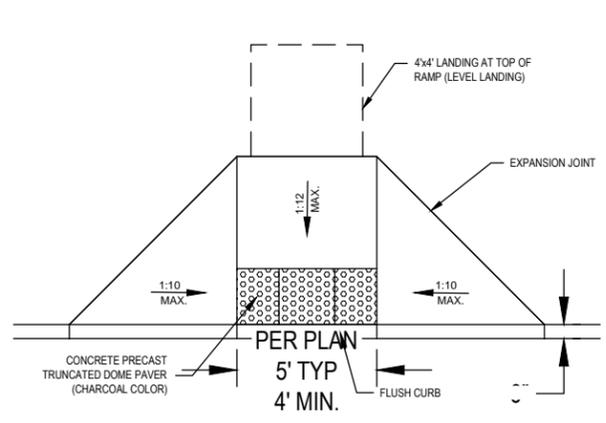


CRACKER BARREL - NYBERG RIVERS
 TUALATIN, OREGON
 DETAILS
 SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE
 MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT	21503970
DATE	01/11/2016

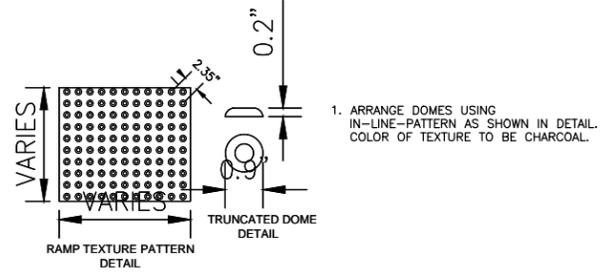
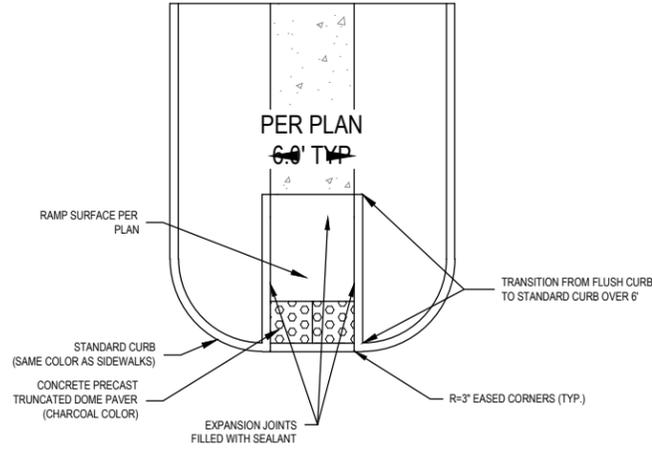
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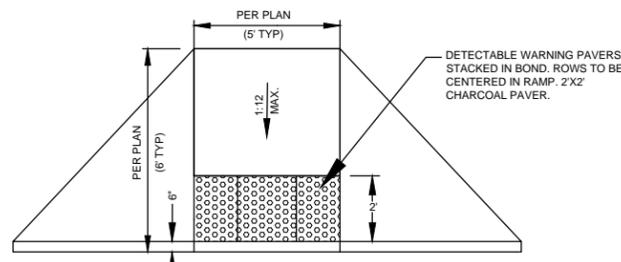
- NOTES:**
1. CONCRETE TO HAVE A BREAKING STRENGTH OF 4000 PSI AFTER 28 DAYS.
 2. RAMP TO BE CONSTRUCTED SEPARATELY FROM SIDEWALK AND ISOLATED BY EXPANSION JOINT MATERIAL.

ACCESSIBLE SIDEWALK RAMP DETAILS
NOT TO SCALE

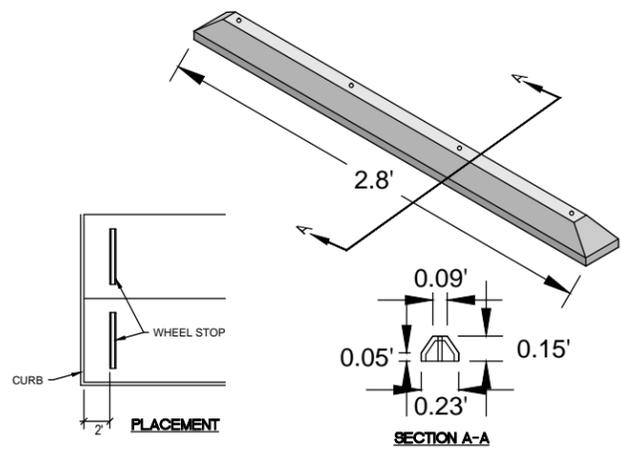


1. ARRANGE DOMES USING IN-LINE PATTERN AS SHOWN IN DETAIL. COLOR OF TEXTURE TO BE CHARCOAL.

DETECTABLE WARNING TEXTURE DETAIL
NOT TO SCALE

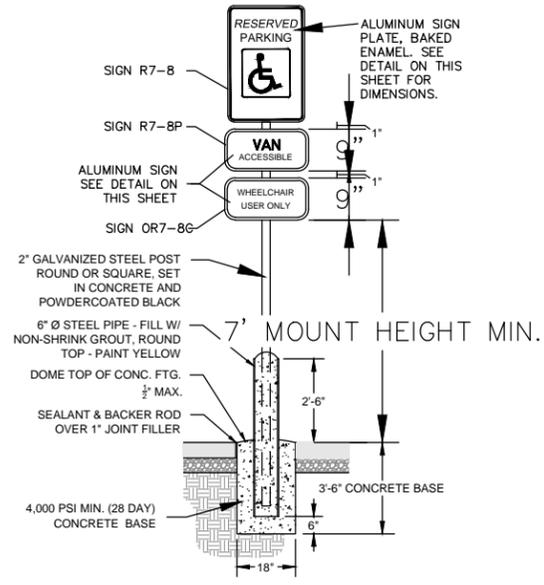


DETECTABLE WARNING PAVER DETAIL
NOT TO SCALE

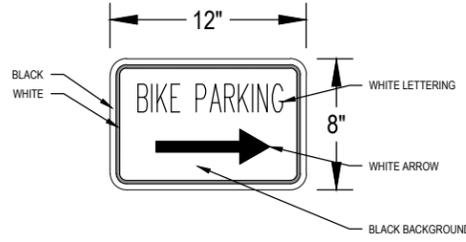


- NOTES:**
1. WHEEL STOP SHALL BE MADE OF 100% RECYCLED RUBBER.
 2. DOWEL INTO PAVEMENT WITH 24" #4 REBAR.
 3. PLACE WHEEL STOP CONSISTENTLY ON CENTER OF STALL.
 4. CONTRACTOR TO USE BARCO PRODUCTS, GNR TECHNOLOGIES, INC. OR EMEDECO WHEEL STOP, OR APPROVED EQUAL.
 4. THE WHEEL STOPS SHOULD BE STRIPED (8 STRIPES) WITH REFLECTIVE YELLOW COLOR.

RECYCLED RUBBER WHEEL STOP
NOT TO SCALE

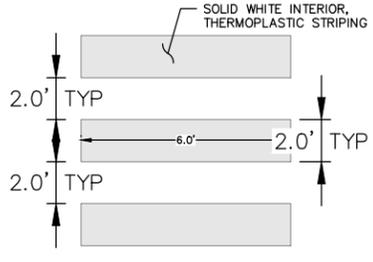


TYPICAL A.D.A. VAN & WHEELCHAIR PARKING SIGN DETAIL
NOT TO SCALE



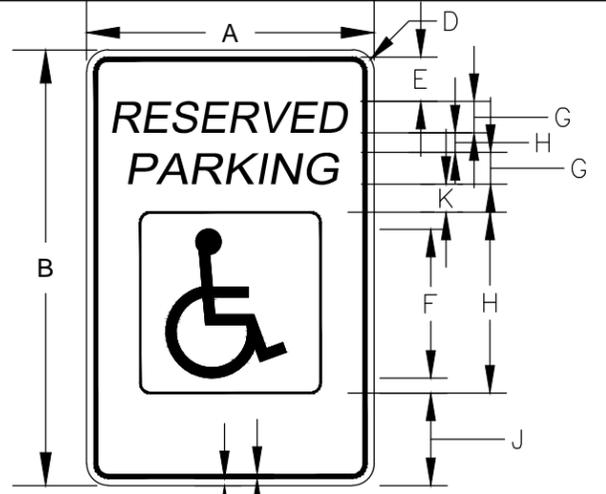
- NOTES:**
1. BIKE PARKING SIGNAGE TO MATCH EXISTING NYBERG RIVERS DEVELOPMENT BIKE PARKING SIGNAGE.
 2. SIGN POST SHALL BE POWDER COATED BLACK.
 3. SIGN POSTS SHALL BE BREAKAWAY.

BIKE PARKING RIGHT SIGNAGE
NOT TO SCALE



- NOTES:**
1. ALL THERMOPLASTIC PAVEMENT MARKING SHALL CONFORM TO CURRENT ODOT SPECIFICATIONS FOR MATERIALS AND INSTALLATION.

CROSSWALK DETAIL
NOT TO SCALE

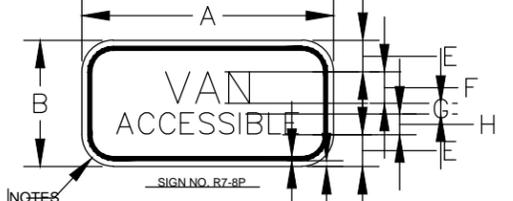


- NOTES:**
1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
 2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
 3. THE DISABLED PERSON PARKING SIGN IS USED TO DESIGNATE A PARKING AREA RESERVED FOR VEHICLES WITH DMV PERMIT AS STATED.

SIGN	DIMENSIONS (INCHES)									
	A	B	C	D	E	F	G	H	J	K
STANDARD	12	18	3/8	1-1/2R	2	4	2C	6	4	1

- NOTE:**
1. SIGN BACKS SHALL BE PAINTED BLACK

A.D.A. PARKING STALL SIGN
NOT TO SCALE

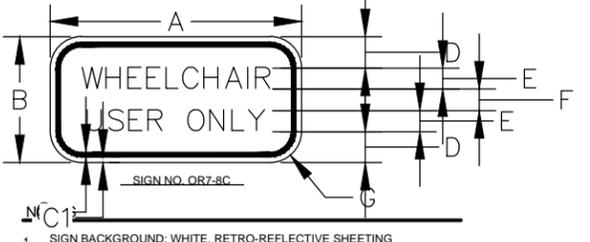


- NOTES:**
1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
 2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
 3. THE VAN-ACCESSIBLE SIGN SHALL ONLY BE USED WITH SIGN R7-8 TO DESIGNATE THE PARKING SPACES THAT HAVE AN ACCESS AISLE 8 FT OR WIDER.

SIGN	DIMENSIONS (INCHES)							
	A	B	C	C1	E	F	G	L
STANDARD	18	9	3/8	3/8	2-1/4	2D	1	1-1/2D

- NOTE:**
1. SIGN BACKS SHALL BE PAINTED BLACK

VAN ACCESSIBLE SIGN
NOT TO SCALE



- NOTES:**
1. SIGN BACKGROUND: WHITE, RETRO-REFLECTIVE SHEETING
 2. SIGN LEGEND: GREEN, RETRO-REFLECTIVE SHEETING
 3. THE "WHEELCHAIR USER ONLY" SIGN SHALL ONLY BE USED WITH THE DISABLED PERSON PARKING SIGN (R7-8) AND THE VAN ACCESSIBLE SIGN (R7-8P) TO DESIGNATE THE WHEELCHAIR USER ONLY SPACES AS DEFINED IN ORS 447.233.

SIGN	DIMENSIONS (INCHES)						
	A	B	C	C1	D	E	F
MINIMUM	18	9	5/8	3/8	2-1/4	1-1/2D	1-1/2

- NOTE:**
1. SIGN BACKS SHALL BE PAINTED BLACK

WHEELCHAIR ONLY SIGN
SCALE: NOT TO SCALE

REV	DATE	DESCRIPTION



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CRACKER BARREL - NYBERG RIVERS
TUALATIN, OREGON
DETAILS

PROJECT 21503970
DATE 01/11/2016

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FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

PLASTIC SHEETING

MINIMUM 12" OVERLAP OF SEAMS.

BARRIER REQUIRED @ TOE OF SLOPE.

NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. BARRIER REQUIRED @ TOE OF STOCK PILE.
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.

DRAWING NO. 810 REVISED 12-06

CleanWater Services
Our commitment is clear.

SEDIMENT FENCE

ANGLE FILTER FABRIC FENCE TO ASSURE SOIL IS TRAPPED

INTERLOCKED 2"x 2" POSTS AND ATTACH

USE STITCHED LOOPS OVER 2"x 2" POSTS

NOTES:

1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
2. 2"x 2" FIR, PINE OR STEEL FENCE POSTS.
3. POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
4. COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
5. PANELS MUST BE PLACED ACCORDING TO SPACING ON DETAIL NO.940

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 875 REVISED 12-06

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WATTLES

PLACE WATTLES ALONG SLOPE CONTOURS.

RICE, COCONUT OR EXCELSIOR WATTLES

STAGING SPECIFICATIONS:

- a. 1"x2" WOODEN STAKES
- b. ADDITIONAL STAKES MAY BE INSTALLED ON DOWNHILL SIDE OF WATTLES, ON STEEP SLOPE OR HIGHLY ERODIBLE SOILS.

NOTES:

1. STAGING SPECIFICATIONS:
 - a. 1"x2" WOODEN STAKES
 - b. ADDITIONAL STAKES MAY BE INSTALLED ON DOWNHILL SIDE OF WATTLES, ON STEEP SLOPE OR HIGHLY ERODIBLE SOILS.
2. SPACING IN ACCORDANCE WITH DETAIL 940.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 880 REVISED 12-06

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INLET PROTECTION TYPE 4

MAY BE USED SHORT TERM W/ UTILITY WORK AND W/ PHASING OF DEVELOPMENT

30"

60"

AREA DRAIN

CATCH BASIN

DITCH INLET

PLAN VIEW

6" overlap of bags.

NOTES:

1. ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPES.
2. BIO-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1"x2" WOODEN STAKES OR APPROVED EQUAL PER BAG.
3. WHEN USING 30" BIO-BAGS TO PROTECT A CATCH BASIN YOU MUST HAVE 4 BAGS AND THEY SHALL BE OVERLAPPED BY 6".

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 915 REVISED 12-06

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INLET PROTECTION TYPE 5

1" REBAR FOR BAG REMOVAL

CATCH BASIN GRATE

CATCH BASIN

STORM PIPE

EXPANSION RESTRAINT

2"x2"x3/4" RUBBER BLOCKS

POLYPROPYLENE FILTER SACK (WOVEN)

NOTE:

1. RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS. SIZE OF FILTER FABRIC INLET SACKS TO BE DETERMINED BY MANUFACTURER.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 920 REVISED 12-06

CleanWater Services
Our commitment is clear.

STANDARD EROSION CONTROL NOTES FOR SITES LESS THAN 1 ACRE

DRAWING NO. 945 REVISED 12-06

CleanWater Services
Our commitment is clear.

NOTES:

1. WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE.
2. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR.
3. DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
4. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
5. ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
6. SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
7. SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
8. SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/3RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
9. CLEANING OF ALL STRUCTURES WITH SUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
10. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
11. THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
12. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITH ANY WATER WAY RIPARIAN ZONE.
13. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE, AND FEDERAL REGULATIONS.
14. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT. NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
15. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPs THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPs MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
16. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST, THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
17. WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMPs. SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.
18. ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
19. THE ESC PLAN MUST BE KEPT ON SITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
20. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
21. WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ON SITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
22. IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPs MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
23. ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

REV	DATE	DESCRIPTION



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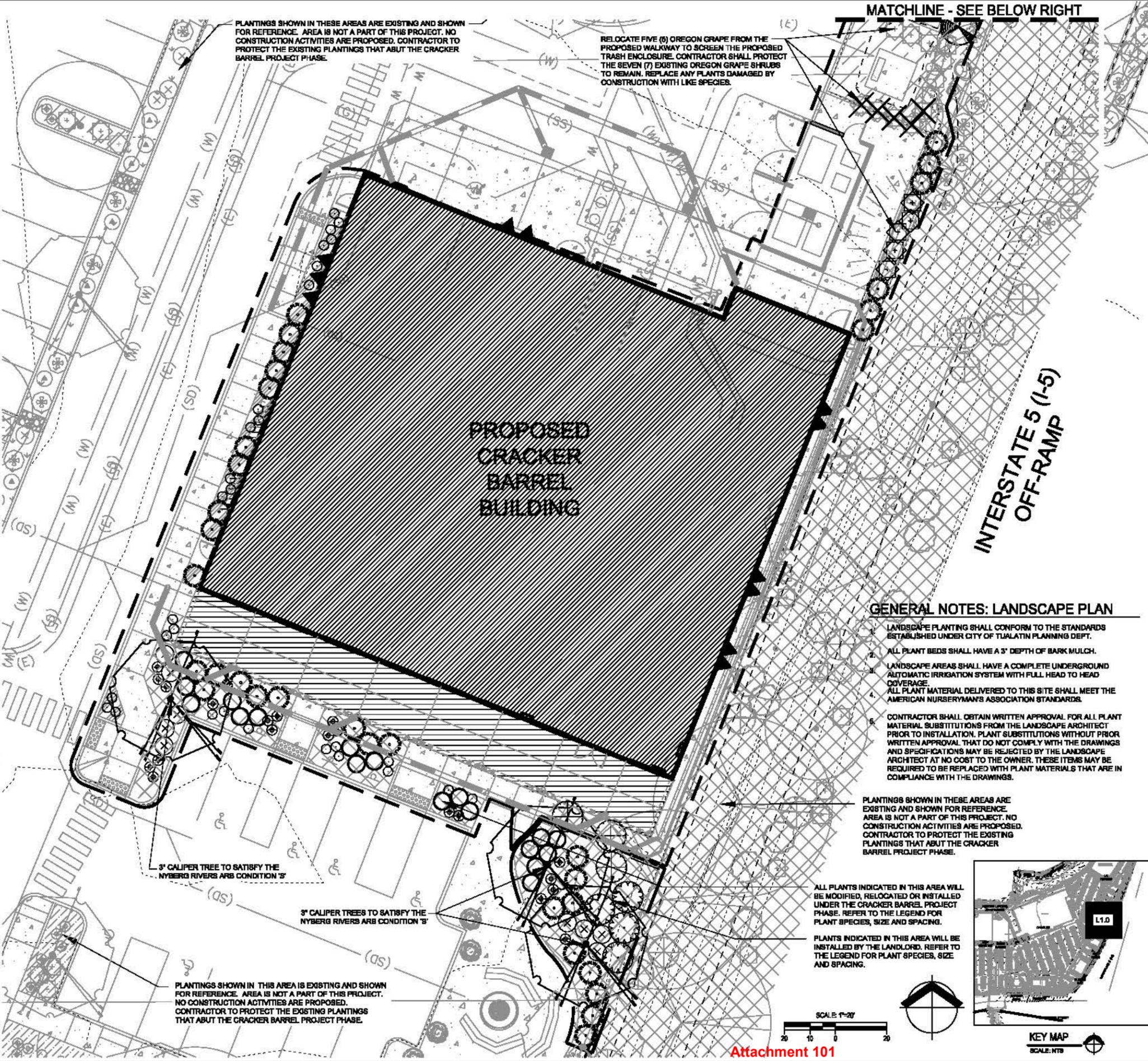
CRACKER BARREL - NYBERG RIVERS
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DETAILS

PROJECT 21503970
DATE 01/11/2016

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PLANT MATERIALS - CRACKER BARREL

SYMBOL	TREES ITEM	SIZE	QTY.
	BETULA JACQUEMONTII JACQUEMONTII BIRCH	3" CAL. / B&B AS SHOWN	1
	THUJA PLICATA 'HOGAN' HOGAN WESTERN RED CEDAR	8' HT. / B&B AS SHOWN	8
SHRUBS & ACCENTS ITEM		SIZE	QTY.
	SPIRAEA DOUGLASH DOUGLAS SPIRAEA	1 GAL.	5
	ROSA WOODSII WOODS ROSE	1 GAL.	12
	COTONEASTER LACTEUS PARNEY COTONEASTER	3 GAL.	25
	PHYSCARPUS PACIFIC NINEBARK	2 GAL.	2
	PENNYCETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	1 GAL.	15
	CALAMAGROSTIS ACUTIFLORA 'OVERDIAM' OVERDIAM FEATHER REED GRASS	1 GAL.	20
	TRACHYLOSPERMUM JASMINOIDES CLIMBING STAR JASMINE	1 GAL.	11
DOUBTING SHRUBS ITEM		SIZE	QTY.
	MAHONIA AQUIFOLIUM TALL OREGON GRAPE HOLLY (EXISTING SHRUBS FROM PREVIOUS PHASE OF DEVELOPMENT. RELOCATE AND PROTECT AS NOTED ON PLAN.)	3 GAL.	-
GROUNDCOVERS ITEM		SIZE	QTY.
	ARCTOSTAPHYLOS UVA-URSI 'MASS' MASSACHUSETTS KINNICKINNIK	1 GAL. @ 3'-0" O.C.	1,015 SF 130 PLANTS
	COTONEASTER DAMMERI ROCKSPRAY COTONEASTER	1 GAL. @ 3'-0" O.C.	260 SF 35 PLANTS

PLANT MATERIALS - LANDLORD RESPONSIBILITY

SYMBOL	TREES ITEM	SIZE	QTY.
	BETULA JACQUEMONTII JACQUEMONTII BIRCH	3" CAL. / B&B AS SHOWN	2
SHRUBS & ACCENTS ITEM		SIZE	QTY.
	SPIRAEA DOUGLASH DOUGLAS SPIRAEA	1 GAL.	4
	ROSA WOODSII WOODS ROSE	1 GAL.	6
	COTONEASTER LACTEUS PARNEY COTONEASTER	3 GAL.	9
	PHYSCARPUS PACIFIC NINEBARK	2 GAL.	1
	PENNYCETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	1 GAL.	6
	CORNUS ALBA 'IVORY HALO' IVORY HALO DOGWOOD	5 GAL.	4
GROUNDCOVERS ITEM		SIZE	QTY.
	ARCTOSTAPHYLOS UVA-URSI 'MASS' MASSACHUSETTS KINNICKINNIK	1 GAL. @ 3'-0" O.C.	625 SF 80 PLANTS

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
OREGON
12/18/11
KEVIN M. PL/LS

DDWL
720 SW Washington St, Suite 750
Portland, Oregon 97205
(971) 280-8641

CRACKER BARREL - NYBERG RIVERS TUALATIN, OREGON LANDSCAPE PLAN

SECTION 24, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

PROJECT: 21503370
DATE: 01/11/2016

© DDWL 2015

L1.0



SOUTH ELEVATION



WEST ELEVATION

DIMENSIONAL INFORMATION

BUILDING SIZE:

-LENGTH/WIDTH OF BUILDING:
103'-4" L x 100'-0" W

-LENGTH/WIDTH OF PORCH:
12'-2" L x 100'-6" W

-SQUARE FOOTAGE OF BUILDING:
9,121 sf

-SQUARE FOOTAGE OF PORCH:
1,223 sf

-TOTAL FOOTPRINT:
10,344 sf

BUILDING HEIGHTS:

-HEIGHT OF FRONT WALL PARAPET:
19'-0" H

-HEIGHT OF SIDE & REAR PARAPETS:
16'-10 1/2" H

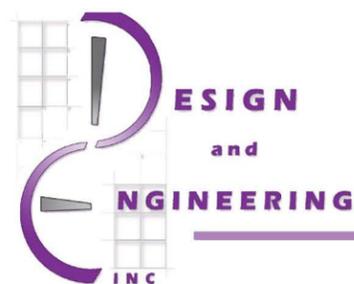
-TOP OF SIGN PARAPETS:
FRONT: 23'-0" H,
RIGHT: 20'-10 1/2" H

-HEIGHT OF CHIMNEY ABOVE FINISH FLOOR:
30'-0" +/-

-ROOF SLOPES FRONT TO REAR:
-MAX. HEIGHT ABOVE FINISH FLOOR
INSIDE FRONT PARAPET WALL: 13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR
INSIDE REAR PARAPET WALL: 11'-0" H

WALL SIGNAGE:

-HEIGHT/WIDTH OF ALL SIGNS:
SOUTH & WEST: 7' H x 13' W (91 sf)



TUALATIN, OREGON

NYBERG RIVERS SHOPPING CENTER - PROTOTYPE 177-16 F NB

EXTERIOR MATERIALS LEGEND

- A CERTAINTED SIDING & MIRATEC BATTENS, PAINTED "CRACKER BARREL BROWN"
- B BERRIDGE STANDING-SEAM ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D CULTURED STONE VENEER, "CHARDONNAY" BLEND



Old Country Store

07.07.15

1 of 2

UPDATED 1.11.16
SCALE: 3/32" = 1'-0"

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR RENDITION OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR AND TEXTURE SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ACTUAL DIMENSIONS.



EAST ELEVATION



NORTH ELEVATION

DIMENSIONAL INFORMATION

BUILDING SIZE:

-LENGTH/WIDTH OF BUILDING:
103'-4" L x 100'-0" W

-LENGTH/WIDTH OF PORCH:
12'-2" L x 100'-6" W

-SQUARE FOOTAGE OF BUILDING:
9,121 sf

-SQUARE FOOTAGE OF PORCH:
1,223 sf

-TOTAL FOOTPRINT:
10,344 sf

BUILDING HEIGHTS:

-HEIGHT OF FRONT WALL PARAPET:
19'-0" H

-HEIGHT OF SIDE & REAR PARAPETS:
16'-10 1/2" H

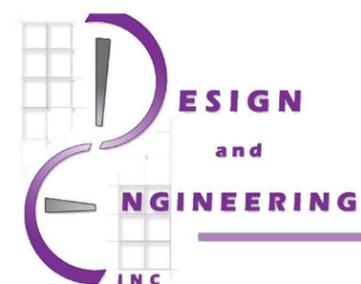
-TOP OF SIGN PARAPETS:
FRONT: 23'-0" H,
RIGHT: 20'-10 1/2" H

-HEIGHT OF CHIMNEY ABOVE FINISH
FLOOR: 30'-0" +/-

-ROOF SLOPES FRONT TO REAR:
-MAX. HEIGHT ABOVE FINISH FLOOR
INSIDE FRONT PARAPET WALL: 13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR
INSIDE REAR PARAPET WALL: 11'-0" H

WALL SIGNAGE:

-HEIGHT/WIDTH OF ALL SIGNS:
EAST & NORTH: 7' H x 13' W (91 sf)



TUALATIN, OREGON

NYBERG RIVERS SHOPPING CENTER - PROTOTYPE 177-16 F NB

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR RENDITION OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL BOARDS FOR ACTUAL COLOR AND TEXTURE SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ACTUAL DIMENSIONS.

EXTERIOR MATERIALS LEGEND

- A CERTAINTED SIDING & MIRATEC BATTENS, PAINTED "CRACKER BARREL BROWN"
- B BERRIDGE STANDING-SEAM ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D CULTURED STONE VENEER, "CHARDONNAY" BLEND

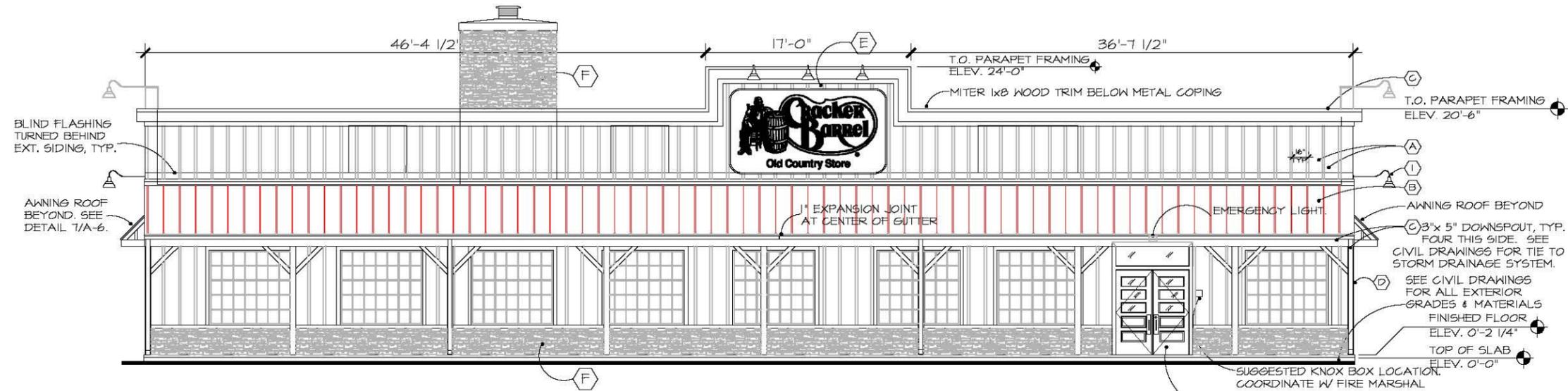


Old Country Store
07.07.15
2 of 2

UPDATED 1.11.16
SCALE: 3/32" = 1'-0"

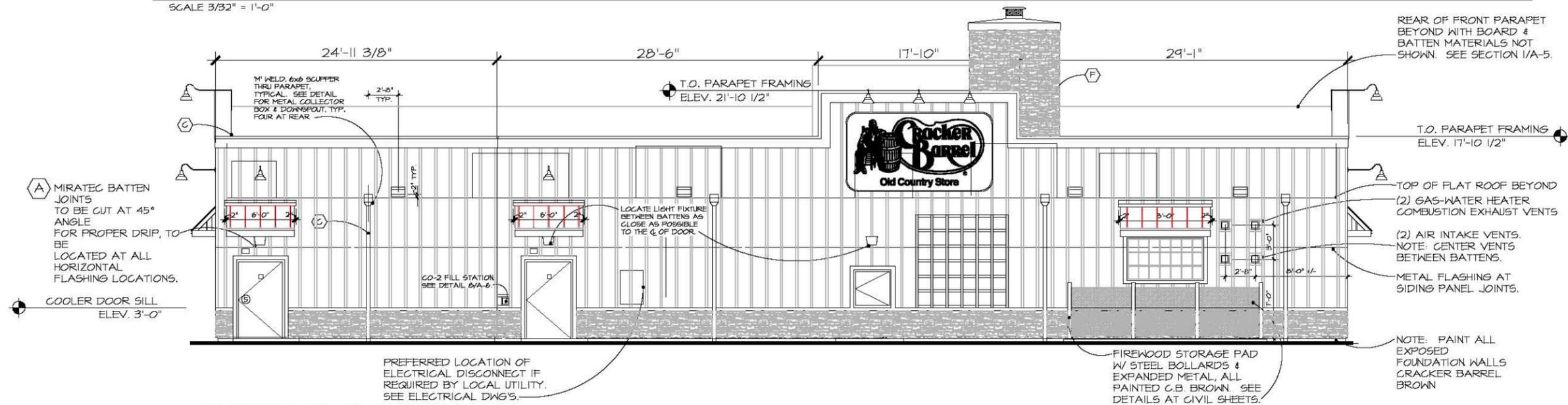
EXTERIOR MATERIALS LEGEND (A)

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIRATEC BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPING, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SOUTHERN LEDGESTONE CULTURED STONE VENEER	"CHARDONNAY" BLEND, #2054
G	WOOD ENTRY DOORS	MINWAX OIL STAIN 'GOLDEN OAK'
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK



SOUTH ELEVATION

SCALE 3/32" = 1'-0"



NORTH ELEVATION

SCALE 3/32" = 1'-0"

CRACKER BARREL PROJECT NUMBER: CB 112 16F NB
**CRACKER BARREL
 OLD COUNTRY STORE**
 7855 SW NYBERG STREET
 TUALATIN, OR 97062
THESE CONSTRUCTION DOCUMENTS ARE THE SOLE PROPERTY OF CRACKER BARREL OLD COUNTRY STORE. NO PART OF THESE DOCUMENTS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CRACKER BARREL OLD COUNTRY STORE.

Cracker Barrel
 P.O. Box 787
 Hartmann Drive, Lebanon, TN 37087

PRELIMINARY NOT
 FOR CONSTRUCTION

DESIGN AND ENGINEERING
 ARCHITECTS AND ENGINEERS
 1445 West 14th Circle
 Bristol, TN 37620
 615-370-1779
 Fax: 615-370-4188
 www.fordinc.us

EXTERIOR
 ELEVATIONS

INITIAL DATE: 12-01-18
 RE-ISSUE DATE:

REVISIONS
1-12-18, 1011 FORMAT

1-1874

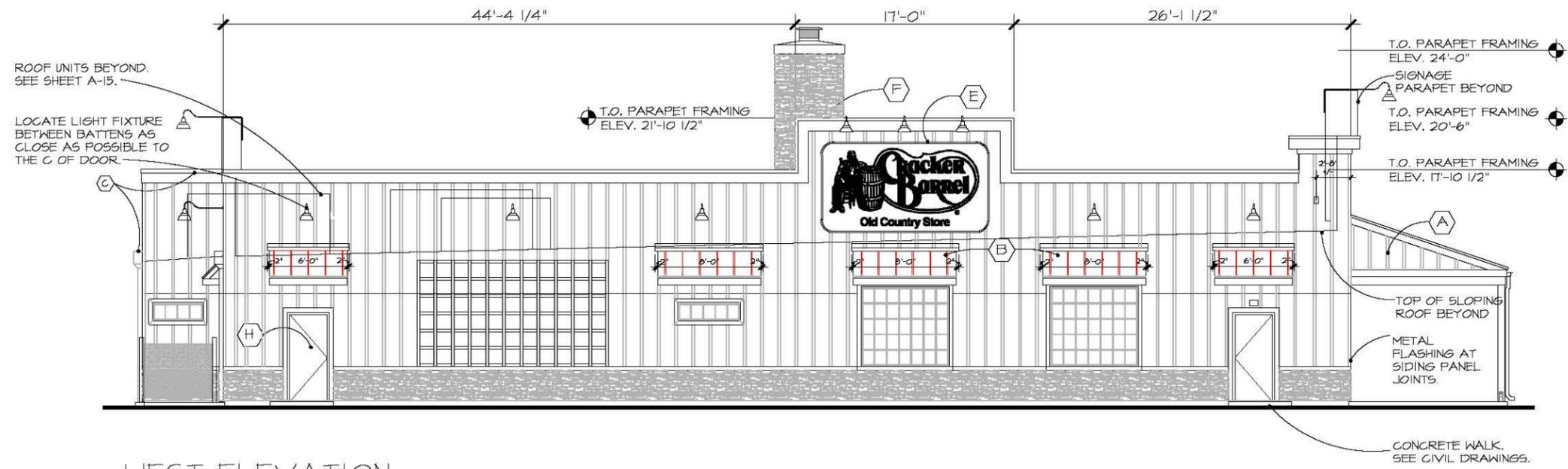


SHEET 1 OF 2

CB 112 16F NB

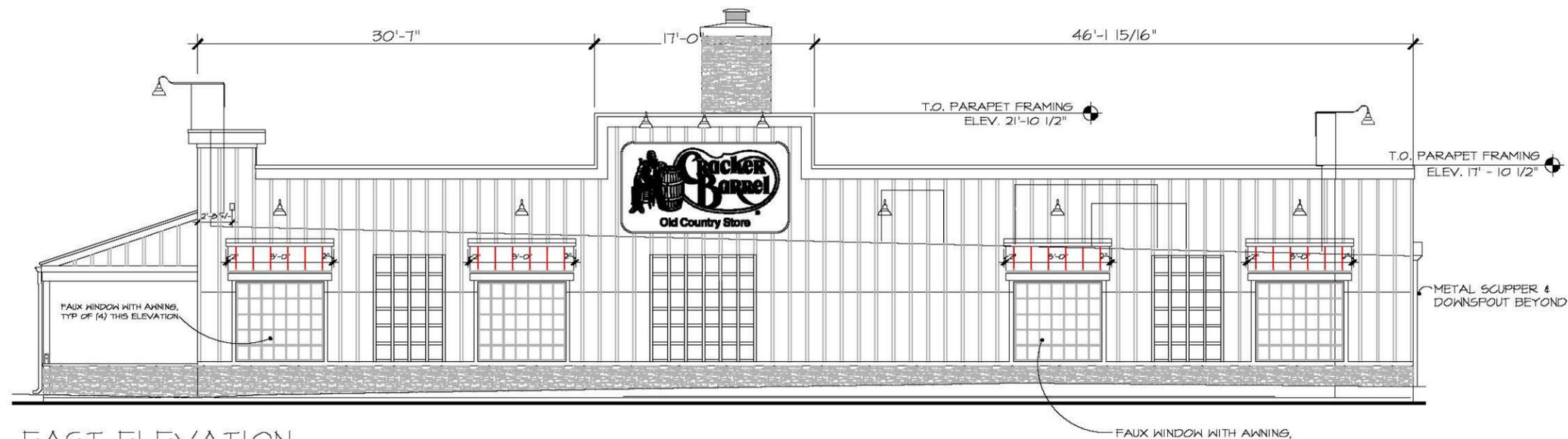
EXTERIOR MATERIALS LEGEND (A)

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALLURA SIDING & MIRATEG BATTENS AT 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
B	BERRIDGE DEEP-VEE STANDING SEAM METAL ROOF	PRE-FINISHED GALVALUME
C	PETERSEN METAL COPINGS, GUTTERS, DOWNSPOUTS	PRE-FINISHED DARK BRONZE
D	ROUGH-SAWN WOOD TRIM	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	PARAPET WALL SIGNAGE	BY SIGNAGE CONTRACTOR
F	SOUTHERN LEDGESTONE CULTURED STONE VENEER	"CHARDONNAY" BLEND, #2054
G	WOOD ENTRY DOORS	MINWAX OIL STAIN 'GOLDEN OAK'
H	METAL SERVICE / EXIT DOORS & FRAMES	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
I	WALL / SIGNAGE LIGHTING	PRE-FINISHED BLACK



WEST ELEVATION

SCALE 3/32" = 1'-0"



EAST ELEVATION

SCALE 3/32" = 1'-0"

CRACKER BARREL
 OLD COUNTRY STORE
 7866 SW NYBERG STREET
 TUALATIN, OR 97062

Cracker Barrel
 P.O. Box 787
 Hartmann Drive, Lebanon, TN 37087

PRELIMINARY NOT
 FOR CONSTRUCTION

DESIGN AND ENGINEERING
 ARCHITECTS AND ENGINEERS
 1645 Weststone Circle
 Brentwood, TN 37027
 615-370-1779
 fax: 615-370-9188
 www.hendrickc.com

EXTERIOR
 ELEVATIONS

INITIAL DATE: 12-01-19
 RE-ISSUE DATE:
 REVISIONS
 A 112-8, INT FORMAT
 11-2019



SHEET 2 OF 2

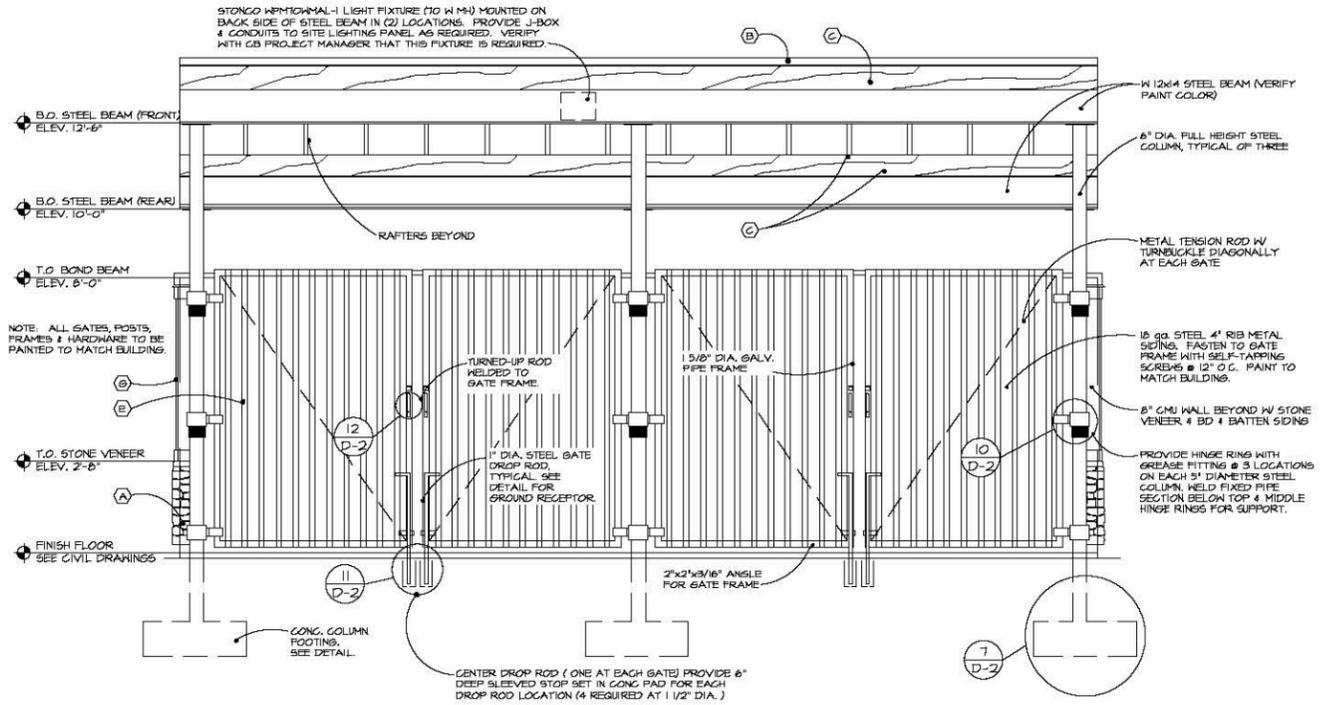
CG 172 18F NB

NOTE: ALL DUMPSTER ENCLOSURE STRUCTURAL STEEL (BOLLARDS, GATES, DROP RODS, COLUMNS, BEAMS, ETC.) IS INCLUDED IN THE OWNER-FURNISHED STEEL PACKAGE AND ARE INSTALLED BY THE CONTRACTOR.

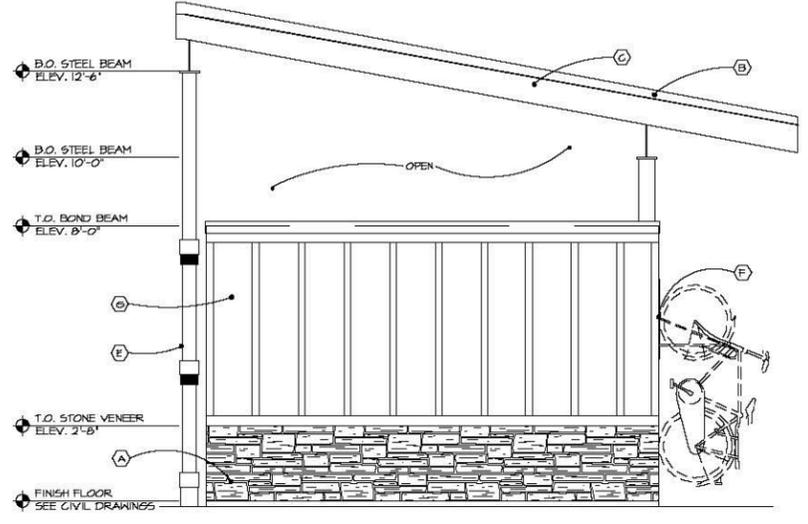
- KEY NOTES**
1. ALL HARDWARE SHALL BE HEAVY DUTY CORROSION RESISTANT.
 2. ALL WELDS SHALL BE GRIND SMOOTH.
 3. THE TOP OF ALL ENCLOSURE WALLS AND GATES SHALL BE LEVEL. IF REQUIRED, PROVIDE FLARED SIDES OF APRON SLAB TO MEET ADJACENT FINISH SURFACE - SLOPE 1/4" PER FOOT MAX.
 4. ALL GATES (INCLUDING SUPPORTS) SHALL BE PAINTED.
 5. CONG. BLK. SHALL BE SEALED AND PAINTED.
 6. ALL EXPOSED STEEL PAINTED - CRACKER BARREL BROWN.

EXTERIOR MATERIALS LEGEND

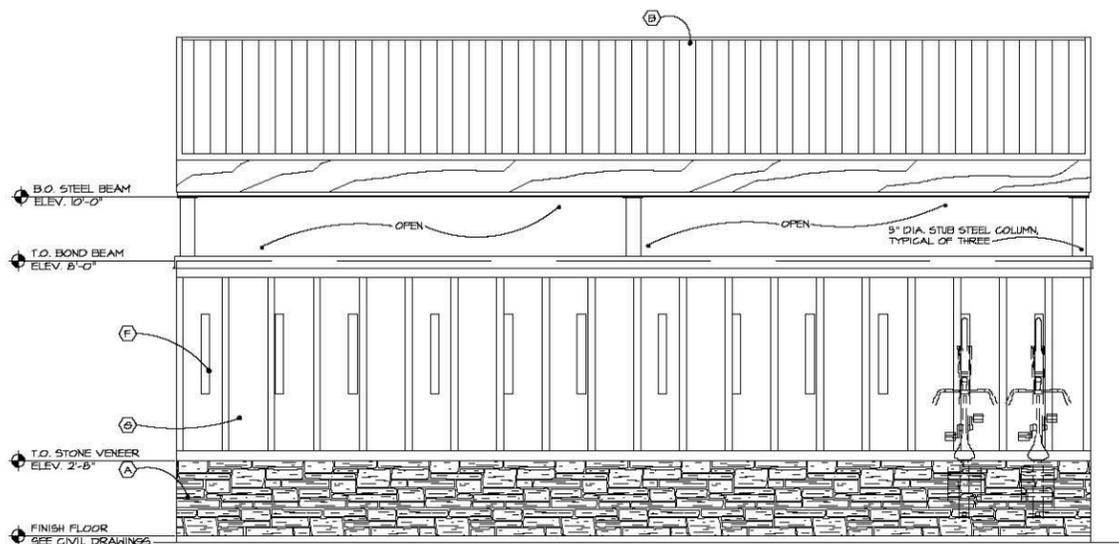
MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	STONE VENEER OVER 8" SMOOTH FACE CMU	CHARDONNAY SOUTHERN LEDGESTONE CSV-2054
B	STANDING BEAM METAL ROOF / DRIP EDGE	PRE-FINISHED GALVALUME
C	MOOD TRIM AND RAFTERS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
D	METAL MAN DOOR AND FRAME	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	METAL DUMPSTER ENCLOSURE, ALL MISCELLANEOUS STEEL, AND GATE PANELS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
F	BIKE RACKS	BELSON MODEL BEV-1-W-M-P
G	ALLURA SIDING W/ 1X3 MIRATEC BATTENS @ 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'



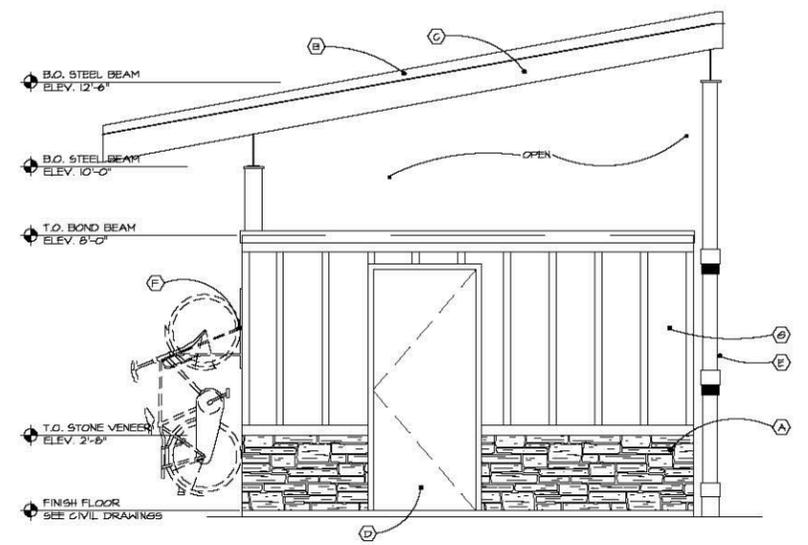
1 DUMPSTER ENCLOSURE FRONT ELEVATION
D-1 SCALE: 3/16"=1'-0"



3 DUMPSTER ENCLOSURE RIGHT SIDE ELEVATION
D-1 SCALE: 3/16"=1'-0"



2 DUMPSTER ENCLOSURE REAR ELEVATION
D-1 SCALE: 3/16"=1'-0"



4 DUMPSTER ENCLOSURE LEFT SIDE ELEVATION
D-1 SCALE: 3/16"=1'-0"

CRACKER BARREL
OLD COUNTRY STORE, #737
7655 SW MYBERG ST
TUALATIN, OREGON 97062

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

PRELIMINARY
NOT FOR
CONSTRUCTION

1645 Westgate Circle
Brentwood, TN 37017
615-378-1779
fax: 378-9188
www.dandinc.us

DESIGN
ENGINEERING
STRUCTURAL AND CIVIL ENGINEERS

DATE: 10-28-15
PROJECT NO: 11-0374

REVISION	DATE
Δ INIT FORMAT	Δ
Δ	Δ
Δ	Δ
Δ	Δ



DUMPSTER ENCLOSURE

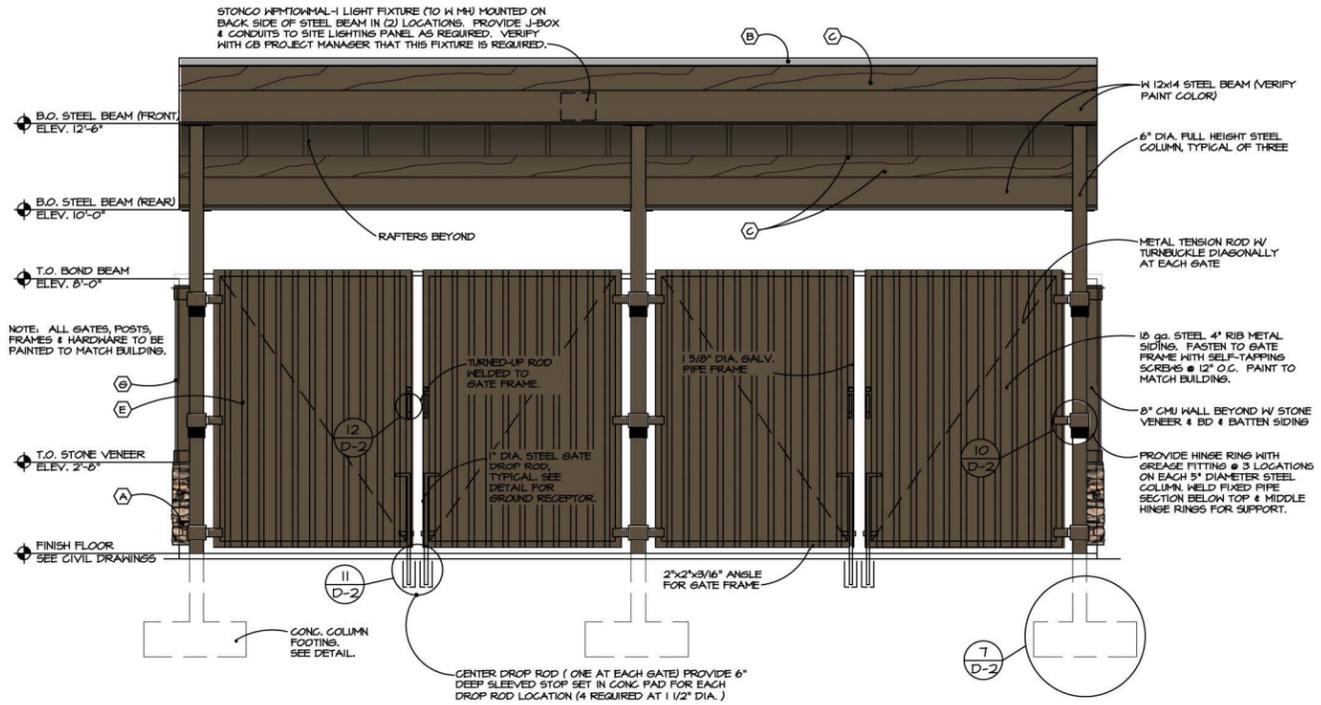
D-1

NOTE: ALL DUMPSTER ENCLOSURE STRUCTURAL STEEL (BOLLARDS, GATES, DROP RODS, COLUMNS, BEAMS, ETC.) IS INCLUDED IN THE OWNER-FURNISHED STEEL PACKAGE AND ARE INSTALLED BY THE CONTRACTOR.

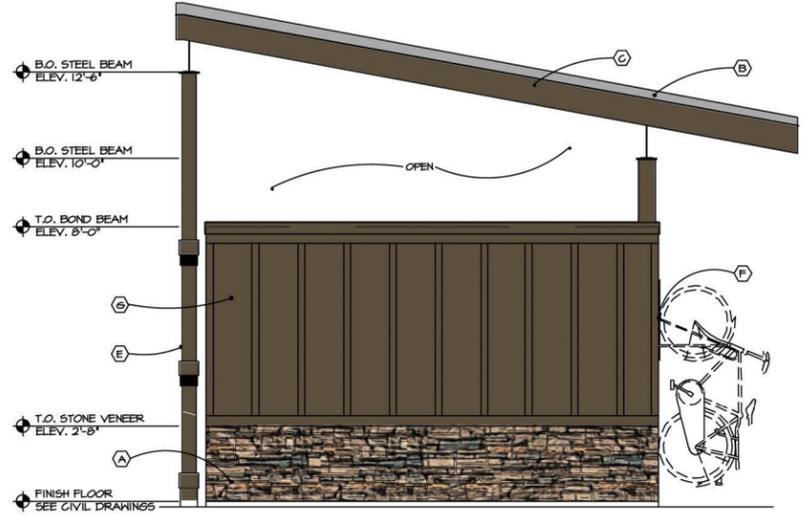
- KEY NOTES**
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EXTERIOR MATERIALS LEGEND

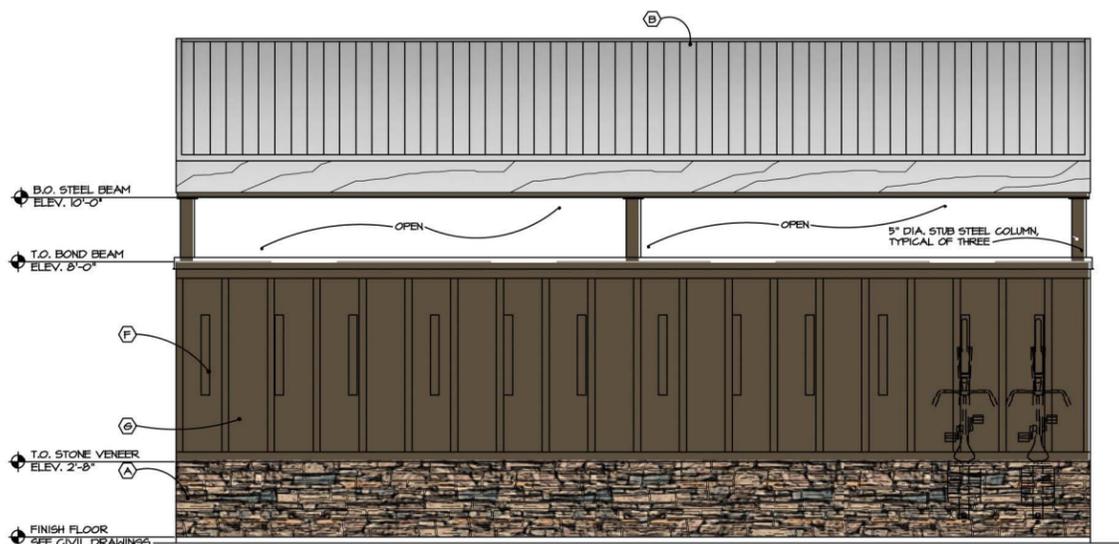
MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	STONE VENEER OVER 8" SMOOTH FACE CMU	CHARDONNAY SOUTHERN LEDGESTONE GSV-2054
B	STANDING SEAM METAL ROOF / DRIP EDGE	PRE-FINISHED GALVALUME
C	HOOD TRIM AND RAFTERS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
D	METAL MAN DOOR AND FRAME	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
E	METAL DUMPSTER ENCLOSURE, ALL MISCELLANEOUS STEEL, AND GATE PANELS	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'
F	BIKE RACKS	BELSON MODEL BSV-14M-P
G	ALLURA SIDING W/ 1x3 MIRATEC BATTENS @ 16" O.C.	SHERWIN-WILLIAMS PAINT 'CRACKER BARREL BROWN'



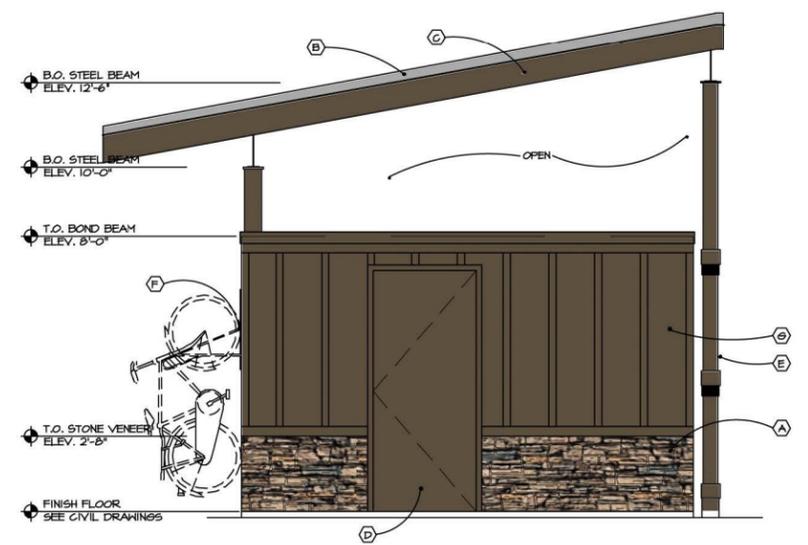
1 DUMPSTER ENCLOSURE FRONT ELEVATION
D-1 SCALE: 3/16"=1'-0"



3 DUMPSTER ENCLOSURE RIGHT SIDE ELEVATION
D-1 SCALE: 3/16"=1'-0"



2 DUMPSTER ENCLOSURE REAR ELEVATION
D-1 SCALE: 3/16"=1'-0"



4 DUMPSTER ENCLOSURE LEFT SIDE ELEVATION
D-1 SCALE: 3/16"=1'-0"

CRACKER BARREL
OLD COUNTRY STORE, #787
7655 SW NYBERG ST
TUALATIN, OREGON 97062

These construction documents are the exclusive property of Cracker Barrel Old Country Store. The information herein may be used for any other project without the written permission of Cracker Barrel Old Country Store.

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087

**PRELIMINARY
NOT FOR
CONSTRUCTION**

1645 Westgate Circle
Brentwood, TN 37027
615-378-1779
615-378-9108
www.dandinc.us

**DESIGN
and
ENGINEERING**
INC.

STRUCTURAL AND CIVIL ENGINEERS

DATE: 10-28-15
PROJECT NO: 11-0714

REVISIONS



**DUMPSTER
ENCLOSURE**

D-1

MEMORANDUM

To: Clare Fuchs, Senior Planner
City of Tualatin

From: Thatch Moyle, Senior Planner
Cardno

Date: February 19, 2015
Re: Pre-Application Conference Request

5415 SW Westgate Drive
Suite 100
Portland, Oregon 97221
USA

Phone (503) 419-2500
Fax (503) 419-2600

www.cardno.com

This memo is provided as a general overview of the proposed Cracker Barrel to be located at the Nyberg Rivers commercial center. The proposed restaurant will be located just north of the proposed Red Robin and south of the L.A. Fitness currently in construction. Please accept this memo and the attached pre-application meeting request application, existing conditions plan, preliminary site plan, and preliminary building elevations as items for your review and comment at the time of the pre-application conference.

Based on preliminary design, the proposed Cracker Barrel is 8,717 SF, with associated site improvements to include pedestrian sidewalks, landscaping, off-street parking spaces, and a trash enclosure located at the northeast corner of the site adjacent to the building. The primary building entrance is located to the south of the building, while there are secondary accesses on the north and west side of the building.

The site is within the Community Commercial (CC) planning district. The applicant is well aware of the development standards defined under City of Tualatin Development Code, but would request any feedback on the proposed site layout and building elevations at the pre-application meeting.

Specific questions to be discussed with the City include but are not limited to:

1. Please confirm the Architectural Review approvals and submittal requirements including fees.
2. Please confirm the attached preliminary site plan meets the requirements as established by the City development code, Nyberg Rivers Master Plan, and Nyberg Rivers ARB. Or provide comments on what would be required to reach staff support.
3. Please confirm the attached elevations meet the requirements as established by the City development code, Nyberg Rivers Master Plan and Nyberg Rivers ARB. Or provide comments on what would be required to reach staff support.
4. For an AR application would the City require a lighting plan or photometric plan? Based on the approved lighting plan for Nyberg Rivers, the applicant may need to shift the location of one light pole that is in the northwest corner of the site within a parking lot landscape island.
5. Please verify known utility constraints that could affect the project.
6. Please confirm what will be required for any traffic related documentation for the AR Submittal.
7. Please confirm any required SDC Fees for the proposed project.
8. Please confirm all permits and requirements required for construction of this project.

Thank you Clare for this opportunity to discuss the proposed development. We look forward to working with you and the City on this project.



June 11, 2015

5415 SW Westgate Drive
Suite 100
Portland, Oregon 97221
USA

Phone (503) 419-2500
Fax (503) 419-2600

Re: Architectural Review Application for proposed Cracker Barrel at Nyberg Rivers

www.cardno.com

Dear Property Owner/Neighborhood Representative:

You are cordially invited to attend a meeting on June 25, 2015 from 5:30 p.m. to 6:30 p.m. at the Heritage Center located at 8700 SW Seek Drive in Tualatin. This meeting shall be held to discuss an architectural review application for a proposed Cracker Barrel restaurant located at Nyberg Rivers within the southeast portion of the site along the Nyberg Road frontage (Tax Lot ID 2S124A003100) in Tualatin.

Please note that this will be an informational meeting on preliminary plans with the developer and representatives only and is not intended to take the place of a public hearing before the Planning Commission. You will have an opportunity to present testimony to these bodies when an application is submitted to the City for review.

We look forward to meeting you at the June meeting and hearing your thoughts on the proposed project!

Sincerely,

Thatch Moyle, AICP
Senior Planner, Cardno

Enclosure: Site Plan



Kevin Brady

From: Lynette Sanford <LSanford@ci.tualatin.or.us>
Sent: Tuesday, August 04, 2015 1:41 PM
To: Kevin Brady
Subject: FW: Nyberg Rivers Cracker Barrel-- neighborhood meeting this Thursday from 5:30 to 6:30 at Heritage Center
Attachments: NybergRivers_CrackerBarrel-MailingNotice-2015-06-10.pdf; NYBERG OR SOUTH-WEST 06-09-15.pdf

I believe I found it! Is this it?

Lynette

From: Thatch Moyle (Portland) [mailto:Thatch.Moyle@cardno.com]
Sent: Tuesday, June 23, 2015 3:16 PM
To: Lynette Sanford; Clare Fuchs
Cc: 'cphill9@comcast.net'; rmheide@comcast.net; 'cjben5915@hotmail.com'; 'sander5389@comcast.net'; sander5389@comcast.net; doug_ulmer@comcast.net; alex.simshaw@gmail.com; stefan@feuerherdtlaw.com; tmpgarden@comcast.net; jrpride@frontier.com; roy@rueckco.com; lloop@klcorp.com; rachelcarpenterrealty@gmail.com; robertekellogg@yahoo.com; erik@johannesfamily.com; rfco@earthlink.com; jmakarowsky@comcast.net; edkcnw@comcast.net; willie.fisher@gmail.com; s.caporale@comcast.net; willie.fisher@gmail.com; mwestenhaver@hotmail.com; kzlateff@comcast.net; tualatincommercialcio@gmail.com; Gannett@oregonrn.org; scottm@capacitycommercial.com; famtunstall1@frontier.com; famtunstall1@frontier.com; tualatinindustrialcio@gmail.com; scottm@capacitycommercial.com
Subject: Nyberg Rivers Cracker Barrel-- neighborhood meeting this Thursday from 5:30 to 6:30 at Heritage Center

Hello! We are hosting a neighborhood meeting for the proposed Cracker Barrel at Nyberg Rivers this Thursday, June 25th from 5:30 to 6:30 PM at the Heritage Center. See attached mailer as well as updated elevations that will be presented at the meeting. Please do not hesitate to call or email with any questions or concerns.

Thank you and hope you can make it on Thursday.

Thatch Moyle

SENIOR PLANNER
ENGINEERING & ENVIRONMENTAL SERVICES DIVISION
CARDNO



Direct (+1) 503-419-2520
Address 5415 SW Westgate Drive, Ste 100, Portland, OR 97221
Email thatch.moyle@cardno.com Web www.cardno.com

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NEIGHBORHOOD/APPLICANT MEETING ATTENDEE SIGN-IN SHEET

Project: Cracker Barrel at Nyberg Rivers

Meeting Date: June 25, 2015
5:30 -6:30 p.m.

Facilitator: Cardno—Thatch Moyle

Place/Room: Heritage Center
8700 SW Seek Dr

Name	Address (optional)	Phone (optional)	E-Mail (optional)
Delee Haudbine	[REDACTED]		
LINDY HUGHES			
Steve & Teri Heino			
Christine Nyberg Tunstall			
LESLIE McCARTAN			
PAT McCARTAN			
Clare Fuchs			
Roy Loop (CIO & V.PRES)			
Mary Lyn Westenhaver			

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Cracker Barrel at Nyberg Rivers Neighborhood Meeting Minutes

Date: June 25, 2015
5:30 p.m. to 6:30 p.m.

Location: Heritage Center
8700 SW Seek Drive Tualatin, OR 97062

Prepared by: Thatch Moyle
Senior Planner, Cardno

This neighborhood meeting for Cracker Barrel at Nyberg Rivers was attended by several neighbors and a Senior City Planner for the City of Tualatin, Clare Fuchs. Representing the applicant was Thatch Moyle, Senior Planner with Cardno. Some of the attendees were concerned with existing traffic/parking issues at Nyberg Rivers. Clare Fuchs addressed the concerns about on-site parking issues, including steps the City is taking to resolve parking concerns.

Nearly all attendees approved of the building elevations and the porch location relative to the fire pit. Several attendees were 'big fans' of Cracker Barrel and have been waiting for the arrival of Cracker Barrel to the Portland metro area.

There were a few specific comments and questions from the attendees, as indicated on the attached Comment Forms and summarized below:

- 1) Christine Tunstall expressed a desire to include native plants in the planting plan, and that the paint color appeared to be too dark.
- 2) Mary Lyn Westenhaver indicated that parking was already an issue and that additional retail/restaurants would increase the demand. She indicated that she already had trouble finding parking on weekends.
- 3) Lindy Hughes expressed her appreciation for the color (brown), but that it should be lightened.
- 4) Steve Heino expressed his appreciation for the Cracker Barrel restaurant brand and also the proposed appearance of the exterior.

COMMENT FORM

Name*: Steve Heino

Address*: _____

Comment: We and many of our friends

LOVE the fact that cracker

barrel is coming to Tualatin.

The appearance looks great too.

Thanks

**Name & Address Optional*

COMMENT FORM

Name*: LINDY HUGHES

Address*: 17690 SW CHEYENNE WY, TUALATIN

Comment: CB building color seems very dark. Brown

is great but a little lighter would be better.

**Name & Address Optional*

COMMENT FORM

Name*: Mary Lyn Westenhaver
Address*: 9845 SW Iowa Dr.
Tu

Comment: Parking is already an issue for
some areas of this lot. I am concerned
that 2 more restaurants are being added,
bringing many more cars. On more than
one occasion I have gone to New Seasons
from unable to find a parking space.

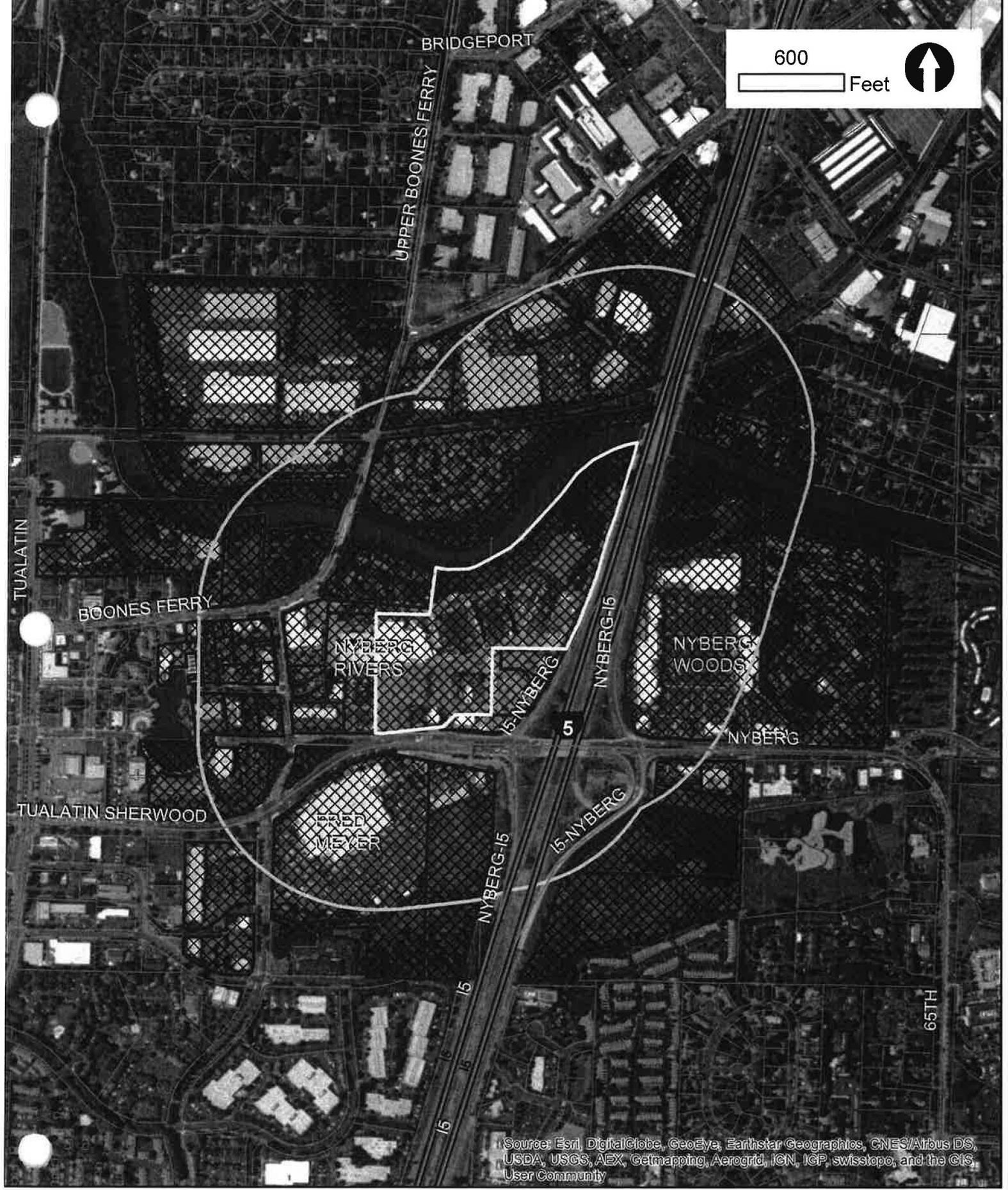
**Name & Address Optional*

COMMENT FORM

Name*: Christine N. Tunstall
Address*: 17400 SW Cheyenne Way
Tualatin, OR

Comment: Please plant native plants!
Paint color appears a bit dark.

**Name & Address Optional*



Cracker Barrel at Nyberg Rivers

Tax Lots within 1000ft

Attachment 102



Tualatin, Oregon



AR-15-0025

To lessen the bulk of the notice of application and to address privacy concerns, this sheet substitutes for the photocopy of the mailing labels. A copy is available upon request.



February 11, 2016

Clare Fuchs
City of Tualatin
18880 SW Martinazzi Road
Tualatin, OR 97062

Re: AR-15-0025
Tax Lot I.D: 2S1 24AD 3100

Dear Clare,

Thank you for the opportunity to review the proposed site plan surrounding the above named development project. Tualatin Valley Fire & Rescue endorses this proposal predicated on the following criteria and conditions of approval:

FIRE APPARATUS ACCESS:

1. **FIRE APPARATUS ACCESS ROAD DISTANCE FROM BUILDINGS AND FACILITIES:** Access roads shall be within 150 feet of all portions of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building or facility. An approved turnaround is required if the remaining distance to an approved intersecting roadway, as measured along the fire apparatus access road, is greater than 150 feet. (OFC 503.1.1))
2. **DEAD END ROADS AND TURNAROUNDS:** Dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved turnaround. Diagrams of approved turnarounds are shown below: (OFC 503.2.5 & D103.1)
3. **FIRE APPARATUS ACCESS ROAD EXCEPTION FOR AUTOMATIC SPRINKLER PROTECTION:** When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access may be modified as approved by the fire code official. (OFC 503.1.1) ***Note: If residential fire sprinklers are elected as an alternate means of protection and the system will be supported by a municipal water supply, please contact the local water purveyor for information surrounding water meter sizing.***
4. **ADDITIONAL ACCESS ROADS – COMMERCIAL/INDUSTRIAL HEIGHT:** Buildings exceeding 30 feet in height or three stories in height shall have at least two separate means of fire apparatus access. (D104.1)
5. **ADDITIONAL ACCESS ROADS – COMMERCIAL/INDUSTRIAL SQUARE FOOTAGE:** Buildings or facilities having a gross building area of more than 62,000 square feet shall have at least two approved separate means of fire apparatus access. Exception: Projects having a gross building area of up to 124,000 square feet that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems. (OFC D104.2)

6. **AERIAL FIRE APPARATUS ROADS:** Buildings with a vertical distance between the grade plane and the highest roof surface that exceeds 30 feet in height shall be provided with a fire apparatus access road constructed for use by aerial apparatus with an unobstructed driving surface width of not less than 26 feet. For the purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of the parapet walls, whichever is greater. Any portion of the building may be used for this measurement, provided that it is accessible to firefighters and is capable of supporting ground ladder placement. (OFC D105.1, D105.2)
7. **AERIAL APPARATUS OPERATIONS:** At least one of the required aerial access routes shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial access road is positioned shall be approved by the fire code official. Overhead utility and power lines shall not be located over the aerial access road or between the aerial access road and the building. (D105.3, D105.4)
8. **FIRE APPARATUS ACCESS ROAD WIDTH AND VERTICAL CLEARANCE:** Fire apparatus access roads shall have an unobstructed driving surface width of not less than 20 feet (26 feet adjacent to fire hydrants (OFC D103.1)) and an unobstructed vertical clearance of not less than 13 feet 6 inches. The fire district will approve access roads of 12 feet for up to three dwelling units and accessory buildings. (OFC 503.2.1 & D103.1)
9. **NO PARKING SIGNS:** Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, "No Parking" signs shall be installed on one or both sides of the roadway and in turnarounds as needed. Signs shall read "NO PARKING - FIRE LANE" and shall be installed with a clear space above grade level of 7 feet. Signs shall be 12 inches wide by 18 inches high and shall have red letters on a white reflective background. (OFC D103.6)
10. **NO PARKING:** Parking on emergency access roads shall be as follows (OFC D103.6.1-2):
 1. 20-26 feet road width – no parking on either side of roadway
 2. 26-32 feet road width – parking is allowed on one side
 3. Greater than 32 feet road width – parking is not restricted
11. **PAINTED CURBS:** Where required, fire apparatus access roadway curbs shall be painted red (or as approved) and marked "NO PARKING FIRE LANE" at 25 foot intervals. Lettering shall have a stroke of not less than one inch wide by six inches high. Lettering shall be white on red background (or as approved). (OFC 503.3)
12. **FIRE APPARATUS ACCESS ROADS WITH FIRE HYDRANTS:** Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet and shall extend 20 feet before and after the point of the hydrant. (OFC D103.1)
13. **SURFACE AND LOAD CAPACITIES:** Fire apparatus access roads shall be of an all-weather surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,500 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight). Documentation from a registered engineer that the final construction is in accordance with approved plans or the requirements of the Fire Code may be requested. (OFC 503.2.3)
14. **TURNING RADIUS:** The inside turning radius and outside turning radius shall not be less than 28 feet and 48 feet respectively, measured from the same center point. (OFC 503.2.4 & D103.3)
15. **ACCESS ROAD GRADE:** Fire apparatus access roadway grades shall not exceed 12%. When fire sprinklers* are installed, a maximum grade of 15% will be allowed.

0-12%	Allowed
13-15%	Special consideration with submission of written Alternate Methods and Materials request. Ex: Automatic fire sprinkler (13-D) system* in lieu of grade.
≥16%	Special consideration on a case by case basis with submission of written

	Alternate Methods and Materials request Ex: Automatic fire sprinkler (13-D) system* plus additional engineering controls in lieu of grade.**
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*The approval of fire sprinklers as an alternate shall be accomplished in accordance with the provisions of ORS 455.610(5) and OAR 918-480-0100 and installed per section 903.3.1.1, 903.3.1.2, or 903.3.1.3 of the Oregon Fire Code (OFC 503.2.7 & D103.2)

** See Forest Dwelling Access section for exceptions.

- 16. **ANGLE OF APPROACH/GRADE FOR TURNAROUNDS:** Turnarounds shall be as flat as possible and have a maximum of 5% grade with the exception of crowning for water run-off. (OFC 503.2.7 & D103.2)
- 17. **ANGLE OF APPROACH/GRADE FOR INTERSECTIONS:** Intersections shall be level (maximum 5%) with the exception of crowning for water run-off. (OFC 503.2.7 & D103.2)
- 18. **AERIAL APPARATUS OPERATING GRADES:** Portions of aerial apparatus roads that will be used for aerial operations shall be as flat as possible. Front to rear and side to side maximum slope shall not exceed 10%.
- 19. **GATES:** Gates securing fire apparatus roads shall comply with all of the following (OFC D103.5, and 503.6):
 - 1. Minimum unobstructed width shall be not less than 20 feet (or the required roadway surface width).
 - 2. Gates serving three or less single-family dwellings shall be a minimum of 12 feet in width.
 - 3. Gates shall be set back at minimum of 30 feet from the intersecting roadway or as approved.
 - 4. Electric gates shall be equipped with a means for operation by fire department personnel
 - 5. Electric automatic gates shall comply with ASTM F 2200 and UL 325.
- 20. **ACCESS DURING CONSTRUCTION:** Approved fire apparatus access roadways shall be installed and operational prior to any combustible construction or storage of combustible materials on the site. Temporary address signage shall also be provided during construction. (OFC 3309 and 3310.1)
- 21. **TRAFFIC CALMING DEVICES:** Shall be prohibited on fire access routes unless approved by the Fire Code Official. (OFC 503.4.1).

FIREFIGHTING WATER SUPPLIES:

- 22. **MUNICIPAL FIREFIGHTING WATER SUPPLY EXCEPTIONS:** The requirements for firefighting water supplies may be modified as approved by the fire code official where any of the following apply: (OFC 507.5.1 Exceptions)
 - 1. Buildings are equipped throughout with an approved automatic fire sprinkler system (the approval of this alternate method of construction shall be accomplished in accordance with the provisions of ORS 455.610(5)).
 - 2. There are not more than three Group R-3 or Group U occupancies.
- 23. **COMMERCIAL BUILDINGS – REQUIRED FIRE FLOW:** The minimum fire flow and flow duration for buildings other than one- and two-family dwellings shall be determined in accordance with residual pressure (OFC Table B105.2). The required fire flow for a building shall not exceed the available GPM in the water delivery system at 20 psi.

Note: OFC B106, Limiting Fire-Flow is also enforced, except for the following:

 - In areas where the water system is already developed, the maximum needed fire flow shall be either 3,000 GPM or the available flow in the system at 20 psi, whichever is greater.
 - In new developed areas, the maximum needed fire flow shall be 3,000 GPM at 20 psi.
 - Tualatin Valley Fire & Rescue does not adopt Occupancy Hazards Modifiers in section B105.4-B105.4.1
- 24. **FIRE FLOW WATER AVAILABILITY:** Applicants shall provide documentation of a fire hydrant flow test or flow test modeling of water availability from the local water purveyor if the project includes a new structure or increase in the floor area of an existing structure. Tests shall be conducted from a fire hydrant within 400 feet for commercial projects, or 600 feet for residential development. Flow tests will be accepted if they were performed within 5 years as long as no adverse modifications have been made to the supply system. Water availability information may not be required to be submitted for every project. (OFC Appendix B)
- 25. **WATER SUPPLY DURING CONSTRUCTION:** Approved firefighting water supplies shall be installed and operational prior to any combustible construction or storage of combustible materials on the site. (OFC 3312.1)

FIRE HYDRANTS:

26. **FIRE HYDRANTS – COMMERCIAL BUILDINGS:** Where a portion of the building is more than 400 feet from a hydrant on a fire apparatus access road, as measured in an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided. (OFC 507.5.1)
- This distance may be increased to 600 feet for buildings equipped throughout with an approved automatic sprinkler system.
 - The number and distribution of fire hydrants required for commercial structure(s) is based on Table C105.1, following any fire-flow reductions allowed by section B105.3.1. Additional fire hydrants may be required due to spacing and/or section 507.5 of the Oregon Fire Code.
27. **FIRE HYDRANTS – ONE- AND TWO-FAMILY DWELLINGS & ACCESSORY STRUCTURES:** Where a portion of a structure is more than 600 feet from a hydrant on a fire apparatus access road, as measured in an approved route around the exterior of the structure(s), on-site fire hydrants and mains shall be provided. (OFC 507.5.1)
28. **FIRE HYDRANT NUMBER AND DISTRIBUTION:** The minimum number and distribution of fire hydrants available to a building shall not be less than that listed in Table C 105.1. (OFC Appendix C)
29. **FIRE HYDRANT(S) PLACEMENT:** (OFC C104)
- Existing hydrants in the area may be used to meet the required number of hydrants as approved. Hydrants that are up to 600 feet away from the nearest point of a subject building that is protected with fire sprinklers may contribute to the required number of hydrants. (OFC 507.5.1)
 - Hydrants that are separated from the subject building by railroad tracks shall not contribute to the required number of hydrants unless approved by the fire code official.
 - Hydrants that are separated from the subject building by divided highways or freeways shall not contribute to the required number of hydrants. Heavily traveled collector streets may be considered when approved by the fire code official.
 - Hydrants that are accessible only by a bridge shall be acceptable to contribute to the required number of hydrants only if approved by the fire code official.
30. **PRIVATE FIRE HYDRANT IDENTIFICATION:** Private fire hydrants shall be painted red in color. Exception: Private fire hydrants within the City of Tualatin shall be yellow in color. (OFC 507)
31. **FIRE HYDRANT DISTANCE FROM AN ACCESS ROAD:** Fire hydrants shall be located not more than 15 feet from an approved fire apparatus access roadway unless approved by the fire code official. (OFC C102.1)
32. **REFLECTIVE HYDRANT MARKERS:** Fire hydrant locations shall be identified by the installation of blue reflective markers. They shall be located adjacent and to the side of the center line of the access roadway that the fire hydrant is located on. In the case that there is no center line, then assume a center line and place the reflectors accordingly. (OFC 507)
33. **PHYSICAL PROTECTION:** Where fire hydrants are subject to impact by a motor vehicle, guard posts, bollards or other approved means of protection shall be provided. (OFC 507.5.6 & OFC 312)
34. **CLEAR SPACE AROUND FIRE HYDRANTS:** A 3 foot clear space shall be provided around the circumference of fire hydrants. (OFC 507.5.5)
35. **FIRE DEPARTMENT CONNECTION (FDC) LOCATIONS:** FDCs shall be located within 100 feet of a fire hydrant (or as approved). Hydrants and FDC's shall be located on the same side of the fire apparatus access roadway or drive aisle, fully visible, and recognizable from the street or nearest point of the fire department vehicle access or as otherwise approved. (OFC 912.2.1 & NFPA 13)
- Fire department connections (FDCs) shall normally be located remotely and outside of the fall-line of the building when required. FDCs may be mounted on the building they serve, when approved.

- FDCs shall be plumbed on the system side of the check valve when sprinklers are served by underground lines also serving private fire hydrants.

BUILDING ACCESS AND FIRE SERVICE FEATURES

36. **EMERGENCY RESPONDER RADIO COVERAGE:** In new buildings where the design reduces the level of radio coverage for public safety communications systems below minimum performance levels, a distributed antenna system, signal booster, or other method approved by TVF&R and Washington County Consolidated Communications Agency shall be provided. (OSSC 915.1; OFC 510.1)
- a. Emergency responder radio system testing and/or system installation is required for this building. Please contact me (using my contact info below) for further information including an alternate means of compliance that is available. If the alternate method is preferred, it must be requested from TVF&R prior to issuance of building permit.
37. **KNOX BOX:** A Knox Box for building access may be required for structures and gates. See Appendix C for further information and detail on required installations. Order via www.tvfr.com or contact TVF&R for assistance and instructions regarding installation and placement. (OFC 506.1)
38. **UTILITY IDENTIFICATION:** Rooms containing controls to fire suppression and detection equipment shall be identified as "Fire Control Room." Signage shall have letters with a minimum of 4 inches high with a minimum stroke width of 1/2 inch, and be plainly legible, and contrast with its background. (OFC 509.1)

If you have questions or need further clarification, please feel free to contact me at (503) 649-8577.

Sincerely,



Ty Darby
Deputy Fire Marshal II

Cc: file

MEMORANDUM

Date: February 15, 2016
To: Clare Fuchs, Senior Planner, City of Tualatin
From: Jackie Sue Humphreys, Clean Water Services (the District)
Subject: Cracker Barrel Restaurant, AR-15-0025, 2S124A003100

Please include the following comments when writing your conditions of approval:

PRIOR TO ANY WORK ON THE SITE

A Clean Water Services (the District) Storm Water Connection Permit Authorization must be obtained. Application for the District's Permit Authorization must be in accordance with the requirements of the Design and Construction Standards, Resolution and Order No. 07-20, (or current R&O in effect at time of Engineering plan submittal), and is to include:

- a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.2.b-1.
- b. Detailed grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans.
- c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
- d. Provisions for water quality in accordance with the requirements of the above named design standards. Water Quality is required for all new development and redevelopment areas per R&O 07-20, Section 4.05.5, Table 4-1. Access shall be provided for maintenance of facility per R&O 07-20, Section 4.02.4.
- e. If use of an existing, offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans, showing its location, condition, capacity to treat this site and, any additional improvements and/or upgrades that may be needed to utilize that facility.

- f. If private lot LIDA systems proposed, must comply with the current CWS Design and Construction Standards. A private maintenance agreement, for the proposed private lot LIDA systems, needs to be provided to the City for review and acceptance.
- g. Show all existing and proposed easements on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City.
- h. Application may require additional permitting and plan review from the District's Source Control Program. For any questions or additional information, please contact Source Control at (503) 681-5175.
- i. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.

CONCLUSION

This Land Use Review does not constitute the District's approval of storm or sanitary sewer compliance to the NPDES permit held by the District. The District, prior to issuance of any connection permits, must approve final construction plans and drainage calculations.